

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:

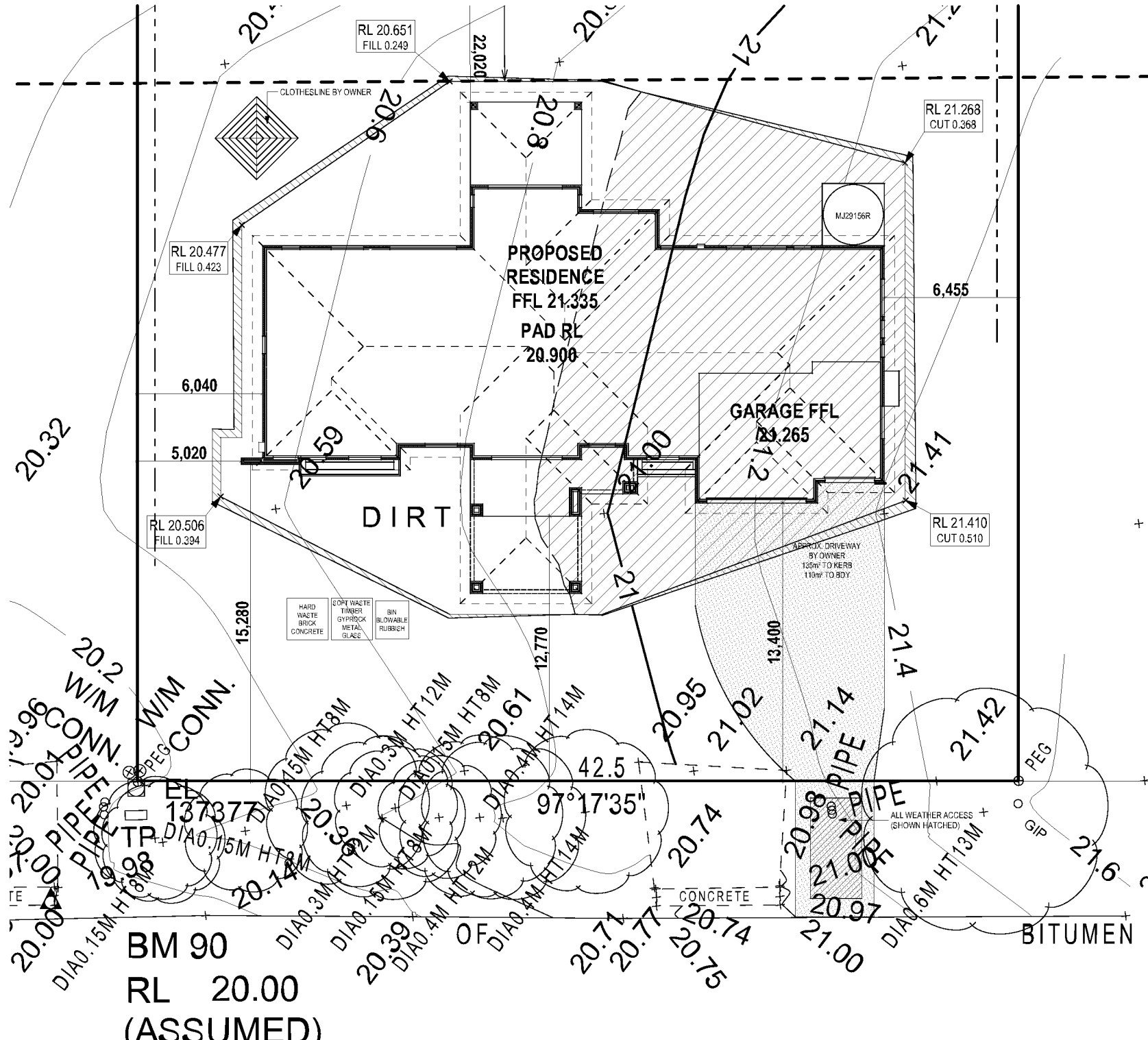
- BASIX/ABSA REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL HOUSE SPECIFICATIONS

STORMWATER LAYOUT IS DIAGRAMMATIC ONLY AND SUBJECT TO CONTRACTORS RECOMMENDATIONS AND/OR ANY CONSTRUCTION CONSTRAINTS. ALL SURFACE WATER DRAINAGE BY OWNER.

CHARGED STORMWATER SYSTEM CANNOT BE USED FOR DISPOSAL OF DRIVEWAY OR OTHER SURFACE STORMWATER. OWNER IS TO PROVIDE ALTERNATIVE DISCHARGE LINES IF DOWNPIPES ARE NOTED AS 'CDP' ON PLAN. McDONALD JONES HOMES PROVIDES CAPACITY FOR DISPOSAL OF ROOF COLLECTED STORMWATER ONLY AND TAKES NO RESPONSIBILITY FOR OVERFLOW OR DAMAGE TO PROPERTY IF OWNER ADDS ADDITIONAL DISCHARGE LOADS TO EXISTING STANDARD PROVISIONS.

WIND CLASSIFICATION	N2
WITHIN 1 KM. OF BREAKING SALT WATER	NO
WITHIN 100 M. OF SALT WATER	NO
MINIMUM AHD FLOOR LEVEL APPLICABLE	-

+/- 100mm TOLERANCE TO NOMINATED FINISHED FLOOR LEVELS.
SUBJECT TO MAXIMUM DRIVEWAY PROFILE AND/OR ANY FLOOD RELATED LEVELS

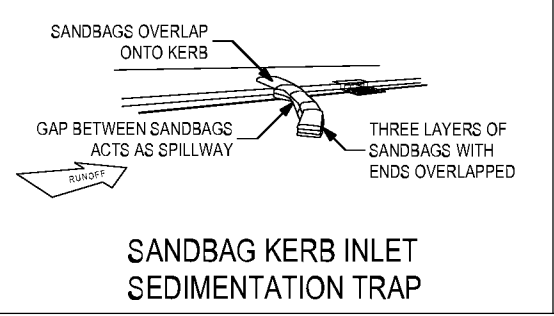
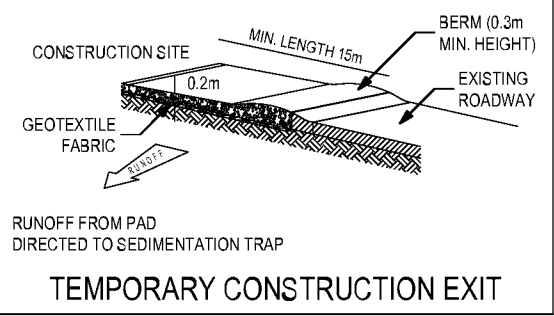
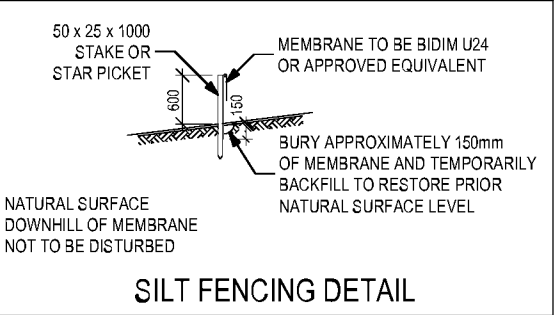


AGGRESSIVE SOIL REQUIREMENTS
PROVIDE ADDITIONAL STRUCTURAL REQUIREMENTS, DUE TO BUILDING IN AN 'AGGRESSIVE SOIL ENVIRONMENT'. THIS SHALL INCLUDE THE FOLLOWING:-

- PROVIDE 25MPa CONCRETE TO THE PIERS AND FLOOR SLABS IN LIEU OF STANDARD.
- PROVIDE HIGH IMPACT MEMBRANE BELOW THE FLOOR SLAB.
- PROVIDE A MIN. 50mm BLINDING LAYER OF SAND UNDERNEATH THE FLOOR STRUCTURE.
- PROVIDE POLYETHYLENE DAMP PROOF COURSE TO THE EXTERNAL WALLS IN LIEU OF STANDARD.
- USE EXPOSURE GRADE MORTAR BELOW DAMP PROOF COURSE IN LIEU OF STANDARD.
- USE EXPOSURE GRADE BRICKWORK FROM OUR STANDARD RANGE BELOW THE DAMP PROOF COURSE.

LANDSCAPING AND DESIGN TO COMPLY WITH DEVELOPER'S REQUIREMENTS BY OWNER.

CLIENT TO REMOVE TREES, STUMPS, ROOTS AND SLASH/SCRAPE LONG GRASS AND UNDERGROWTH FROM BUILDING AREA. WHERE STUMPS HAVE BEEN REMOVED THE GROUND IS TO BE FILLED AND COMPACTED.



THIS PLAN ACCEPTED BY:

PLEASE NOTE: NO VARIATIONS WILL BE ACCEPTED ON THIS PLAN AFTER SIGNING

SIGNATURE:

DATE:



SPECIFICATION:

se
stuarterevittcollection

www.mcdonaldjoneshomes.com.au
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	DRAWING	DRAWN
1	PRELIMINARY PLANS	NMA 2015.10.26
2	CONTRACT PLANS	JCR 2016.04.05
3	ALL REPORTS	JAQ 2016.07.18
4	BASIX CERTIFICATE	PVA 2016.07.29

CLIENT: Mr. JAMES AGIUS & Mrs. TENILLE AGIUS			LOT No: 6218	
ADDRESS: NINTH AVENUE			DP No: 1211124	
SUBURB: JORDAN SPRINGS	POSTCODE: 2747	COUNCIL: PENRITH	SECTION No: -	

HOUSE DESIGN: BRONTE EXCEUTIVE LODGE		HOUSE CODE: H-BROCLAS13400	
FACADE DESIGN: PAVILLION		FACADE CODE: F-BROPV101	
SHEET TITLE: SITE PLAN		SCALES: 1:250	SHEET No: 2 / 13

DO NOT SCALE DRAWINGS, USE FIGURED DIMENSIONS ONLY. CHECK AND VERIFY DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. ALL DISCREPANCIES TO BE REPORTED TO THE DRAFTING OFFICE.

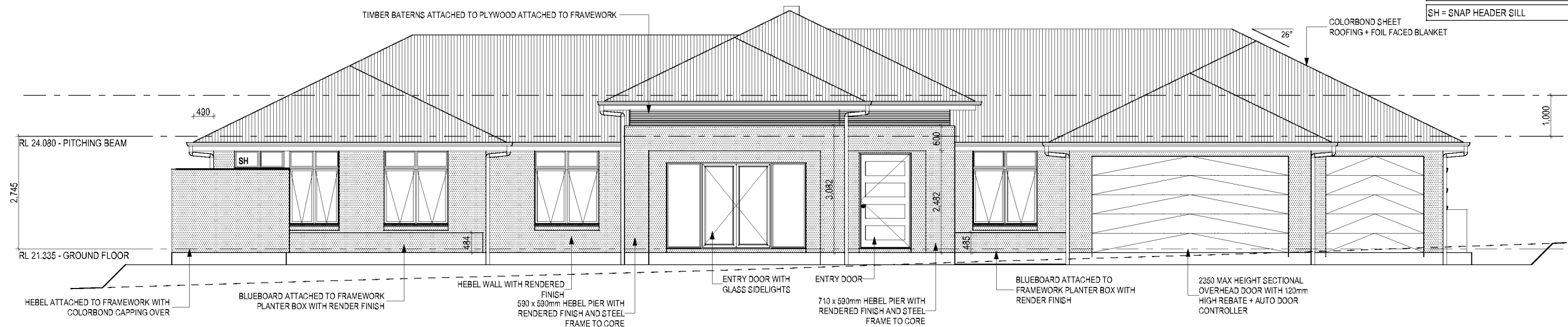
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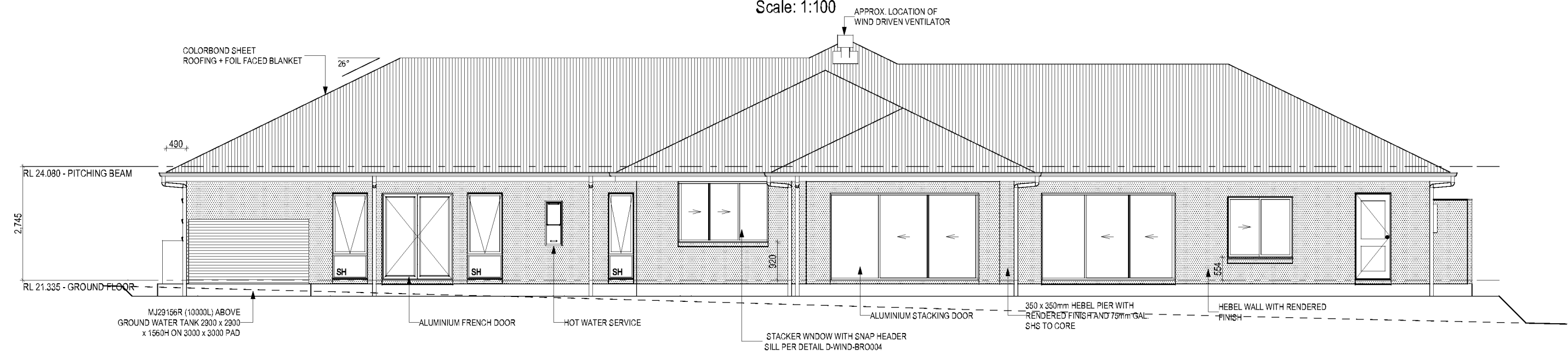
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SH = SNAP HEADER SILL



FRONT ELEVATION
Scale: 1:100



REAR ELEVATION
Scale: 1:100

WINDOW TYPE LEGEND

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

GLASS TYPE LEGEND

CLEAR	OBSCURE	ACOUSTIC	LOW-E	TONED

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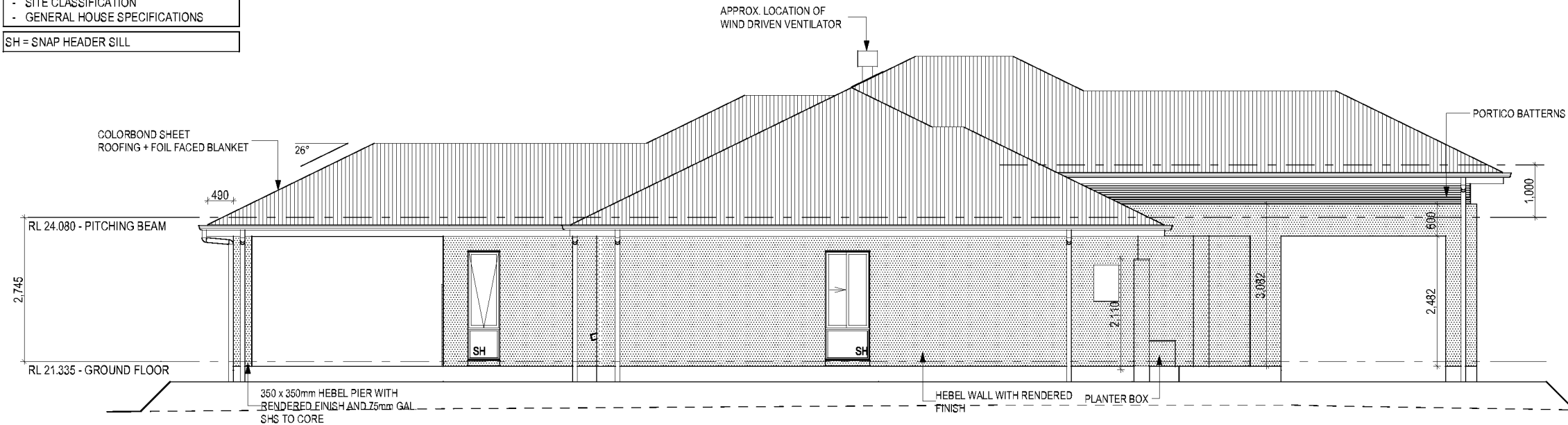
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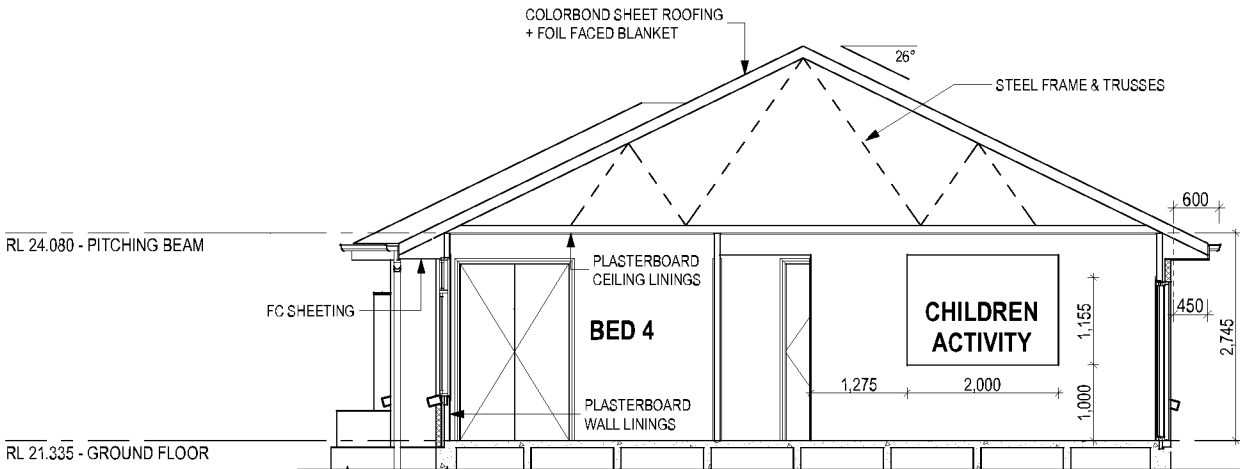
LEFT ELEVATION
Scale: 1:100

WINDOW TYPE LEGEND

AWNING	DOUBLE HUNG	FIXED	LOUVRE	SLIDING

GLASS TYPE LEGEND

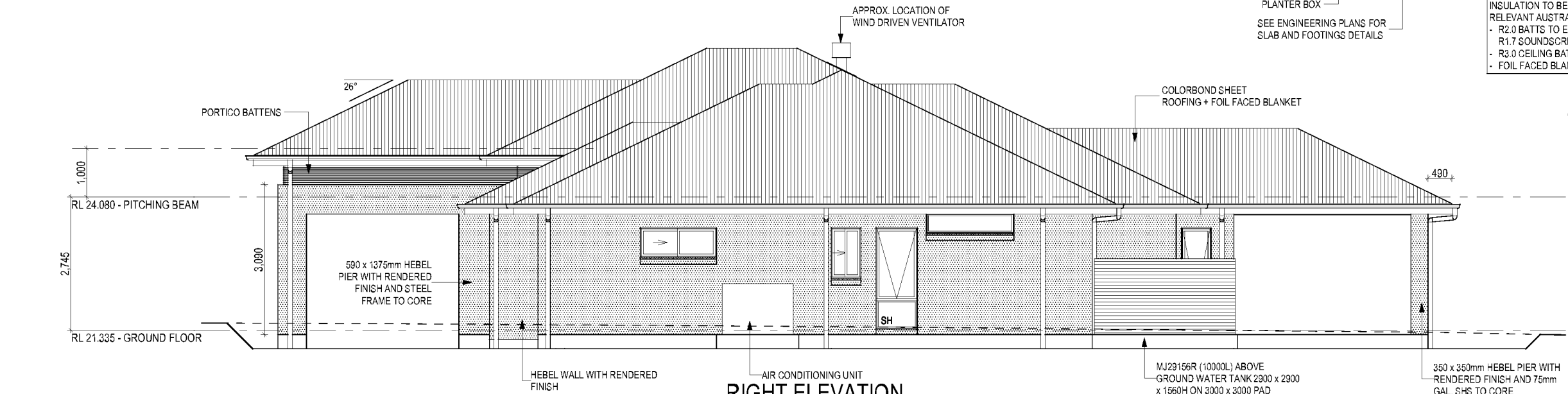
CLEAR	OBSCURE	ACOUSTIC	LOW-E	TONED



INSULATION TO BE INSTALLED IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS:

- R2.0 BATTS TO EXTERNAL WALLS (EXCLUDING GARAGE)
- R1.7 SOUNDSCREEN TO MASTER SUITE / HOME THEATRE / BED 3
- R3.0 CEILING BATTS (EXCLUDING GARAGE & PATIO)
- FOIL FACED BLANKET UNDER ROOFING

SECTION A-A
Scale: 1:100



RIGHT ELEVATION
Scale: 1:100

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DATE: