

CUT & FILL BUILDING AREA TO RL 19.615 APPROX. TO CREATE LEVEL BUILDING PLATFORM FOR WAFFLE POD SLAB

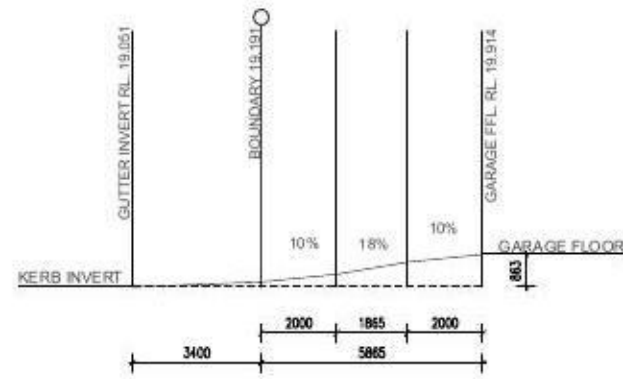
CUT - LINE

NOTE: THIS SITING IS SUBJECT TO THE DEVELOPERS APPROVAL. BUILDER TO OBTAIN PRIOR TO PERMIT APPLICATION.

NOTE: THIS SITING HAS BEEN PREPARED BASED ON THE ADJOINING PROPERTIES/Y BEING VACANT. SHOULD A SIGNIFICANT AMOUNT OF TIME PASS BEFORE THE BUILDING PERMIT IS APPLIED FOR, AN UPDATED SURVEY MAY BE REQUIRED TO CONFIRM THE ADJOINING PROPERTIES/Y STATUS. THE RESCODE REQUIREMENTS MAY NEED TO BE RE-EVALUATED AND MAY CAUSE CHANGES TO THE SITING/HOUSE.

NOTE: THIS SITING HAS BEEN PREPARED BASED ON THE AVAILABLE INFORMATION FROM THE RELEVANT LOCAL COUNCIL AND/OR OTHER AUTHORITIES THAT IS NOT COMPLETE OR HAVE NOT BEEN FINALISED DUE TO THE TITLES NOT YET BEEN RELEASED IN THIS SUBDIVISION. ONCE THIS INFORMATION IS RELEASED IT WILL BE EXAMINED. THIS MAY REVEAL THE REQUIREMENT FOR ADDITIONAL WORKS AND THE SITING MAY CHANGE.

NOTE: ALL EXISTING STREET TREES AND VERGE PLANTING TO BE PROTECTED DURING CONSTRUCTION



NOTE: DRIVEWAY IS DESIGNED IN ACCORDANCE WITH AS 2890.1 - 2004

SITE COVERAGE ANALYSIS

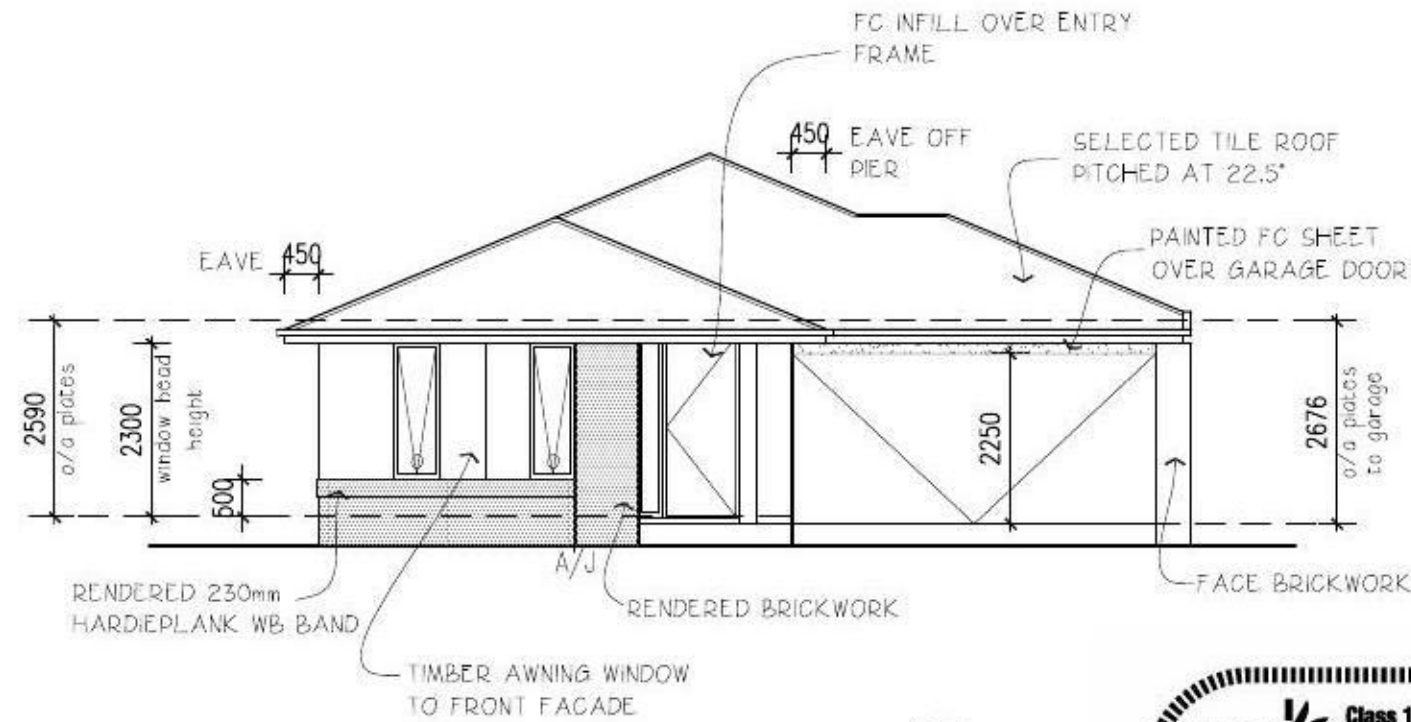
Roof Area	252.0 sqm	67.2 %
Ground Floor	174.7 sqm	
Garage	36.2 sqm	
Porch	2.7 sqm	
Alfresco	12.9 sqm	
Building	226.5 sqm	60.4 %
Hard Surface	32.9 sqm	8.7 %
Permeable	115.6 sqm	30.9 %
Total Area	375.0 sqm	100.0 %

PRELIMINARY DRAWINGS

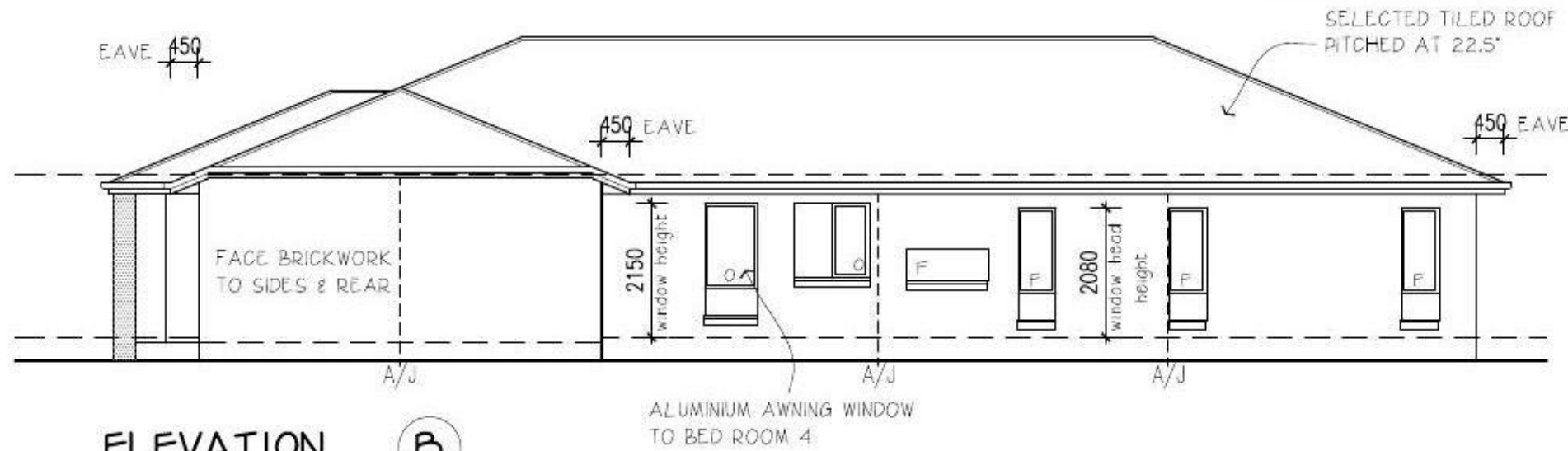
9.10.12	REV A PRELIM PLANS	JS
DATE	REVISION	DRAWN

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	DRAWN	JS	D.P	XXXXXX	For	EDGEWATER HOMES			
	CHECKED	(CHKBY)	JOB No.	200039	At	LOT 2201 ADINA STREET JORDAN SPRINGS			
SCALE	1:200	Date:	09/10/2012						

TABLE OF BASIX COMMITMENTS	
PROJECT ADDRESS: LOT 2201 ADINA STREET JORDAN SPRINGS	
CERTIFICATE NO.: 5	
WATER	
- DEVELOPMENT TO BE CONNECTED TO 2,000LT RAINWATER TANK.	
- RAINWATER TANK CONFIGURED TO COLLECT AT LEAST 200m ² ROOF RUN OFF.	
- TOILETS, WASHING MACHINE AND 1 OUTDOOR TAP TO BE CONNECTED TO THE RAINWATER TANK.	
- ALL SHOWER HEADS, TOILETS, KITCHEN TAPS AND BASIN TAPS TO BE 3 STAR RATED.	
THERMAL	
- ROOF INSULATION: NONE.	
- CEILING INSULATION: R2.5	
- WALL INSULATION: R1.5	
- EXTERNAL WALL: BRICK VENEER COLOUR: DARK	
- ROOFING: TILED COLOUR: DARK	
- GLAZING: ALL ALUMINIUM WINDOWS TO BE SINGLE CLEAR GLAZED WITH U VALUE OF 6.57 & SHGC OF 0.74	
- TIMBER WINDOWS TO MASTER SUITE AND REAR FAMILY / DINING STACKER DOORS TO BE SINGLE, CLEAR GLAZED, TIMBER FRAMED WITH A U VALUE OF 5.55 AND SHGC OF 0.73	
ENERGY	
- HOT WATER SYSTEM: GAS INSTANTANEOUS HWS WITH A PERFORMANCE OF 5 STARS OR BETTER.	
- DEVELOPMENT WILL NOT INCORPORATE ANY COOLING/HEATING SYSTEM.	
- KITCHEN: INDIVIDUAL FAN, DUCTED (RANGEHOOD), OPERATION CONTROL, MANUAL SWITCH.	
- BATHROOM: INDIVIDUAL FAN, NOT DUCTED, OPERATION CONTROL, MANUAL SWITCH.	
- LAUNDRY: NATURAL VENTILATION.	
- WINDOW AND/OR SKYLIGHT TO KITCHEN FOR NATURAL LIGHTING.	
- WINDOW AND/OR SKYLIGHT TO BATHROOMS (2/TOILET IS) FOR NATURAL LIGHTING.	
- GAS COOKTOP AND ELECTRIC OVEN TO BE INSTALLED IN THE KITCHEN.	



ELEVATION (A)



ELEVATION (B)

PRELIMINARY DRAWINGS

DATE	REVISION	DRAWN
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ELEVATIONS

DRAWN	JS	
CHECKED	(CHKBY)	JOB No. 200039
SCALE	1:100	Date: 09/10/2012

HAND RH SHT 3

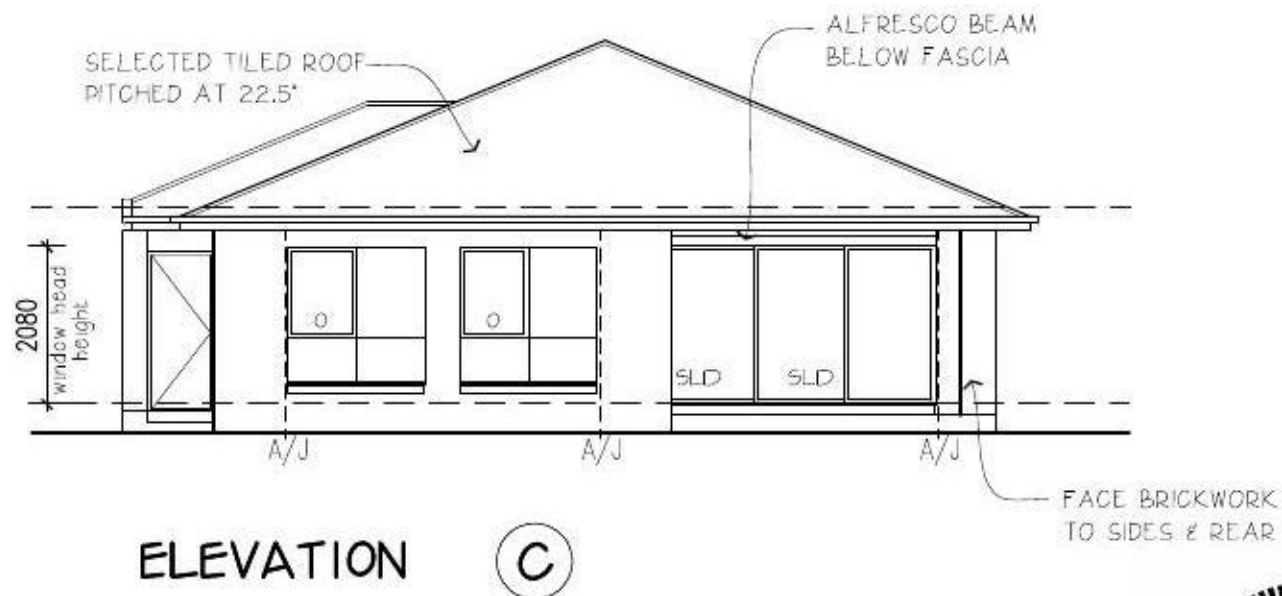
Luca 4

For	EDGEWATER HOMES
At	LOT 2201 ADINA STREET JORDAN SPRINGS

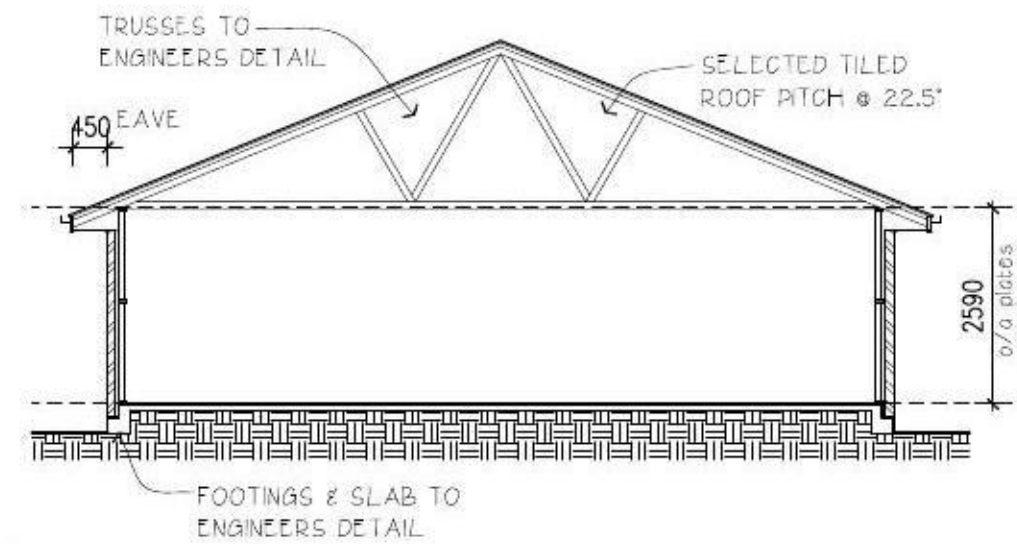
Regent

EDGEWATER HOMES

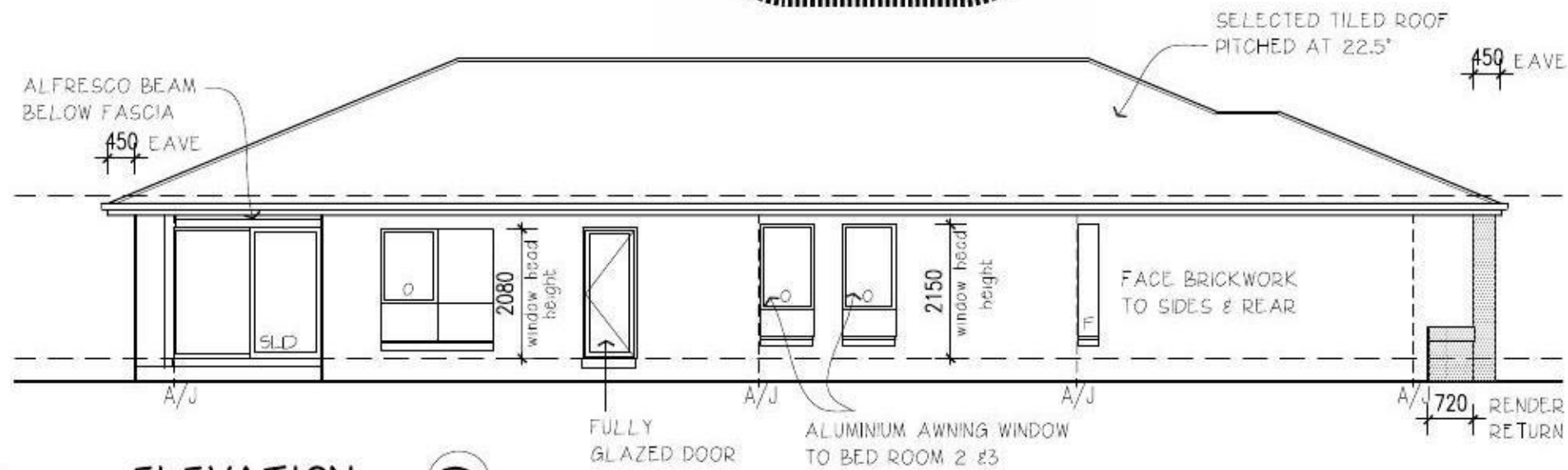
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ELEVATION C



TYPICAL_SECTION



ELEVATION D

PRELIMINARY DRAWINGS

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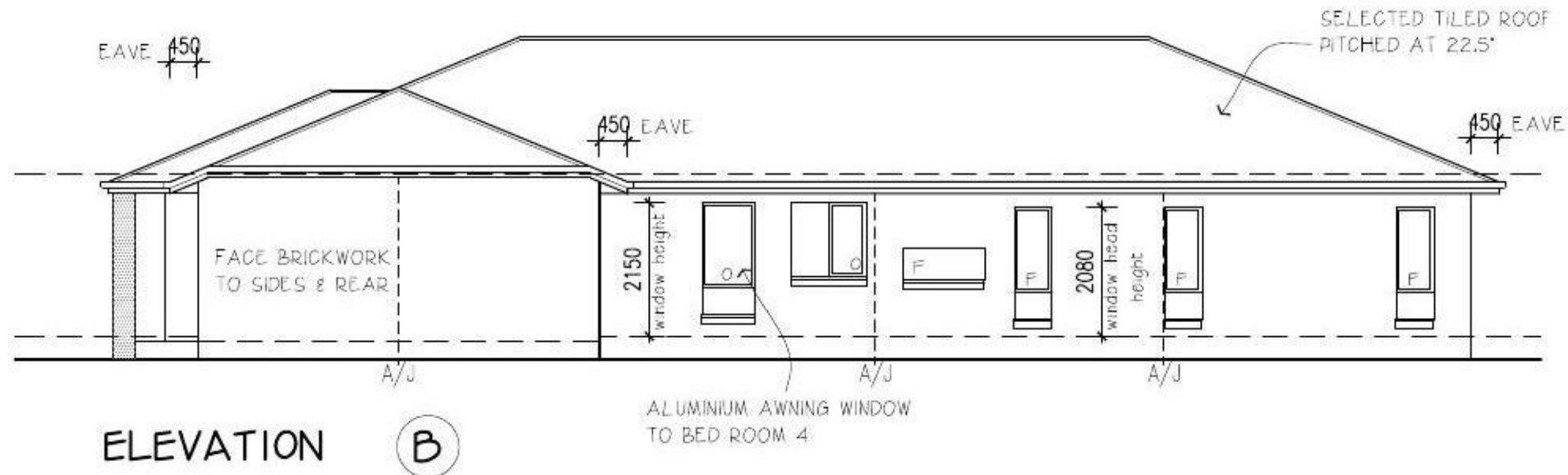
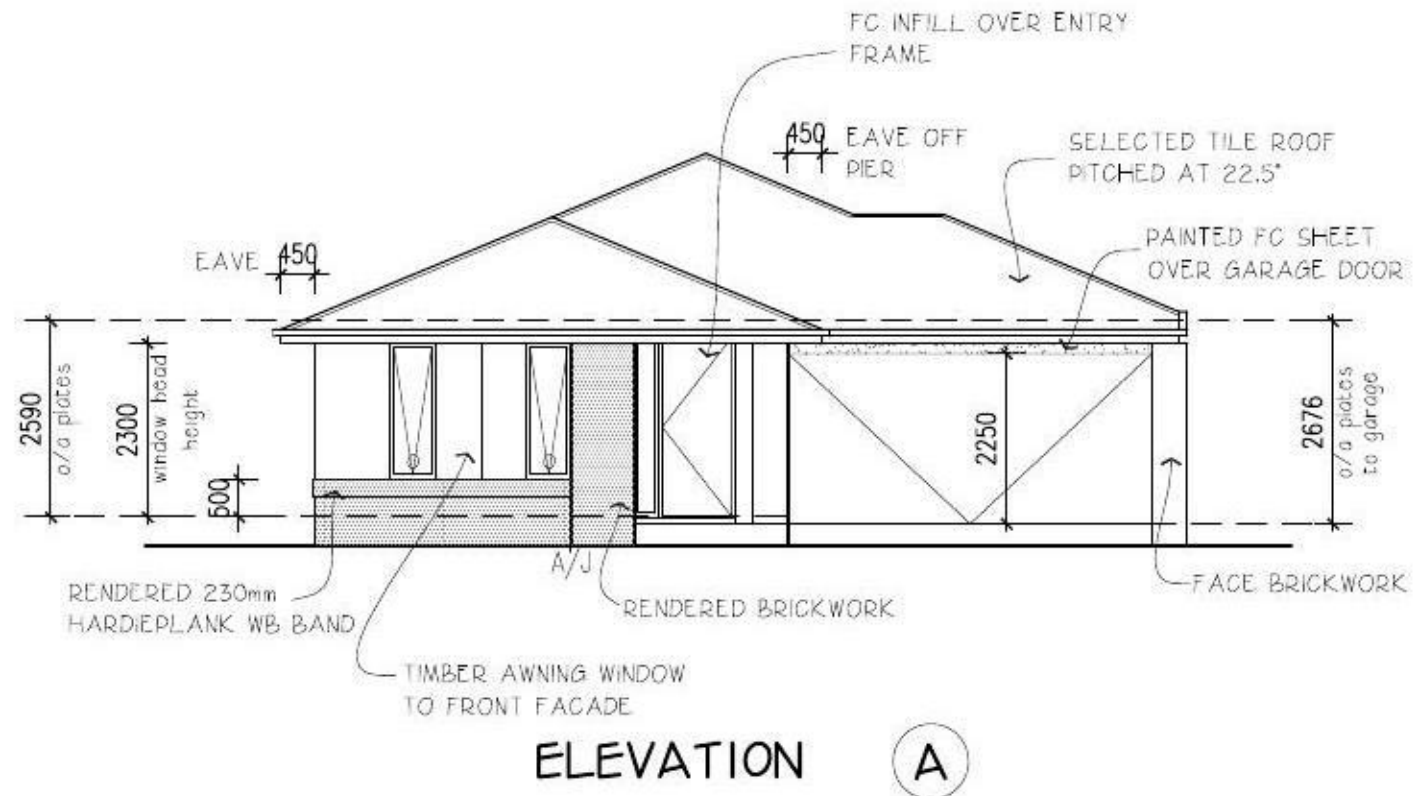
ELEVATIONS		HAND	RH	SHT	3A
DRAWN	JS				
CHECKED	(CHKBY)	JOB No.	200039		
SCALE	1:100	Date:	09/10/2012		

	Luca 4	Regent
For	EDGEWATER HOMES	
At	LOT 2201 ADINA STREET JORDAN SPRINGS	

EDGEWATER HOMES

PO Box 550 Moorebank NSW 1875
Ph: 9623 7526 Fax: 9673 5560

TABLE OF BASIS COMMITMENTS	
PROJECT ADDRESS: LOT 2201 ADINA STREET JORDAN SPRINGS	
CERTIFICATE NO.: 5	
WATER	
- DEVELOPMENT TO BE CONNECTED TO 2,000LT RAINWATER TANK.	
- RAINWATER TANK CONFIGURED TO COLLECT AT LEAST 200m2 ROOF RUN OFF.	
- TOILETS, WASHING MACHINE AND 1 OUTDOOR TAP TO BE CONNECTED TO THE RAINWATER TANK.	
- ALL SHOWER HEADS, TOILETS, KITCHEN TAPS AND BASIN TAPS TO BE 3 STAR RATED.	
THERMAL	
- ROOF INSULATION: NONE.	
- CEILING INSULATION: R2.5	
- WALL INSULATION: R1.5	
- EXTERNAL WALL: BRICK VENEER COLOUR: DARK	
- ROOFING: TILED COLOUR: DARK	
- GLAZING: ALL ALUMINIUM WINDOWS TO BE SINGLE CLEAR GLAZED WITH U VALUE OF 6.57 & SHGC OF 0.74	
- TIMBER WINDOWS TO MASTER SUITE AND REAR FAMILY / DINING STACKER DOORS TO BE SINGLE, CLEAR GLAZED, TIMBER FRAMED WITH A U VALUE OF 5.55 AND SHGC OF 0.73	
ENERGY	
- HOT WATER SYSTEM: GAS INSTANTANEOUS HWS WITH A PERFORMANCE OF 5 STARS OR BETTER.	
- DEVELOPMENT WILL NOT INCORPORATE ANY COOLING/HEATING SYSTEM.	
- KITCHEN: INDIVIDUAL FAN, DUCTED (RANGEHOOD), OPERATION CONTROL, MANUAL SWITCH.	
- BATHROOM II: INDIVIDUAL FAN, NOT DUCTED, OPERATION CONTROL, MANUAL SWITCH.	
- LAUNDRY: NATURAL VENTILATION.	
- WINDOW AND/OR SKYLIGHT TO KITCHEN FOR NATURAL LIGHTING.	
- WINDOW AND/OR SKYLIGHT TO BATHROOMS (2/TOILET 1) FOR NATURAL LIGHTING.	
- GAS COOKTOP AND ELECTRIC OVEN TO BE INSTALLED IN THE KITCHEN.	



PRELIMINARY DRAWINGS

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ELEVATIONS

DRAWN	JS	
CHECKED	(CHKBY)	JOB No. 200039
SCALE	1:100	Date: 09/10/2012

HAND RH SHT 3

Luca 4

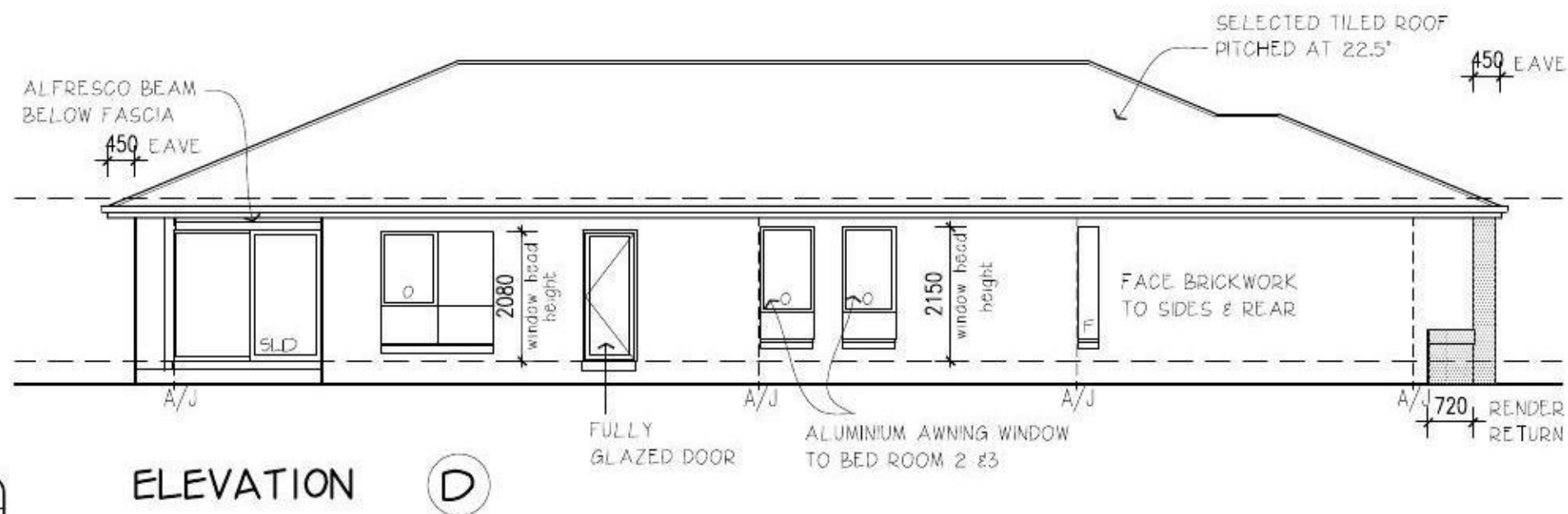
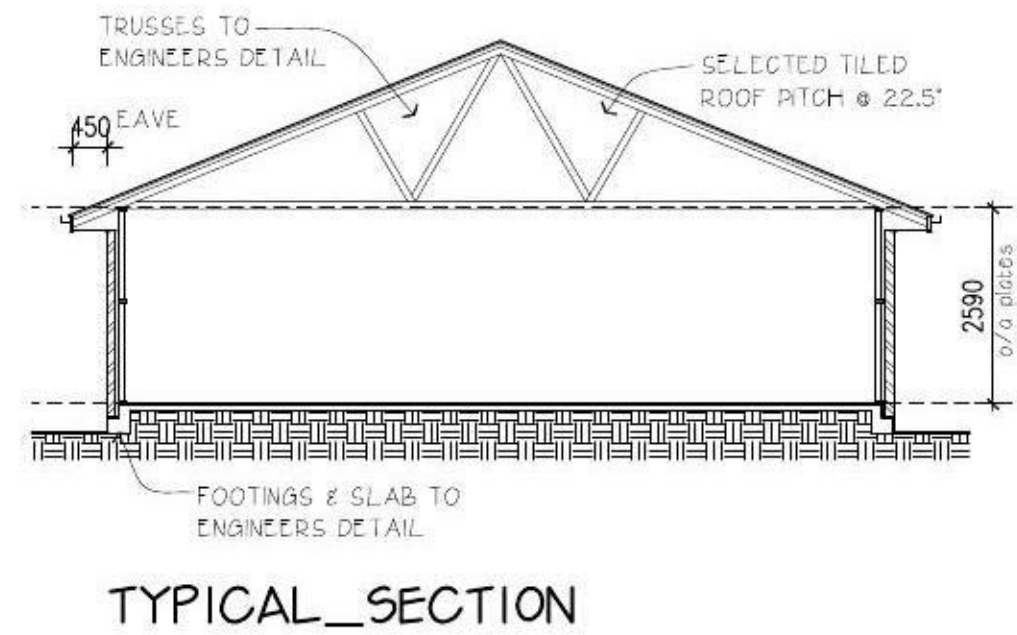
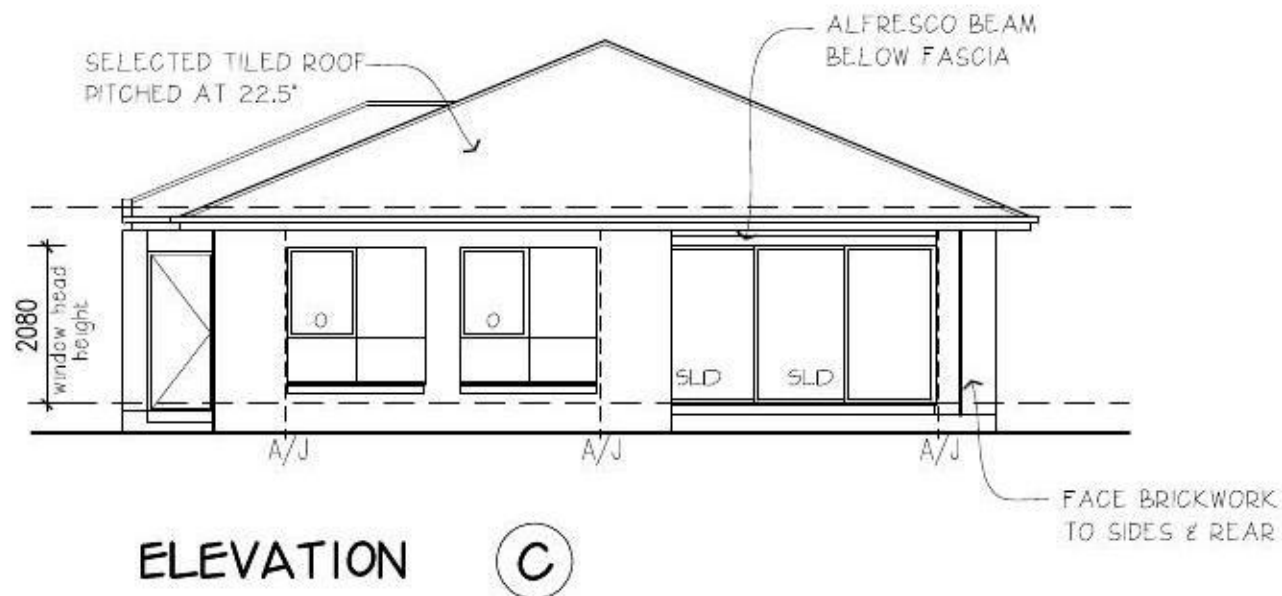
Regent

For EDGEWATER HOMES

At LOT 2201 ADINA STREET JORDAN SPRINGS

EDGEWATER HOMES

PO Box 550 Moorebank NSW 1875
 Ph: 9623 7526 Fax: 9673 5560



PRELIMINARY DRAWINGS

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DATE	REVISION	DRAWN

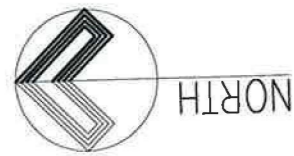
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ELEVATIONS		HAND	RH	SHT	3A
DRAWN	JS				
CHECKED	(CHKBY)	JOB No.	200039		
SCALE	1:100	Date:	09/10/2012		

	Luca 4	Regent
For	EDGEWATER HOMES	
At	LOT 2201 ADINA STREET JORDAN SPRINGS	

EDGEWATER HOMES

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 Ph: 9623 7526 Fax: 9673 5560



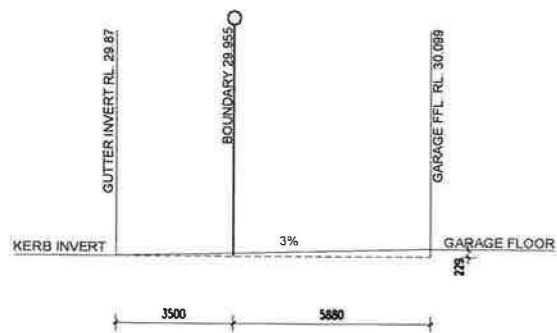
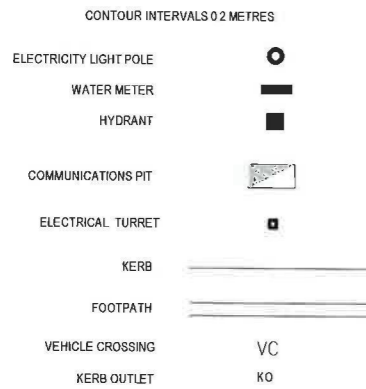
Jordan Springs - Illoura Village Notes:

(THESE NOTES MUST BE ADDED TO YOUR SITE AND LANDSCAPE PLANS)

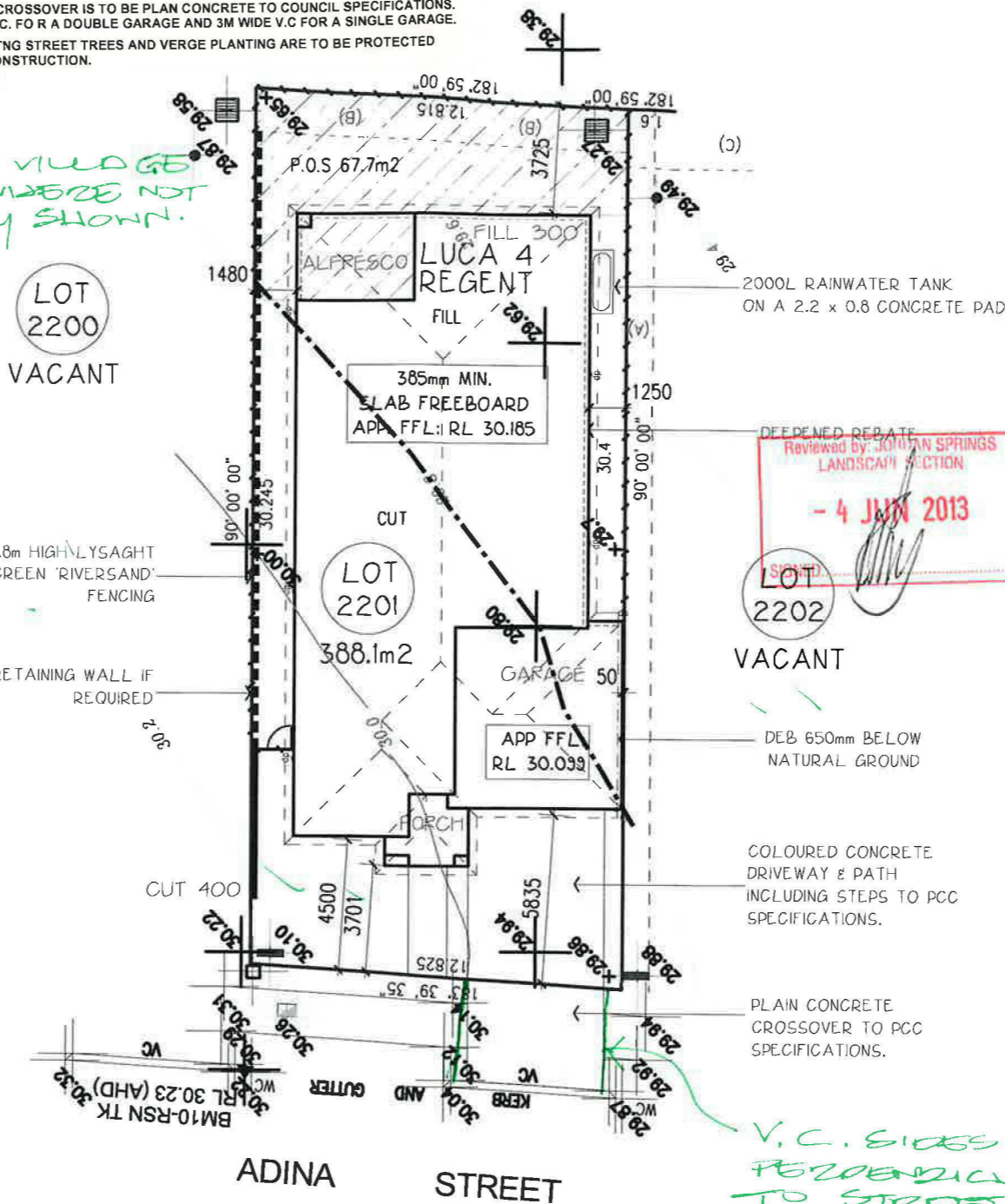
- ANY GARDEN OR LAWN EDGING VISIBLE FROM THE STREET IS TO BE CONSTRUCTED OF MASONRY TEXTURED OR COLOURED BRICKS, BLOCKS OR COLOURED CONCRETE - NO TIMBER EDGING IS PERMITTED.
- ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900MM HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION.
- VEHICLE CROSSOVER IS TO BE PLAN CONCRETE TO COUNCIL SPECIFICATIONS. 5M WIDE V.C. FOR A DOUBLE GARAGE AND 3M WIDE V.C. FOR A SINGLE GARAGE.
- ALL EXISTNG STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.

Provides Illoura Village Notes where not already shown.

- (A) EASEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE
- (B) EASEMENT TO DRAIN WATER 1.5 WIDE
- (C) EASEMENT TO DRAIN WATER 2 WIDE



NOTE: DRIVEWAY IS DESIGNED IN ACCORDANCE WITH AS 2890.1 - 2004



CUT & FILL BUILDING AREA TO RL 29.80 APPROX. TO CREATE LEVEL BUILDING PLATFORM FOR WAFFLE POD SLAB

CUT - LINE

NOTE: THIS SITING IS SUBJECT TO THE DEVELOPERS APPROVAL. BUILDER TO OBTAIN PRIOR TO PERMIT APPLICATION.

NOTE: THIS SITING HAS BEEN PREPARED BASED ON THE ADJOINING PROPERTIES/Y BEING VACANT. SHOULD A SIGNIFICANT AMOUNT OF TIME PASS BEFORE THE BUILDING PERMIT IS APPLIED FOR, AN UPDATED SURVEY MAY BE REQUIRED TO CONFIRM THE ADJOINING PROPERTIES/Y STATUS. THE RECODE REQUIREMENTS MAY NEED TO BE RE-EVALUATED AND MAY CAUSE CHANGES TO THE SITING/HOUSE.

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NOTE: ALL EXISTING STREET TREES AND VERGE PLANTING TO BE PROTECTED DURING CONSTRUCTION

NOTE: ANY RETAINING WALL VISABLE FROM THE STREET OR 900mm HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION

SITE COVERAGE ANALYSIS

Category	Area (sqm)	Percentage (%)
Roof Area	252.0	67.2
Ground Floor	174.7	
Garage	36.2	
Porch	2.7	
Alfresco	12.9	
Building	226.5	58.3
Hard Surface	33.0	8.6
Permeable	128.6	33.1
Total Area	388.1	100.0

DATE	REVISION	DRAWN
22.5.13	REV A CONTRACT PLANS	JS

SITE PLAN

DRAWN JS	D.P 1168991
CHECKED (CHKBY)	JOB No. 200039
SCALE 1:200	Date: 22/05/20013

HAND RH SHT 1

Luca 4

Regent

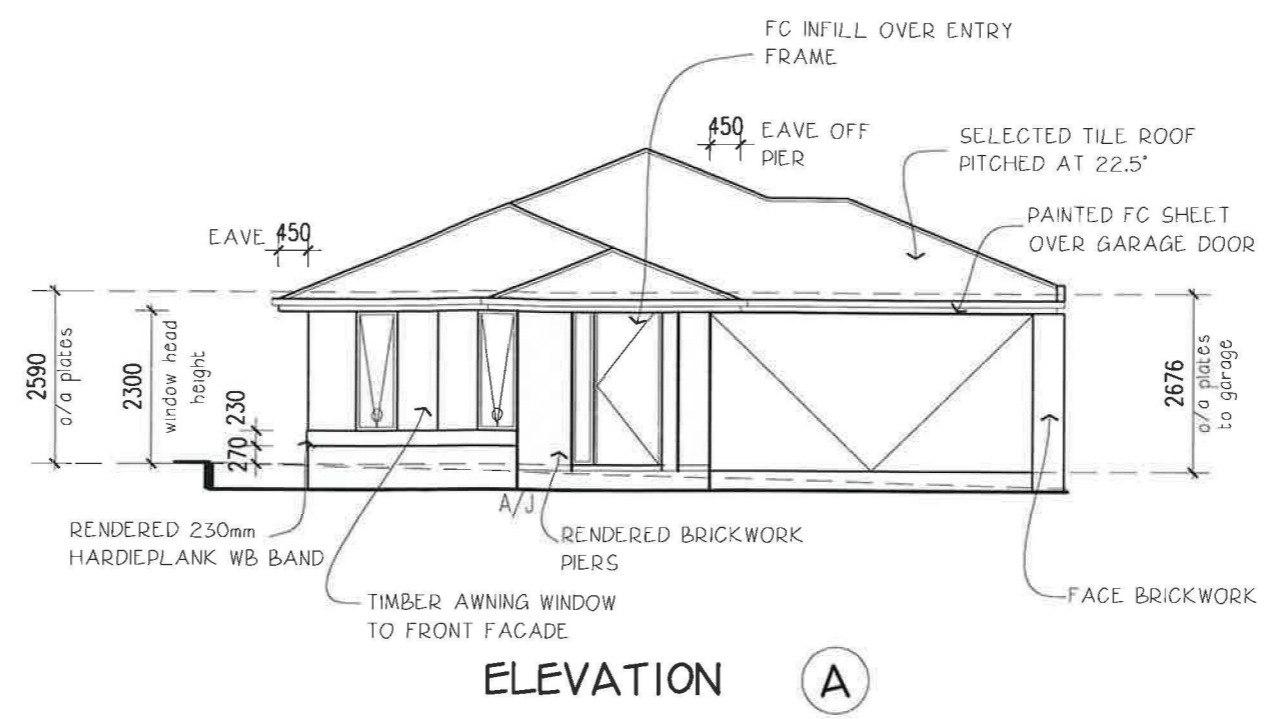
For EDGEWATER HOMES

At LOT 2201 ADINA STREET JORDAN SPRINGS

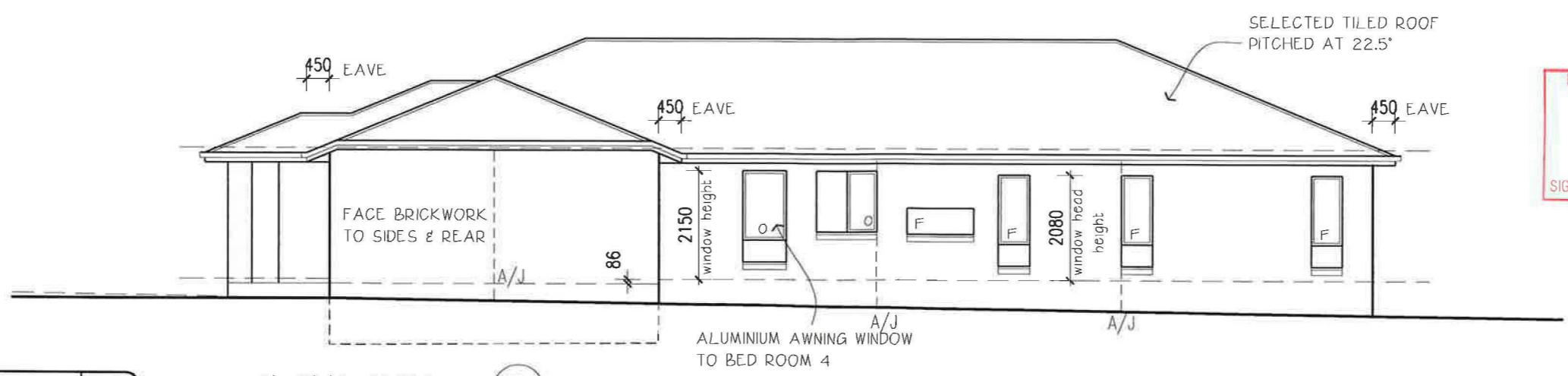
EDGEWATER HOMES

PO Box 550 Moorebank NSW 1875
Ph: 9623 7526 Fax:9673 5560

TABLE OF BASIX COMMITMENTS	
PROJECT ADDRESS: LOT 2201 ADINA STREET JORDAN SPRINGS	
CERTIFICATE NO.: 484766S	
WATER	
- DEVELOPMENT TO BE CONNECTED TO 2,000LT RAINWATER TANK.	
- RAINWATER TANK CONFIGURED TO COLLECT AT LEAST 20m ² ROOF RUN OFF.	
- TOILETS, WASHING MACHINE AND 1 OUTDOOR TAP TO BE CONNECTED TO THE RAINWATER TANK.	
- ALL SHOWER HEADS, TOILETS, KITCHEN TAPS AND BASIN TAPS TO BE 3 STAR RATED.	
THERMAL	
- ROOF INSULATION: NONE.	
- CEILING INSULATION: R2.5	
- WALL INSULATION: R1.5	
- EXTERNAL WALL: BRICK VENEER COLOUR: DARK	
- ROOFING: TILED COLOUR: DARK	
- GLAZING: ALL ALUMINIUM WINDOWS TO BE SINGLE CLEAR GLAZED WITH U VALUE OF 6.57 & SHGC OF 0.74	
- TIMBER WINDOWS TO MASTER SUITE AND REAR FAMILY / DINING STACKER DOORS TO BE SINGLE, CLEAR GLAZED, TIMBER FRAMED WITH A U VALUE OF 5.55 AND SHGC OF 0.75	
ENERGY	
- HOT WATER SYSTEM: GAS INSTANTANEOUS HWS WITH A PERFORMANCE OF 5 STARS OR BETTER.	
- SINGLE PHASE AC UNIT TO 1 LIVING AREA EER 3.0-3.5.	
- KITCHEN: INDIVIDUAL FAN, DUCTED (RANGEHOOD). OPERATION CONTROL, MANUAL SWITCH.	
- BATHROOM (B): INDIVIDUAL FAN, NOT DUCTED, OPERATION CONTROL, MANUAL SWITCH.	
- LAUNDRY: NATURAL VENTILATION.	
- WINDOW AND/OR SKYLIGHT TO KITCHEN FOR NATURAL LIGHTING.	
- WINDOW AND/OR SKYLIGHT TO BATHROOMS (2)/TOILET (S) FOR NATURAL LIGHTING.	
- GAS COOKTOP AND ELECTRIC OVEN TO BE INSTALLED IN THE KITCHEN.	
- WELL VENTILATED FRIDGE SPACE.	



ELEVATION (A)

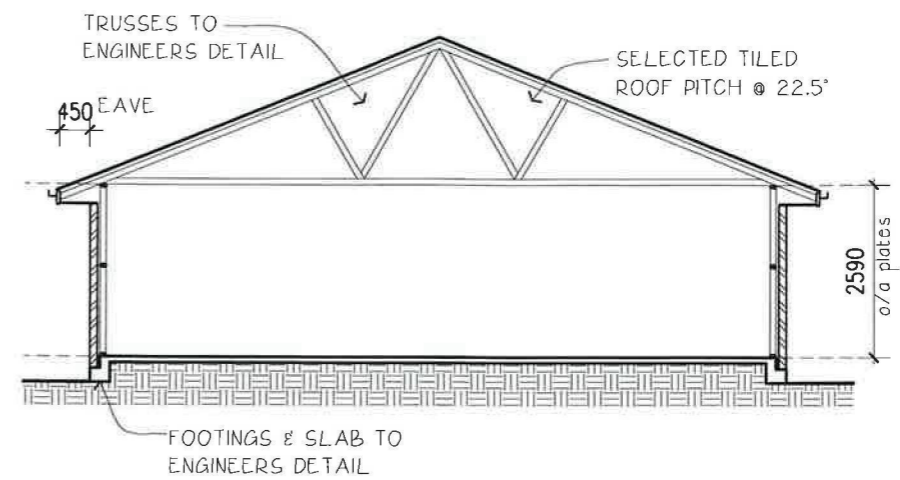
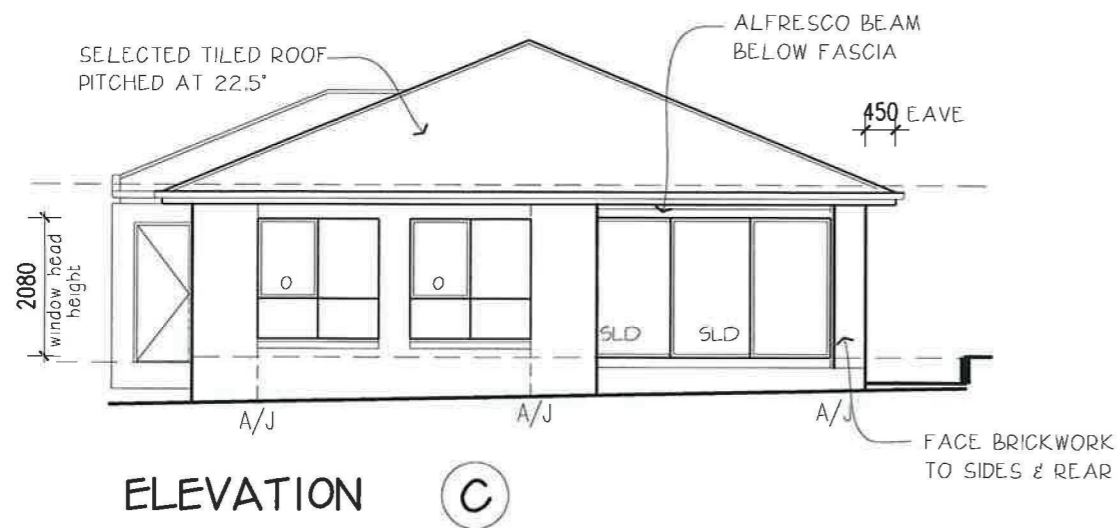


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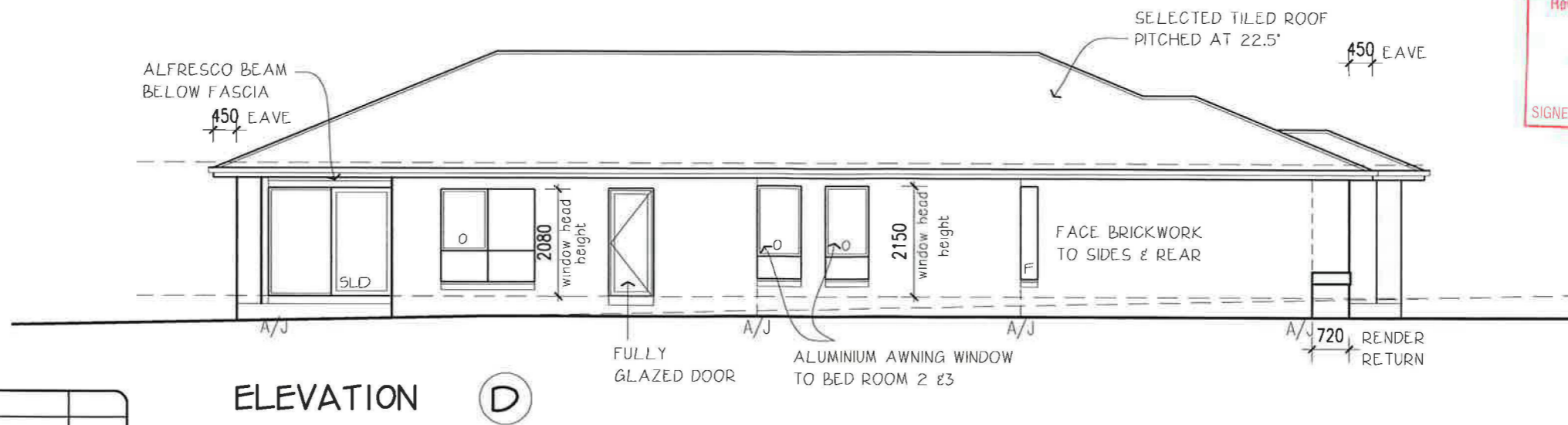
Reviewed by: JORDAN SPRINGS
LANDSCAPE SECTION
- 4 JUN 2013
SIGNED: [Signature]

DATE	REVISION	DRAWN
22.5.13	REV A CONTRACT PLANS	JS

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	DRAWN	JS					For	EDGEWATER HOMES	
	CHECKED	(CHKBY)	JOB No.	200039	At	LOT 2201 ADINA STREET JORDAN SPRINGS			
SCALE	1:100	Date:	22/05/2013						



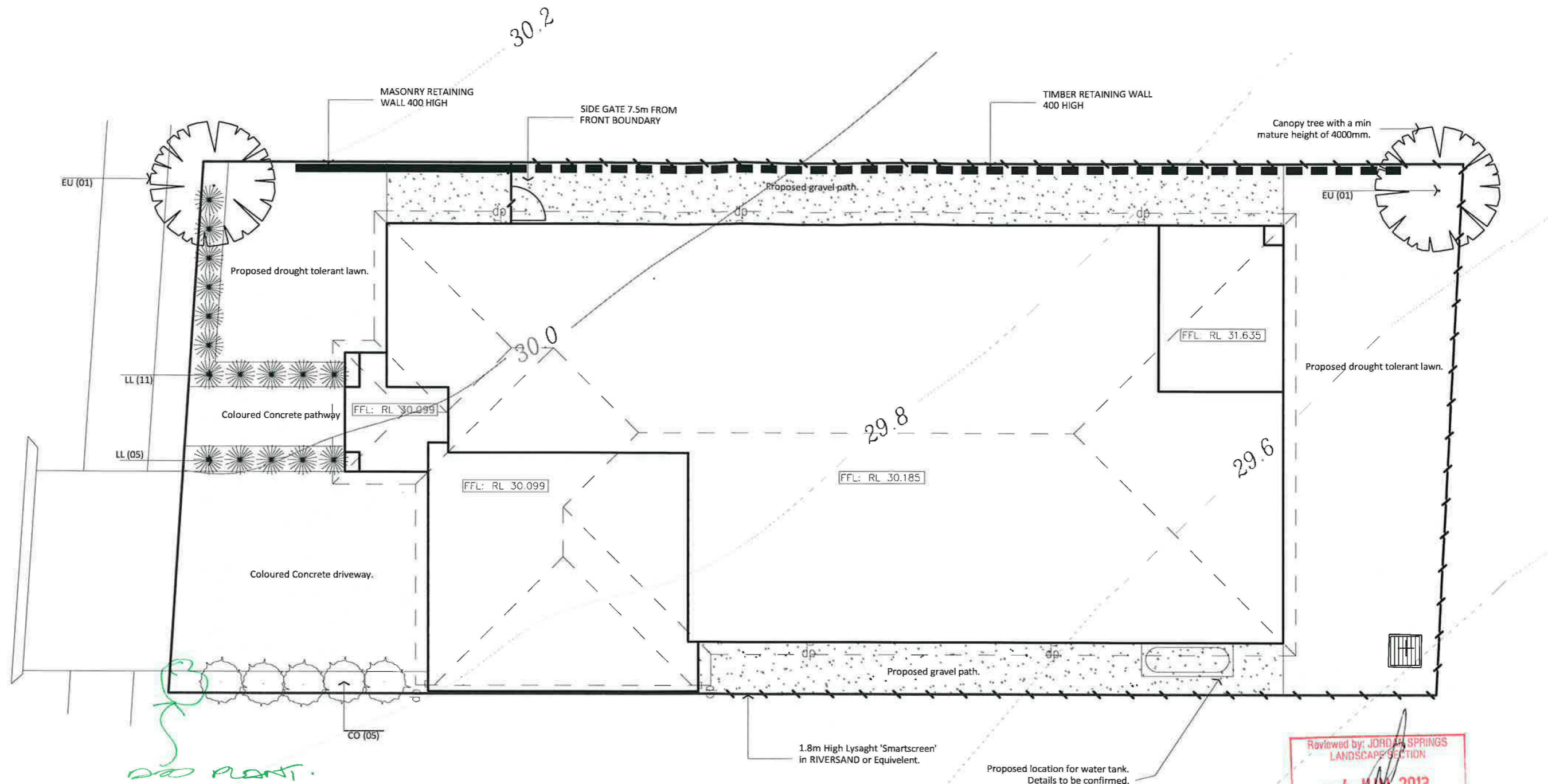
TYPICAL_SECTION



Reviewed by: JORDAN SPRINGS
LANDSCAPE SECTION
- 4 JUN 2013
SIGNED: *[Signature]*

22.5.13	REV A CONTRACT PLANS	JS
DATE	REVISION	DRAWN

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	DRAWN	JS					For	EDGEWATER HOMES	
	CHECKED	(CHKBY)	JOB No.	200039	At	LOT 2201 ADINA STREET JORDAN SPRINGS			
SCALE	1:100	Date:	22/05/20013						



NOTE: ANY RETAINING WALL VISABLE FROM THE STREET OR 900mm HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION

GARDEN EDGING VISABLE FROM THE STREET IS TO BE CONSTRUCTED OF TEXTURED OR COLOURED MASONRY BRICKS, BLOCKS OR COLOURED CONCRETE, NO TIMBER EDGING IS PERMITTED

Please note the following:

Coloured concrete driveway & path including steps to P.C.C specs, vehicle crossover in plain concrete to P.C.C spec. If required by edgewater.

Plain concrete crossover to P.C.C specification max 5000mm wide.

All existing street trees and verge planting are to be protected during construction.

Letterbox to complement the design of the house and in accordance with the fencing design guidelines.

PLANT SCHEDULE

Code	Botanical name	Common Name	Height (mm)	Width (mm)	Quantity	Pot Size @ Planting
CO*	<i>Correa alba</i>	White Correa	1000	1200	5	140mm
EU*	<i>Eucalyptus pauciflora</i> 'Little Snowman'	Little Snowman	6500	4000	2	300mm
LL*	<i>Lomandra longifolia</i> 'Tanika'	Tanika Lomandra	700	700	17	140mm

* Native plant selection

DATE	REVISION	DRAWN
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LANDSCAPING

DRAWN JS
CHECKED (CHKBY) JOB No. 200039
SCALE 1:100 Date: 22/05/20013

HAND RH SHT 1B

Luca 4

Regent

For EDGEWATER HOMES

At LOT 2201 ADINA STREET JORDAN SPRINGS

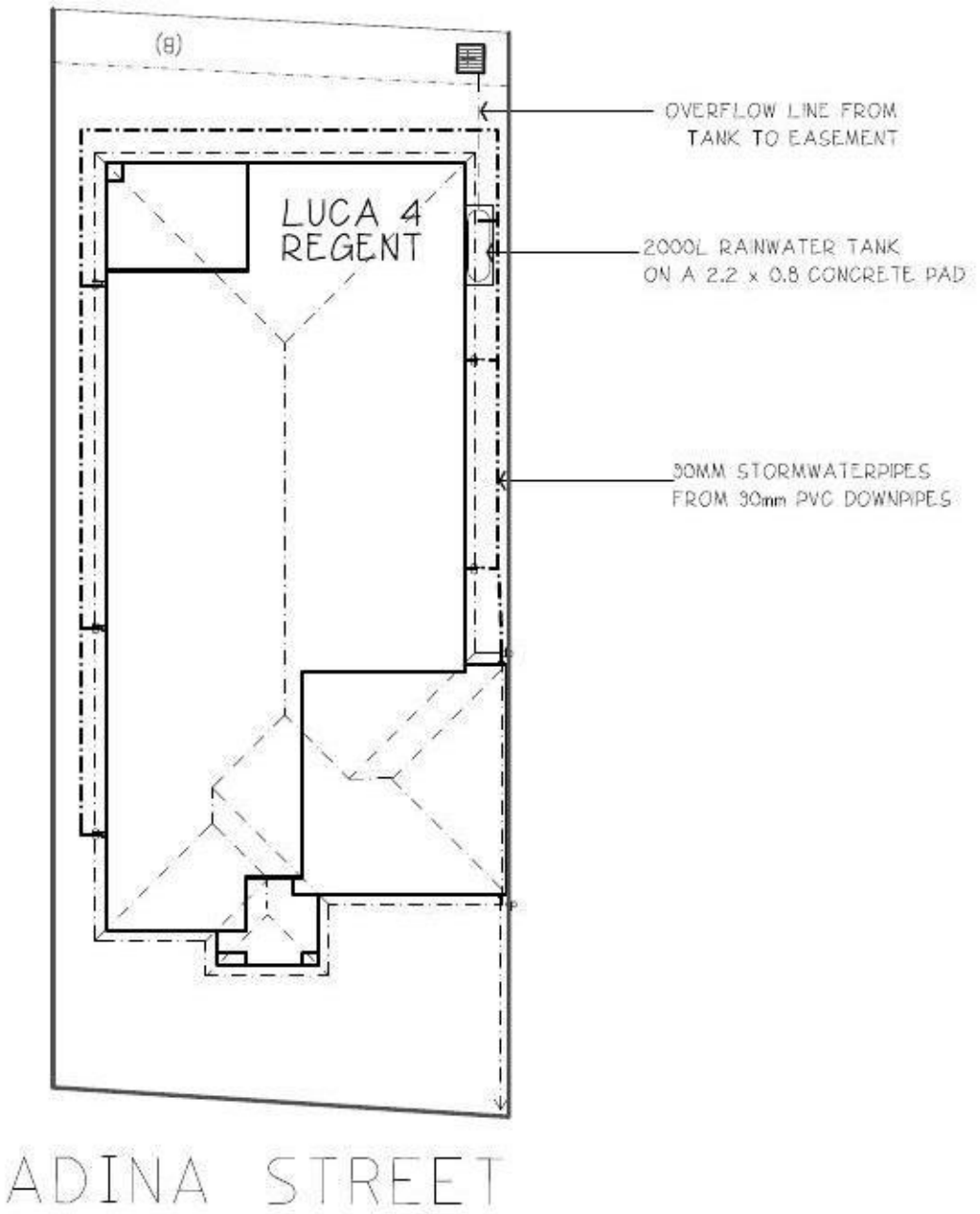
EDGEWATER HOMES

PO Box 550 Moorebank NSW 1875
Ph: 9623 7526 Fax: 9673 5560

NOTE: STORMWATER DRAINAGE IS TO BE
MINIMUM 600mm CLEAR FROM EDGE OF SLAB

STORMWATER DISPOSAL TO EASEMENT

STORMWATER - LINE



22.5.13	REV A CONTRACT PLANS	JS
DATE	REVISION	DRAWN

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	DRAWN JS	D.P 1168991								For	EDGEWATER HOMES
	CHECKED (CHKBY)	JOB No. 200039								At	LOT 2201 ADINA STREET JORDAN SPRINGS
SCALE 1:200	Date: 22/05/20013							PO Box 550 Moorebank NSW 1875 Ph: 9623 7526 Fax:9673 5560			