

**CONSTRUCTION NOTES**

GENERAL: UNLESS NOTED OTHERWISE

- THE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL OTHER WORKING DRAWINGS AND SPECIFICATIONS AND ANY OTHER WRITTEN INSTRUCTIONS ISSUED DURING CONSTRUCTION. ALL DISCREPANCIES AND VARIATIONS SHALL BE REFERRED TO THE ENGINEER, BEFORE PROCEEDING WITH THE WORK.
  - DURING CONSTRUCTION THE STRUCTURE AND ANY ADJACENT STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED.
  - DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWING ALL LEVELS AND SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORKS.
  - THE CONTRACTOR IS RESPONSIBLE TO ESTABLISH THE LOCATION, SIZE AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF WORKS.
  - ALL WORKMANSHIP AND MATERIALS TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF RELEVANT AUSTRALIAN STANDARD CODES AND THE REGULATIONS OF THE RELEVANT BUILDING AUTHORITY
  - UNLESS REQUESTED AND PRODUCED ON THE PLANS, THE BUILDER IS TO ENSURE THAT ARTICULATION JOINTS ARE SHOWN ON THEIR ARCHITECTURAL DRAWINGS AND BE SATISFIED THAT THEY ARE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODES.
  - ALL SITE SAFETY MEASURES AND WORK METHOD STATEMENTS PREPARED BY BUILDER/SUB-CONTRACTORS ARE TO BE IMPLEMENTED DURING CONSTRUCTION. NO WORK IS TO COMMENCE UNTIL SUPERVISOR/BUILDER HAS IDENTIFIED AND APPROPRIATELY ACTED ON ANY POTENTIAL HAZARDS.
- BUILDER TO ADHERE TO ANY GEOTECHNICAL REPORT RECOMMENDATIONS PREPARED FOR THE SITE.
- REFER TO ARCHITECTURAL PLANS FOR LOCATIONS OF RAINWATER TANK AC, HWS AND LPG UNITS.

**CONCRETE**

- CONCRETE SPECIFICATION (F<sub>c</sub> 28 DAYS) TO BE AS FOLLOWS: ADOPT TYPE 'A' CEMENT WITH MAX AGGREGATE SIZE OF 20mm AND 80mm 8LUMP

LOCATION	NORMAL F <sub>c</sub>	SALINE AFFECTED
PIERS	25 MPa	32 MPa
SLAB	25 MPa	32 MPa
STRIP FOOTINGS	25 MPa	32 MPa

- CLEAR COVER TO REINFORCEMENT TO BE AS FOLLOW:

LOCATION	FORMED & SHELTERED	FORMED & EXPOSED	POURED ON GROUND
SLABS & WALLS	20	30	65
BEAMS	25	40	65
COLUMNS	40	50	—
STRIP FOOTING	—	—	65

- REINFORCEMENT SYMBOLS ARE FOLLOWS:  
(N) - HOT ROLLED DEFORMED BARS (400 n)  
(SL) - HARD-DRAWN WIRE REINFORCING FABRIC (450 sl)  
(S) - STRUCTURAL GRADE DEFORMED BARS
  - NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS ARE TO BE MADE IN CONCRETE MEMBERS WITHOUT PRIOR ENGINEERS APPROVAL.
  - CONSTRUCTION JOINTS THAT ARE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE ENGINEER
  - ALL REINFORCEMENT TO BE ADEQUATELY SUPPORTED IN ITS REQUIRED POSITION AND COVER DURING PLACEMENT OF CONCRETE
  - PIPES OR CONDUITS SHALL NOT BE PLACED WITHIN THE CONCRETE COVER TO REINFORCEMENT WITHOUT THE APPROVAL OF THE ENGINEER.
  - ALL CONCRETE TO BE MECHANICALLY VIBRATED AND SHALL BE CAREFULLY WORKED AROUND THE REINFORCEMENT AND INTO THE CORNERS OF FORMWORK
- EARTHWORKS**
- FOOTINGS ARE DESIGNED FOR AN ALLOWABLE BEARING PRESSURE OF 100kPa.
  - PIER HOLES ARE DESIGNED FOR ALLOWABLE BEARING PRESSURE OF 200kPa.
  - FOUNDATION MATERIAL SHALL BE APPROVED PRIOR TO CONSTRUCTION
  - ADDITIONAL CONCRETE PIERS MAY BE REQUIRED UNDER SLAB TO EVEN BEARING IN SOIL AS RECOMMENDED BY AUSTRALIAN STANDARD AS 2870.
  - ADDITIONAL PIERS IN THE CUT SECTION OF BUILDING PLATFORM MAY ALSO BE REQUIRED TO ACHIEVE THE SAME BEARING AS PIERS IN THE FILL SECTION.
  - ALL SITE FILLING PLACED BENEATH SLAB TO BE TREATED IN ACCORDANCE WITH CLAUSE 6.4. OF AS 2870.2 - 2011.
  - A 1 METRE WIDE APRON, WITH 2% CROSS FALL AWAY FROM SLAB EDGE IS TO BE FORMED ALL AROUND THE RAFT SLAB WHERE APPLICABLE
  - IF THE LOCATION OF THE SLAB IS NEXT TO AN ABOVE OR BELOW ON SITE DETENTION SYSTEM OR BELOW GROUND RAINWATER TANK, THE BUILDER IS TO ADVISE ENGINEER IN ORDER TO ENSURE THAT CONCRETE PIERS ARE TAKEN 500mm BELOW THE INVERT LEVEL OF TANK OR THE FOOTING OF THE SUPPORTING WALL FOR AN ABOVE GROUND DETENTION SYSTEM.

- REINFORCED CONC. PIER
- SEWER AFFECTED PIER
- ⊕ SCREW PIER
- UNREINFORCED CONC. PIER
- ♀ ARTICULATION JOINT
- \* STARTING POINT

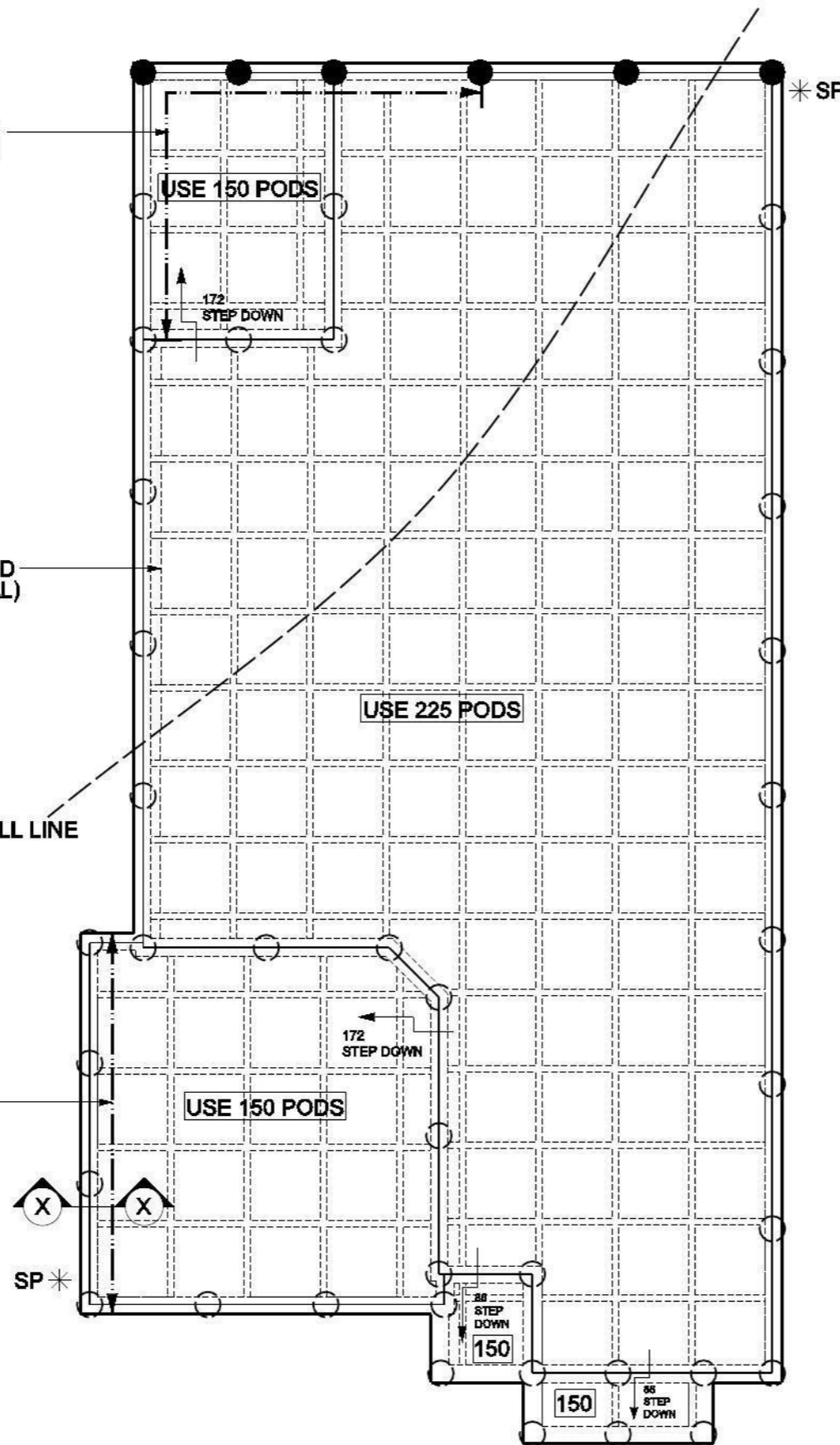
DESIGNED TO AS 2870 - 2011 SLAB AND FOOTING CODE

EXTERNAL DEEP BEAM REFER TO PAGE 2 FOR SPECIFICATIONS

LINE REFERS TO POD EXTENSION (TYPICAL)

CUT & FILL LINE

EXTERNAL DEEP BEAM REFER TO PAGE 2 FOR SPECIFICATIONS



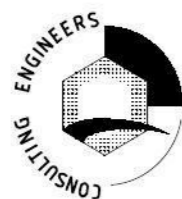
NOTE :  
25 MPa IS TO BE USED IN PIERS AND SLAB FOR A2 SALINE SOIL EXPOSURE CLASSIFICATION

REFER TO PAGES 5 & 6 FOR SEWER DETAILS

**STRUCTURAL SLAB DETAIL PLAN**

CLIENT	GAUCI			A3
LOCATION	LOT 2135 MILPERA ST, JORDAN SPRINGS			
DRAWN	J.O	SCALE	1:100	SHEET No. 1
ISSUE	A	DATE	04.08.13	JOB No. 54268 PC

**RAFELETOS**



ABN: 35 079 047 466  
LEVEL 2, 103 VANESSA STREET  
KINGSGROVE NSW 2208  
PO BOX 91 KINGSGROVE NSW 2208

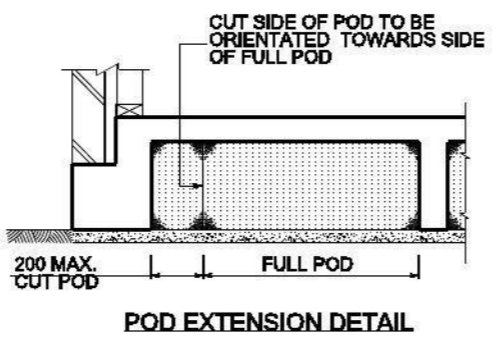
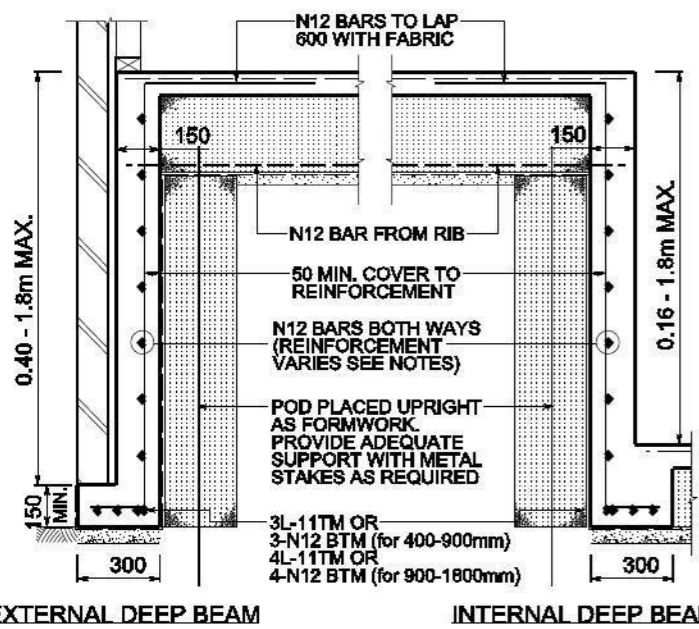
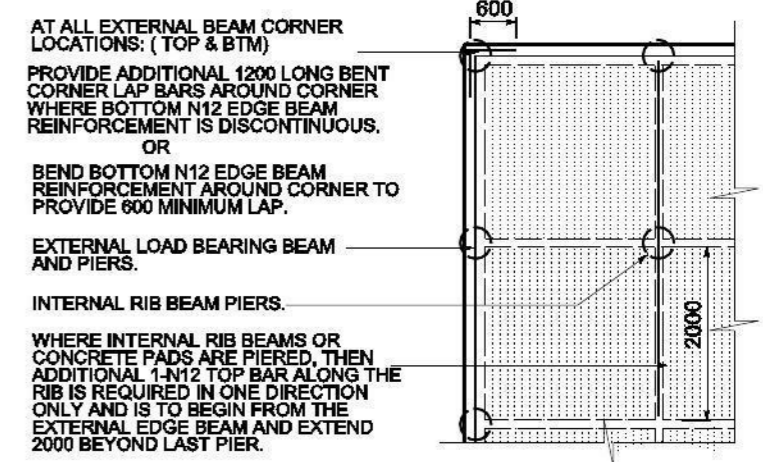
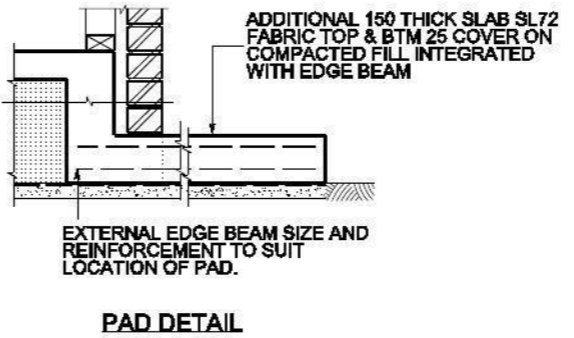
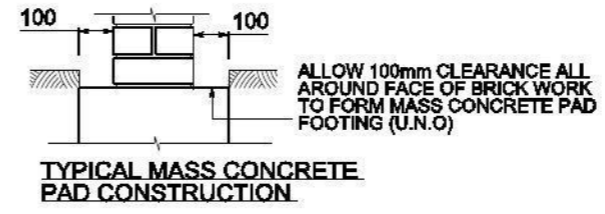
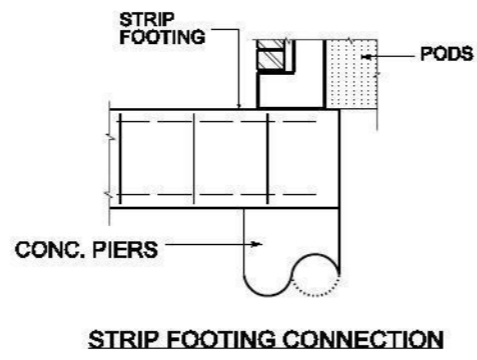
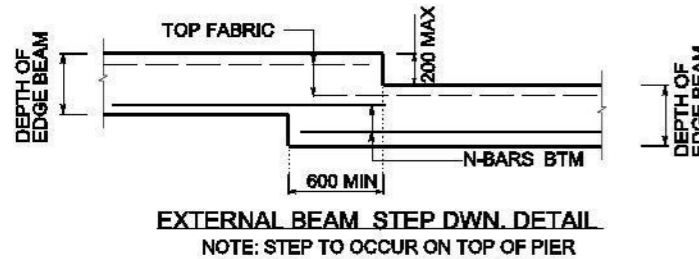
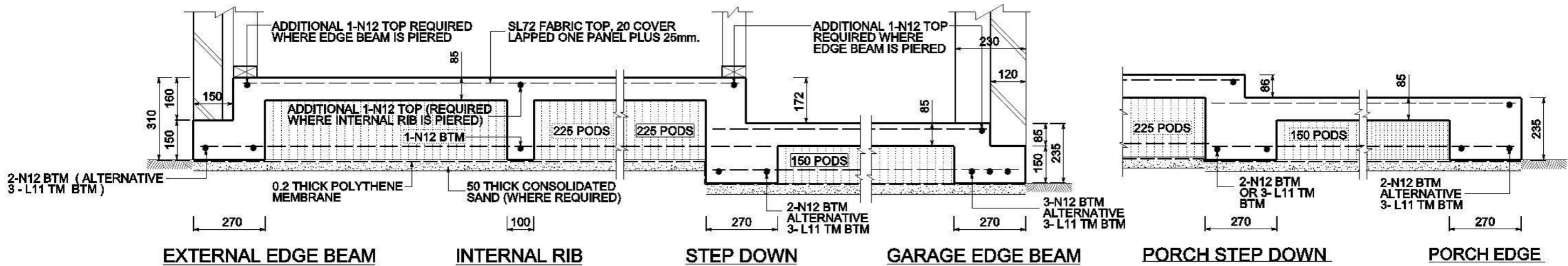
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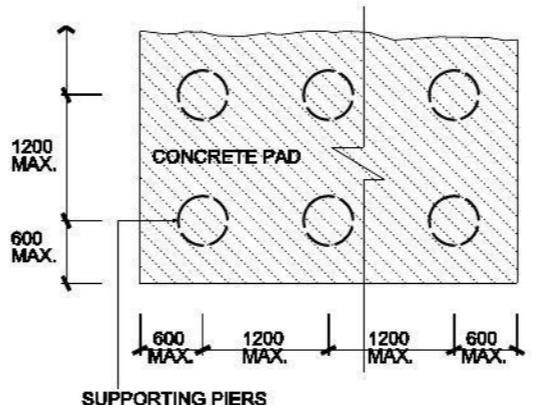
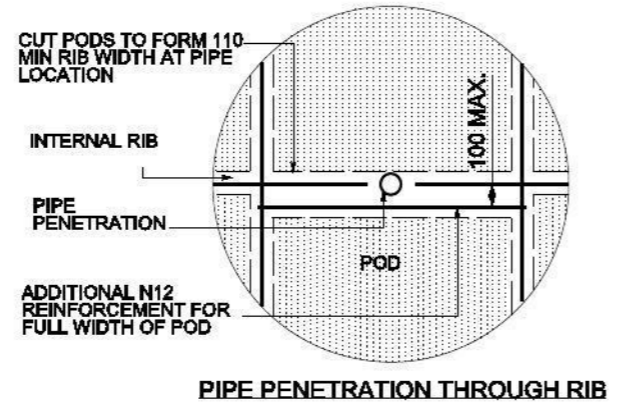
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CLASSIFICATION M  
REFERENCE



- FOR RAINWATER TANK, LPG & A/C UNITS ETC. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
- SPACE PIERS AS REQUIRED TO SUIT PAD SIZE:
- 500 MAXIMUM TO EDGE OF SLAB FOR PERIMETER PIERS.
- 1000 MAXIMUM CENTRES IF ADDITIONAL INTERNAL PIERS ARE REQUIRED FOR PAD SIZE.



PROVIDE 400 DIA. CONCRETE PIERS TO CLAY AND SAND, OR 300 DIA. TO ROCK OR SHALE.  
 SPACE PIERS AT 2400 CTS AS SHOWN ALONG EXTERNAL EDGE BEAM, UNLESS NOTED OTHERWISE  
 PIERS REQUIRED UNDER INTERNAL RIB BEAMS WHEN CONSTRUCTED ON MORE THAN 300mm OF UNCONTROLLED/NON-COMPACTED MATERIAL, OR AS SHOWN.  
 N12 BARS CAN BE REPLACED WITH 10.65mm HDW (450MPa STRESS GRADE)

DEEP BEAM DEPTH	BEAM REINFORCEMENT
160 - 400mm	N12 BARS AT 1200 CENTRES & 1-N12 HORIZONTAL
400 - 900mm	N12 BARS AT 600 CENTRES & 1-N12 CENTRALLY
900 - 1500mm	N12 BARS AT 300 CENTRES BOTH WAYS
1500 - 1800mm	N12 BARS AT 200 CENTRES BOTH WAYS

REINFORCEMENT FOR RIBS AND BEAMS		
WIDTH	TOP STEEL	BTM STEEL
271-330	1-N12	3-N12
331-440	2-N12	4-N12
441-550	3-N12	5-N12
551-660	4-N12	6-N12

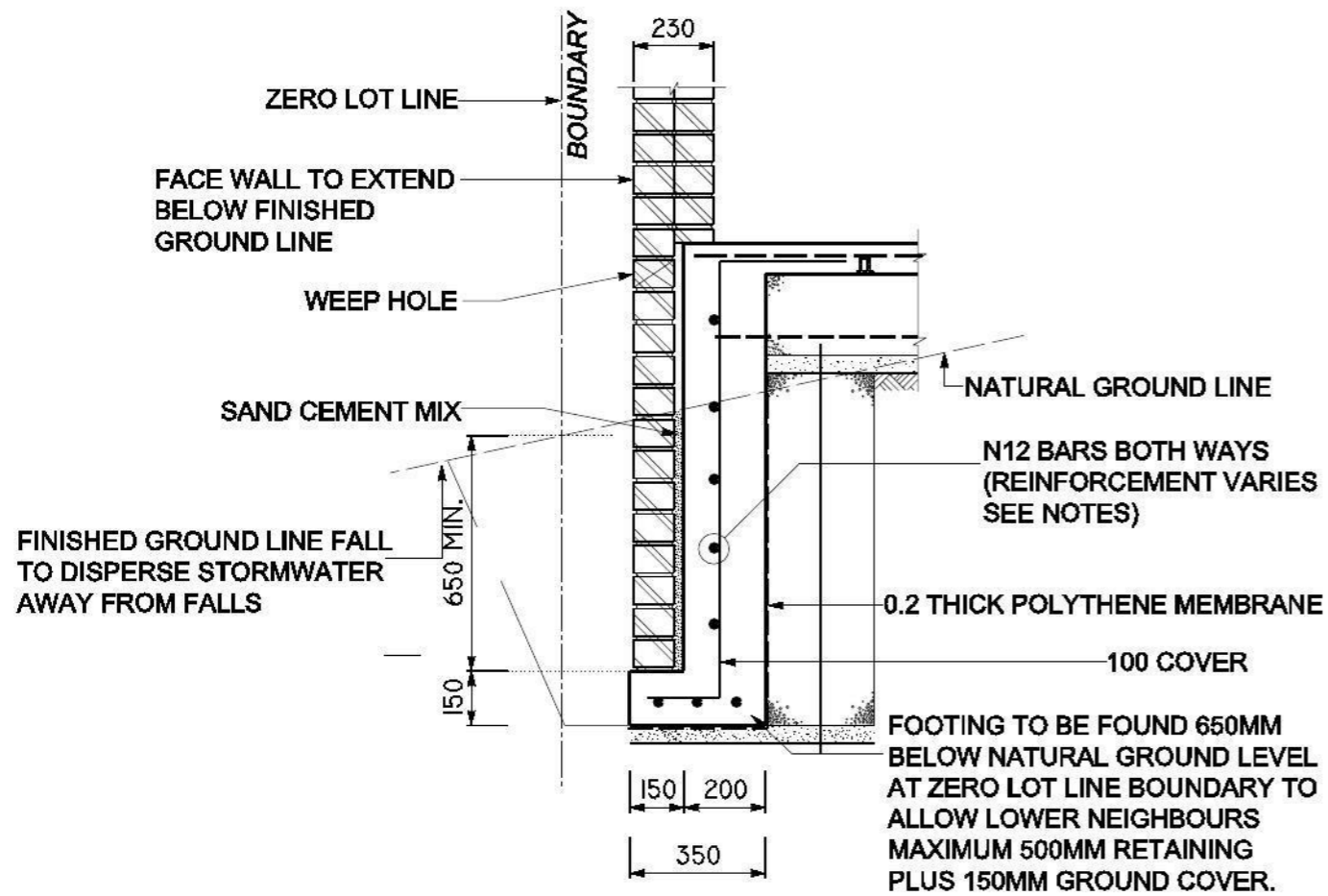
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 ACN 079047466  
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 KINGSGROVE NSW 2208  
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**MICHAELANGELO**  
 DESIGNER HOMES

**STRUCTURAL DETAIL PLAN**

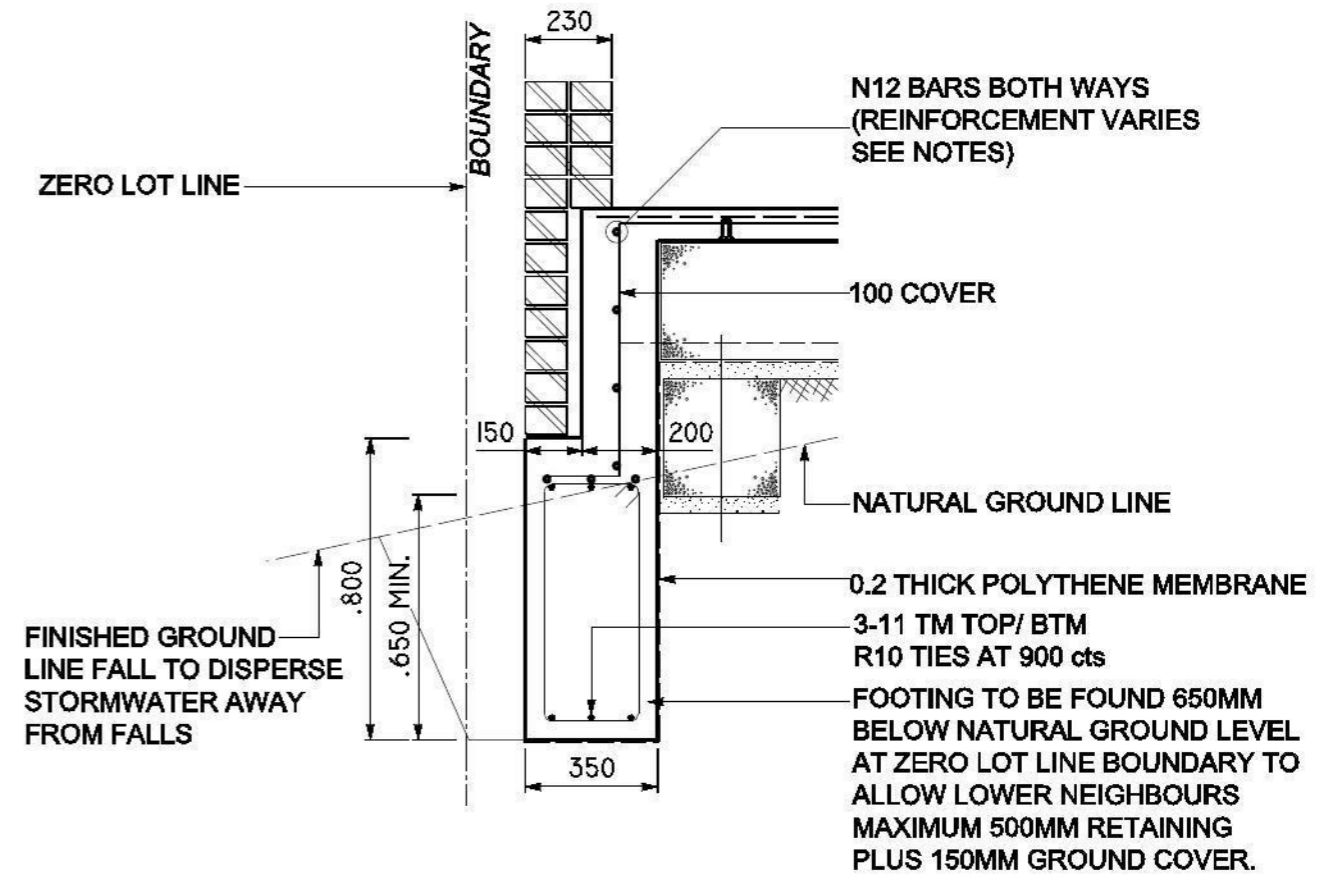
CLIENT LOCATION	GAUCI LOT 2135 MILPERA ST, JORDAN SPRINGS			
CLASSIFICATION	M	SCALE	NTS.	SHEET No. 2
ISSUE	A	DATE	04.08.13	JOB No. 54268 PC



**GARAGE WALL DEEPEMED  
EDGE BEAM / RETAINING WALL**

**SECTION X-X**

NOTE: TERMGUARD POSITION TO BE CONFIRMED BY PEST CONTROLLER



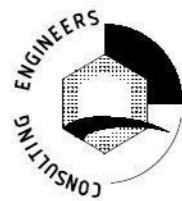
**EDGE BEAM  
RETAINING WALL**

**SECTION X-X**

NOTE: TERMGUARD POSITION TO BE CONFIRMED BY PEST CONTROLLER

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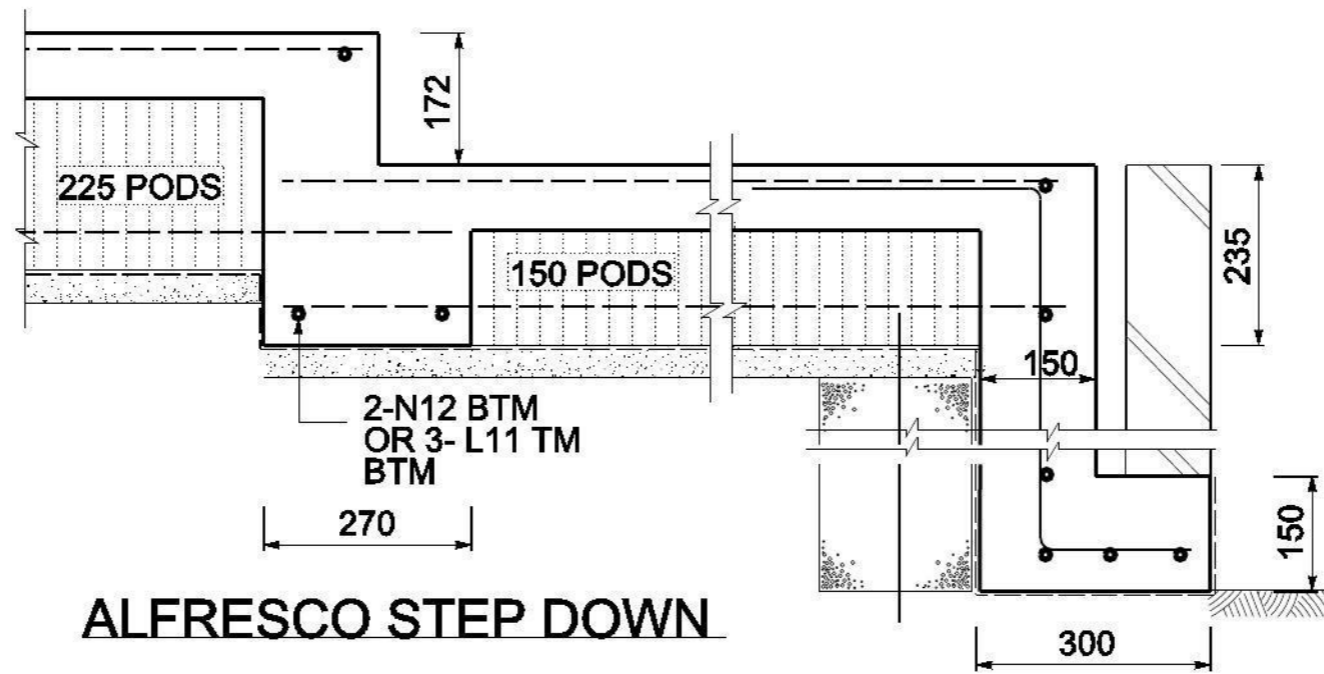
REFERENCE

**STRUCTURAL SLAB DETAIL PLAN**

CLIENT GAUCI  
LOCATION LOT 2135 MILPERA ST, JORDAN SPRINGS

A3

DRAWN	J.O	SCALE	1:100	SHEET No.	3
ISSUE	A	DATE	04.08.13	JOB No.	54268 PC



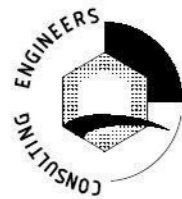
**ALFRESCO STEP DOWN**

**ALFRESCO D.E.B**

(REFER TO EXTERNAL DEEP BEAM DETAILS FOR REINFORCEMENT SPECIFICATIONS)

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REFERENCE

**STRUCTURAL SLAB DETAIL PLAN**

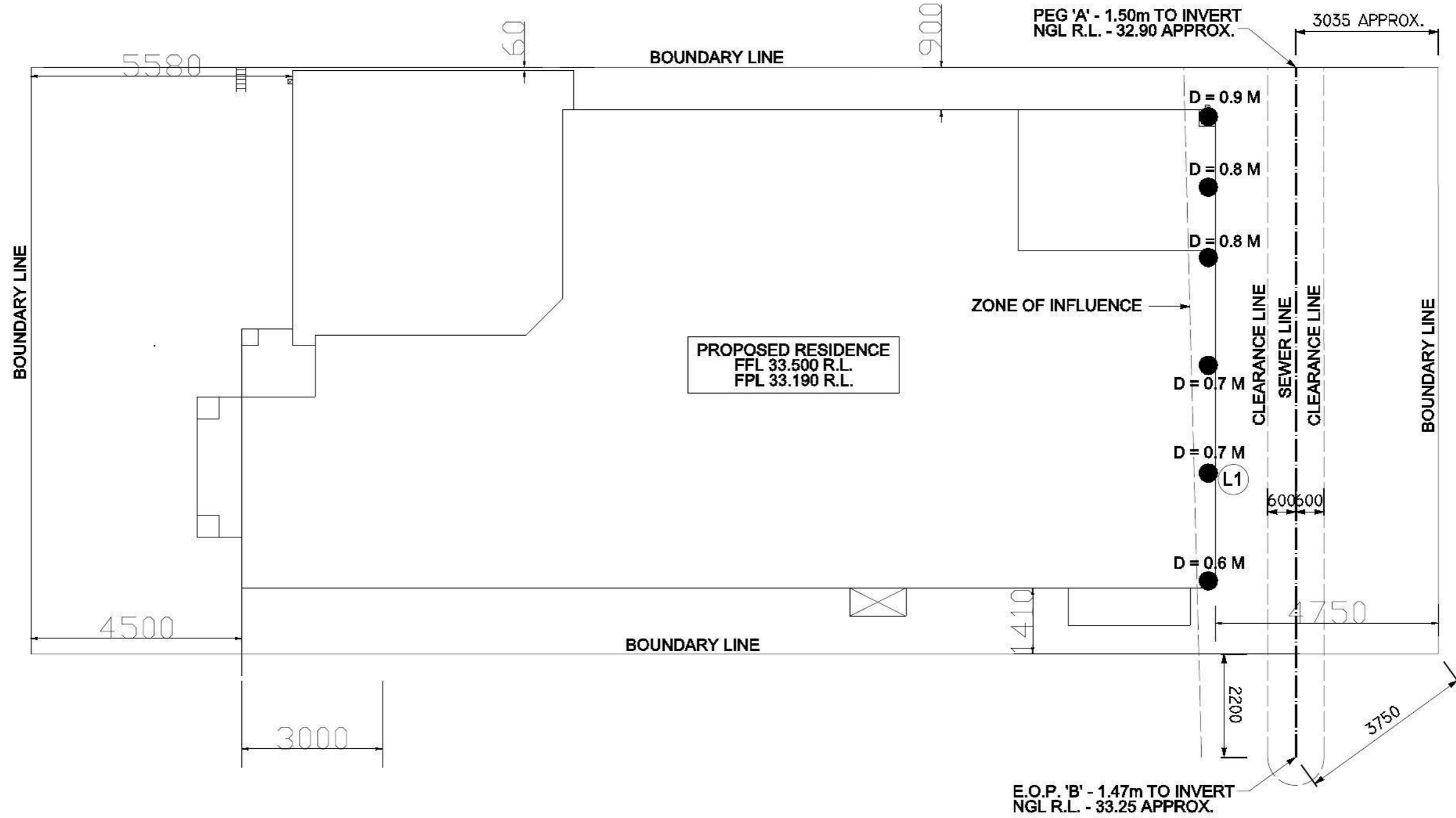
CLIENT GAUCI  
LOCATION LOT 2135 MILPERA ST, JORDAN SPRINGS

A3

DRAWN	J.O	SCALE	1:100	SHEET No.	4
ISSUE	A	DATE	04.08.13	JOB No.	54268 PC

**SEWER NOTES:**  
 \* POSITION OF SEWER IS ONLY APPROXIMATE  
 \* POSITION OF SEWER IS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK  
 \* PIER DEPTHS AS SHOWN ARE FOR ZONE OF INFLUENCE REQUIREMENTS  
 \* PIERS ARE TO BE FOUNDED ON NATURAL BEARING AS PER ENGINEERING REQUIREMENTS WHERE NECESSARY

Milpera Street

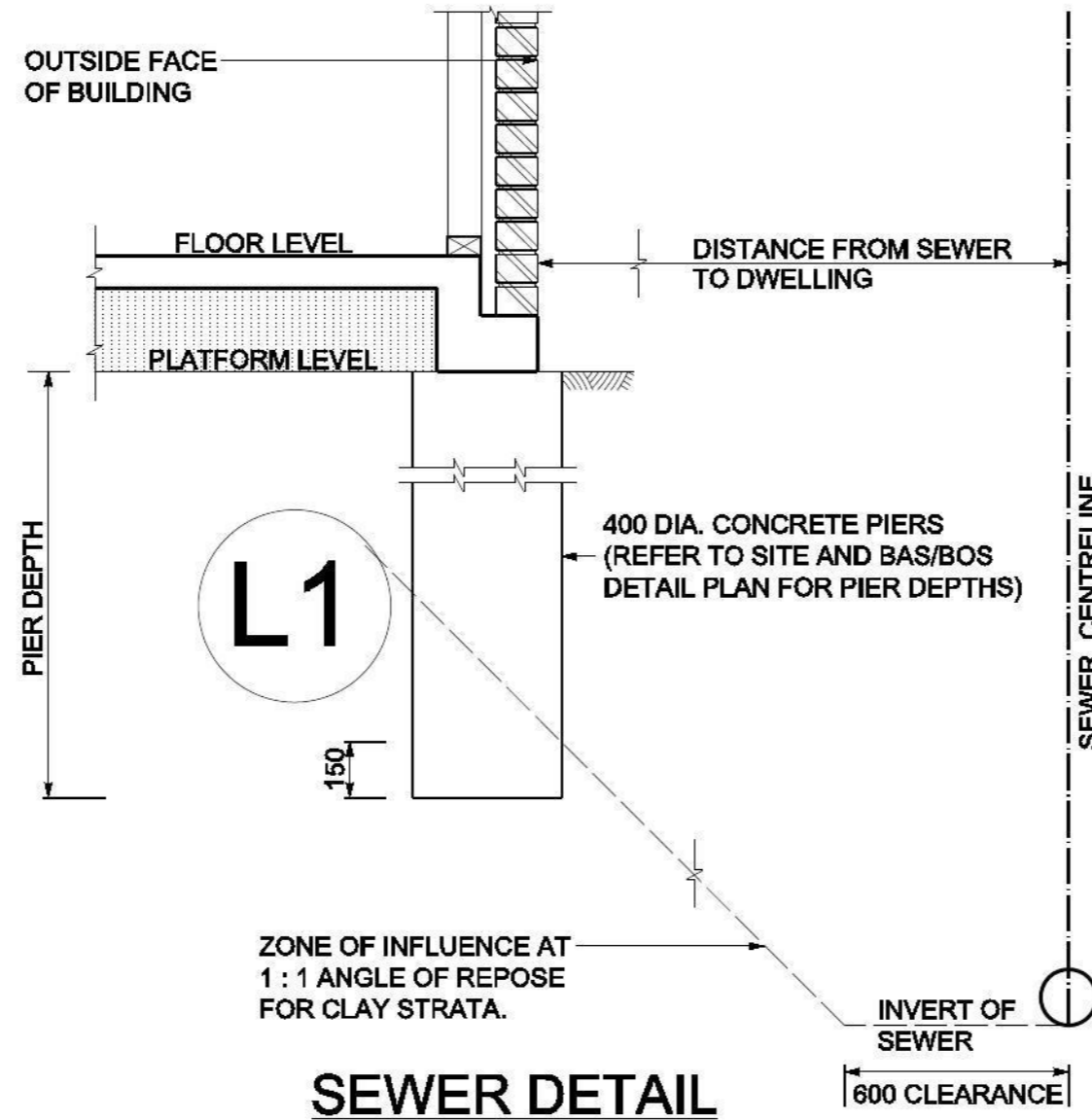


<p><b>RAFELETOS</b>          ABN: 35 079 047 466          LEVEL 2, 103 VANESSA STREET          KINGSGROVE NSW 2208          PO BOX 91 KINGSGROVE NSW 2208</p>	<p><b>ZANUTTINI</b>          Pty Ltd          FACSIMILE: (02) 9554 9764          TELEPHONE: (02) 9554 9311          EMAIL: admin@rafzan.com.au</p>	<p>B.E., M.I.E. AUST.</p>	<p><b>MICHAELANGELO</b>          DESIGNER HOMES</p>	<b>SITE AND B.A.S/B.O.S DETAIL PLAN</b>				A3
				CLIENT LOCATION GAUCI LOT 2135 MILPERA ST, JORDAN SPRINGS	DRAWN J.O	SCALE 1:100	SHEET No. 6	

**SEWER NOTES:**

- \* POSITION OF SEWER IS ONLY APPROXIMATE
- \* POSITION OF SEWER IS TO BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK
- \* PIER DEPTHS AS SHOWN ARE FOR ZONE OF INFLUENCE REQUIREMENTS
- \* PIERS ARE TO BE FOUNDED ON NATURAL BEARING AS PER ENGINEERING REQUIREMENTS WHERE NECESSARY

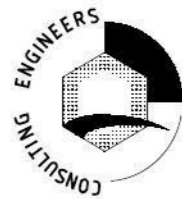
SEWER CALCULATIONS		L1
PERPENDICULAR DISTANCE FROM SEWER TO PIER (m)		1.665
FINISHED PLATFORM LEVEL AT PIER LOCATION (r.l.) =		33.190
SEWER INVERT LEVEL PERPENDICULAR AT LOCATION (r.l.) =		31.620
PIER DEPTH FROM FINISHED PLATFORM LEVEL (m) =		0.7
Z.O.I. EXTENT FROM SEWER USING PLATFORM LEVEL (m) =		2.170
NATURAL GROUND LEVEL AT SEWER LOCATION (R.L.) =		33.100



**SEWER DETAIL**

**RAFELETOS**

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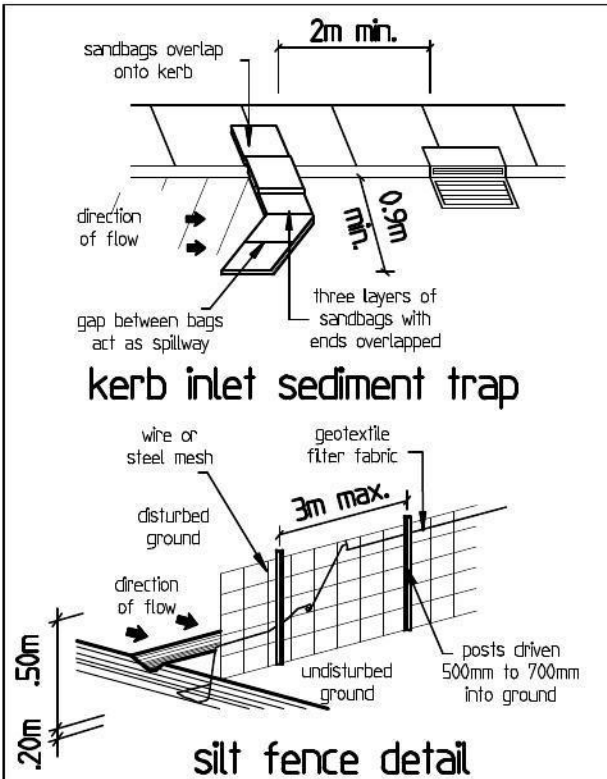


REFERENCE

**SEWER SECTION/S PLAN**

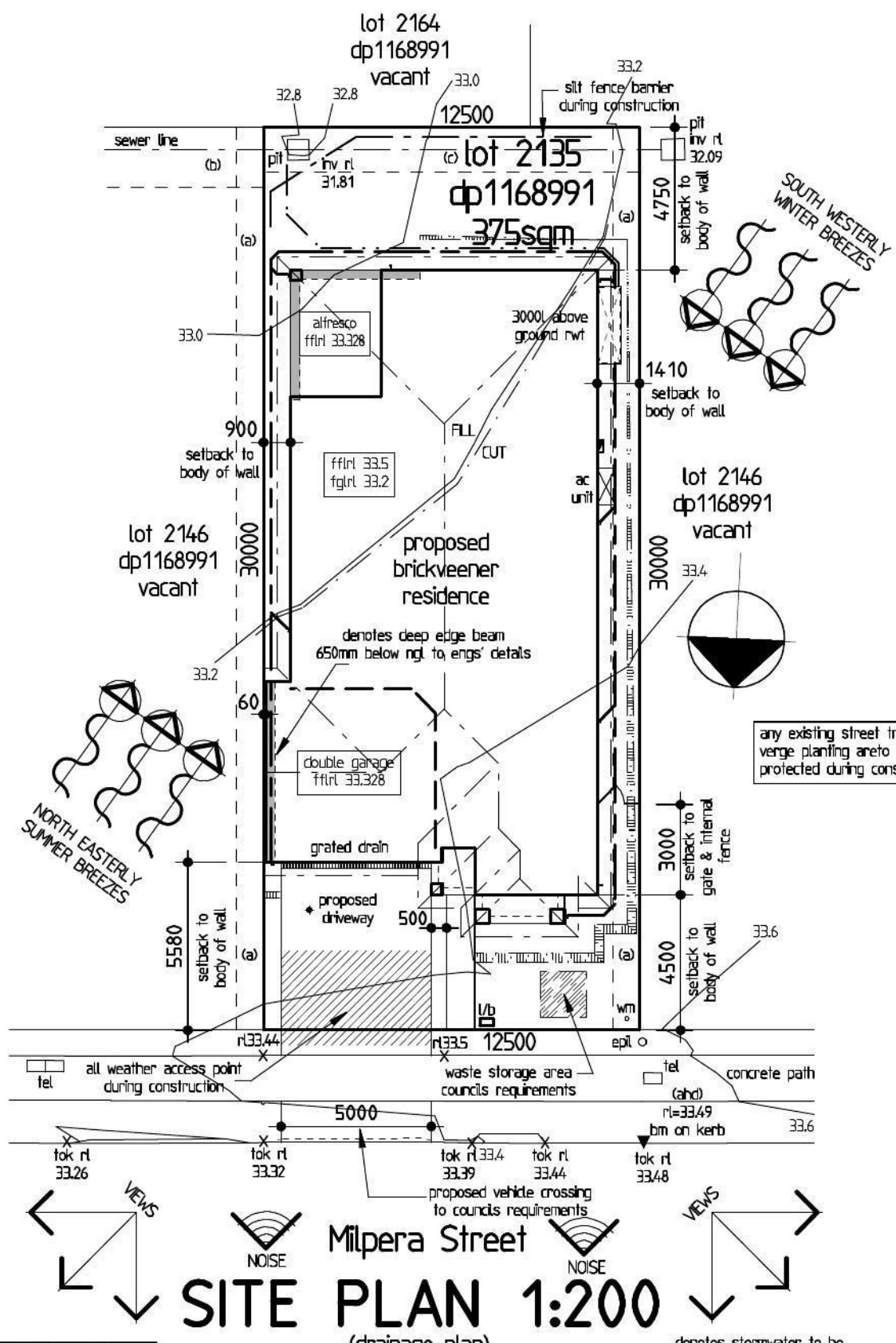
CLIENT LOCATION	GAUCI LOT 2135 MILPERA ST, JORDAN SPRINGS				A3
DRAWN	J.O	SCALE	1:20	SHEET No.	7
ISSUE	A	DATE	04.08.13	JOB No.	54268 PC

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**sediment control notes:**

- all erosion and sedimentation control measurements, including revegetation and storage of soil and topsoil shall be implemented to the standards of the soil conservation of n.s.w.
- all drainage works shall be constructed around and stabilised as early as possible during development
- sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trench.
- all sediment basins and traps shall be cleaned when the structures are a maximum of 60% full of materials, including the maintenance period.
- all disturbed areas shall be revegetated as soon as the relevant works are completed.
- soil and topsoil stockpiles shall be located away from drainage lines and area where water may concentrate.
- filter shall be constructed by stretching a filter fabric (propex or approved equivalent between post at 2m centres), fabric shall be buried 150mm along its lower edge.



**general notes:**

- stormwater to discharge into designated discharge point to pca requirements
- sewer to local authorities requirements.
- all ground lines are to be verified on-site by the builder.
- final location of buildings to be verified on-site by a registered surveyor.
- written dimensions to take precedence over scaling, any plan discrepancies to be referred back to a&n design before proceeding
- site classification m
- cut and fill house platform approximately to rl 33-2 garage to rl 33-114
- house floor level rl 33-5, 300mm above platform level, garage floor level approx. rl 33-328, 214mm above platform level

any retaining walls to the street or 900mm high and over are to be of masonry construction

(c) easement to drain water 1.5 wide  
(b) easement to drain water 2 wide  
(a) easement for access & maintenance 0.9 wide

**note:**  
-Vehicle crossover to be plain concrete to PCC specification  
-Any existing street trees and verge planting are to be protected during construction  
-Any retaining walls visible from the street or 900mm and over on the lot are to be of masonry construction.

**note:**  
- Any garden and lawn edging visible from the street or in front yard is to be constructed of masonry textured or coloured bricks, blocks or coloured concrete. No timber edging is permitted.  
- Any retaining walls visible from the street or 900mm high and over are to be of masonry construction.  
- Vehicle crossover is to be plain concrete to council specification, 5000mm wide v.c. for a double garage and 3000mm wide v.c. for a single garage.  
- All existing street trees and verge planting are to be protected during construction.

denotes stormwater to be directed into drainage easement final location to be verified on site by the builder

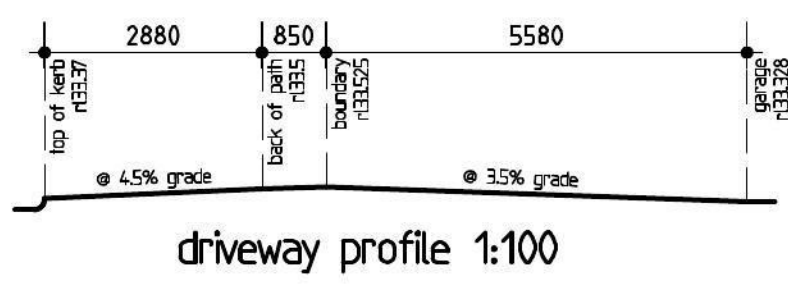
denotes stormwater to be directed into Rainwater tank final location to be verified on site by the builder

**site data**  
site area = 375sqm

private open space required = 15% or 56.3sqm provided = 20.1% or 75.5sqm

**floor areas**  
floor area = 164.5sqm  
garage floor area = 32.5sqm  
alfresco floor area = 12.4sqm  
porch floor area = 2sqm

total floor area = 211.4sqm or 22.8sqcs



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FOR Joseph Michael Gauri

AT Lot 2135 Milpera Street  
Jordan Springs

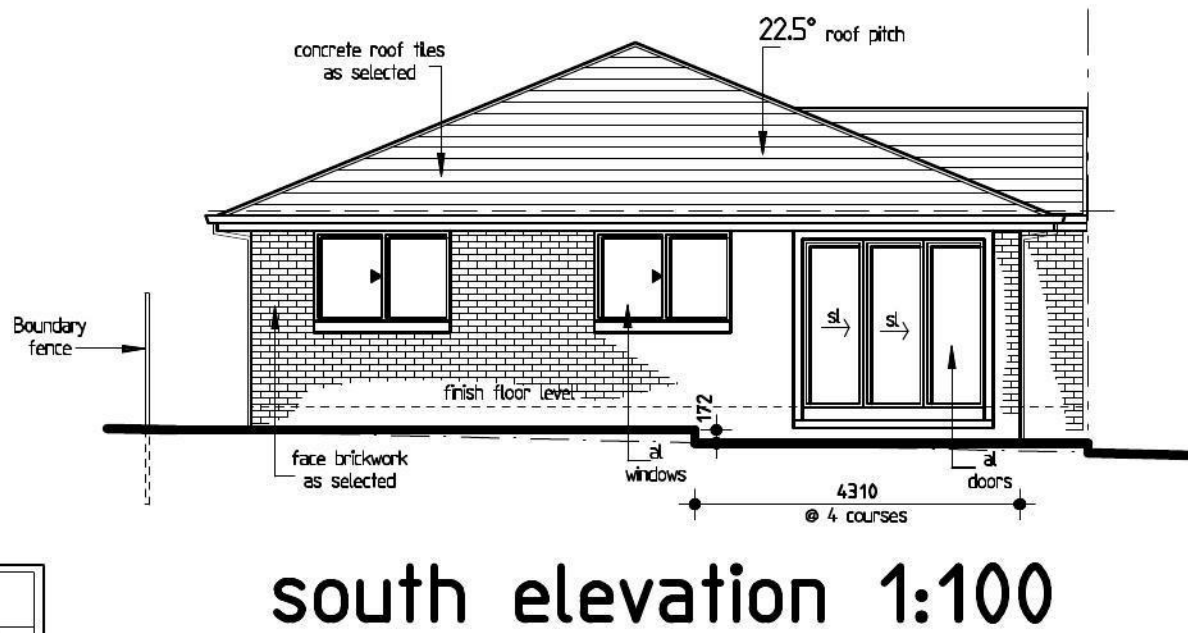
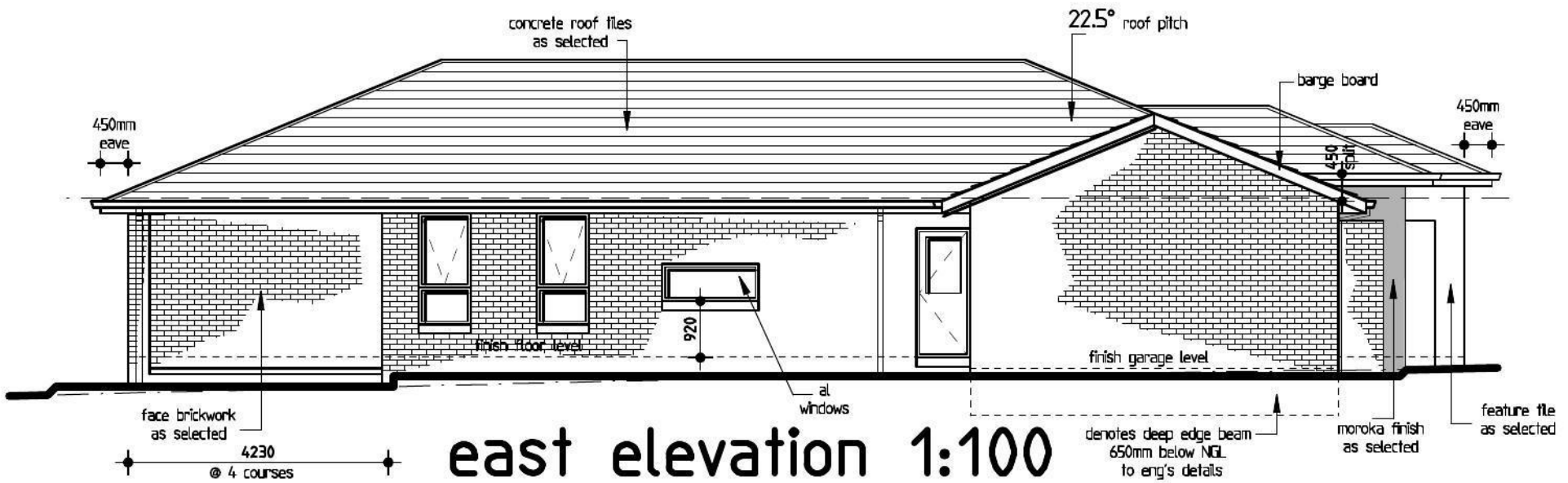
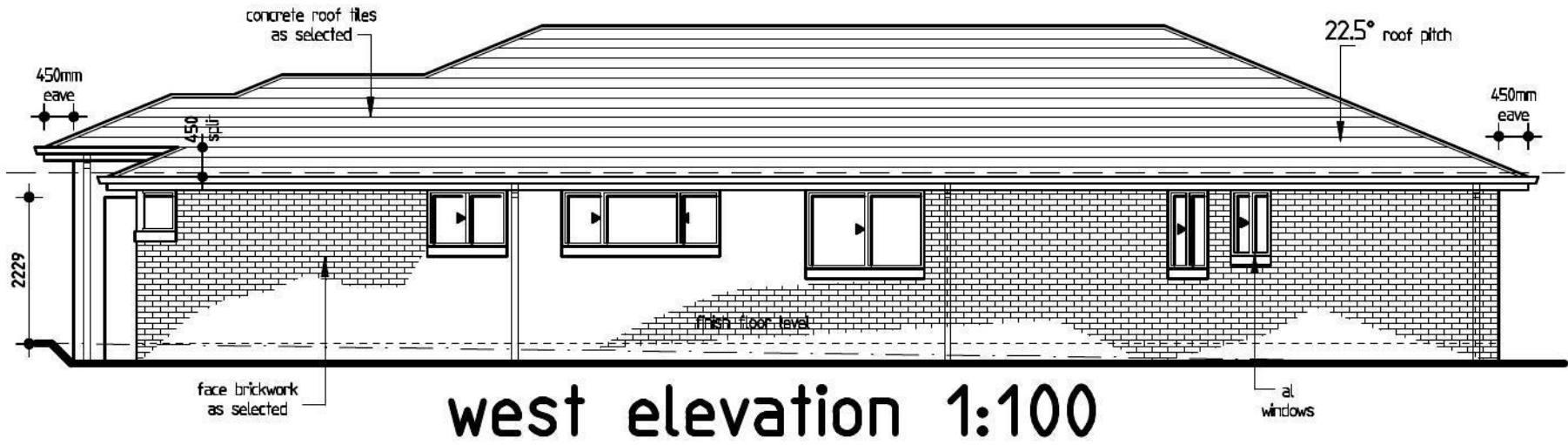
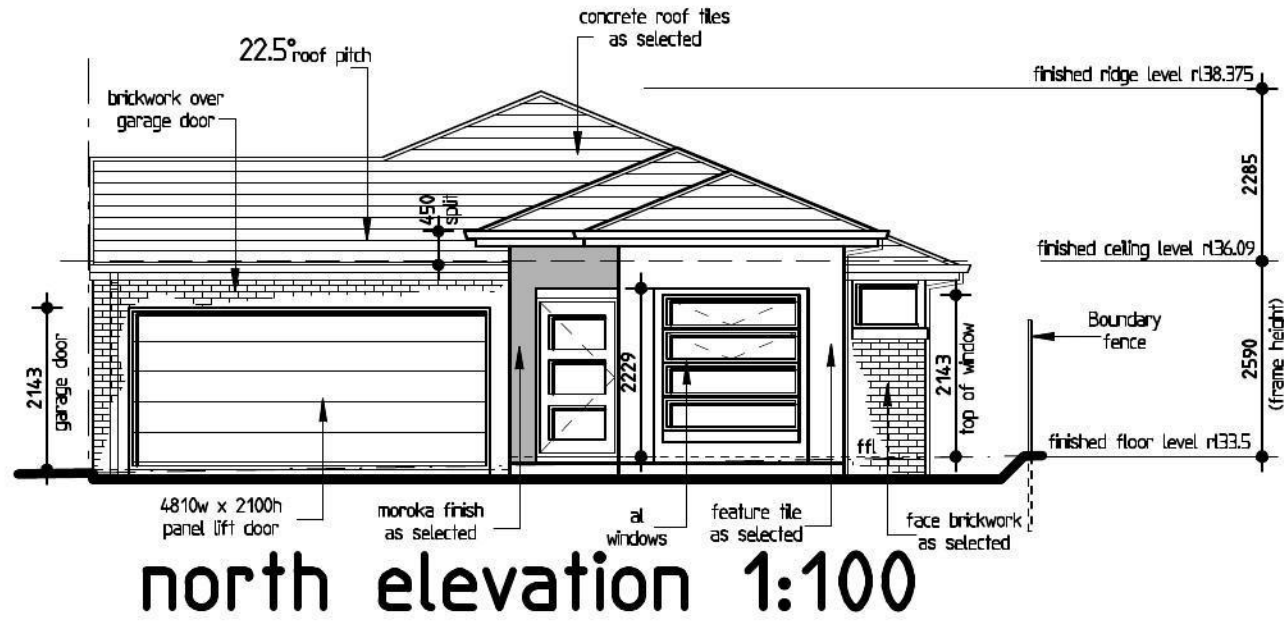
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REV	DESCRIPTION	DOWN	DATE
rk	Amendments		19-09-13
ad	Amendments		29-07-13
ad	Amendments		4-7-13
js/rk	Re-site/ Basic plan		7-6-13
fi	Amendments		14-1-13
js	CC plans		20-11-12

HOUSE TYPE	Genesis 23	DRAWING N°:	A19198
FACADE	Modern	SHEET	1 of 7
HAND	LH	JOB No.	104-12
		DATE:	oct 2012

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FOR Joseph Michael Gauri

AT Lot 2135 Milpera Street  
Jordan Springs

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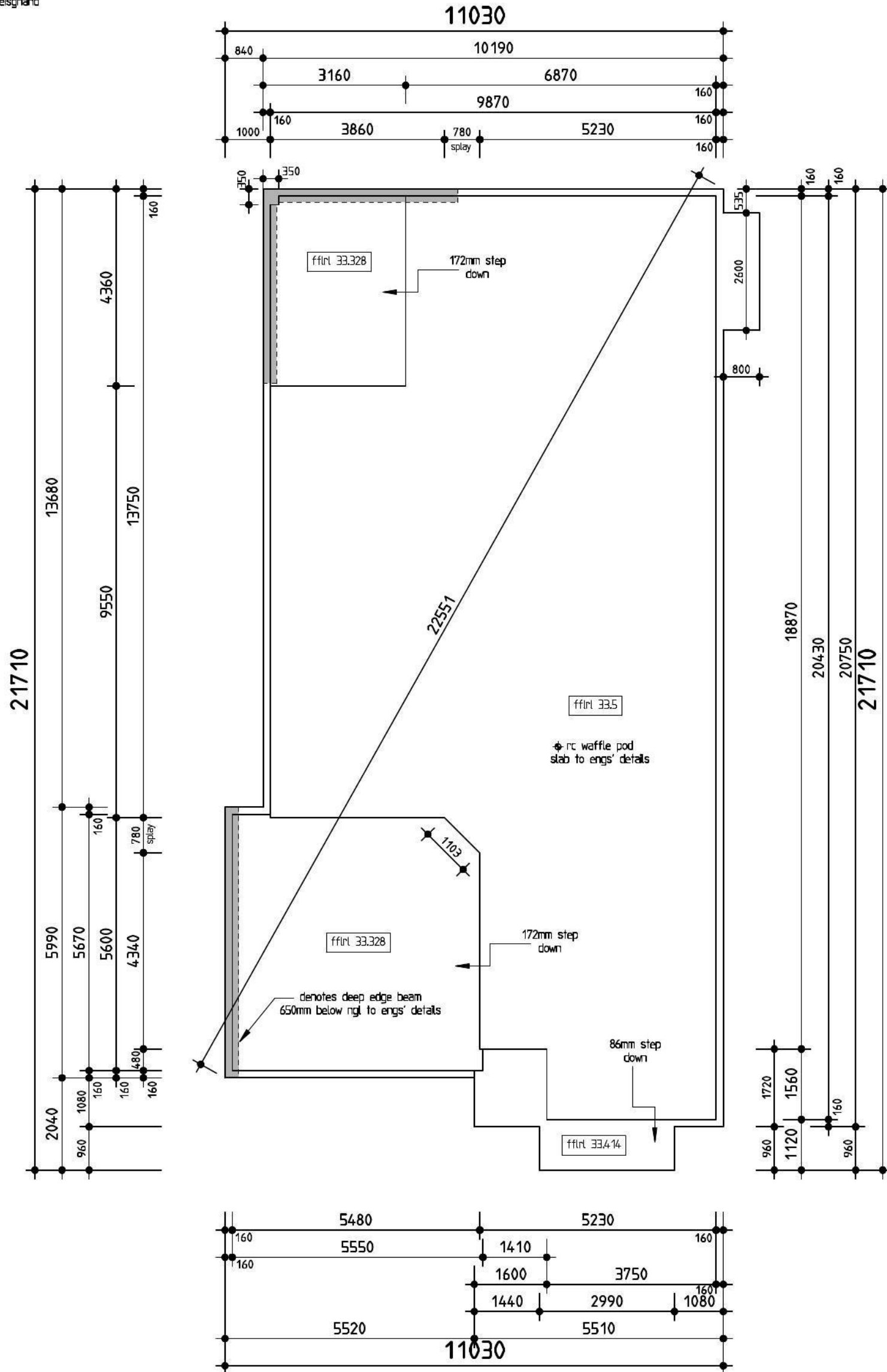
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No. 25-27 Solent Circuit  
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Fax: (02) 8824 3544  
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REV	DESCRIPTION	OWN	DATE
F	Amendments	rk	19-09-13
D	Amendments	ad	29-07-13
C	Amendments	ad	4-7-13
B	Re-site/ Basic plan	js/rk	7-6-13
A	Amendments	fi	14-1-13
A	CC plans	jg	20-11-12

HOUSE TYPE	Genesis 23	DRAWING N°:	A19198
FACADE	Modern	SHEET	3 of 7
HAND	LH	JOB No.	104-12
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# slab plan 1:100

slab plan to be cross referenced with floor plans, any discrepancies are to be verified before proceeding



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 Web: www.michaelangelo.com.au

FOR Joseph Michael Gauri  
 AT Lot 2135 Milpera Street  
 Jordan Springs

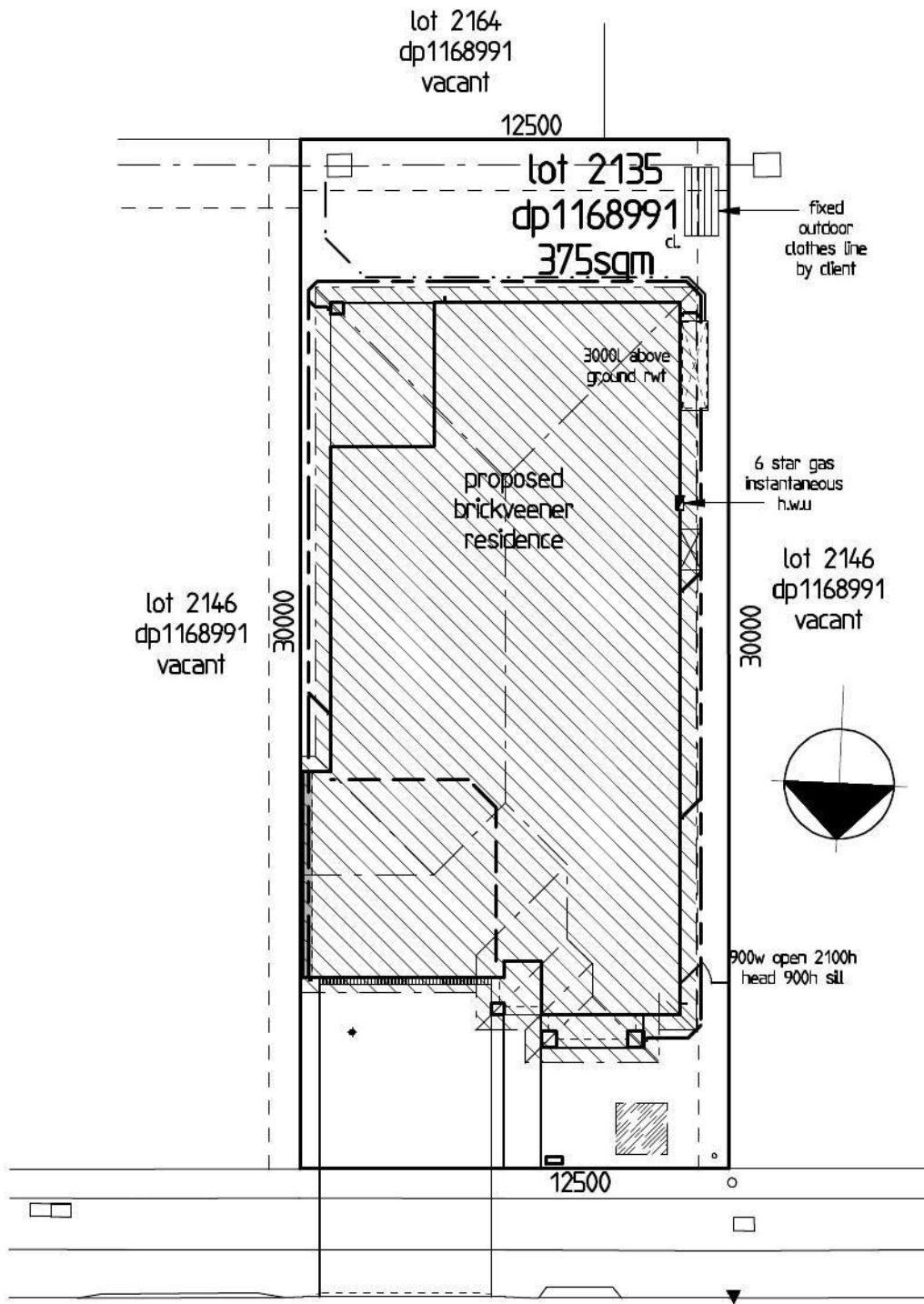


Level 2 suite 216 Macarthur Point  
 No. 25-27 Solent Circuit  
 Baulkham Hills  
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 Business Centre N.S.W. 2153  
 Phone: (02) 8824 3533  
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 www.andesignsydney.com.au

REV	DESCRIPTION	DWN	DATE
F	Amendments	rk	19-09-13
D	Amendments	ad	29-07-13
C	Amendments	ad	4-7-13
B	Re-site/ Basic plan	js/rk	7-6-13
A	Amendments	fi	14-1-13
	CC plans	js	20-11-12

HOUSE TYPE Genesis 23	DRAWING N°: A19198
FACADE Modern	SHEET 5 of 7
HAND LH	JOB No. 104-12
	DATE: oct 2012


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## Milpera Street BASIX PLAN 1:200

**insulation**  
 r2.0 wall insulation  
 r3.5 ceiling insulation  
 foil (isolation)

**basix score**  
 water - 4.0% (target 4.0%)  
 Thermal comfort - pass (Target Pass)  
 energy - 4.1% (target 4.0%)

 denotes 230sqm of roof to be collected

### stormwater / water

collection of rainwater & stormwater:  
 the applicant must install a rainwater tank on the site. The rainwater tank must meet, and be installed in accordance with the requirements of all applicable regulatory authorities

rainwater tank:  
 The applicant must configure the rainwater tank to collect runoff from at least 230 sqm of the roof area of the dwelling

the applicant must connect the rainwater tank to all the toilets in the development, so that rainwater can be used for toilet flushing.

The applicant must connect the rainwater tank to the cold water tap that supplies each clothes washing machine in the development, so that rainwater can be used for clothes washing.

the applicant must connect the rainwater tank to a least one outdoor tap in the development so that rainwater can be used to irrigate vegetated areas of the site.

The rainwater tank must have a capacity of at least 3000 litres.

showerheads:  
 The applicant must install showerheads with a minimum rating of 3 star (7.5 but <=9l/min) in all showers in the development

Toilets:  
 The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.

tap fittings:  
 The applicant must install taps with a minimum flow rate of 4 star in the kitchen in the development.

The applicant must install bathroom taps (other than showerheads) with a minimum flow rate of 4 star in each bathroom in the development

### Energy

hot water:  
 the applicant must install the following hot water system in the development:  
 gas instantaneous - 6 stars. (or one with a higher star rating)

active cooling:  
 the applicant must install the following cooling system/s in the development, or system/s with a higher energy rating: 1 living area: 3 Phase airconditioning; energy rating: EER 3 - 3.5, 1 bedroom: 3 Phase airconditioning; energy rating: EER 3 - 3.5

active heating:  
 the applicant must install the following heating system/s in the development, or system/s with a higher energy rating: 1 living area: 3 Phase airconditioning; energy rating: EER 3.5 - 4.0, 1 bedroom: 3 Phase airconditioning; energy rating: EER 3.5 - 4.0

ventilation:  
 the applicant must install the following exhaust systems in the development:  
 at least 1 bathroom: individual fan, not ducted; operation control:  
 manual switch on/off

kitchen: individual fan, not ducted; operation control:  
 manual switch on/off

laundry: natural ventilation only, or no laundry; operation control: n/a

natural lighting:  
 The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting

cooking:  
 The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.

other:  
 The applicant must install a fixed outdoor clothes drying line as part of the development

### Thermal comfort

The applicant must construct the development in accordance with the requirements set out in the assessor certificate N° 458046S and in accordance with those aspects of the development application or application for complying development certificate which were used to calculate the values shown in the assessor certificate N° 458046S



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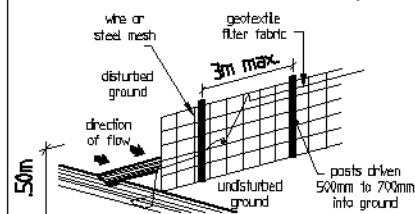
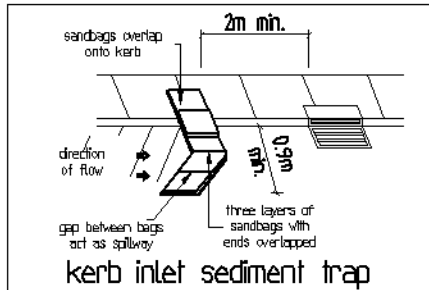
AT Lot 2135 Milpera Street  
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REV	DESCRIPTION	OWN	DATE
F	Amendments	rk	19-09-13
E	Amendments	ad	29-07-13
D	Amendments	ad	4-7-13
C	Re-site/ Basix plan	js/rk	7-6-13
B	Amendments	fi	14-1-13
A	CC plans	js	20-11-12

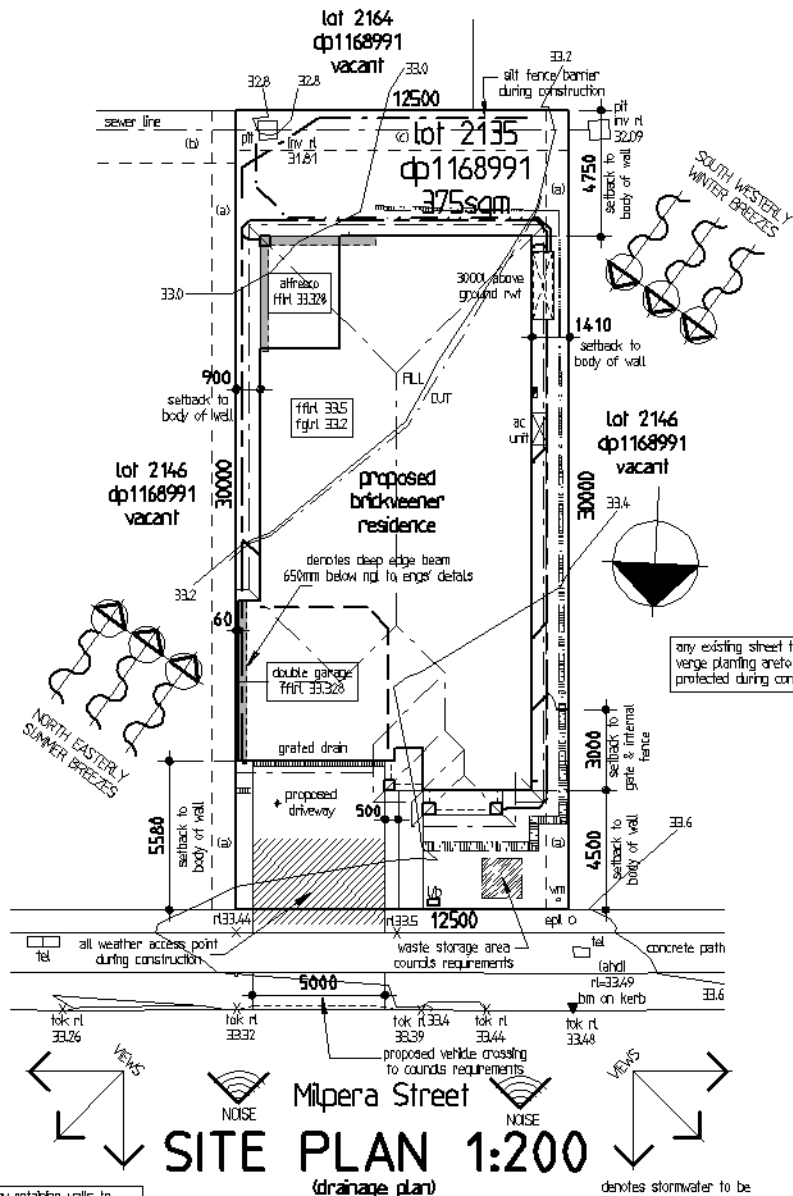
HOUSE TYPE	DRAWING N°:	
Genesis 23	A19198	
FACADE	SHEET	
Modern	7 of 7	
HAND	JOB No.	DATE:
LH	104-12	oct 2012

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### kerb inlet sediment trap

- sediment control notes:**
- all erosion and sedimentation control measurements, including revegetation and storage of soil and topsoil, shall be implemented to the standards of the soil conservation of n.s.w.
  - all drainage works shall be constructed around and stabilised as early as possible during development
  - sediment traps shall be constructed around all inlet pits, consisting of 300mm wide x 300mm deep trench.
  - all sediment basins and traps shall be cleaned when the structures are a maximum of 60% full of materials, including the maintenance period.
  - all disturbed areas shall be revegetated as soon as the relevant works are completed.
  - soil and topsoil stockpiles shall be located away from drainage lines and area where water may concentrate.
  - filter shall be constructed by stretching a filter fabric (propex or approved equivalent between post at 2m centres), fabric shall be buried 150mm along its lower edge.



## SITE PLAN 1:200 (drainage plan)

any retaining walls to the street or 900mm high and over are to be of masonry construction

- (c) easement to drain water 1.5 wide
- (b) easement to drain water 2 wide
- (a) easement for access & maintenance 0.9 wide

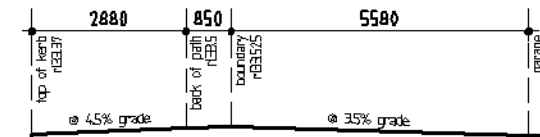
**note:**  
 - Vehicle crossover to be plain concrete to PCC specification  
 - Any existing street trees and verge planting are to be protected during construction  
 - Any retaining walls visible from the street or 900mm and over on the lot are to be of masonry construction.

**note:**  
 - Any garden and lawn edging visible from the street or in front yard is to be constructed of masonry textured or coloured bricks, blocks or coloured concrete. No timber edging is permitted.  
 - Any retaining walls visible from the street or 900mm high and over are to be of masonry construction.  
 - Vehicle crossover is to be plain concrete to council specification, 5000mm wide v.c. for a double garage and 3000mm wide v.c. for a single garage.  
 - All existing street trees and verge planting are to be protected during construction.

denotes stormwater to be directed into drainage easement final location to be verified on site by the builder  
 denotes stormwater to be directed into Rainwater tank final location to be verified on site by the builder

**site data**  
 site area = 375sqm  
 private open space required = 15% or 56.3sqm provided = 20.1% or 75.5sqm  
**floor areas**  
 floor area = 164.5sqm  
 garage floor area = 32.5sqm  
 alfresco floor area = 12.4sqm  
 porch floor area = 2sqm  
 total floor area = 211.4sqm or 22.8sqm

- general notes**
- stormwater to discharge into designated discharge point to pcc requirements
  - sewer to local authorities requirements.
  - all ground lines are to be verified on-site by the builder.
  - final location of buildings to be verified on-site by a registered surveyor.
  - written dimensions to take precedence over scaling, any plan discrepancies to be referred back to a/sk design before proceeding
  - site classification m
  - cut and fill house platform approximately to r1 33-2 garage to r1 33-114
  - house floor level r1 33-5 300mm above platform level, alfresco floor level approx r1 33-32& 214mm above platform level



### driveway profile 1:100

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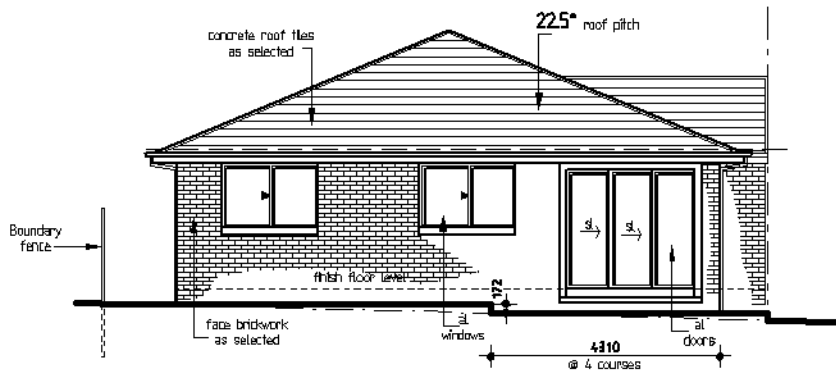
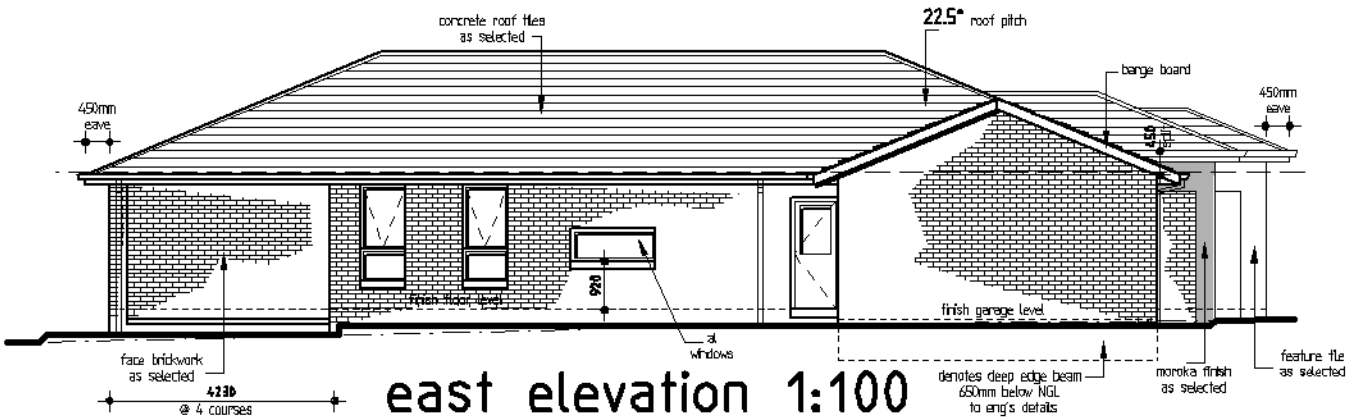
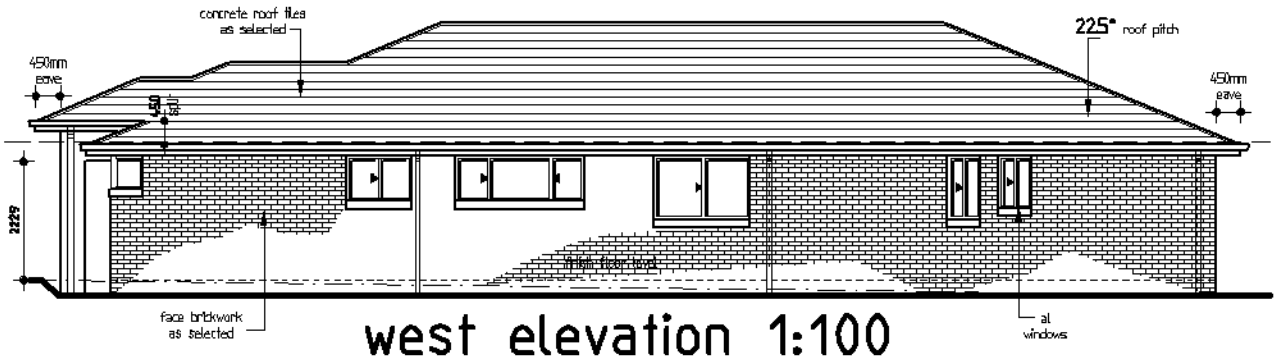
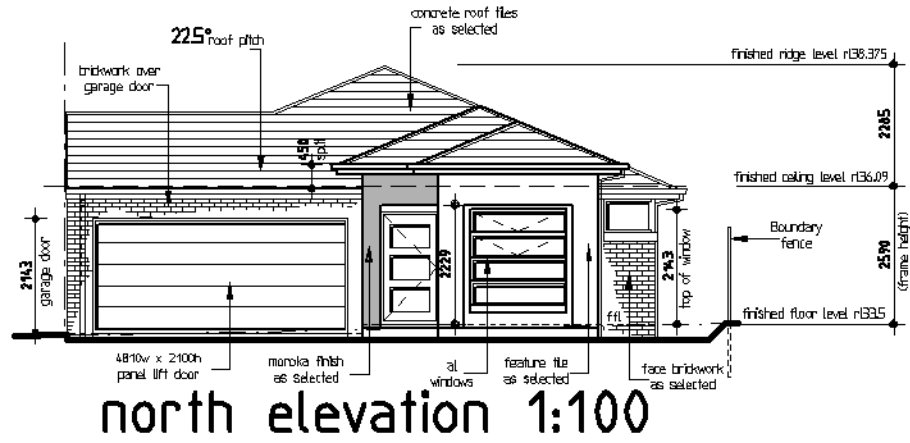
FOR Joseph Michael Gaudi  
 AT Lot 2135 Milpera Street Jordan Springs

Level 2 suite 216 Macarthur Point  
 No. 25-27 Solent Circuit  
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REV	DESCRIPTION	DATE
1	Amendments	19-08-13
2	Amendments	29-09-13
3	Amendments	4-7-13
4	Re-sit'g Bath plan	7-6-13
5	Amendments	14-1-13
6	EE plans	20-11-12

HOUSE TYPE	GENESIS 23	DRAWING N°	A19198
FACADE	Modern	SHEET	1 of 7
HAND	LH	JOB No.	104-12
		DATE	oct 2012

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DESIGNER HOMES

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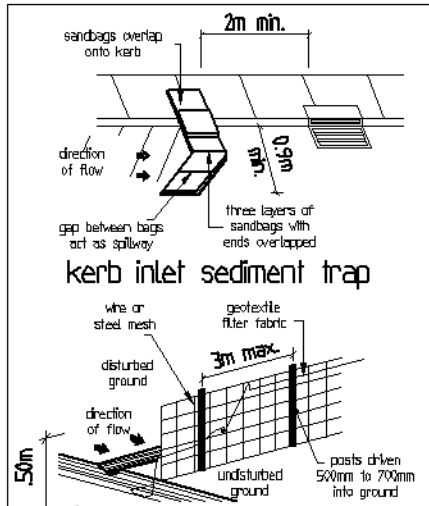
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**A&N**  
SYDNEY

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REV	DESCRIPTION	DATE
A	Amendments	19-08-13
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D	Re-stair/Bath plan	7-6-13
E	Amendments	14-1-13
F	EE plans	20-11-12
REV	DESCRIPTION	DATE
HOUSE TYPE	Genesis 23	DRAWING N° A19198
FACADE	Modern	SHEET 3 of 7
HAND	LH	JOB No. 104-12
		DATE: oct 2012

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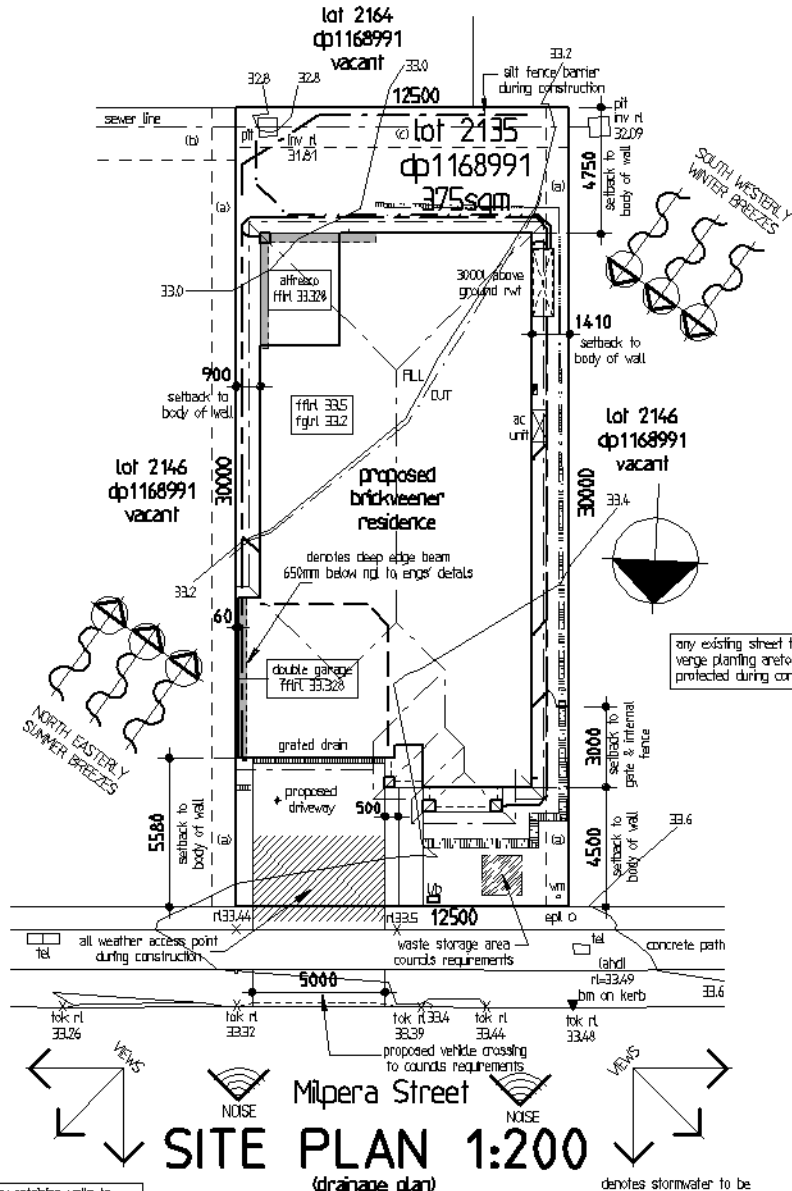


### kerb inlet sediment trap

**silt fence detail**

sediment control notes:

- all erosion and sedimentation control measurements, including revegetation and storage of soil and topsoil, shall be implemented to the standards of the soil conservation of n.s.w.
- all drainage works shall be constructed around and stabilised as early as possible during development
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 (b) easement to drain water 2 wide  
 (a) easement for access & maintenance 0.9 wide

note:  
 -Vehicle crossover to be plain concrete to PCC specification  
 -Any existing street trees and verge planting are to be protected during construction  
 -Any retaining walls visible from the street or 900mm and over on the lot are to be of masonry construction.

note:  
 - Any garden and lawn edging visible from the street or in front yard is to be constructed of masonry textured or coloured bricks, blocks or coloured concrete. No timber edging is permitted.  
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denotes stormwater to be directed into drainage easement final location to be verified on site by the builder

denotes stormwater to be directed into Rainwater tank final location to be verified on site by the builder

**general notes**

- stormwater to discharge into designated discharge point to pcc requirements
- sewer to local authorities requirements.
- all ground lines are to be verified on-site by the builder.
- final location of buildings to be verified on-site by a registered surveyor.
- written dimensions to take precedence over scaling, any plan discrepancies to be referred back to a/sk design before proceeding
- site classification m
- cut and fill house platform approximately to r1 33-2 garage to r1 33-114
- house floor level r1 33-5, 300mm above platform level, garage floor level, approx r1 33-32& 214mm above platform level

**site data**

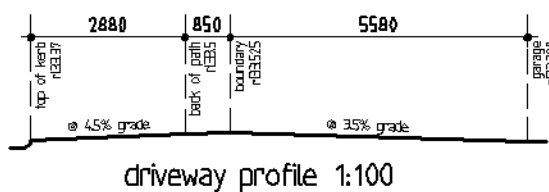
site area = 375sqm

private open space required = 15% or 56.3sqm provided = 20.1% or 75.5sqm

**floor areas**

floor area = 164.5sqm  
 garage floor area = 32.5sqm  
 alfresco floor area = 12.4sqm  
 porch floor area = 2sqm

**total floor area = 211.4sqm or 22.8sqm**



### driveway profile 1:100

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HOUSE TYPE	GENESIS 23	DRAWING N°	A19198
FACADE	Modern	SHEET	1 of 7
HAND	LH	JOB No.	104-12
		DATE	oct 2012

# MILPERA STREET



- LEGEND:**
- TK TOP OF KERB
  - CL ROAD CENTRELINE
  - VC VEHICLE CROSSING
  - KIP KERB INLET PIT
  - GSIP GRATED SURFACE INLET PIT
  - JP JUNCTION PIT
  - DWY DRIVEWAY
  - BLD BUILDING
  - FCE FENCE
  - HYD HYDRANT
  - SV STOP VALVE
  - WM WATER METER
  - GM GAS METER
  - EPIL ELECTRICITY PILLAR
  - TEL TELSTRA PIT
  - LH SEWER LAMPHOLE
  - SMH SEWER MANHOLE
  - TB TOP OF BANK
  - BB BOTTOM OF BANK
  - TRW TOP OF RETAINING WALL
  - BRW BOTTOM OF RETAINING WALL
  - NS NATURAL SURFACE

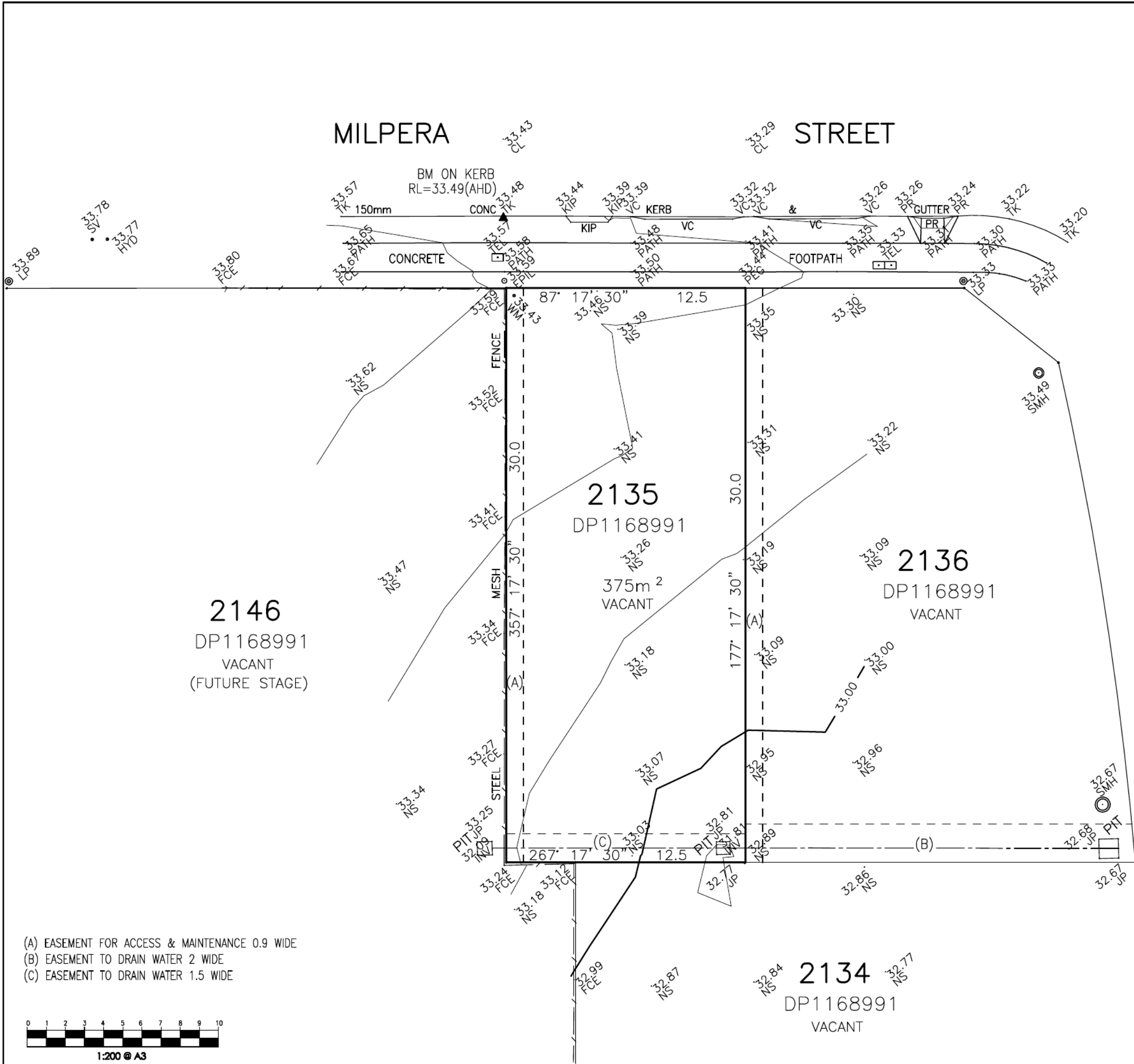
**NOTES:**  
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**2146**  
 DP1168991  
 VACANT  
 (FUTURE STAGE)

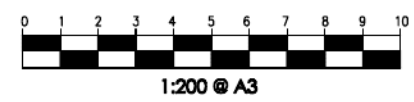
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 DP1168991  
 375m<sup>2</sup>  
 VACANT

**2136**  
 DP1168991  
 VACANT

**2134**  
 DP1168991  
 VACANT



- (A) EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- (B) EASEMENT TO DRAIN WATER 2 WIDE
- (C) EASEMENT TO DRAIN WATER 1.5 WIDE



**urbansurveys**  
Registered Surveyors

7 Widgeon Road The Ponds  
 PO BOX 6030 Rouse Hill NSW 2155  
 Ph: 8883 0191 Email: mail@urbansurveys.com.au

NO.	AMENDMENT	DATE

**PROPERTY DESCRIPTION:**  
**LOT 2135 DP1168991**  
**MILPERA STREET, JORDAN SPRINGS**

**LOCAL GOVERNMENT AREA: PENRITH**

<b>CONTOUR INT. 0.2 METRES</b>	<b>SCALE: 1:200 @ A3</b>
<b>DATUM: AHD</b>	<b>ORIGIN: SSM181201</b>

**CLIENT: MICHAELANGELO DESIGNER HOMES**

## CONTOUR & DETAIL SURVEY

DATE <b>21-05-13</b>	SHEET <b>1</b>	OF <b>1</b>	DRAWING No. <b>2741-D-01</b>	AMEND
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