

15 April 2020

Planning Manager  
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To whom it may concern

## **NEPEAN VILLAGE, OUTDOOR DINING PRECINCT, PENRITH - HERITAGE IMPACT STATEMENT FOR SECTION 4.55(2) APPLICATION**

### **INTRODUCTION**

Urbis have been engaged by Vicinity Centres to prepare this Heritage Impact Statement (HIS) to accompany a Section 4.55 (2) application to modify works approved Development Application, DA19/0763.

Prior the preparation of this application a Pre-DA meeting took place with Council to discuss the proposed modifications to the approved DA. This meeting took place on 25<sup>th</sup> February 2020. On this occasion the Heritage advisors provided Urbis with the following comments:

- *The proposed covering/roofing of the pergola structure adjacent to the Kentucky Villa heritage item (Percy Plunkett), being the walkway area, should be unroofed/uncovered as per current consent condition number 15.*
- *The proposed covering/roofing of the pergola structure adjacent to the Victorian House heritage item (proposed future wine bar) should be a mix of open apertures and roof sheeting as currently proposed for the walkway adjacent the Kentucky Villa heritage item (Percy Plunkett).*
- *An addendum to the Heritage Impact Statement should be submitted which specifically addresses the air flow and visual impacts on the heritage items due to the proposed covering/roofing of the pergola structures.*
- *The proposed roller shutters should be replaced with another form of access control which is more respectful of the heritage items on the site (e.g. wrought iron gates).*
- *The modification application should be accompanied by 3D and perspective view plans of the proposal.*

Alterations to the plans have been made in response to these comments. These have been outlined below.

## THE SUBJECT SITE

### Heritage Listing

The subject property comprises two items of local significance identified in Schedule 5 Environmental heritage of the *Penrith Local Environmental Plan 2010* as follows:

- “Kentucky”, villa, 146 Station Street, Penrith (Item No I216); and
- Victorian house, 148 Station Street, Penrith (Item No 1217).

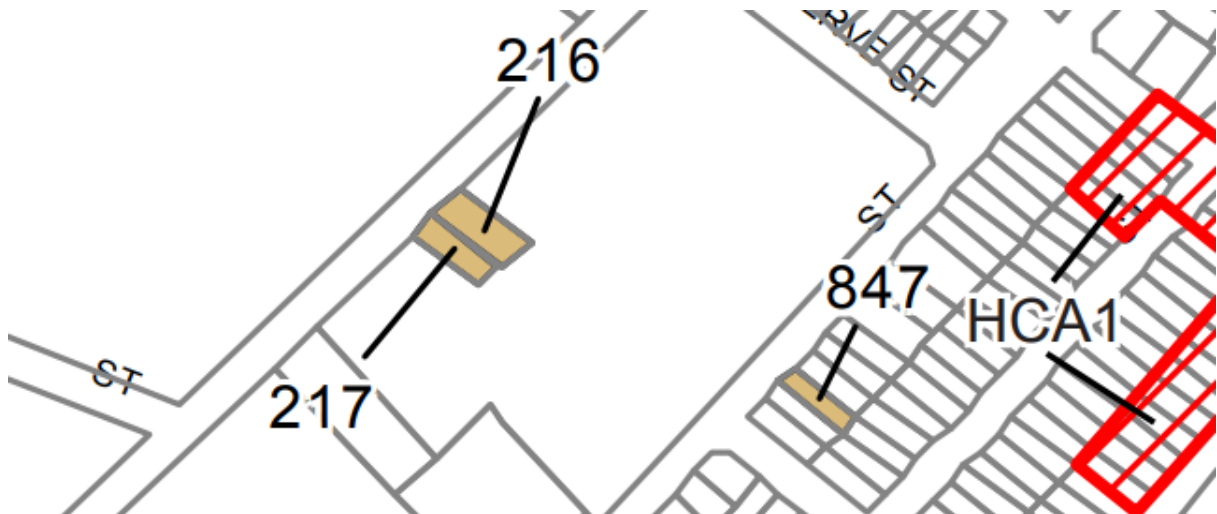


Figure 1 – Heritage Map. The subject site is outlined in blue.

Source: *Penrith Local Environmental Plan 2010, Heritage Map (HER\_006)*

### Site Location and Brief Description

The subject site forms part of the Nepean Village Shopping Centre, a local shopping centre which serves the Penrith population. This application specifically relates to four free standing brick buildings located on the Station Street frontage, being identified as Lot 11 DP 715161 and Lot 80 DP 709313, which contains a mix of dining and commercial uses including the Centre Management offices.

The two heritage items are located at 148 and 146 Station Street. These buildings are located along the Station Street frontage with the Kentucky villa currently occupied by the Percy Plunkett café. The Victorian house is currently vacant but was formerly uses as a commercial office building. The two buildings to the south of the site are not identified as heritage items and were built in the late 1980s. Both buildings provide ground floor food and drink premises with commercial offices located on the second storey of the two-storey building located on the south-west corner of the site. These buildings have been designed to mimic the heritage characteristics of the Station Street buildings.

Pedestrian access is available from the Station Street frontage through the site to the main shopping centre via a pedestrian crossing in the car park. Tenancies face outwards towards the car park (to the east and west) with internal space currently paved courtyard area with access to back of house facilities for tenants.

Car parking serving these tenancies located within the general shopping centre car park.



Figure 2 – Location of the subject site (outlined in red).

Source: Six Maps, 2020.

146 Station Street is a single storey Victorian brick late nineteenth century building with a cross-gabled roof. The building is located close to the street building line and has a front elevation with verandah and projecting wing with a gabled roof and bay window. 146 Station Street was constructed c.1886-1890.

148 Station Street is a modest single storey Victorian brick late nineteenth century building with a hipped roof sheeted in corrugated Colour bond steel and boxed eaves. The building is located close to the street building line and has a symmetrical front elevation with verandah with bullnose profiled roof. The face brick masonry incorporates contrasting coloured bricks. 148 Station Street was constructed c. 1886-1890.



Figure 3 – View east showing laneway through site, separating 146 and 148 Station Street

Source: Urbis, July 2019



Figure 4 – South elevation, 146 Station Street and new building to rear.

Source: Urbis, July 2019



Figure 5 – Rear (north east) elevation, 148 Station Street.

Source: Urbis, July 2019



Figure 6 – New building to east of 148 Station Street, occupied at ground floor by Nando's

Source: Urbis, July 2019



Figure 7 – View west showing courtyard at rear and side of 146 and 148 Station Street respectively.

Source: Urbis, July 2019



Figure 8 – Rear dining courtyard, Percy Plunkett Café, 146 Station Street

Source: Urbis, July 2019



Figure 9 – West elevation, 146 Station Street  
Source: Urbis, July 2019



Figure 10 – Front (west) elevation of 148 Station Street looking north to south. Front garden with picket fence.  
Source: Urbis, July 2019

## PROPOSED MODIFICATIONS

It is proposed to make the following alterations to the approved DA:

- New playground equipment in playground area.
- Awning above the playground area with multi-coloured translucent roof sheeting. Designed in the same style as the approved awning above the eating and walkway areas.
- Translucent roof sheeting to a portion of the outdoor seating areas. These areas have been shown clearly in green in the diagram below (Figure 11). Priority has been given to leaving the majority of the pergola immediately adjacent to the significant fabric unenclosed in accordance with council comments.

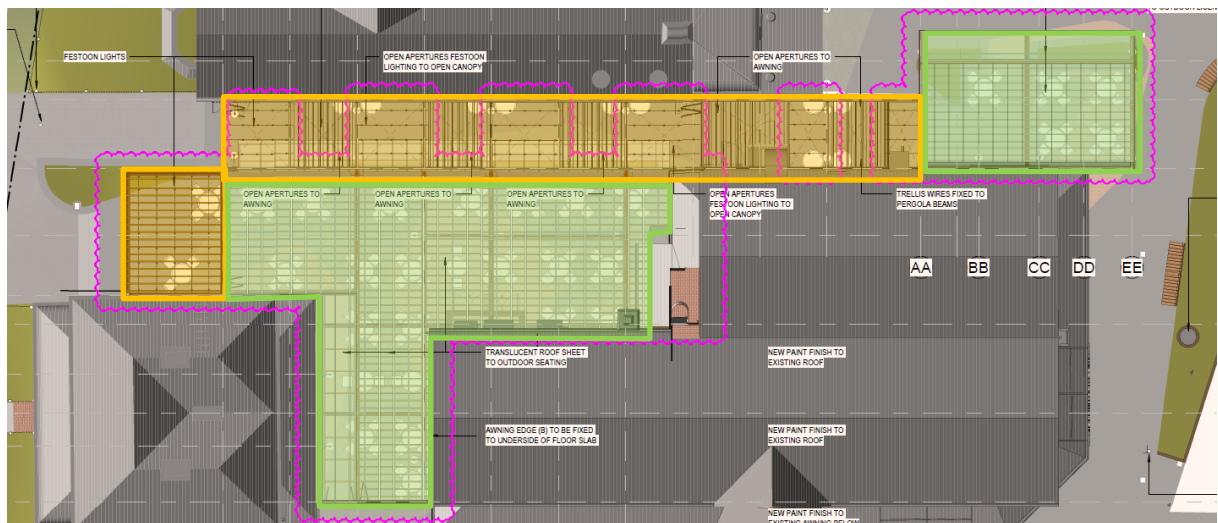


Figure 11 – Roof plan illustrating the open areas of the awning (orange) and covered (green).

Source: BN Group Pty Ltd, "Proposed roof plan layout", A06.02, Revision B, 22/02/2020. Overly by Urbis.

The following drawings and 3D renders were prepared by BN and have been referenced in the assessment provided below.

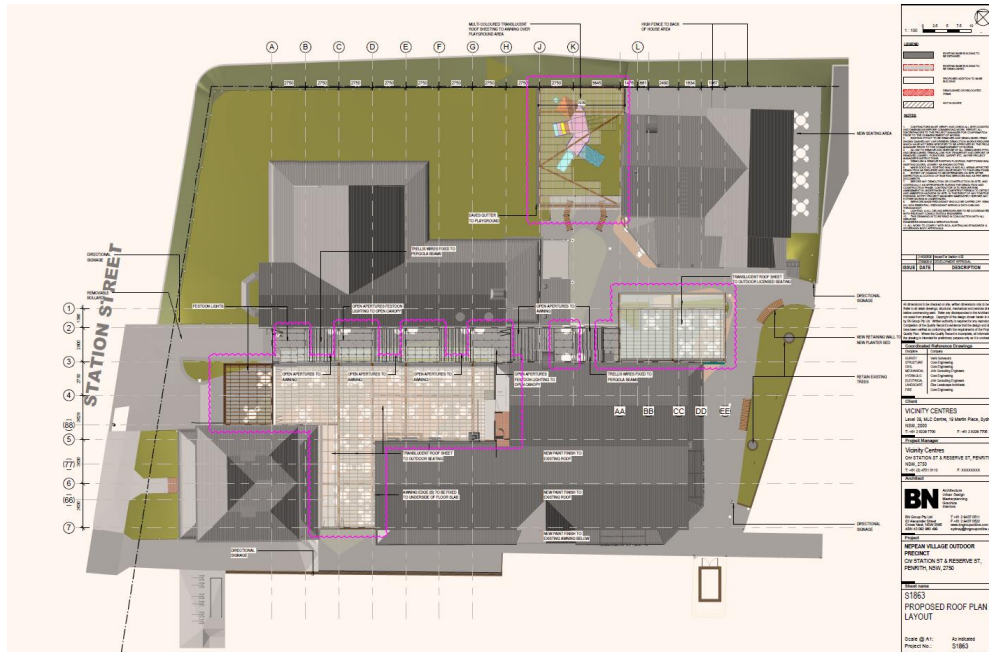


Figure 12 – Proposed Roof Plan.

Source: BN Group Pty Ltd, "Proposed roof plan layout", A06.02, Revision B, 22/02/2020.

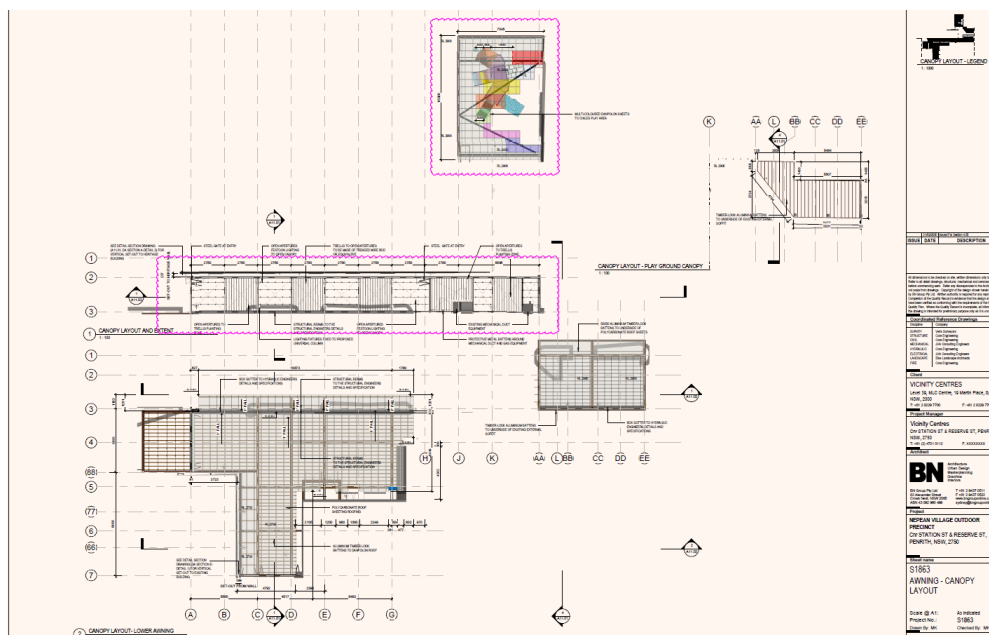


Figure 13 – Awning – Canopy Layout.

Source: BN Group Pty Ltd, "Awning – Canopy Layout", A06.03, Revision A, 21/02/2020.

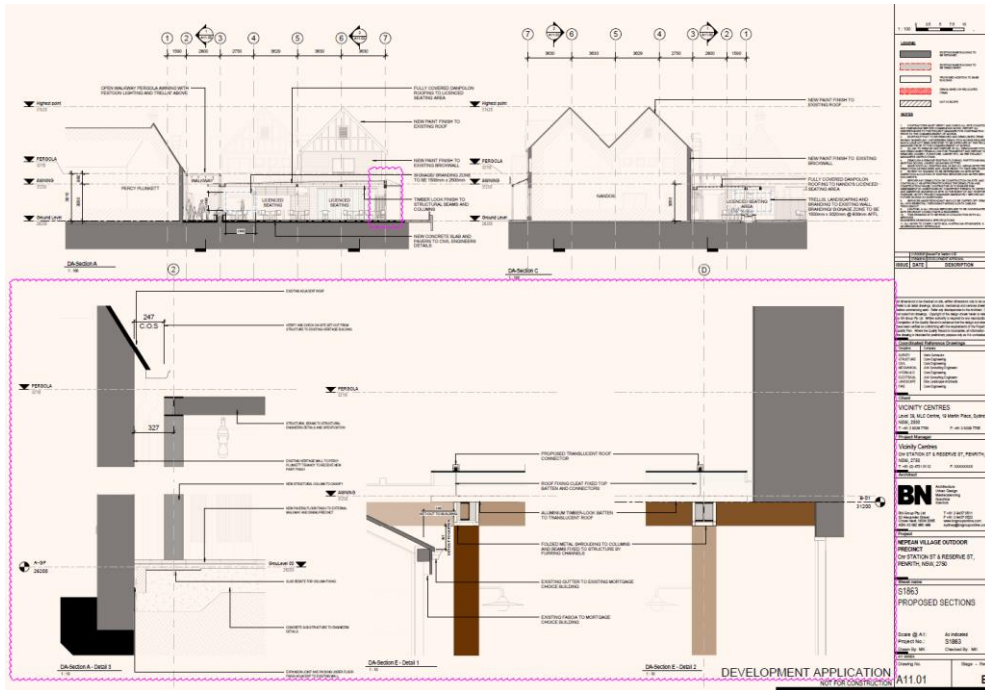


Figure 14 – Proposed sections.

Source: BN Group Pty Ltd, “Proposed Sections”, A11.01, Revision B, 21/02/2020.

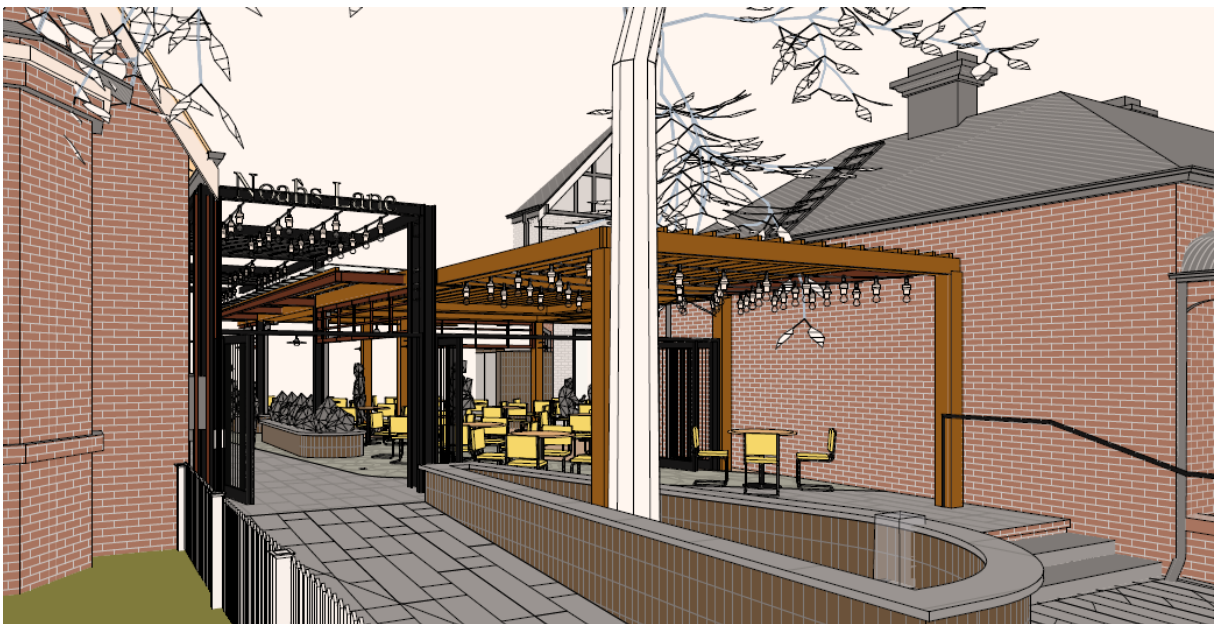


Figure 15 – 3D View of the proposed security gates on the western entry.

Source: BN Group Pty Ltd, “3D View – South Entry”, SK100.02, 2/4/2020.



Figure 16 – 3D View of the proposed security gates on the southern entry.

Source: BN Group Pty Ltd, "3D View – South Entry", SK100.03, 2/4/2020.

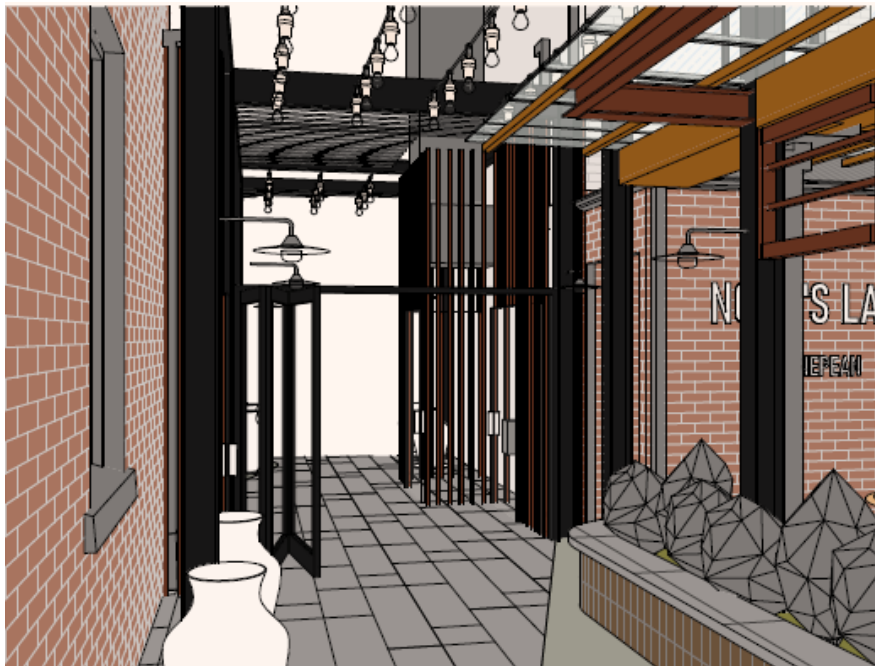


Figure 17 – 3D View of the proposed security gates located on the eastern entry.

Source: BN Group Pty Ltd, "3D View – East Entry", SK100.03, 2/4/2020.



## SECURITY OPTIONS

This modification seeks approval for security measures to be installed at the entrances to the pergola. It is understood that these security measures for the outdoor precinct are an essential requirement to ensure the safety and security for the new dining precinct. The following statement has been provided by Vicinity to outline the requirements.


*The security of the area is a high priority for Vicinity for the following reasons:*



- *Penrith suffers from a large number of displaced persons due to many various reasons. Nepean Village shares a common boundary with Mamma Lana's which provides for the displaced persons in the area. Nepean Village has experienced many social issues around this such as drunk and drug affected persons visiting the Centre for refuge during the day and night*
- *The is a consistent ongoing issue with drug use around the precinct. The Cottage has been frequented by drug and alcohol affected persons in the evenings as they seek shelter from the elements or a safe place to stay. Percy Plunkett has also been used by drug and alcohol affected persons seeking shelter at night-time, most recent was a drug user found using drugs in the Percy Plunkett cubby house at night.*
- *Graffiti is also quite prevalent in the local area with Nepean Village suffering from at least weekly incidents involving graffiti on the property.*
- *Large number of youth in the area that visit the Centre at all hours causing issues with abuse, threats of violence and property damage.*
- *New Precinct is removed from Main Centre and is not easily visible which will increase the possibilities of misuse and property damage*

Therefore, the design and details of the gates must be considered to ensure the gates are secure. This includes a height and design that will not allow the gates to be climbed.

The following table outlines the options investigated by BN and the project team in response to Council's comments (outlined above). All options include a brief statement that addresses the heritage considerations and potential impacts to the site.

Table 1 – Security gate options

Option	Drawing/Image	Heritage Considerations
<p>1. Roller Shutters</p> <p>Located behind the signage area on the approved pergola.</p>		<p>The roller shutters would enclose the spaces after hours only. The shutters would not be visible during the day as the main unit is located behind the signage area of the approved pergola structure and completely obscured by it.</p> <p>The shutter would be made in perforated metal and therefore when closed, would not appear as a solid form.</p>

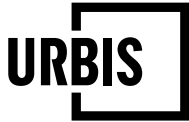
Option	Drawing/Image	Heritage Considerations
<p>2. Bifold Gates (Contemporary)</p> <p>These gates would fold up against the centre or ends of the pergola openings during the day.</p>		<p>The shutters would have no physical impact on the heritage items as it would be fixed to the new, approved pergola structure only.</p> <p>The proposed bifold gates in a contemporary style allow more visibility through to the open area between the heritage items when they are closed that the roller shutter above.</p> <p>When the gates are open some would be read against the backdrop of the secondary walls of the heritage items. A setback is included to ensure there is no contact with the heritage items. The gates would obstruct views to the secondary masonry walls only when open.</p> <p>The gates would not be fixed to the heritage building. The gates will be fixed to a track and to the approved pergola structure only.</p>
<p>3. Bifold Gate (wrought iron gates)</p>		<p>Gate must be infilled to ensure the gate cannot be climbed and satisfies security requirements.</p> <p>Will appear as a solid form when open or closed.</p> <p>Limited options for the location when open and therefore will cause visual impacts to sections of the facades during business hours given the sections behind the gates will be entirely obscured. Opportunities to mitigate this with the use of perforated metal has also been investigated. However, to ensure the gates can not be</p>

Option	Drawing/Image	Heritage Considerations
	<i>Example of materiality and finish for bifold gates.</i>	<p>climbed, the perforations would need to be minimal.</p> <p>The gates would not be fixed to the heritage buildings. They would be fixed to the approved pergola only and a track.</p>

## HERITAGE IMPACT ASSESSMENT

The proposed modifications to the approved works are acceptable from a heritage perspective for the following reasons:

- The proposed new play equipment has been setback from the heritage items and therefore will cause no physical interventions to significant fabric. In addition, the setback minimises visual impacts by retaining key views of the heritage items (from Station Street and from within the Nepean Square carpark).
- The proposed awning above the play area likewise is setback from the heritage buildings and will be identifiable as a contemporary, self-supporting structure and will be seen separately from the heritage items. In addition, the design of the awning matches the approved pergola/awning located between the heritage items to create a cohesive aesthetic and ensure the landscape design does not present as ad hoc.
- The proposed partial cover to the approved awning will provide an all-weather eating area. In response to Council’s comments, the translucent covering has been omitted from the area adjacent to the southern façade of 146 Station Street and the northern façade of no. 148 Station Street (refer to Figure 10 in this letter). The covered pergola is concentrated to the rear of the site and adjacent to the existing Nandos Building which is of no significance. The translucent roof in the covered areas will provide light and views through to the heritage buildings.
- The fabric which encloses part of the structure would be entirely within the approved extents of it and would therefore be no closer to the existing building than the approved structure (which is approximately 300mm at least setback from the significant fabric at all points). There would be no impact on the existing ability for the currently external walls to breathe.
- The space between the two heritage items is an incidental space created by the construction of the flanking building and has no identified significance in its own right other than providing a sympathetic curtilage around the significant fabric. An understanding of the original subdivision pattern is retained through the original structures which present to the street. Providing partially covered areas (substantially set back from the street) with a translucent cover will not significantly alter the appearance of the pergola, or have any impact on an understanding of the original subdivision pattern.
- The area between the eastern façade of no. 148 Station Street and the contemporary building is required to ensure a covered walkway between the two buildings for staff and patrons. This, with the approved pergola structure would enhance the use of the area by creating a destination precinct, encouraging appreciation of the significant fabric and completing. Given the site is owned by a major landlord in Penrith and in the context of economic challenges in 2020 it is appreciated that a precinct revitalisation which encourages new tenants would lead to the use and therefore maintenance of the significant fabric on the site.



- The proposed gates will provide the required security for the outdoor eating area (approved as part of DA19/0763). As outlined in the options analysis above the simple contemporary design is more appropriate in the context than the other options explored. They will be fixed to the approved pergola structure only and will not have any physical impacts on the heritage items. They are designed to be functional while also largely transparent to allow views through to the area at all hours. This mitigates the feeling or appearance of enclosure.
- During open hours the gates will fold against the sides. This will cause minor visual obstruction to the southern façade of no. 146 Station Street and the northern and eastern façade of no. 148 Station Street. These visual impacts however will be minor as the gates will only obstruct a small portion of the buildings' facades. In addition, due to the simple design, the masonry walls will still be visible through the gate while folded.

## CONCLUSION

The proposed modifications to the approved DA have been assessed as acceptable from a heritage perspective.

Kind regards,

A handwritten signature in black ink that reads "Alexandria". The signature is fluid and cursive.

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