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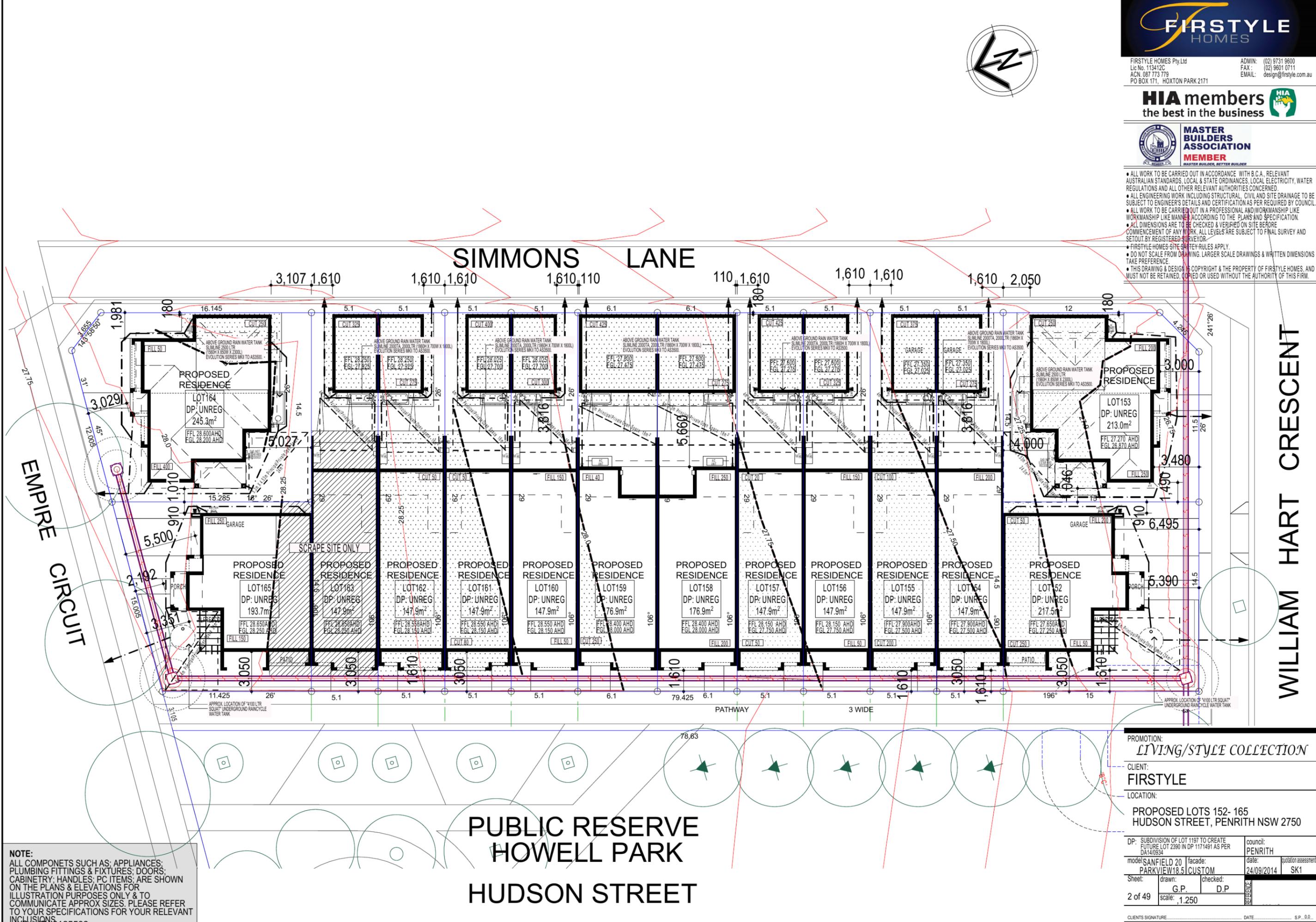
**LOTS 152 - 165, HUDSON STREET
 NORTH PENRITH**

ABSA STAMPED SET

NOTE:
 ALL COMPONENTS SUCH AS: APPLIANCES;
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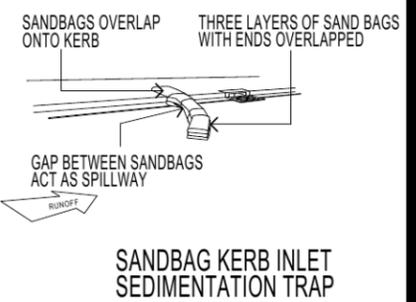
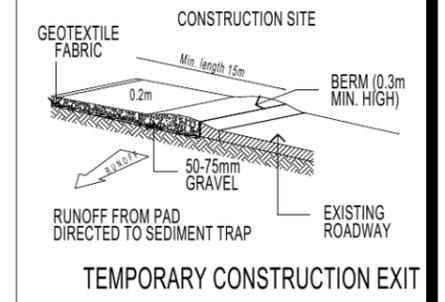
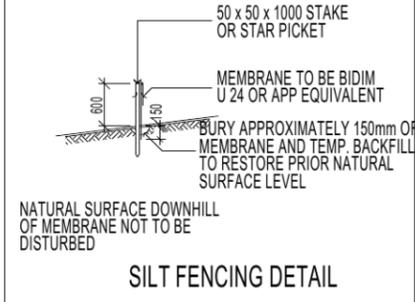
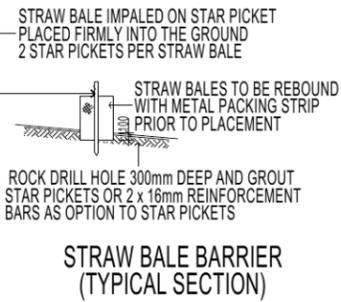
PROMOTION: <i>LIVING/STYLE COLLECTION</i>			
CLIENT: FIRSTSTYLE			
LOCATION: PROPOSED LOTS 152- 165 HUDSON STREET, PENRITH NSW 2750			
DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH	date: 24/09/2014	
model: SANFIELD 20	facade: PARKVIEW18.5	date: 24/09/2014	valuation assessment: SK1
Sheet: 1 of 49	drawn: G.P.	checked: D.P.	scale: N.T.S.
CLIENT'S SIGNATURE: _____		DATE: _____ S.P. 0.0.	

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PROMOTION: LIVING/STYLE COLLECTION	
CLIENT: FIRSTSTYLE	
LOCATION: PROPOSED LOTS 152- 165 HUDSON STREET, PENRITH NSW 2750	
DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: SANFIELD 20 facade: PARKVIEW18.5 CUSTOM	date: 24/09/2014 quotation assessment: SK1
Sheet: 2 of 49	drawn: G.P. checked: D.P.
scale: 1:250	
CLIENTS SIGNATURE:	DATE:



DUST CONTROL MEASURES:
IF THE SITE BECOMES DUSTY DURING HOTTER MONTHS (FIRSTYLE) WILL SPRINKLE WATER ON THE DUST

ANY AREA OF ROAD BASE WILL BE POSITIONED FOR HEAVY VEHICLES TO REDUCE & PROVIDE AN AREA TO WASH TRUCKS OFF (IF REQUIRED)

NOISE & VIBRATION MEASURES:
ALL EXCAVATION WILL BE CARRIED OUT BETWEEN THE TIME SETOUT IN THE COUNCIL CONDITIONS

MACHINERY SIZE WILL BE KEPT TO A MINIMUM REQUIRED FOR THE JOB



FIRSTYLE HOMES

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KEY		①	②	NUMBER OF STOREY'S	EXISTING TREES	NOISE	PRIVATE OPEN SPACE	RAINWATER TANK (Underground)
	SOLAR ACCESS			PREVAILING WINDS		EXISTING TREES TO BE REMOVED		OVERLOOKING
						DIRECTION & DISTANCES		VEHICULAR SITE ENTRY
						VEHICLES		VEHICLES
						HWS		VEHICLES
								A/C UNIT (if required)

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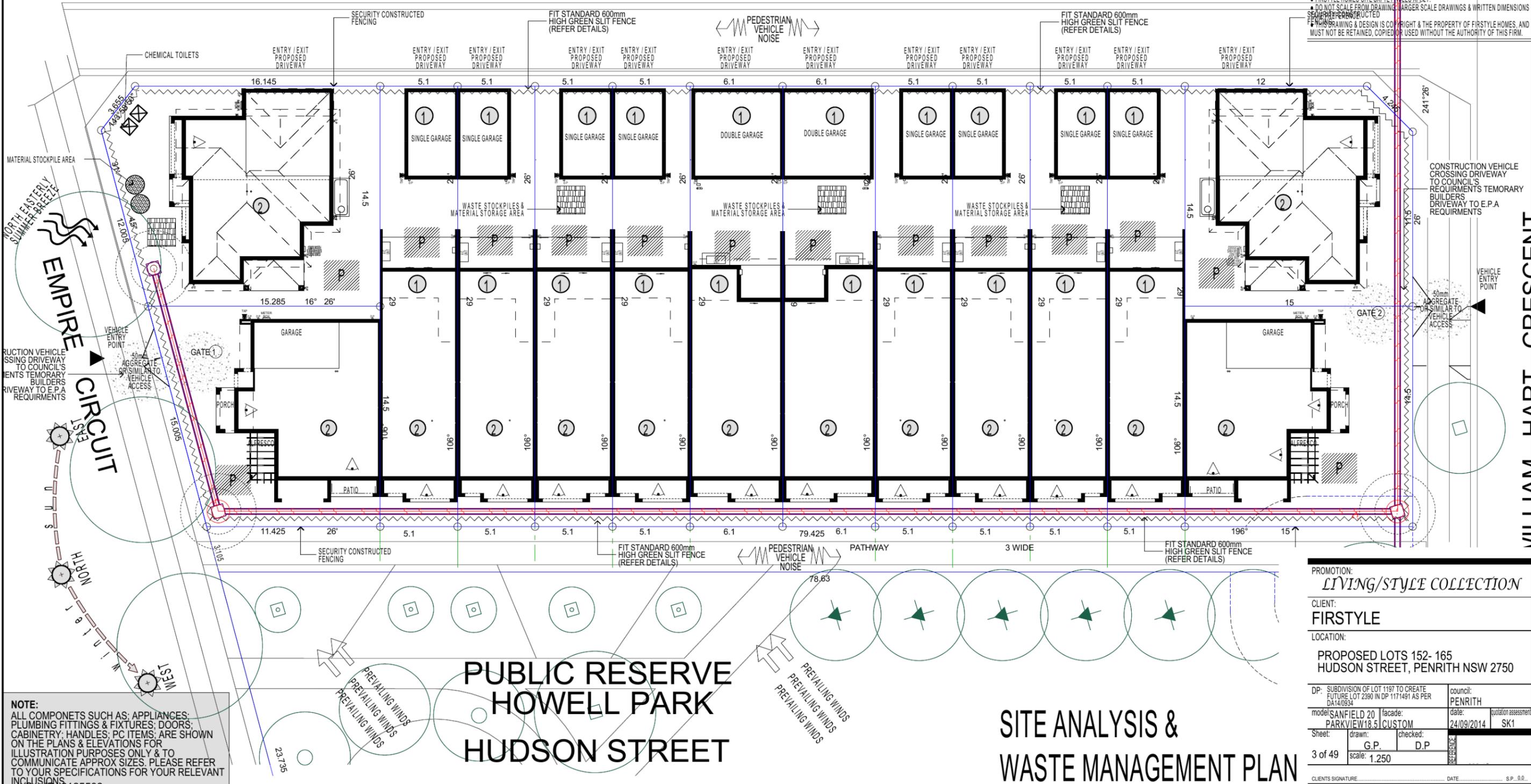
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PROMOTION: **LIVING/STYLE COLLECTION**

CLIENT: **FIRSTYLE**

LOCATION: **PROPOSED LOTS 152- 165 HUDSON STREET, PENRITH NSW 2750**

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934

council: **PENRITH**

date: **24/09/2014**

population assessment: **SK1**

model: **SANFIELD 20** facade: **PARKVIEW18.5** CUSTOM

Sheet: **3 of 49** drawn: **G.P.** checked: **D.P.** scale: **1:250**

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

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BASIX LOT 152	BASIX LOTS 154-155
= 95.89m ² of roof area to discharge to water tank. = stormwater and overflow to discharge to existing street channel. o/a= 95.89m ² of roof area.	= 77.75m ² of roof area to discharge to water tank. = stormwater and overflow to discharge to existing street channel. o/a= 99.47m ² of roof area.
LEGEND:	LEGEND:
○ = SURFACE INLETS AS REQUIRED ○ = SURFACE INLETS LINE — = STORMWATER LINE	○ = SURFACE INLETS AS REQUIRED ○ = SURFACE INLETS LINE — = STORMWATER LINE
LOT 152	LOTS 154 & 155
EARTHWORKS TO AHD	EARTHWORKS TO AHD
HOUSE: FFL: R.L: 27.650 (LIVING) FGL: R.L: 27.750 GARAGE: FFL: R.L: 27.480	HOUSE: FFL: R.L: 27.900 (LIVING) FGL: R.L: 27.500 GARAGE: FFL: R.L: 27.350 FGL: R.L: 27.025

NOTE:
REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

GENERAL DRAINAGE NOTES

1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
 2. Stormwater pipes to be 100mm DIA.(Min) at 1 deg. Grade (Min) to AS3500
 3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
 4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
 5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.
- note:
r.l. levels indicative to a building tolerance of +/- 90mm.
- NOTE:
EAVES O/H TO ENCROACH AS ALLOWED BY B.C.A:CL3.7.1.7 & FIGURE 3.7.1.9

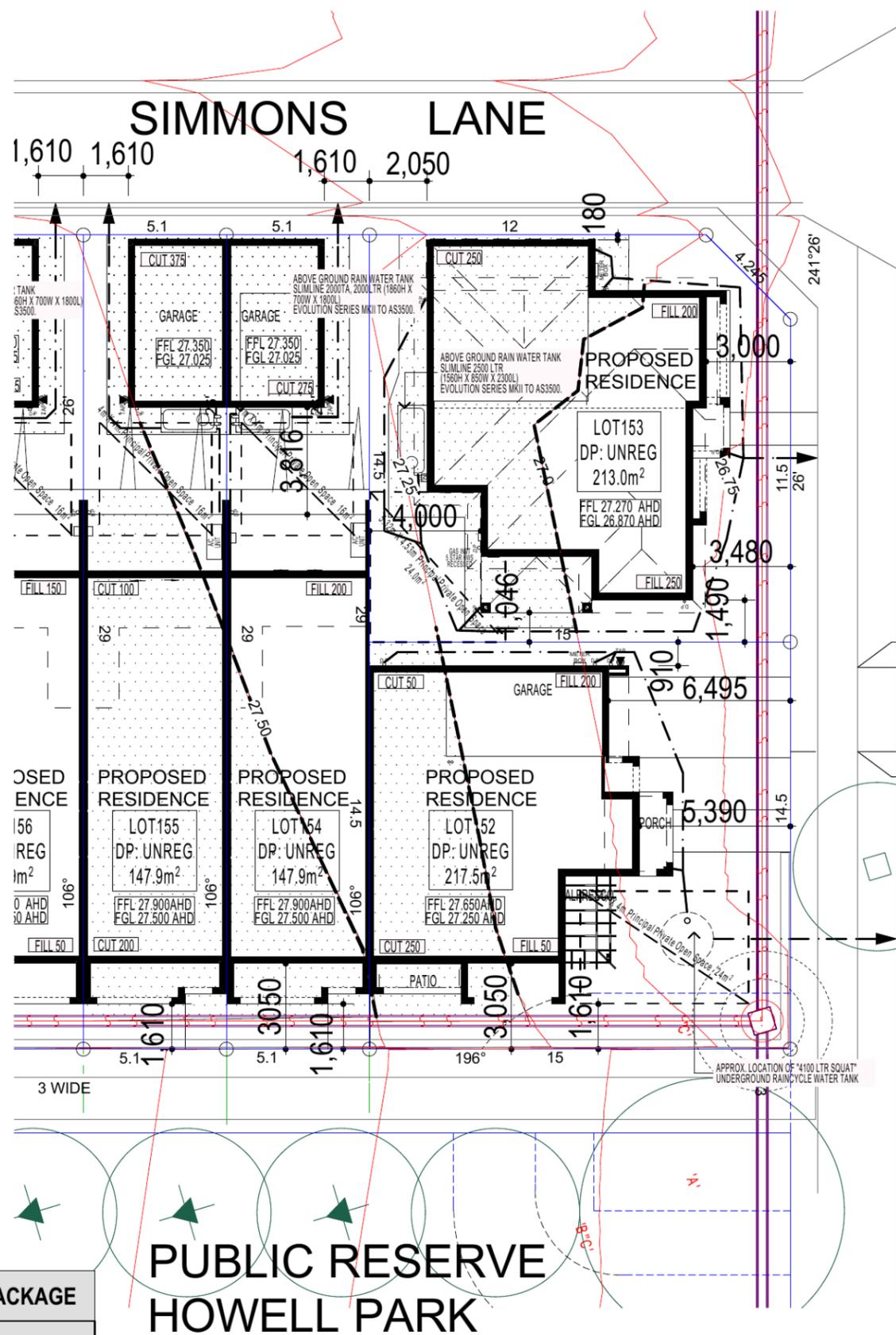


NOTE:
PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
PLEASE REFER TO "ECO DESIGN" LANDSCAPE PLANS ISSUE: 'F' DATED 10.09.14

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NOTE
AIR CONDITIONING ONLY
(EER 2.5-3.0 OR GREATER)
3-PHASE POWER



SITE PLAN & STORMWATER CONCEPT PLAN

WILLIAM HART CRESCENT

DEVELOPMENT CALCULATIONS

LOT: 155 NO: 00 OF SITE AREA: 147.90m²

Itemised Floor Areas:	Totals:
living ground floor:	71.35m ²
first floor: (excl. void 52.68m ²)	56.09m ²
garage: (excess 00.000m ²)	20.79m ²
alfresco:	10.37m ²
porch:	6.75m ²
balcony:	5.74m ²
total floor area:	171.09m²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	71.35m ²
garage:	20.79m ²
porch/alfresco:	17.12m ²
driveway/paved area:	4.11m ²
site coverage Area:	109.26m ² (73.87%)
landscape area:	38.64m ² (26.13%)
pervious areas (soft)	34.53m ² (23.34%)
impervious areas (hard)	113.37m ² (80.46%)
private open space o/a:	29.69m ²
principal private open space:	16.0m ²
total car space incl. carstand:	1 carspace

DEVELOPMENT CALCULATIONS

LOT: 154 NO: 00 OF SITE AREA: 147.90m²

Itemised Floor Areas:	Totals:
living ground floor:	71.35m ²
first floor: (excl. void 52.68m ²)	56.09m ²
garage: (excess 00.000m ²)	20.79m ²
alfresco:	10.37m ²
porch:	6.75m ²
balcony:	5.74m ²
total floor area:	171.09m²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	71.35m ²
garage:	20.79m ²
porch/alfresco:	17.12m ²
driveway/paved area:	4.11m ²
site coverage Area:	109.26m ² (73.87%)
landscape area:	38.64m ² (26.13%)
pervious areas (soft)	34.53m ² (23.34%)
impervious areas (hard)	113.37m ² (80.46%)
private open space o/a:	29.69m ²
principal private open space:	16.0m ²
total car space incl. carstand:	1 carspace

DEVELOPMENT CALCULATIONS

LOT: 152 NO: 00 OF SITE AREA: 217.52m²

Itemised Floor Areas:	Totals:
living ground floor:	69.88m ²
first floor: (excl. void 3.31m ²)	84.42m ²
garage: (excess 00.000m ²)	18.73m ²
alfresco/patio:	4.83m ² /3.77m ²
porch:	3.59m ²
balcony:	5.30m ²
total floor area:	190.52m²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	69.88m ²
garage:	18.73m ²
porch/alfresco/patio:	12.19m ²
driveway/paved area:	24.83m ²
site coverage Area:	100.80m ² (46.3%)
landscape area:	117.44m ² (54.0%)
pervious areas (soft)	92.61m ² (42.57%)
impervious areas (hard)	124.91m ² (57.42%)
private open space o/a:	70.29m ²
principal private open space:	24.0m ²
total car space incl. carstand:	2 carspace

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOTS 152,154,155
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: SANITIFIED 2011 facade: PARKVIEW 855 CUSTOM	date: 24/09/2014
Sheet: 4 of 49	drawn: G.P. checked: D.P. scale: 1:200
	802-14 804-14 805-15

LOTS 152,154,155

KEY

-  FACE BRICK (AS SELECTED)
-  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  CEMINTEL(ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED)- 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

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ABSA Class 1 Building Single-Dwelling Certification

Certification Number: 1000956437
Certification Date: 10/09/2014
Assessor Name: Vic Vicarelli
Assessor Number: 20311

Simulated Energy: HEATING: 43.0 MJ/m2 pa
Simulated Energy: COOLING: 32.0 MJ/m2 pa
Based on Orientation: 100

5.5/10

ABSA Class 1 Building Single-Dwelling Certification

Certification Number: 1000956460
Certification Date: 10/09/2014
Assessor Name: Vic Vicarelli
Assessor Number: 20311

Simulated Energy: HEATING: 43.0 MJ/m2 pa
Simulated Energy: COOLING: 31.7 MJ/m2 pa
Based on Orientation: 100

7.0/10

ABSA Class 1 Building Single-Dwelling Certification

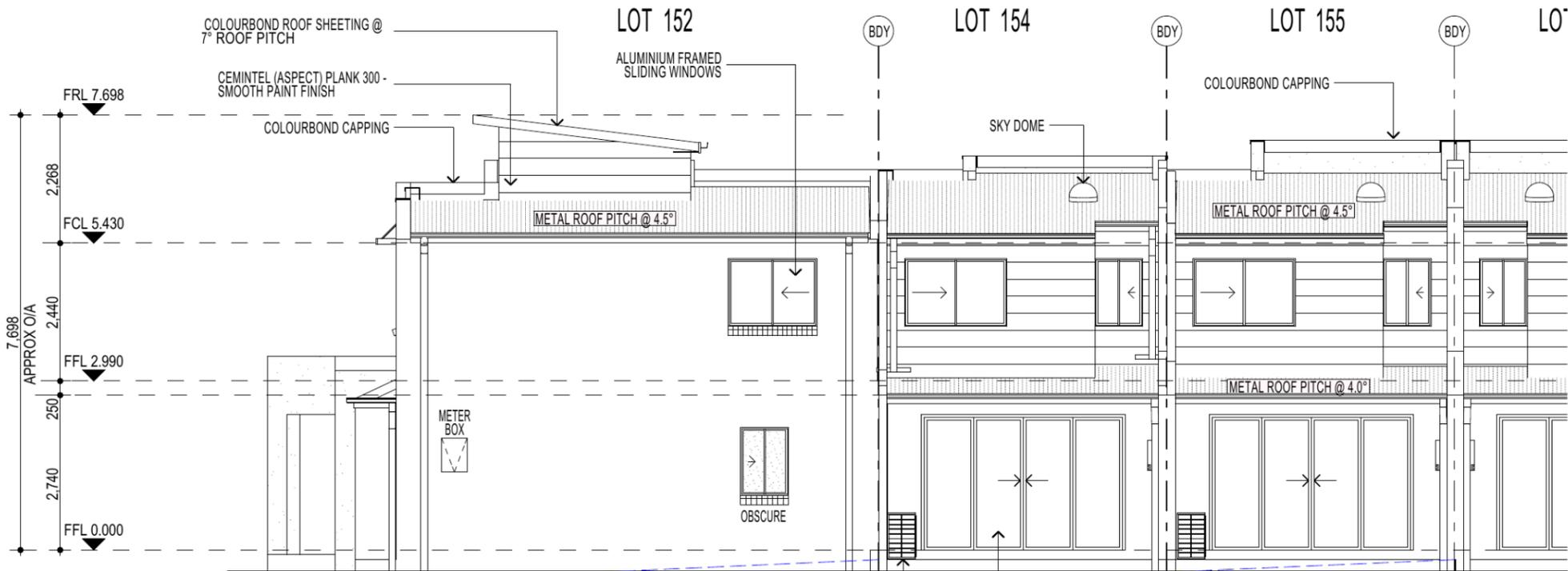
Certification Number: 1000956478
Certification Date: 10/09/2014
Assessor Name: Vic Vicarelli
Assessor Number: 20311

Simulated Energy: HEATING: 43.0 MJ/m2 pa
Simulated Energy: COOLING: 31.7 MJ/m2 pa
Based on Orientation: 100

7.0/10



ELEVATION A



ELEVATION C

NOTE
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3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD
TERMITE TREATMENT

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LOTS 152,154,155

PROMOTION:
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CLIENT:
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date: 24/09/2014	evaluation assessment: SK1
Sheet: 7 of 49	drawn: G.P.
checked: D.P.	scale: 1:100
802-14	804-14
805-15	

ELEVATIONS

- KEY**
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 -  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
 -  RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
 -  CEMINTEL (ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED) - 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

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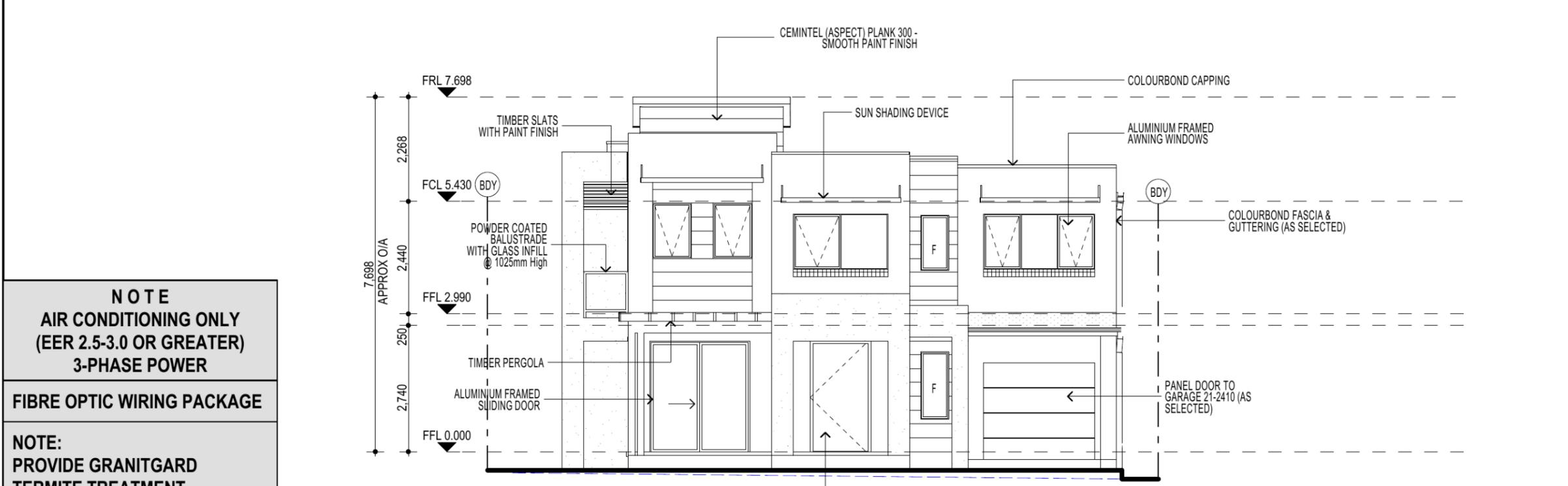
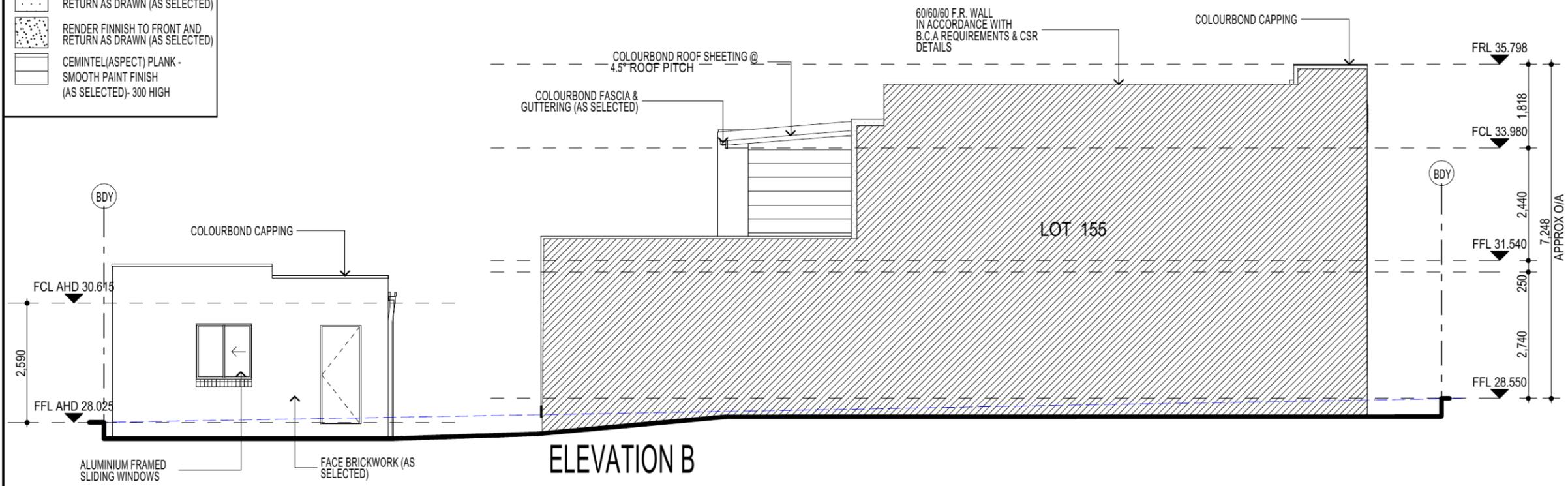
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- FIBRE OPTIC WIRING PACKAGE**
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8 of 49	G.P.	D.P.	804-14
	scale: 1.100		805-15

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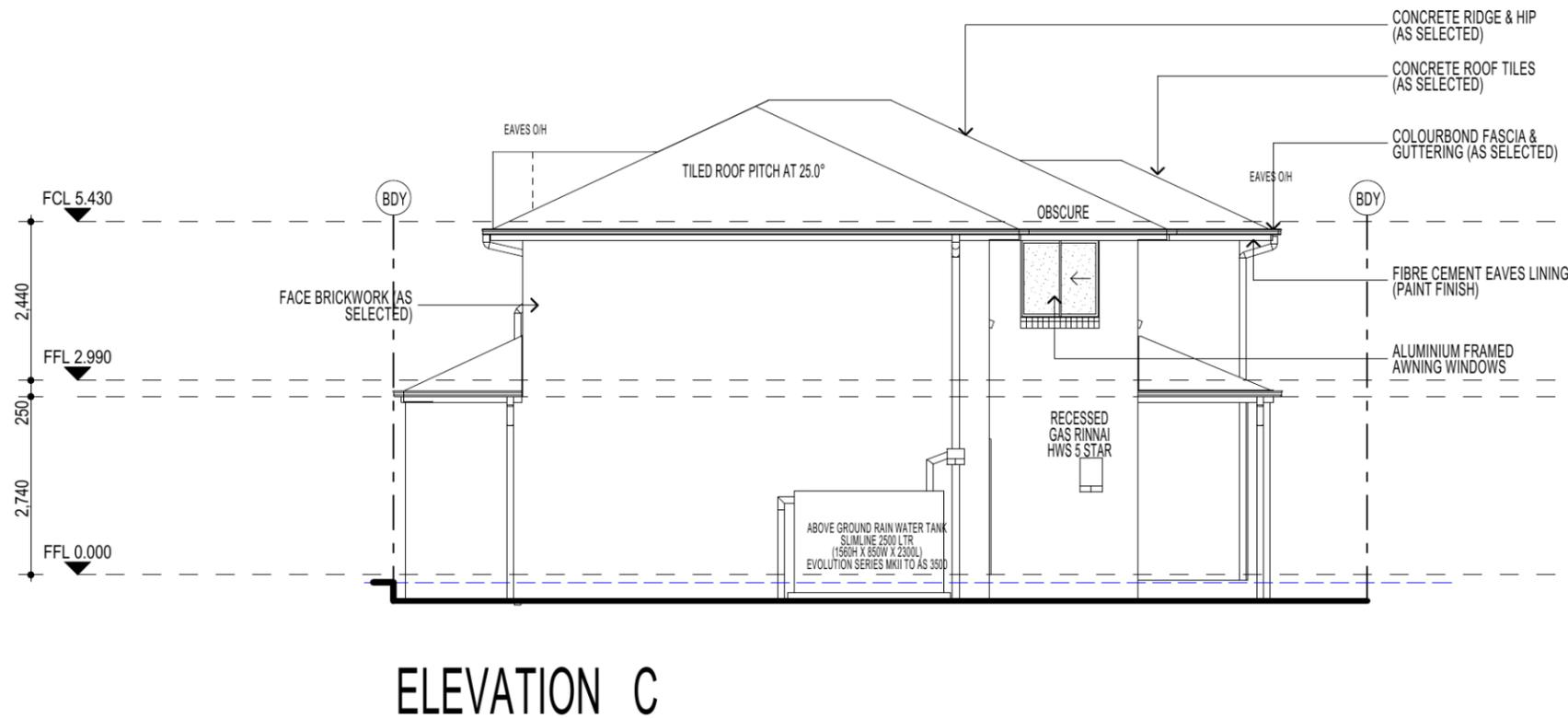
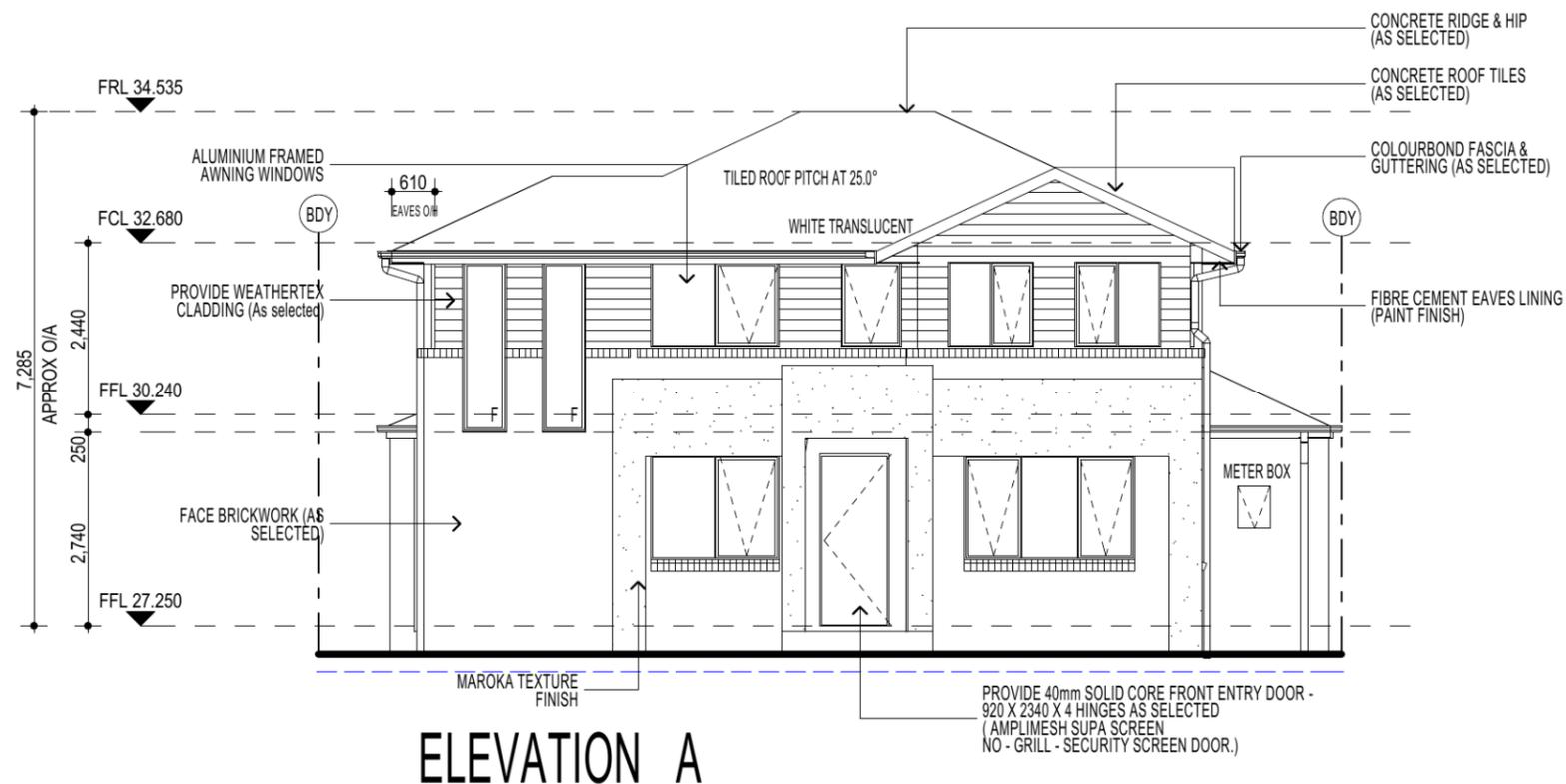
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ABSA Class 1 Building Single-Dwelling Certification

Certification Number: 1009556445
Certification Date: 10/09/2014
Assessor Name: Vic Vicaretti
Assessor Number: 20311
Assessor Signature: [Signature]

Simulated Energy HEATING: 88.0 MJ/m2 pa
Simulated Energy COOLING: 37.4 MJ/m2 pa
Rated with Daylighting: 0%

5.0/10



NOTE
AIR CONDITIONING ONLY
(EER 2.5-3.0 OR GREATER)
3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD
TERMITE TREATMENT

NOTE:
PLEASE REFER TO " ECO DESIGN "
LANDSCAPE PLANS ISSUE: 'F' DATED
10.09.14

NOTE:
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PLUMBING FITTINGS & FIXTURES; DOORS;
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COMMUNICATE APPROX SIZES. PLEASE REFER
TO YOUR SPECIFICATIONS FOR YOUR RELEVANT
INCLUSIONS.

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOT 153
WILLIAM HART CRES, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934 council: PENRITH
model: SANFIELD 20 facade: PARKVIEW18.5 CUSTOM date: 24/09/2014 quotation assessment: SK1

Sheet: 14 of 49 drawn: G.P. checked: D.P. scale: 1:100 803-14

ELEVATIONS

CLIENTS SIGNATURE: DATE: S.P. 0.0.

KEY

-  FACE BRICK (AS SELECTED)
-  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  CEMINTEL(ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED)- 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

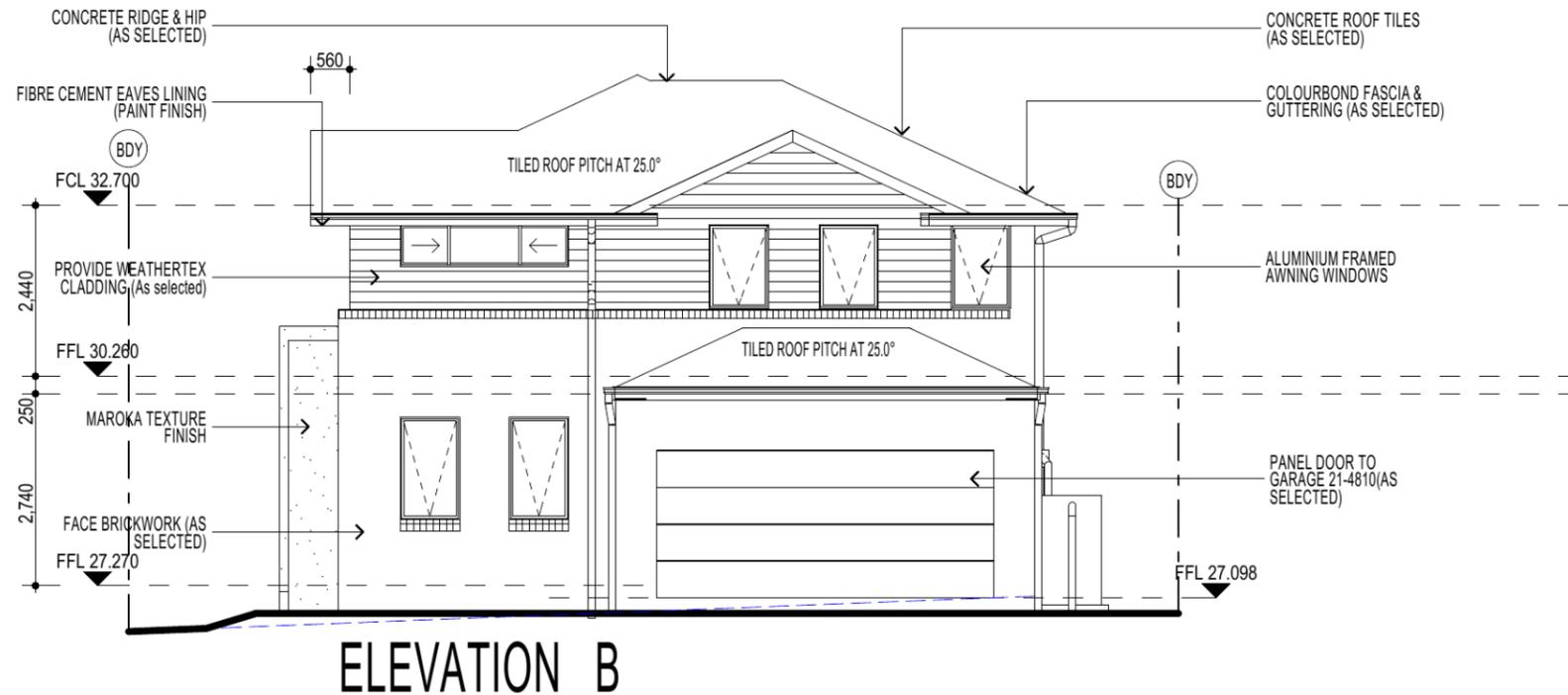
FIRSTSTYLE HOMES Pty.Ltd
Lic No. 113412C
ACN. 087 773 779
PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 9731 9600
FAX: (02) 9601 0711
EMAIL: design@firststyle.com.au

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ELEVATION B



ELEVATION D

NOTE
AIR CONDITIONING ONLY
(EER 2.5-3.0 OR GREATER)
3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD
TERMITE TREATMENT

NOTE:
PLEASE REFER TO "ECO DESIGN"
LANDSCAPE PLANS ISSUE: 'F' DATED
10.09.14

NOTE:
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INCLUSIONS.



PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOT 153
WILLIAM HART CRES, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934 council: PENRITH
model: WINSTON 22 facade: CUSTOM date: 24/09/2014 quotation assessment: SK1

Sheet: 15 of 49 drawn: G.P. checked: D.P. scale: 1:100 803-14

ELEVATIONS

CLIENTS SIGNATURE: DATE: S.P. 0.0.

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BASIX LOTS 156-157	BASIX LOT 158
= 77.75m ² of roof area to discharge to water tank. = stormwater and overflow to discharge to existing street channel. o/a= 99.47m ² of roof area.	= 74.5m ² of roof area to discharge to water tank. = stormwater and overflow to discharge to existing street channel. o/a= 108.92m ² of roof area.
LEGEND:	LEGEND:
○ = SURFACE INLETS AS REQUIRED	○ = SURFACE INLETS AS REQUIRED
—○— = SURFACE INLETS LINE	—○— = SURFACE INLETS LINE
— = STORMWATER LINE	— = STORMWATER LINE
LOTS 156 & 157	LOT 158
EARTHWORKS TO AHD	EARTHWORKS TO AHD
HOUSE: FFL: R.L: 28.150 (LIVING) FGL: R.L: 27.750	HOUSE: FFL: R.L: 28.400 (LIVING) FGL: R.L: 28.000
GARAGE: FFL: R.L: 27.600 FGL: R.L: 27.275	GARAGE: FFL: R.L: 27.800 FGL: R.L: 27.475

NOTE:
REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

GENERAL DRAINAGE NOTES

1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
 2. Stormwater pipes to be 100mm DIA. (Min) at 1 deg. Grade (Min) to AS3500
 3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
 4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
 5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.
- note:
r.l. levels indicative to a building tolerance of +/- 90mm.
- NOTE:
EAVES O/H TO ENCROACH AS ALLOWED BY B.C.A:CL3.7.1.7 & FIGURE 3.7.1.9



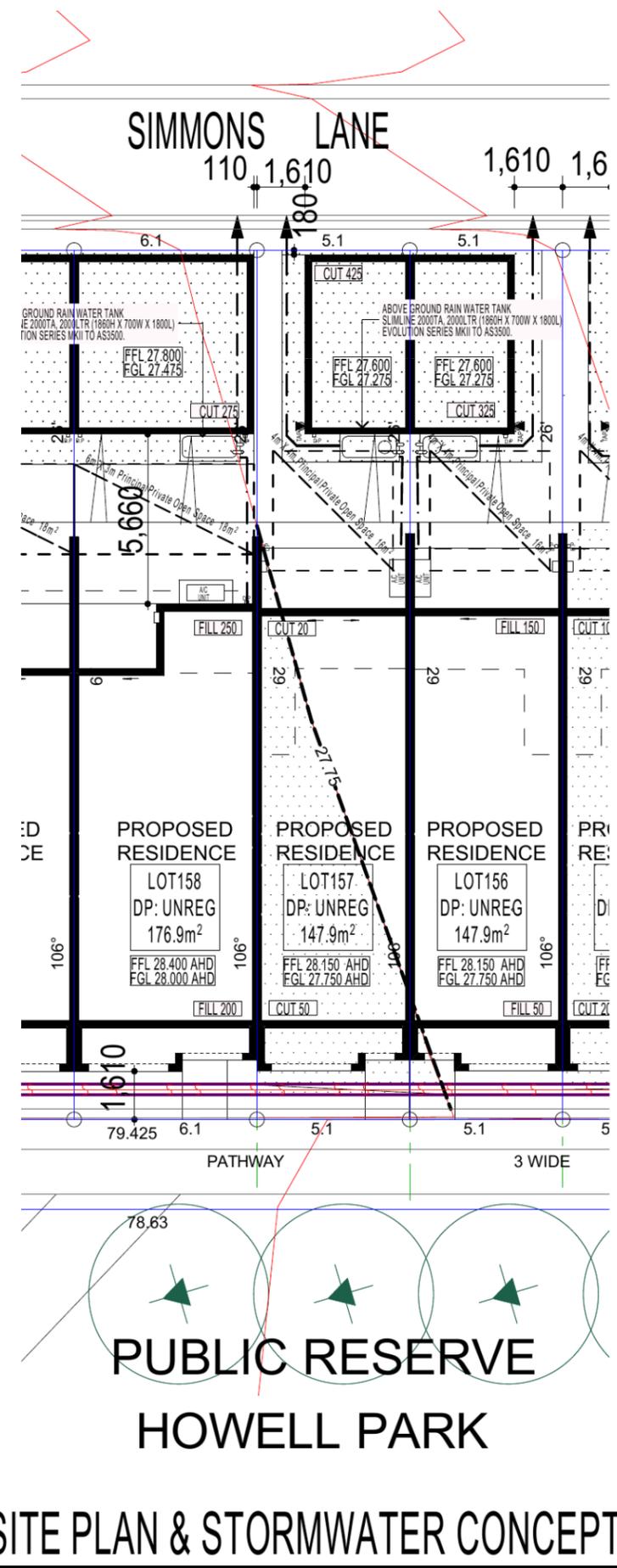
NOTE:
PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
PLEASE REFER TO "ECO DESIGN" LANDSCAPE PLANS ISSUE: 'F' DATED 10.09.14

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FIBRE OPTIC WIRING PACKAGE

NOTE
AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
3-PHASE POWER



DEVELOPMENT CALCULATIONS
 LOT: 158 NO: 00 OF SITE AREA: 176.90m²

Itemised Floor Areas:	Totals:
living ground floor:	80.68m ²
first floor: (excl. void 3.40m ²)	71.46m ²
garage: (excess 00.000m ²)	35.88m ²
alfresco:	6.12m ²
porch:	7.84m ²
balcony:	5.74m ²
total floor area:	207.72m²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	80.68m ²
garage:	35.88m ²
porch/alfresco:	13.96m ²
driveway/paved area:	3.84m ²
site coverage Area:	130.52m ² (73.78%)
landscape area:	46.38m ² (26.2%)
pervious areas (soft)	42.54m ² (24.10%)
impervious areas (hard)	134.36m ² (75.90%)
private open space o/a:	40.75m ²
principal private open space:	18.0m ²
total car space incl. carstand:	2 carspace

DEVELOPMENT CALCULATIONS
 LOT: 157 NO: 00 OF SITE AREA: 147.90m²

Itemised Floor Areas:	Totals:
living ground floor:	71.35m ²
first floor: (excl. void 52.68m ²)	56.09m ²
garage: (excess 00.000m ²)	20.79m ²
alfresco:	10.37m ²
porch:	6.75m ²
balcony:	5.74m ²
total floor area:	171.09m²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	71.35m ²
garage:	20.79m ²
porch/alfresco:	17.12m ²
driveway/paved area:	4.11m ²
site coverage Area:	109.26m ² (73.87%)
landscape area:	38.64m ² (26.13%)
pervious areas (soft)	34.53m ² (23.34%)
impervious areas (hard)	113.37m ² (80.46%)
private open space o/a:	29.69m ²
principal private open space:	16.0m ²
total car space incl. carstand:	1 carspace

DEVELOPMENT CALCULATIONS
 LOT: 156 NO: 00 OF SITE AREA: 147.90m²

Itemised Floor Areas:	Totals:
living ground floor:	71.35m ²
first floor: (excl. void 52.68m ²)	56.09m ²
garage: (excess 00.000m ²)	20.79m ²
alfresco:	10.37m ²
porch:	6.75m ²
balcony:	5.74m ²
total floor area:	171.09m²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	71.35m ²
garage:	20.79m ²
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site coverage Area:	109.26m ² (73.87%)
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private open space o/a:	29.69m ²
principal private open space:	16.0m ²
total car space incl. carstand:	1 carspace

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOTS 156,157,158
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934 council: PENRITH

model: OXFORD 6.1 facade: date: 24/09/2014 valuation assessment: SK1

Sheet: 17 of 49 drawn: G.P. checked: D.P. scale: 1:200

CLIENTS SIGNATURE: DATE: S.P. 0.0.

LOTS 156,157,158

SITE PLAN & STORMWATER CONCEPT PLAN

- KEY**
-  FACE BRICK (AS SELECTED)
 -  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
 -  RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
 -  CEMINTEL (ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED)- 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

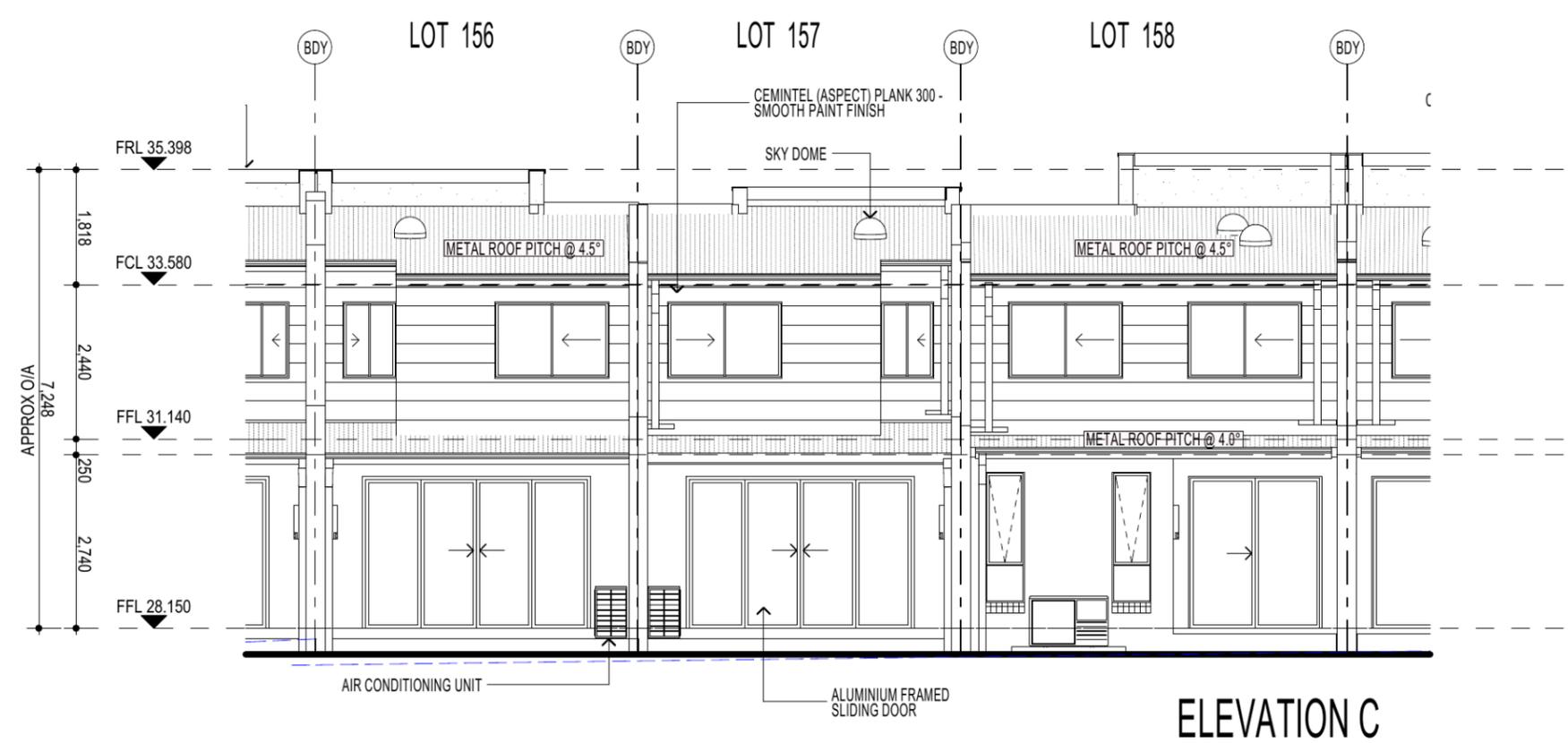
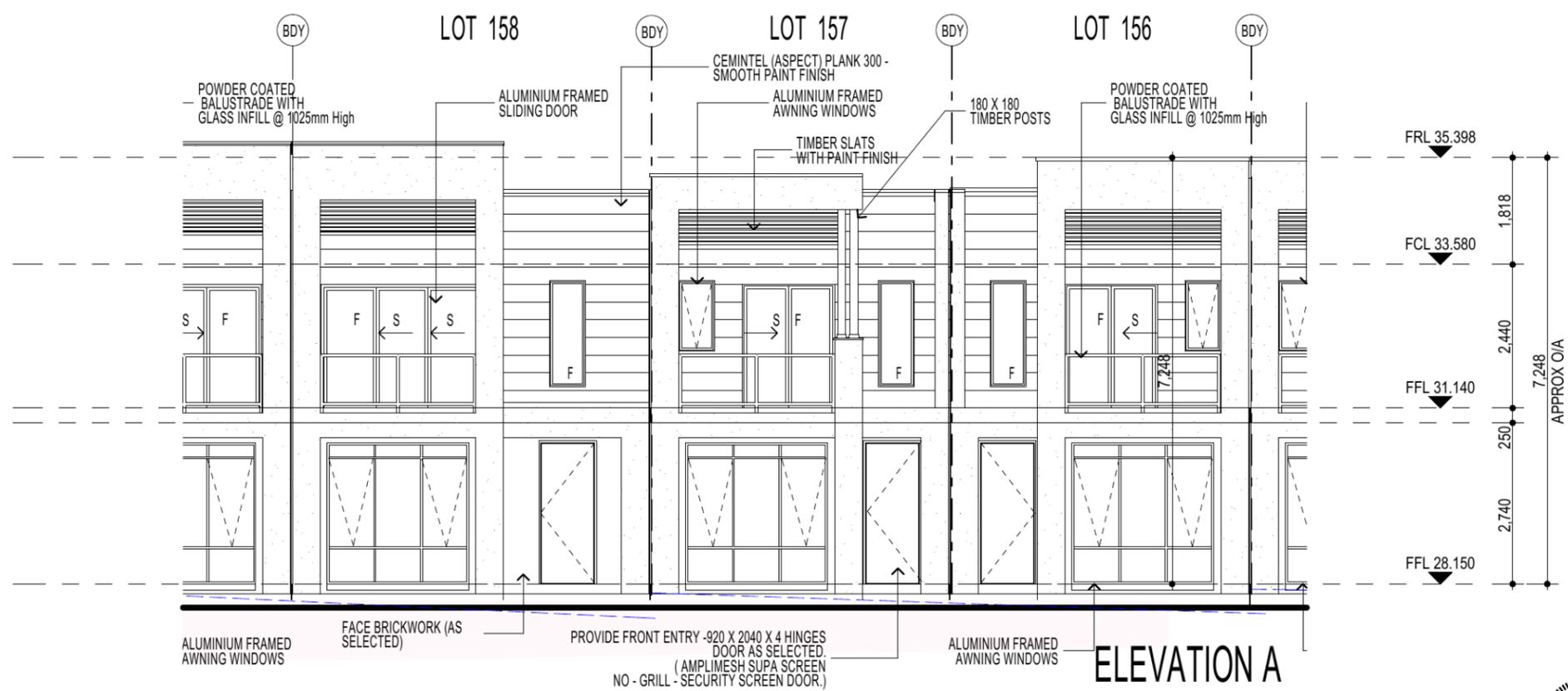
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Lic No. 113412C
ACN. 087 773 779
PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 9731 9600
FAX: (02) 9601 0711
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MEMBER

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ABSA Class 1 Building Single-Dwelling Certification

Certification Number: 100995457
Certification Date: 10/09/2014
Assessor Name: Vic Vicarini
Assessor Number: 20311
Assessor Signature: [Signature]

Simulated Energy Rating: 4.0 MJ/m2 pa
Estimated Energy Cost: \$10.8 MJ/m2 pa
Based on floorlights: No

NAHERS Rating: 5.5/10

Certification Number: 100995478
Certification Date: 10/09/2014
Assessor Name: Vic Vicarini
Assessor Number: 20311
Assessor Signature: [Signature]

Simulated Energy Rating: 4.0 MJ/m2 pa
Estimated Energy Cost: \$11.1 MJ/m2 pa
Based on floorlights: No

NAHERS Rating: 7.0/10

Certification Number: 100995480
Certification Date: 10/09/2014
Assessor Name: Vic Vicarini
Assessor Number: 20311
Assessor Signature: [Signature]

Simulated Energy Rating: 4.0 MJ/m2 pa
Estimated Energy Cost: \$11.7 MJ/m2 pa
Based on floorlights: No

NAHERS Rating: 6.7/10

LOTS 156, 157, 158

- NOTE**
AIR CONDITIONING ONLY
(EER 2.5-3.0 OR GREATER)
3-PHASE POWER
- FIBRE OPTIC WIRING PACKAGE**
- NOTE:**
PROVIDE GRANITGARD
TERMITE TREATMENT
- NOTE:**
PLEASE REFER TO "ECO DESIGN"
LANDSCAPE PLANS ISSUE: 'F' DATED
10.09.14
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INCLUSIONS.

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOTS 156,157,158
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934

council: PENRITH
date: 24/09/2014
quotation assessment: SK1

model: OXFORD 6.1 facade: CUSTOM
PARKVIEW 18.5

Sheet: 20 of 49
drawn: G.P.
checked: D.P.
scale: 1:100

806-14
807-15
808-15

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

ELEVATIONS

KEY

	FACE BRICK (AS SELECTED)
	MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	CEMINTEL (ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED) - 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

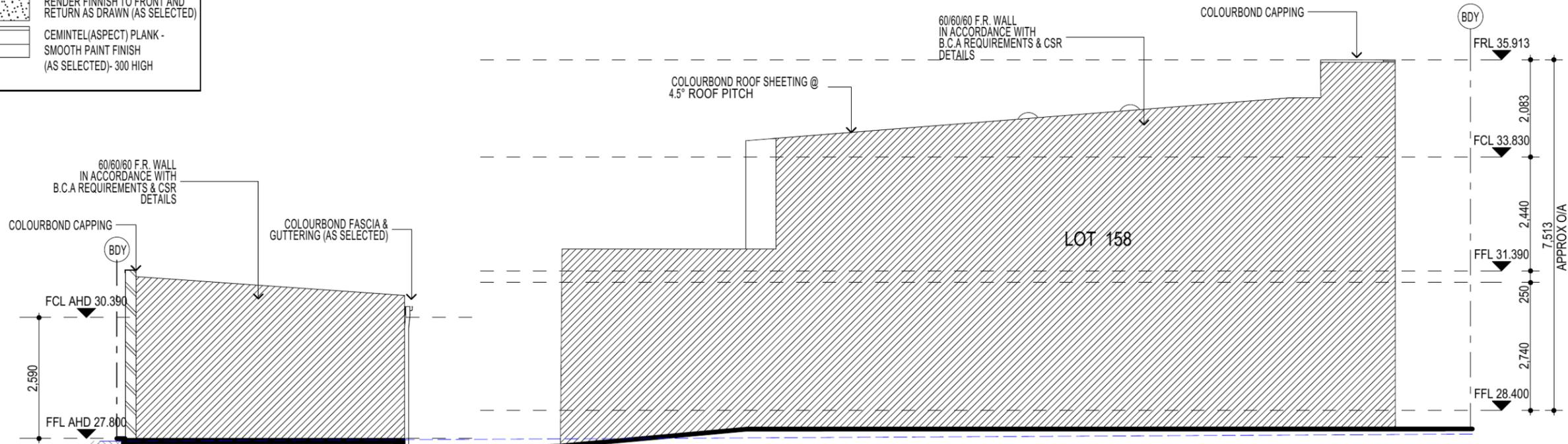
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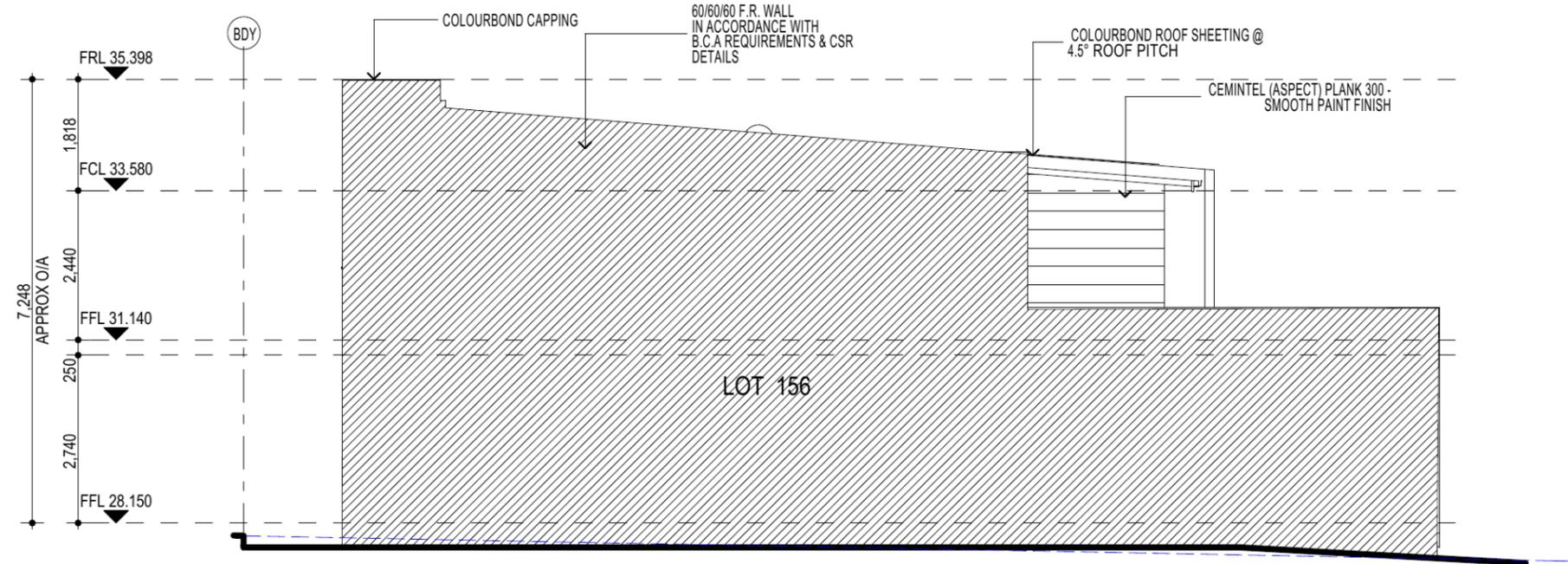
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ELEVATION B



ELEVATION D

NOTE
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3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
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ABSA Class 1 Building Single-Dwelling Certification

Certification Number: 1006956437
Certification Date: 10/09/2014
Assessor Name: Vic Vicarelli
Assessor Number: 20311

Simulated Energy Heating: 43.0 MJ/m2 pa
Simulated Energy Cooling: 20.0 MJ/m2 pa
Water with Droughtplan: No

5.5/10

ABSA Class 1 Building Single-Dwelling Certification

Certification Number: 1006956479
Certification Date: 10/09/2014
Assessor Name: Vic Vicarelli
Assessor Number: 20311

Simulated Energy Heating: 43.0 MJ/m2 pa
Simulated Energy Cooling: 20.0 MJ/m2 pa
Water with Droughtplan: No

7.0/10

ABSA Class 1 Building Single-Dwelling Certification

Certification Number: 1006956400
Certification Date: 10/09/2014
Assessor Name: Vic Vicarelli
Assessor Number: 20311

Simulated Energy Heating: 43.0 MJ/m2 pa
Simulated Energy Cooling: 20.0 MJ/m2 pa
Water with Droughtplan: No

7.0/10

LOTS 156,157,158

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOTS 156,157,158
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: OXFORD 6.1 facade: PARKVIEW 18.5 CUSTOM	date: 24/09/2014
Sheet: 21 of 49	scale: 1:100
drawn: G.P.	checked: D.P.
806-14	807-15
808-15	

ELEVATIONS

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

MASTER BUILDERS ASSOCIATION
 MEMBER
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BASIX LOT 159	BASIX LOTS 160-161
= 74.5m ² of roof area to discharge to water tank. = stormwater and overflow to discharge to existing street channel. o/a= 108.92m ² of roof area.	= 77.75m ² of roof area to discharge to water tank. = stormwater and overflow to discharge to existing street channel. o/a= 99.47m ² of roof area.
LEGEND:	LEGEND:
○ = SURFACE INLETS AS REQUIRED ○ = SURFACE INLETS LINE — = STORMWATER LINE	○ = SURFACE INLETS AS REQUIRED ○ = SURFACE INLETS LINE — = STORMWATER LINE
LOT 159	LOTS 160 & 161
EARTHWORKS TO AHD	EARTHWORKS TO AHD
HOUSE: FFL: R.L. 28.400 (LIVING) FGL: R.L. 28.000 GARAGE: FFL: R.L. 27.800 FGL: R.L. 27.475	HOUSE: FFL: R.L. 28.550 (LIVING) FGL: R.L. 28.150 GARAGE: FFL: R.L. 28.025 FGL: R.L. 27.700

NOTE:
REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

GENERAL DRAINAGE NOTES

1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
 2. Stormwater pipes to be 100mm DIA. (Min) at 1 deg. Grade (Min) to AS3500
 3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
 4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
 5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.
- note:
r.l. levels indicative to a building tolerance of +/- 90mm.
- NOTE:
EAVES O/H TO ENCROACH AS ALLOWED BY B.C.A:CL3.7.1.7 & FIGURE 3.7.1.9



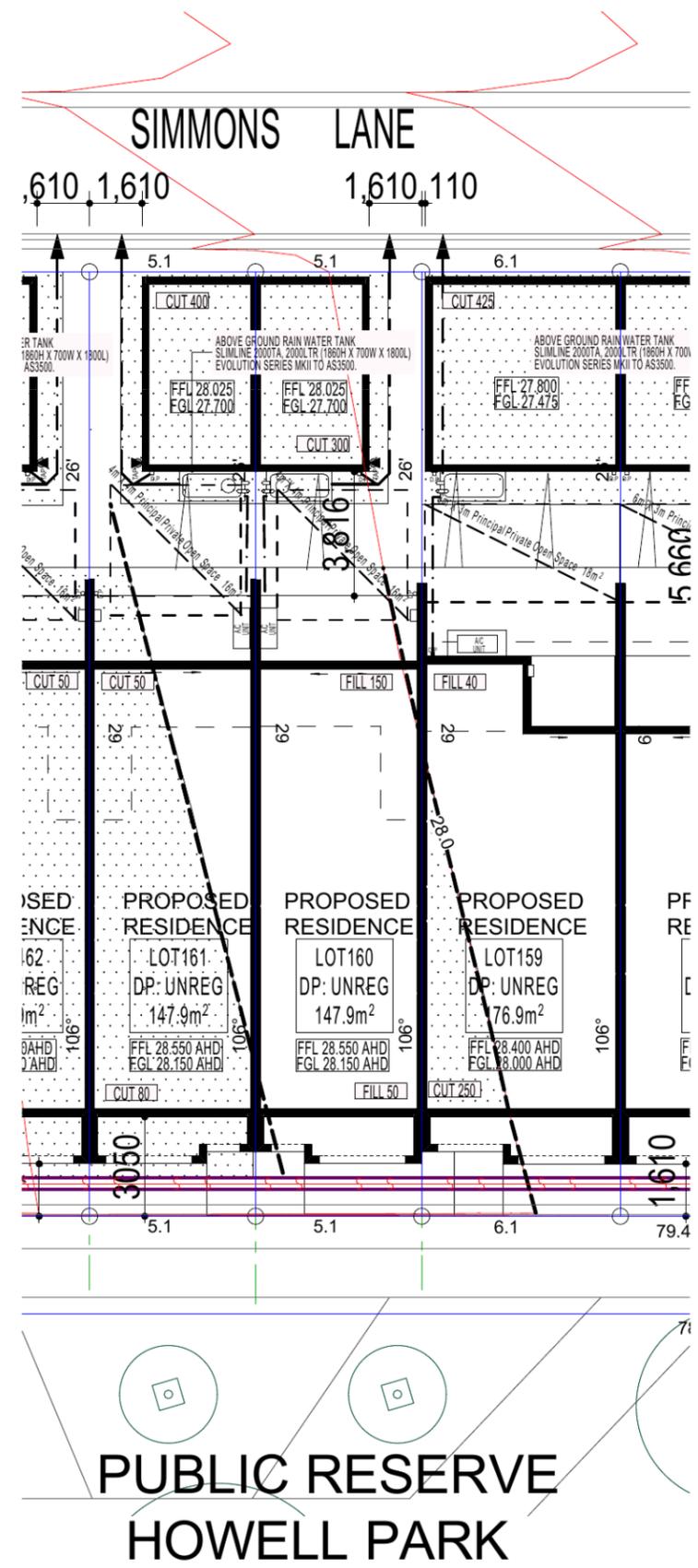
NOTE:
PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
PLEASE REFER TO "ECO DESIGN" LANDSCAPE PLANS ISSUE: 'F' DATED 10.09.14

NOTE:
ALL COMPONENTS SUCH AS: APPLIANCES; PLUMBING FITTINGS & FIXTURES; DOORS; CABINETS; HANDLES; PC ITEMS; ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS.

FIBRE OPTIC WIRING PACKAGE

NOTE
AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
3-PHASE POWER



SITE PLAN & STORMWATER CONCEPT PLAN

DEVELOPMENT CALCULATIONS
 LOT: 159 NO: 00 OF SITE AREA: 176.90m²

Itemised Floor Areas:	Totals:
living ground floor:	80.68m ²
first floor: (excl. void 3.40m ²)	71.46m ²
garage: (excess 00.000m ²)	35.88m ²
alfresco:	6.12m ²
porch:	7.84m ²
balcony:	5.74m ²
total floor area:	207.72m ²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	80.68m ²
garage:	35.88m ²
porch/alfresco:	13.96m ²
driveway/paved area:	3.84m ²
site coverage Area:	130.52m ² (73.78%)
landscape area:	46.38m ² (26.2%)
pervious areas (soft)	42.54m ² (24.10%)
impervious areas (hard)	134.36m ² (75.90%)
private open space o/a:	40.75m ²
principal private open space:	18.0m ²
total car space incl. carstand:	2 carspace

DEVELOPMENT CALCULATIONS
 LOT: 160 NO: 00 OF SITE AREA: 147.90m²

Itemised Floor Areas:	Totals:
living ground floor:	71.35m ²
first floor: (excl. void 52.68m ²)	56.09m ²
garage: (excess 00.000m ²)	20.79m ²
alfresco:	10.37m ²
porch:	6.75m ²
balcony:	5.74m ²
total floor area:	171.09m ²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	71.35m ²
garage:	20.79m ²
porch/alfresco:	17.12m ²
driveway/paved area:	4.11m ²
site coverage Area:	109.26m ² (73.87%)
landscape area:	38.64m ² (26.13%)
pervious areas (soft)	34.53m ² (23.34%)
impervious areas (hard)	113.37m ² (80.46%)
private open space o/a:	29.69m ²
principal private open space:	16.0m ²
total car space incl. carstand:	1 carspace

DEVELOPMENT CALCULATIONS
 LOT: 161 NO: 00 OF SITE AREA: 147.90m²

Itemised Floor Areas:	Totals:
living ground floor:	71.35m ²
first floor: (excl. void 52.68m ²)	56.09m ²
garage: (excess 00.000m ²)	20.79m ²
alfresco:	10.37m ²
porch:	6.75m ²
balcony:	5.74m ²
total floor area:	171.09m ²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	71.35m ²
garage:	20.79m ²
porch/alfresco:	17.12m ²
driveway/paved area:	4.11m ²
site coverage Area:	109.26m ² (73.87%)
landscape area:	38.64m ² (26.13%)
pervious areas (soft)	34.53m ² (23.34%)
impervious areas (hard)	113.37m ² (80.46%)
private open space o/a:	29.69m ²
principal private open space:	16.0m ²
total car space incl. carstand:	1 carspace

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOTS 159,160,161
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934 council: PENRITH

model: OXFORD 6.1 facade: date: 24/09/2014 quotation assessment: SK1

Sheet: 25 of 49 drawn: G.P. checked: D.P. scale: 1:200

CLIENTS SIGNATURE: DATE: S.P. 0.0.

LOTS 159,160,161

KEY

	FACE BRICK (AS SELECTED)
	MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	CEMINTEL (ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED)- 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

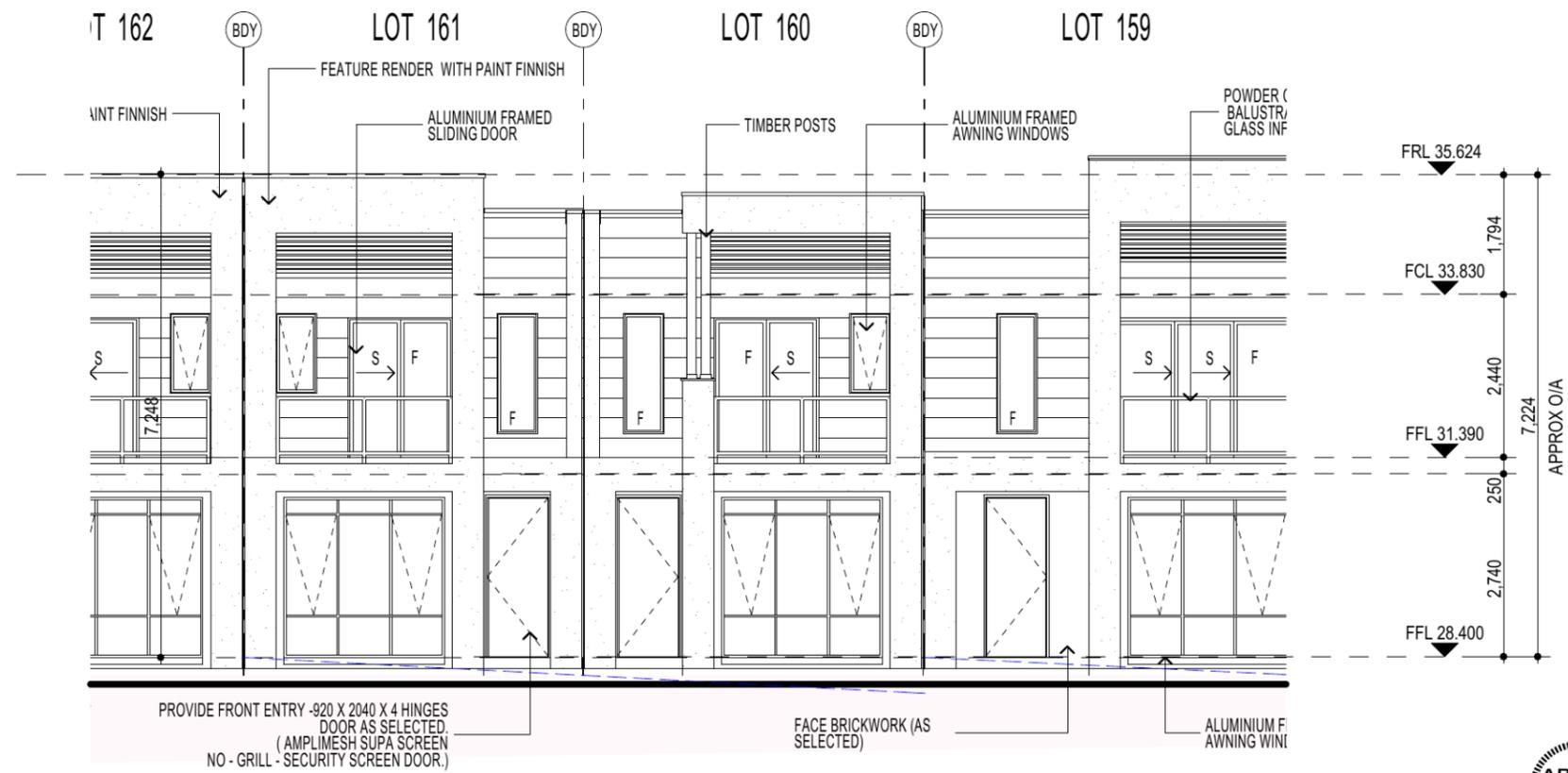
FIRSTSTYLE HOMES Pty.Ltd
Lic No. 113412C
ACN. 087 773 779
PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 9731 9600
FAX: (02) 9601 0711
EMAIL: design@firststyle.com.au

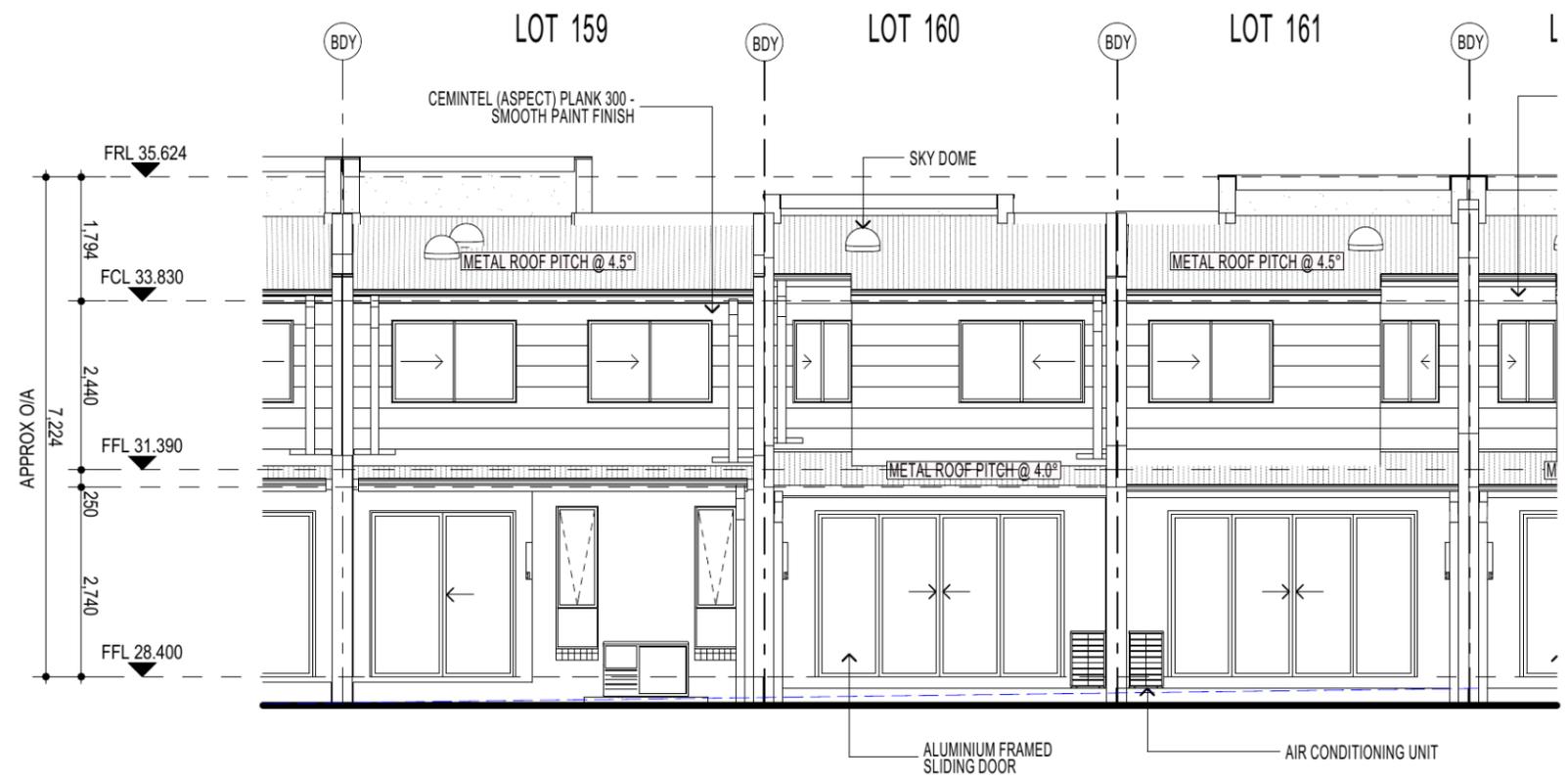
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MEMBER

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ELEVATION A



ELEVATION C

ABSA Class 1 Building Single-Dwelling Certification

Certification Number: 1006957402	Certification Date: 10/09/2014
Assessor Name: Vic Vicaretti	Assessor Number: 20311
Assessor Signature: [Signature]	Simulated Energy HEATING: 23.0 MJ/m2 pa
	Simulated Energy COOLING: 21.7 MJ/m2 pa
	Simulated Energy TOTAL: 44.7 MJ/m2 pa
	Star Rating: 7.5/10

ABSA Class 1 Building Single-Dwelling Certification

Certification Number: 1006957516	Certification Date: 10/09/2014
Assessor Name: Vic Vicaretti	Assessor Number: 20311
Assessor Signature: [Signature]	Simulated Energy HEATING: 43.0 MJ/m2 pa
	Simulated Energy COOLING: 21.7 MJ/m2 pa
	Simulated Energy TOTAL: 64.7 MJ/m2 pa
	Star Rating: 7.0/10

ABSA Class 1 Building Single-Dwelling Certification

Certification Number: 1006957900	Certification Date: 10/09/2014
Assessor Name: Vic Vicaretti	Assessor Number: 20311
Assessor Signature: [Signature]	Simulated Energy HEATING: 43.0 MJ/m2 pa
	Simulated Energy COOLING: 21.7 MJ/m2 pa
	Simulated Energy TOTAL: 64.7 MJ/m2 pa
	Star Rating: 7.0/10

LOTS 159,160,161

PROMOTION: *LIVING/STYLE COLLECTION*

CLIENT: **FIRSTSTYLE**

LOCATION: **PROPOSED LOTS 159,160,161 HUDSON STREET, PENRITH NSW 2750**

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934

council: **PENRITH**

model: **OXFORD 6.1** facade: **PARKVIEW 18.5** date: **24/09/2014** quotation assessment: **SK1**

Sheet: **28 of 49** drawn: **G.P.** checked: **D.P.** scale: **1:100**

802-14
804-14
805-15

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

ELEVATIONS

NOTE
AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
PLEASE REFER TO "ECO DESIGN" LANDSCAPE PLANS ISSUE: 'F' DATED 10.09.14

NOTE:
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- KEY**
-  FACE BRICK (AS SELECTED)
 -  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
 -  RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
 -  CEMINTEL (ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED) - 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

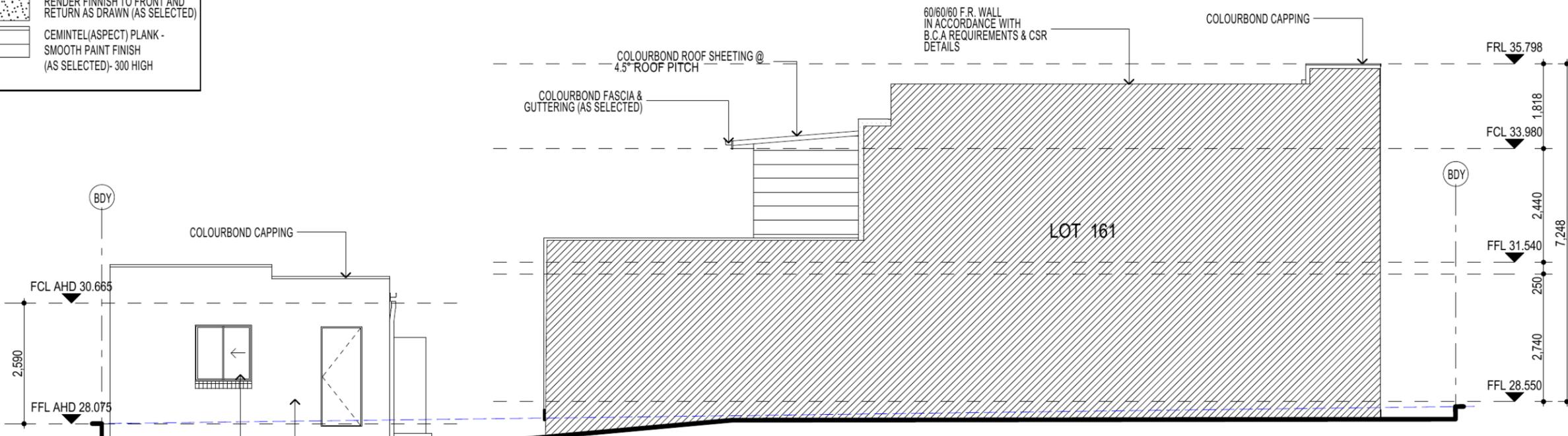
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ADMIN: (02) 9731 9600
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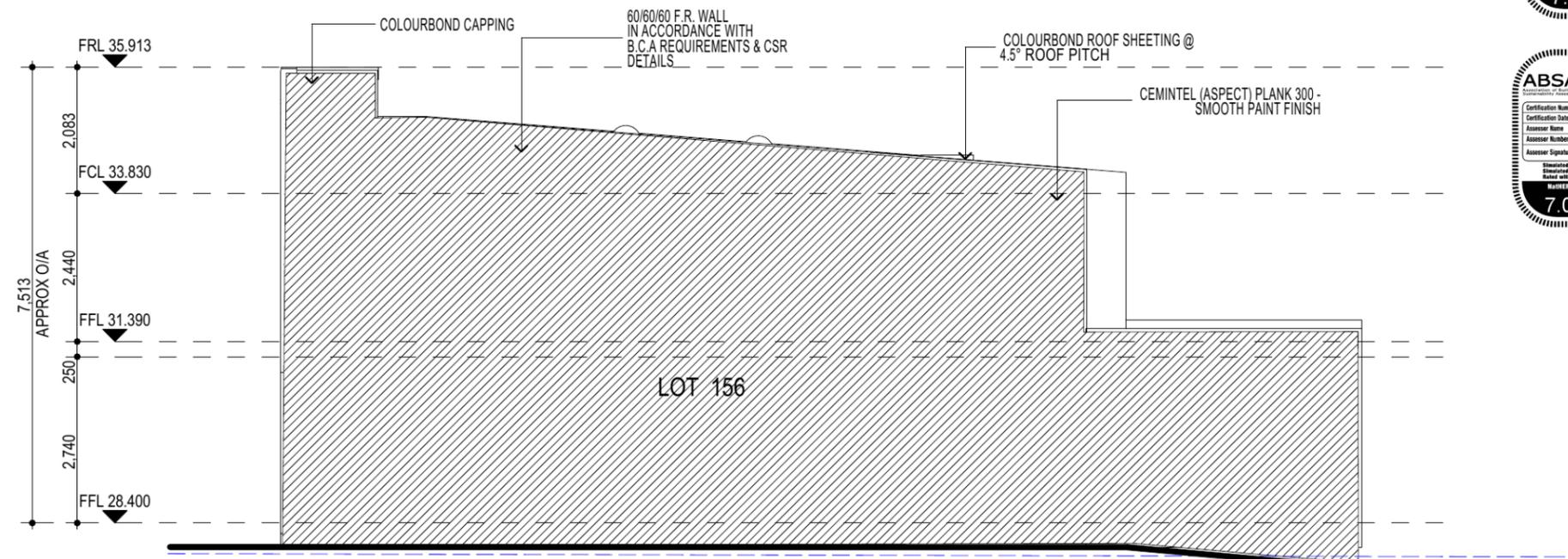
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ELEVATION B



ELEVATION D



NOTE
AIR CONDITIONING ONLY
(EER 2.5-3.0 OR GREATER)
3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD
TERMITE TREATMENT

NOTE:
PLEASE REFER TO "ECO DESIGN"
LANDSCAPE PLANS ISSUE: 'F' DATED
10.09.14

NOTE:
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PLUMBING FITTINGS & FIXTURES; DOORS;
CABINETS; HANDLES; PC ITEMS; ARE SHOWN
ON THE PLANS & ELEVATIONS FOR
ILLUSTRATION PURPOSES ONLY & TO
COMMUNICATE APPROX SIZES. PLEASE REFER
TO YOUR SPECIFICATIONS FOR YOUR RELEVANT
INCLUSIONS.

LOTS 159,160,161

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOTS 159,160,161
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: OXFORD 6.1 facade: PARKVIEW 18.5 CUSTOM	date: 24/09/2014 quotation assessment: SK1
Sheet: 29 of 49	drawn: G.P. checked: D.P. scale: 1:100
	809-14 810-15 811-15

ELEVATIONS

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

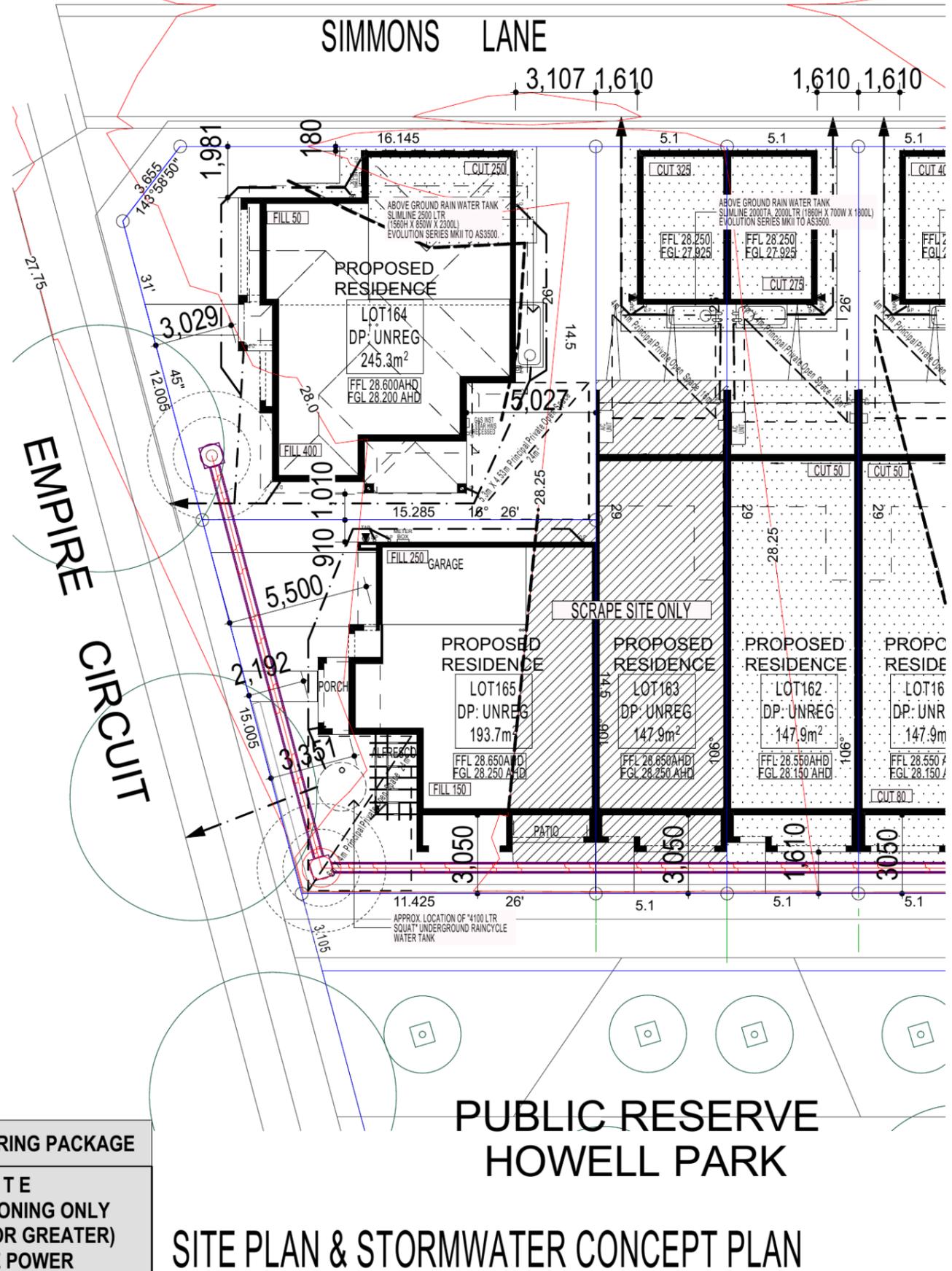
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BASIX LOT 165 = 95.89m ² of roof area to discharge to water tank. = stormwater and overflow to discharge to existing street channel. o/a= 95.89m ² of roof area.	BASIX LOTS 162 ,163 = 77.75m ² of roof area to discharge to water tank. = stormwater and overflow to discharge to existing street channel. o/a= 99.47m ² of roof area.
LEGEND: ○ = SURFACE INLETS AS REQUIRED —○— = SURFACE INLETS LINE — = STORMWATER LINE	LEGEND: ○ = SURFACE INLETS AS REQUIRED —○— = SURFACE INLETS LINE — = STORMWATER LINE
LOT 165 & 163	LOTS 162
EARTHWORKS TO AHD	EARTHWORKS TO AHD
HOUSE: FFL: R.L: 28.650 (LIVING) FGL: R.L: 28.250 GARAGE: FFL: R.L: 28.250 FFL: R.L: 28.480 (LOT 165) FGL: R.L: 27.925	HOUSE: FFL: R.L: 28.550 (LIVING) FGL: R.L: 28.150 GARAGE: FFL: R.L: 28.250 FFL: R.L: 28.480 (LOT 165) FGL: R.L: 27.925

NOTE:
REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

GENERAL DRAINAGE NOTES

1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
 2. Stormwater pipes to be 100mm DIA. (Min) at 1 deg. Grade (Min) to AS3500
 3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
 4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
 5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.
- note:
r.l. levels indicative to a building tolerance of +/- 90mm.
- NOTE:**
EAVES O/H TO ENCROACH AS ALLOWED BY B.C.A:CL3.7.1.7 & FIGURE 3.7.1.9



DEVELOPMENT CALCULATIONS
 LOT: 162 NO: 00 OF SITE AREA: 147.90m²

Itemised Floor Areas:	Totals:
living ground floor:	71.35m ²
first floor: (excl. void 52.68m ²)	56.09m ²
garage: (excess 00.000m ²)	20.79m ²
alfresco:	10.37m ²
porch:	6.75m ²
balcony:	5.74m ²
total floor area:	171.09m²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	71.35m ²
garage:	20.79m ²
porch/alfresco:	17.12m ²
driveway/paved area:	4.11m ²
site coverage Area:	109.26m ² (73.87%)
landscape area:	38.64m ² (26.13%)
pervious areas (soft)	34.53m ² (23.34%)
impervious areas (hard)	113.37m ² (80.46%)
private open space o/a:	29.69m ²
principal private open space:	16.0m ²
total car space incl. carstand:	1 carspace

DEVELOPMENT CALCULATIONS
 LOT: 163 NO: 00 OF SITE AREA: 147.90m²

Itemised Floor Areas:	Totals:
living ground floor:	71.35m ²
first floor: (excl. void 52.68m ²)	56.09m ²
garage: (excess 00.000m ²)	20.79m ²
alfresco:	10.37m ²
porch:	6.75m ²
balcony:	5.74m ²
total floor area:	171.09m²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	71.35m ²
garage:	20.79m ²
porch/alfresco:	17.12m ²
driveway/paved area:	4.11m ²
site coverage Area:	109.26m ² (73.87%)
landscape area:	38.64m ² (26.13%)
pervious areas (soft)	34.53m ² (23.34%)
impervious areas (hard)	113.37m ² (80.46%)
private open space o/a:	29.69m ²
principal private open space:	16.0m ²
total car space incl. carstand:	1 carspace

DEVELOPMENT CALCULATIONS
 LOT: 165 NO: 00 OF SITE AREA: 193.7m²

Itemised Floor Areas:	Totals:
living ground floor:	69.88m ²
first floor: (excl. void 3.31m ²)	84.42m ²
garage: (excess 00.000m ²)	18.73m ²
alfresco:	4.83m ² /3.77m ²
porch:	3.59m ²
balcony:	5.30m ²
total floor area:	190.52m²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	69.88m ²
garage:	18.73m ²
porch/alfresco/patio:	12.19m ²
driveway/paved area:	24.83m ²
site coverage Area:	100.80m ² (51.6%)
landscape area:	93.62m ² (48.33%)
pervious areas (soft)	68.79m ² (35.55%)
impervious areas (hard)	124.91m ² (64.44%)
private open space o/a:	53.53m ²
principal private open space:	24.0m ²
total car space incl. carstand:	2 carspace

NOTE:
PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
PLEASE REFER TO "ECO DESIGN" LANDSCAPE PLANS ISSUE: 'F' DATED 10.09.14

FIBRE OPTIC WIRING PACKAGE

NOTE
AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
3-PHASE POWER

SITE PLAN & STORMWATER CONCEPT PLAN

LOTS 162,163,165

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOTS 162,163,165
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934 council: PENRITH
 model: SANFIELD 20 facade: date: 24/09/2014 quotation assessment: SK1
 Sheet: drawn: checked: 812-14
 33 of 49 G.P. D.P. 813-14
 scale: 1:200 815-14

CLIENTS SIGNATURE: DATE: S.P. 0.0.

KEY

-  FACE BRICK (AS SELECTED)
-  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  RENDER FINNISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  CEMINTEL(ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED)- 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

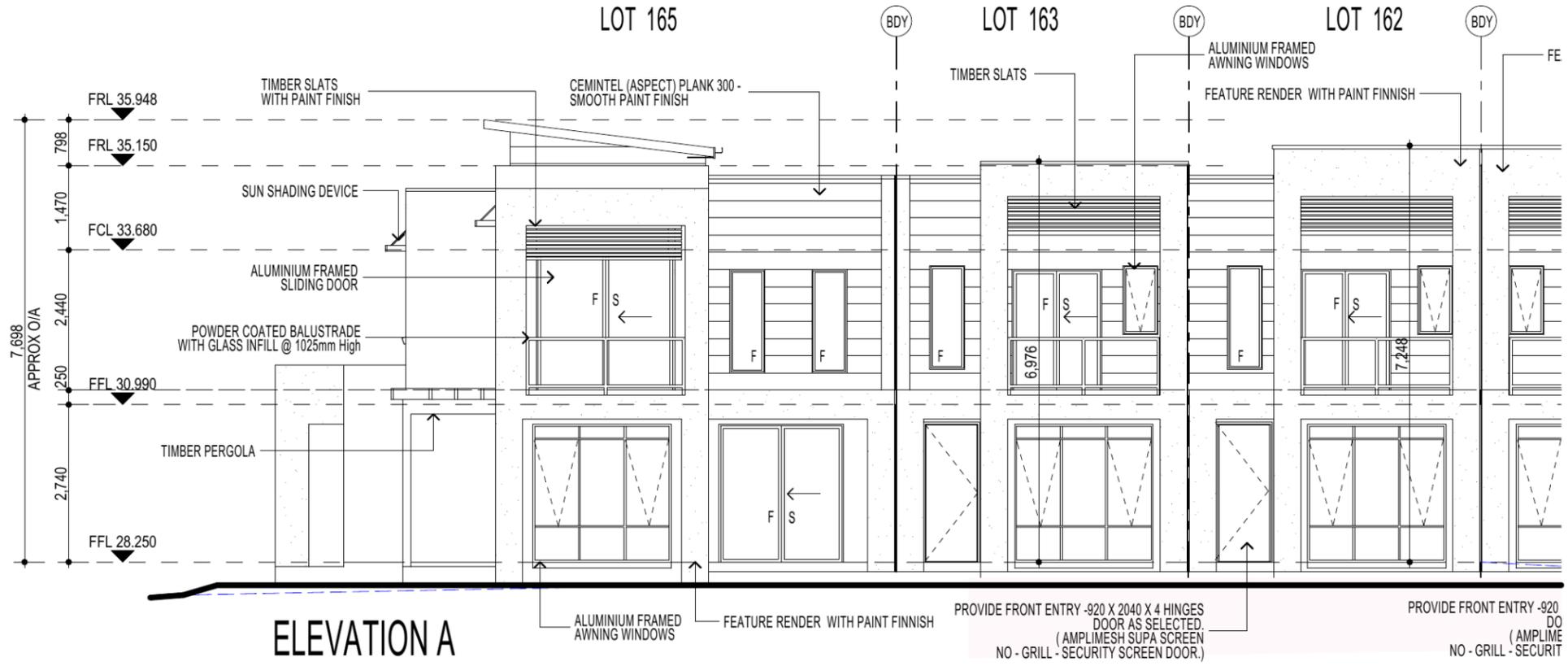
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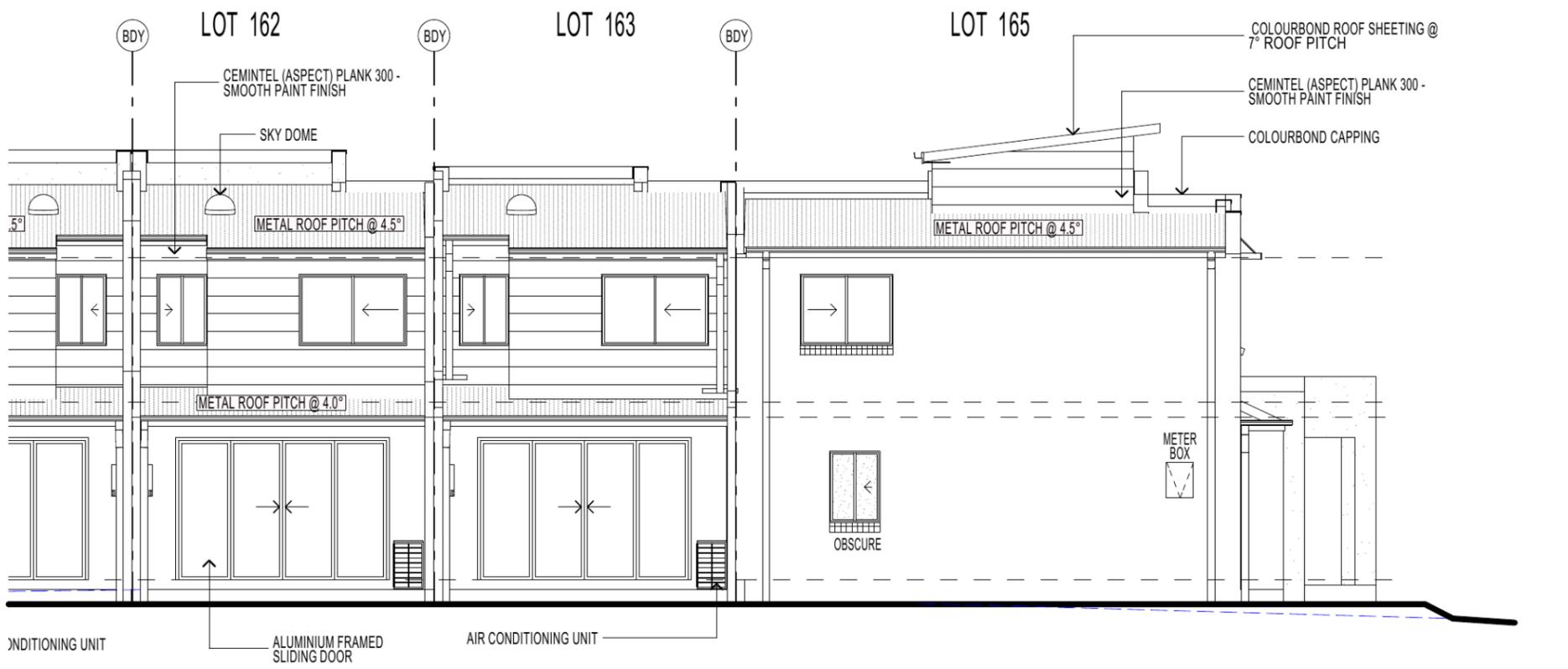
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ELEVATION A



ELEVATION C



LOTS 162,163,165

NOTE
AIR CONDITIONING ONLY
(EER 2.5-3.0 OR GREATER)
3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD
TERMITE TREATMENT

NOTE:
PLEASE REFER TO "ECO DESIGN"
LANDSCAPE PLANS ISSUE: 'F' DATED
10.09.14

NOTE:
ALL COMPONENTS SUCH AS: APPLIANCES;
PLUMBING FITTINGS & FIXTURES; DOORS;
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ON THE PLANS & ELEVATIONS FOR
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COMMUNICATE APPROX SIZES. PLEASE REFER
TO YOUR SPECIFICATIONS FOR YOUR RELEVANT
INCLUSIONS.

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOTS 162,163,165
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934 council: PENRITH

model: WINSTON 22 facade: CUSTOM date: 24/09/2014 quotation assessment: SK1

Sheet:	drawn:	checked:	812-14
36 of 49	G.P.	D.P.	813-14
	scale: 1.100		815-14

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

ELEVATIONS

KEY

	FACE BRICK (AS SELECTED)
	MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	CEMINTEL (ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED) - 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

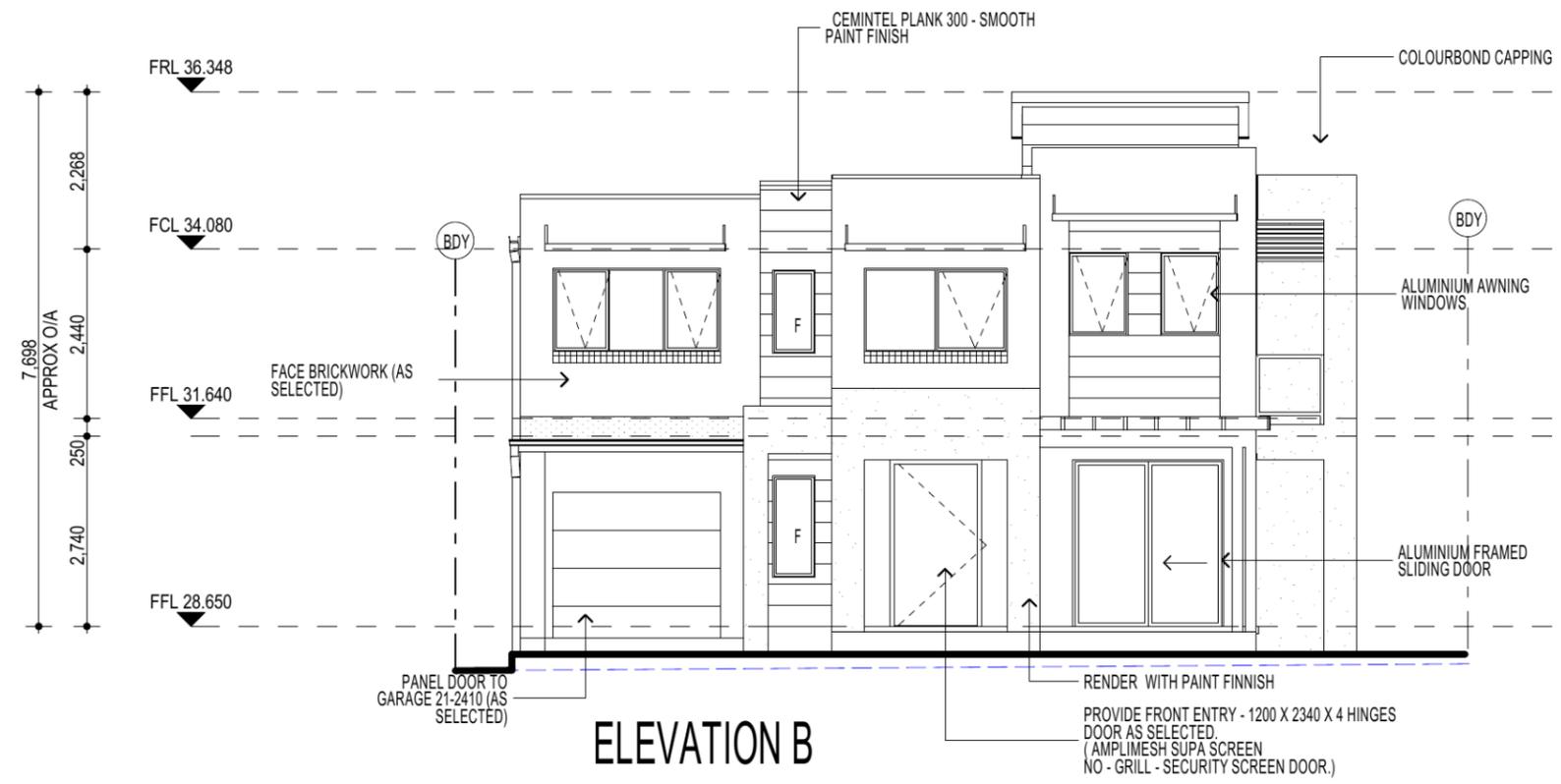
FIRSTSTYLE HOMES Pty.Ltd
Lic No. 113412C
ACN. 087 773 779
PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 9731 9600
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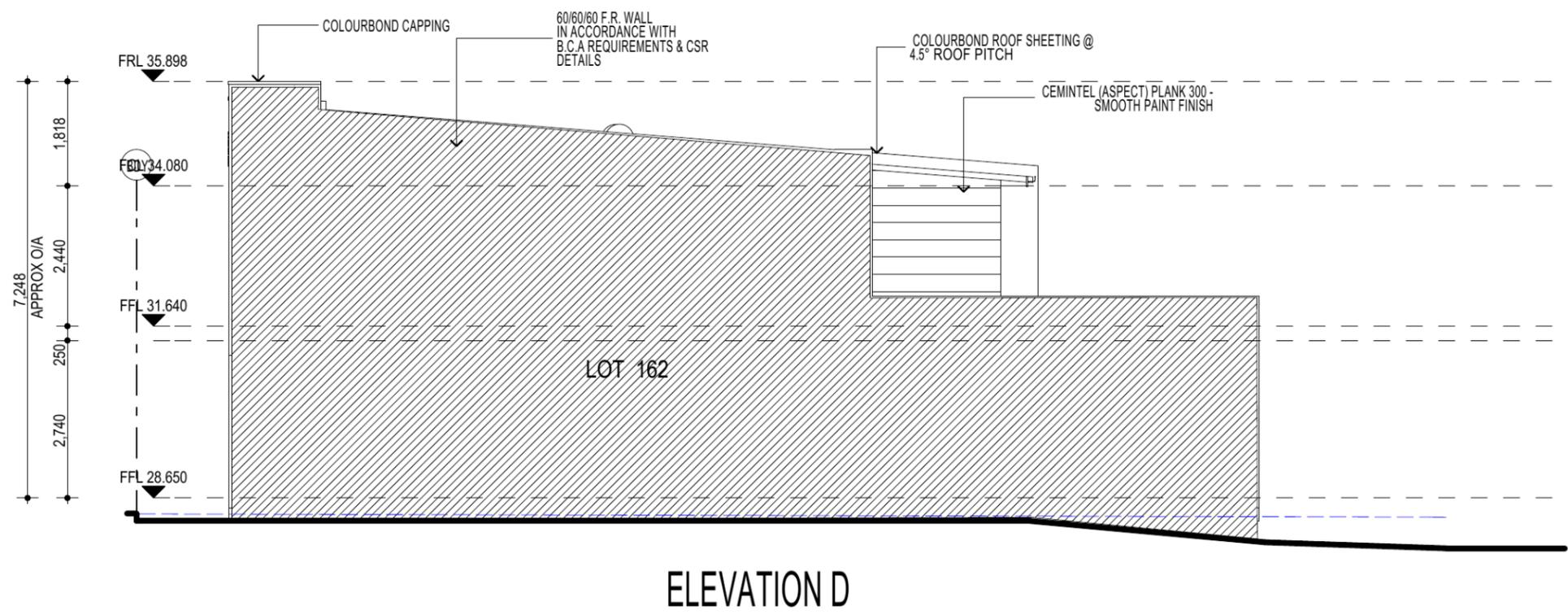
NOTE
AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER) 3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
PLEASE REFER TO "ECO DESIGN" LANDSCAPE PLANS ISSUE: 'F' DATED 10.09.14

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LOTS 162,163,165

PROMOTION: **LIVING/STYLE COLLECTION**

CLIENT: **FIRSTSTYLE**

LOCATION: **PROPOSED LOTS 162,163,165 HUDSON STREET, PENRITH NSW 2750**

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934 council: **PENRITH**

model: **SANFIELD 20** facade: [blank] date: **24/09/2014** quotation assessment: **SK1**

Sheet: **37 of 49** drawn: **G.P.** checked: **D.P.** scale: **1:100**

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

ELEVATIONS

KEY

-  FACE BRICK (AS SELECTED)
-  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  CEMINTEL(ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED)- 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

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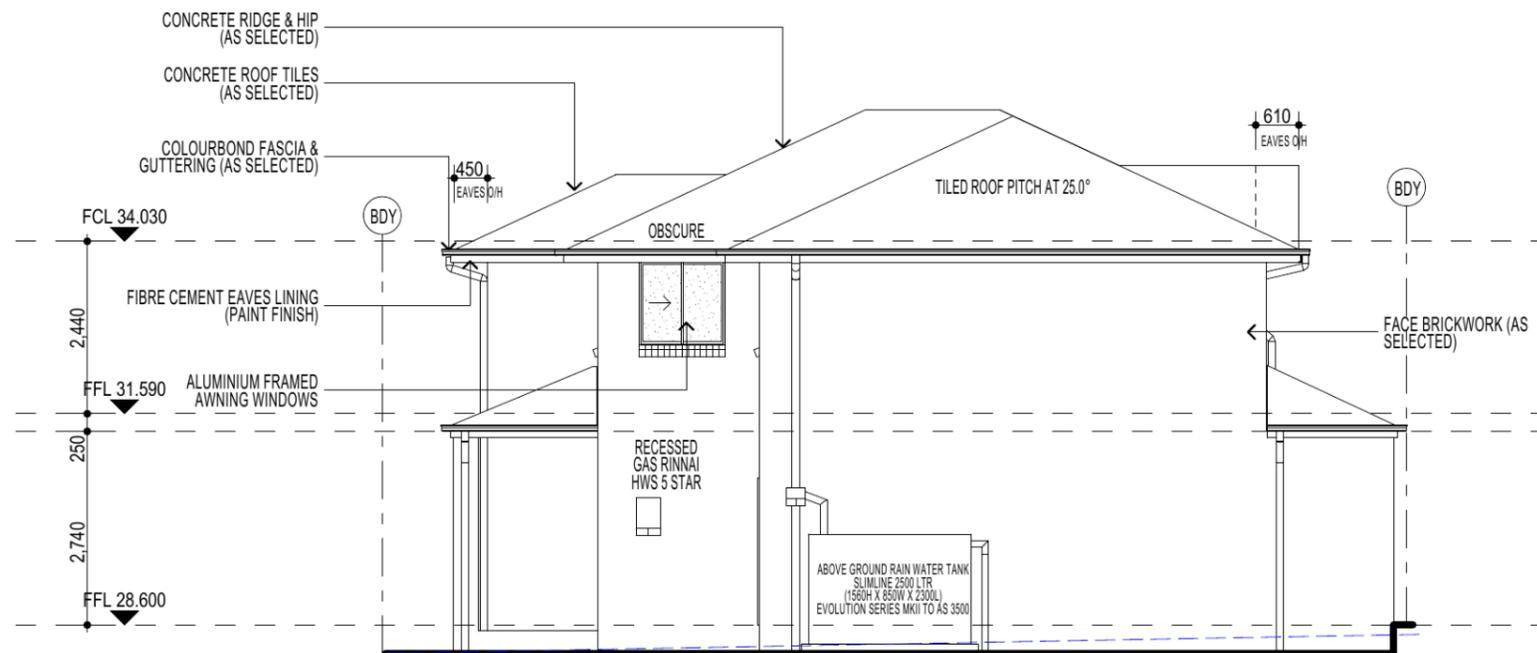
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ELEVATION A



ELEVATION C

NOTE
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(EER 2.5-3.0 OR GREATER)
3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD
TERMITE TREATMENT

NOTE:
PLEASE REFER TO "ECO DESIGN"
LANDSCAPE PLANS ISSUE: 'F' DATED
10.09.14

NOTE:
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ABSA Class 1 Building Single-Dwelling Certification

Certification Number: 1006857967
Certification Date: 10/06/2014
Assessor Name: Vic Vicaretti
Assessor Number: 203111
Assessor Signature: [Signature]

Simulated Energy: HEATING: 28.1 MJ/m2 pa
Simulated Energy: COOLING: 64.8 MJ/m2 pa
Based with Downlights: No

6.0/10

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOT 164
EMPIRE CIRCUIT, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934 council: PENRITH

model: WINSTON 22 facade: CUSTOM date: 24/09/2014 quotation assessment: SK1

Sheet: 43 of 49 drawn: G.P. checked: D.P. scale: 1:100 **804-14**

ELEVATIONS

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

KEY

-  FACE BRICK (AS SELECTED)
-  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  CEMINTEL(ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED)- 300 HIGH

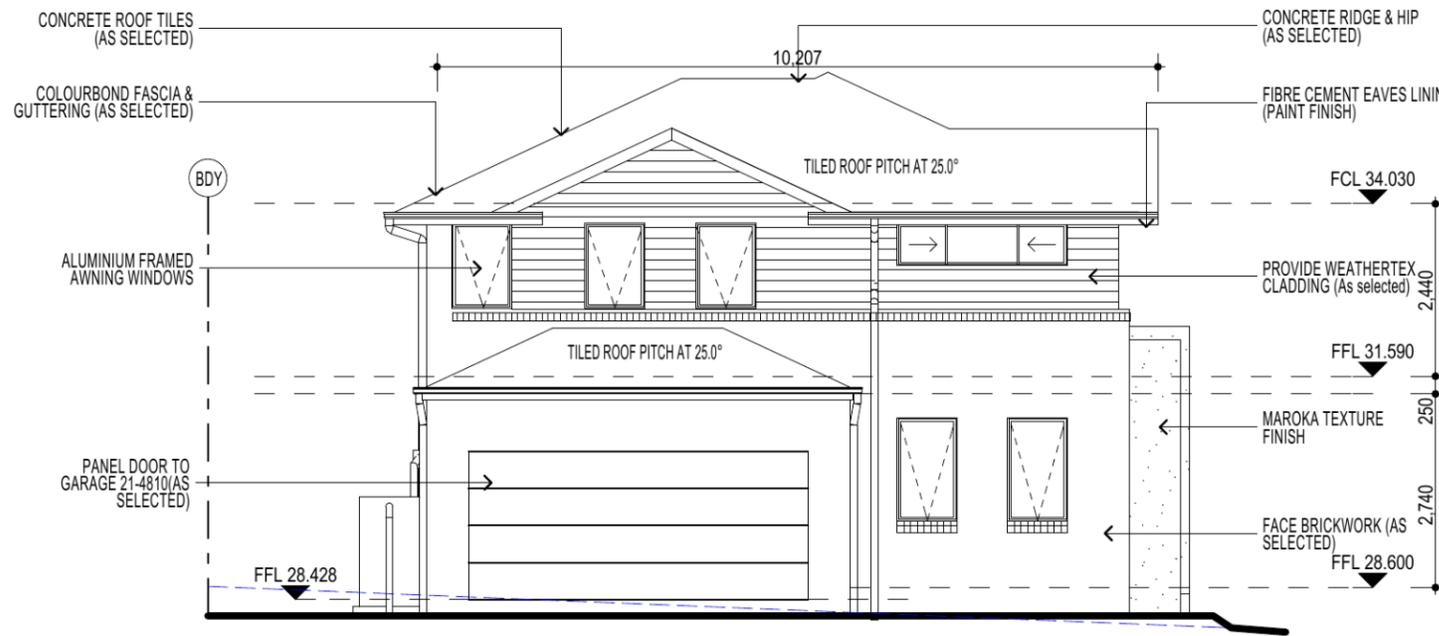
NOTE:
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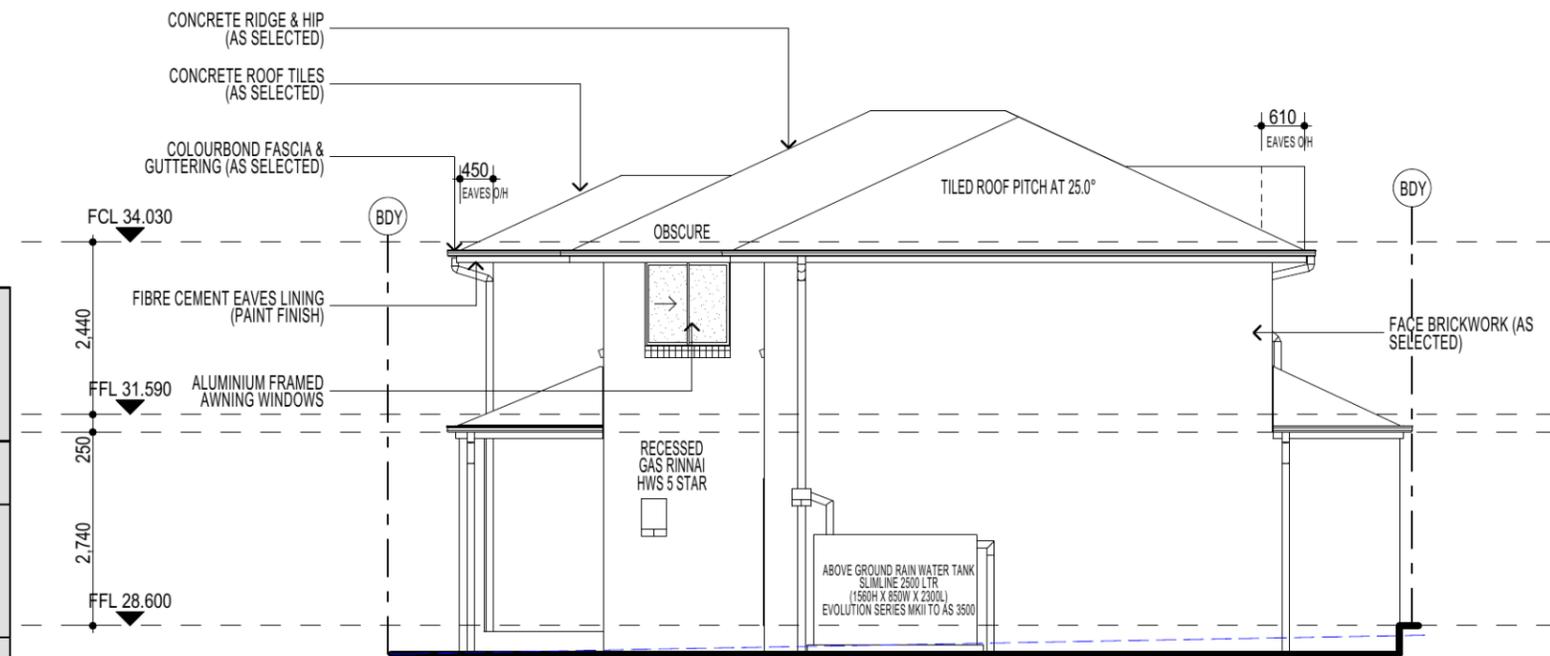
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ELEVATION B



ELEVATION D

NOTE
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(EER 2.5-3.0 OR GREATER)
3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD
TERMITE TREATMENT

NOTE:
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LANDSCAPE PLANS ISSUE: 'F' DATED
10.09.14

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PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOT 164
EMPIRE CIRCUIT, PENRITH NSW 2750

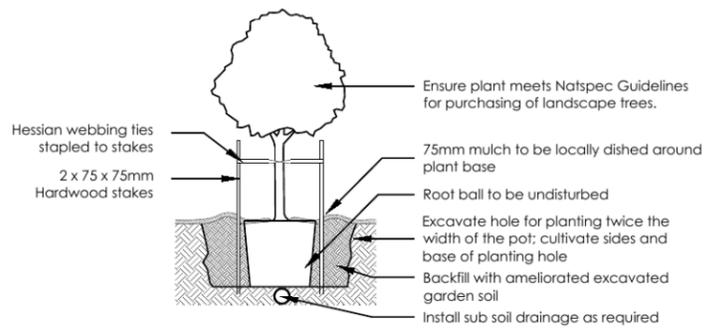
DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934 council: PENRITH

model: WINSTON 22 facade: CUSTOM date: 24/09/2014 quotation assessment: SK1

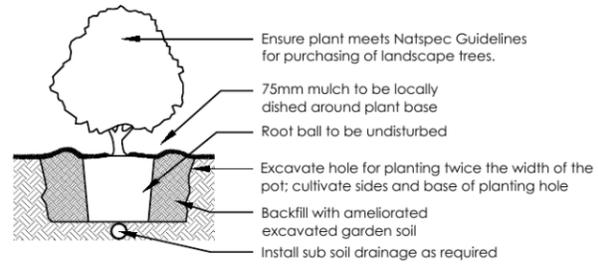
Sheet: 44 of 49 drawn: G.P. checked: D.P. scale: 1:100 804-14

ELEVATIONS

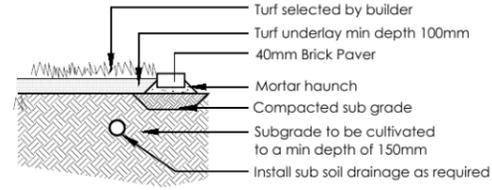
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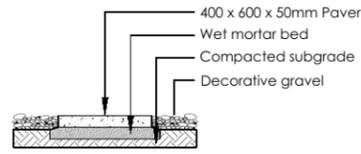
1 Tree Planting Detail
NTS 25L - 100L Pot Size



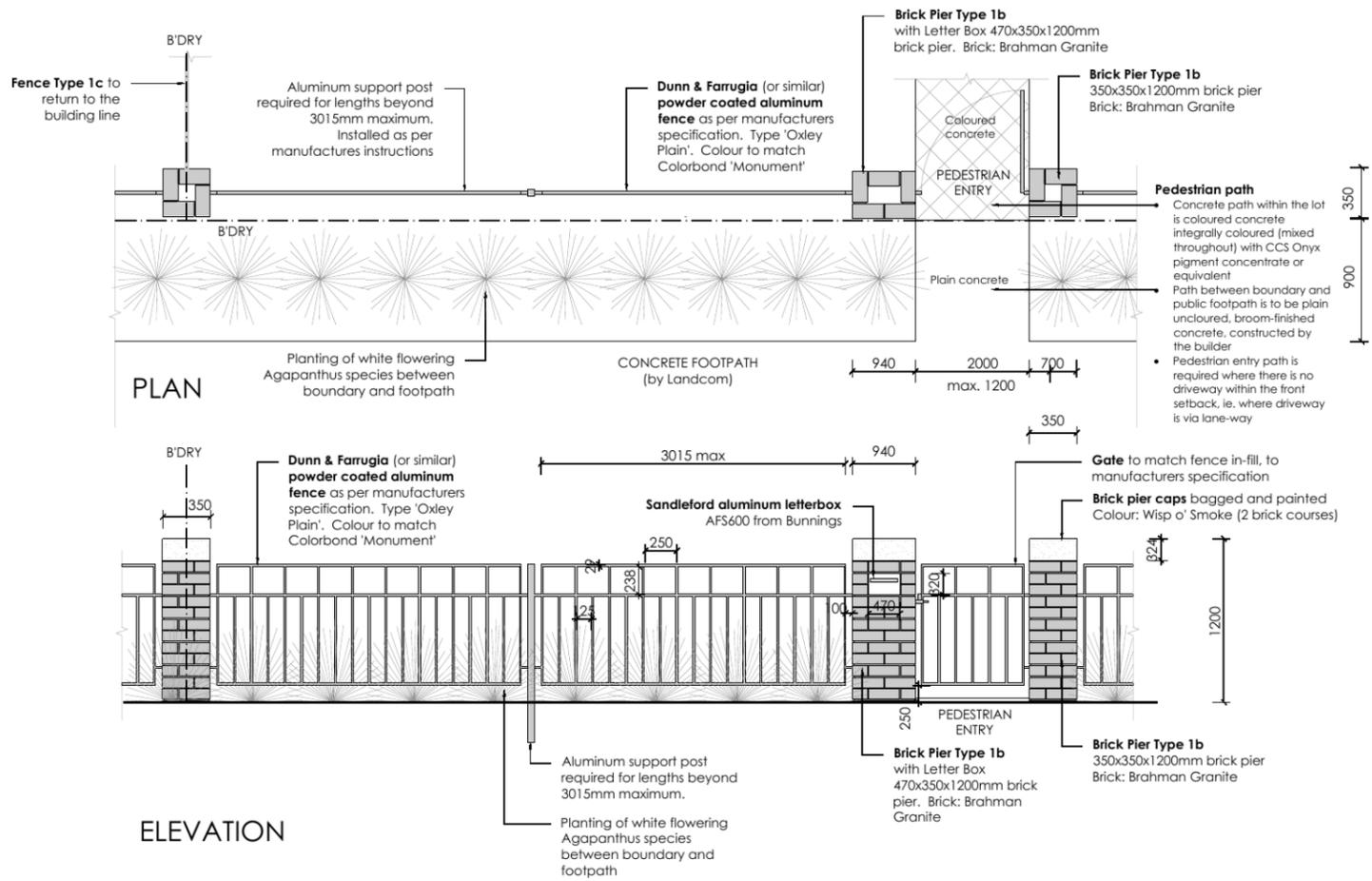
2 Planting Detail
NTS 150mm, 200mm Pot Size



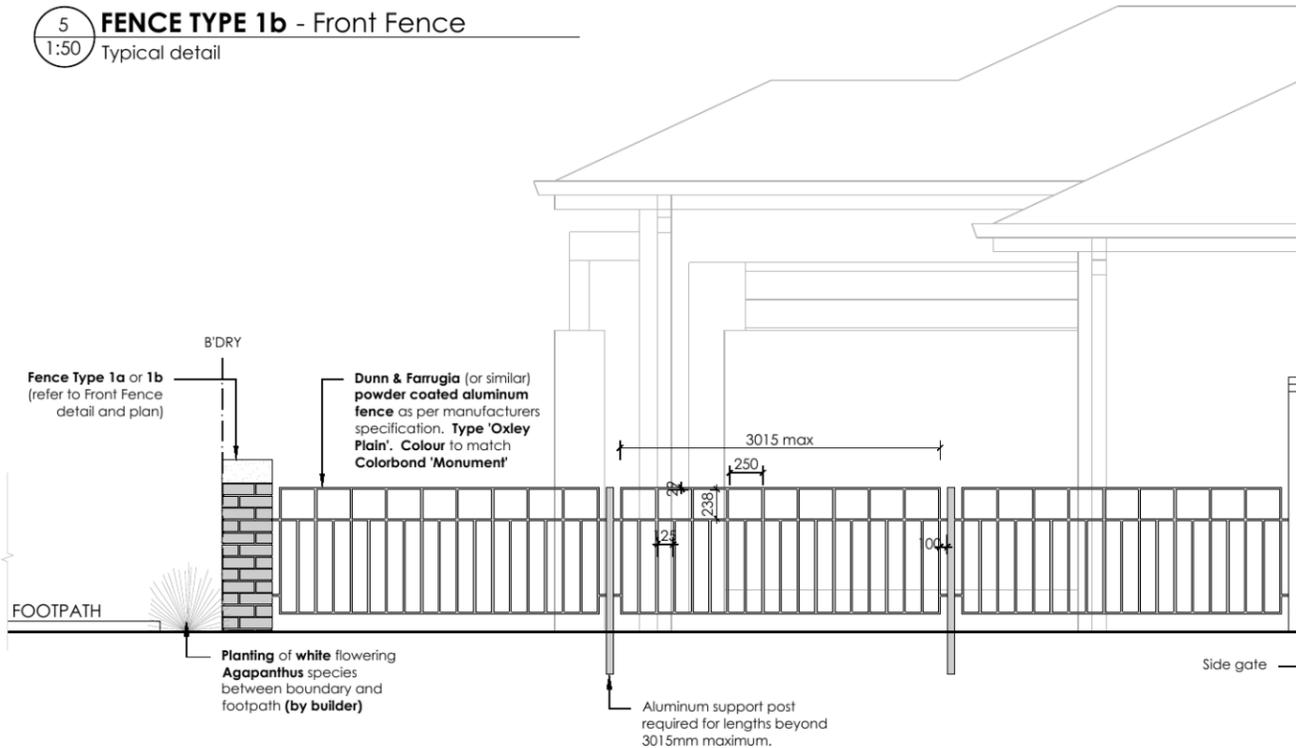
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-08-14
B	AMENDMENTS TO CLIENT MARK UP	RS	RS	25-08-14
C	AMENDMENTS TO CLIENT MARK UP	RS	RS	31-08-14
D	AMENDMENTS TO LOTS 153 & 164 TO CLIENT MARK UP	RS	RS	01-09-14
E	CORRECT LOT NUMBER FOR LOT 153. ADD BED TO LOT 161	RS	RS	04-09-14
F	BED 2 AND RE-ISSUE ISSUE DA PLANS FOR REVIEW	RS	RS	10-09-14

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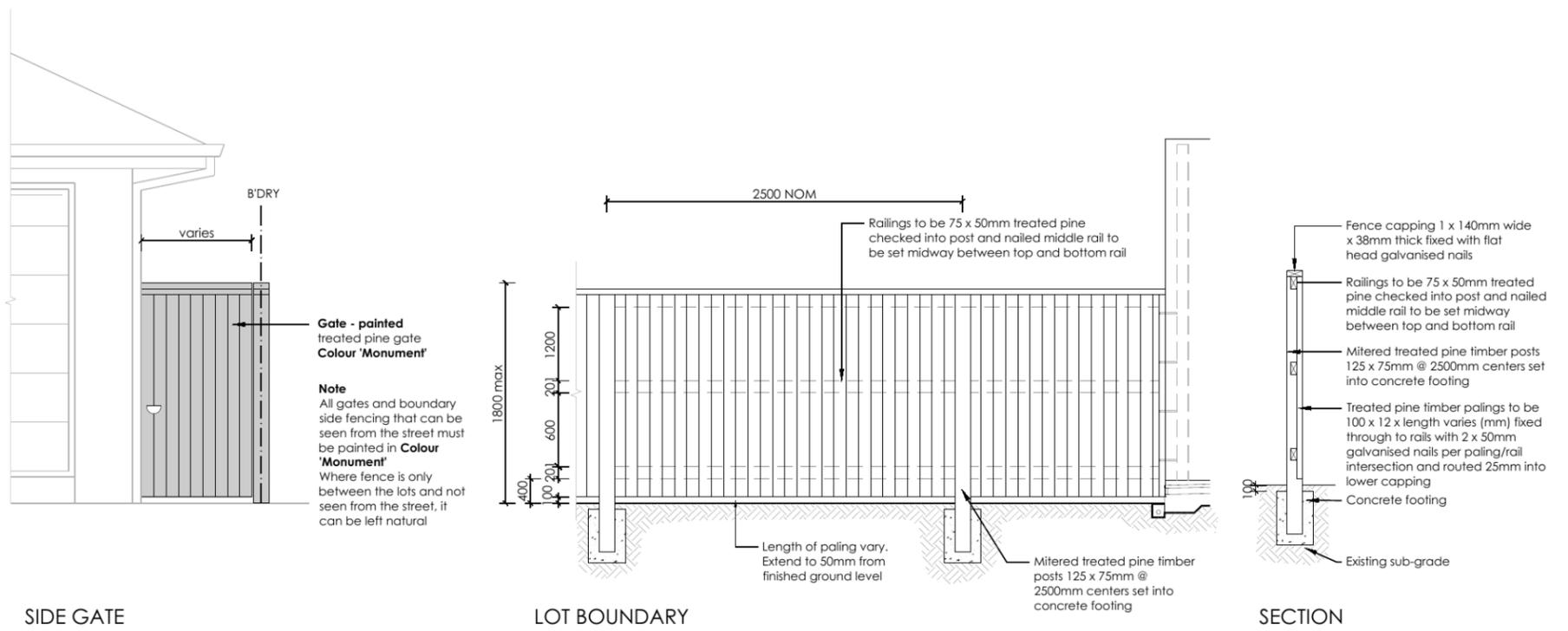
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7. All work to be performed by a suitably qualified tradesperson
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PROJECT: **THORNTON FENCING + PLANTING DETAILS**

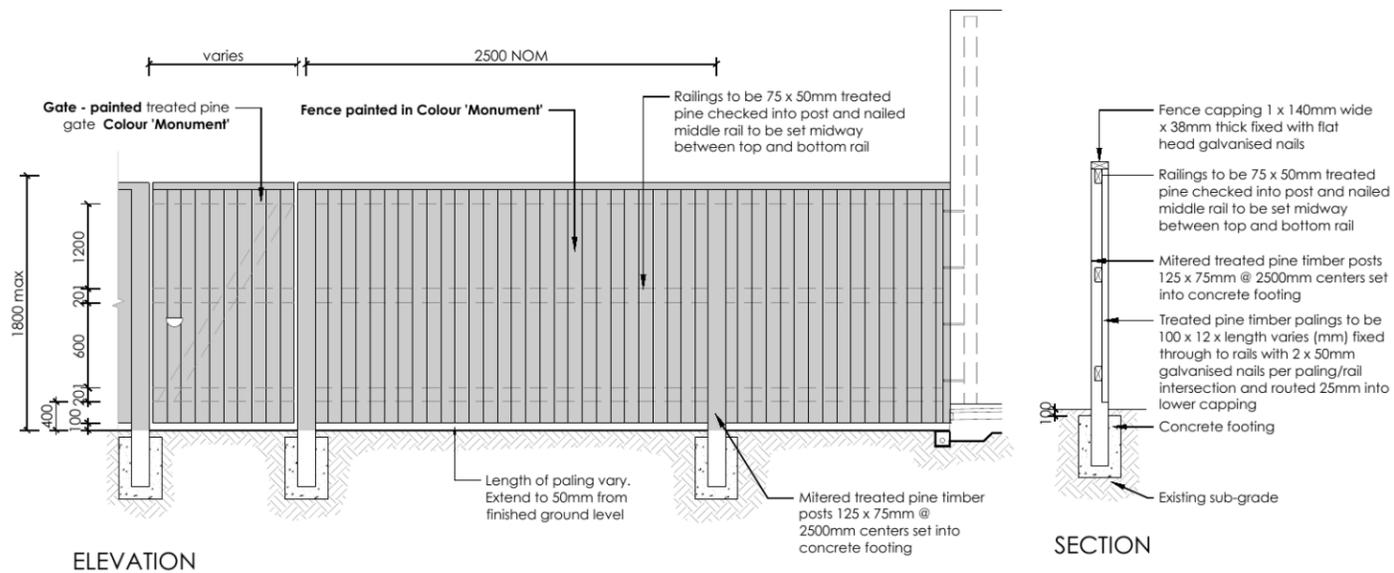
CLIENT: **FIRSTYLE HOMES**

PROJECT			
NEW RESIDENCE			
DRAWING: DETAILS			
SCALE: 1:100 @ A3	DATE: DA	SHEET: L-02	
DRAWN: RS	CHECK: RS	DATE: 10-09-14	REVISION: F

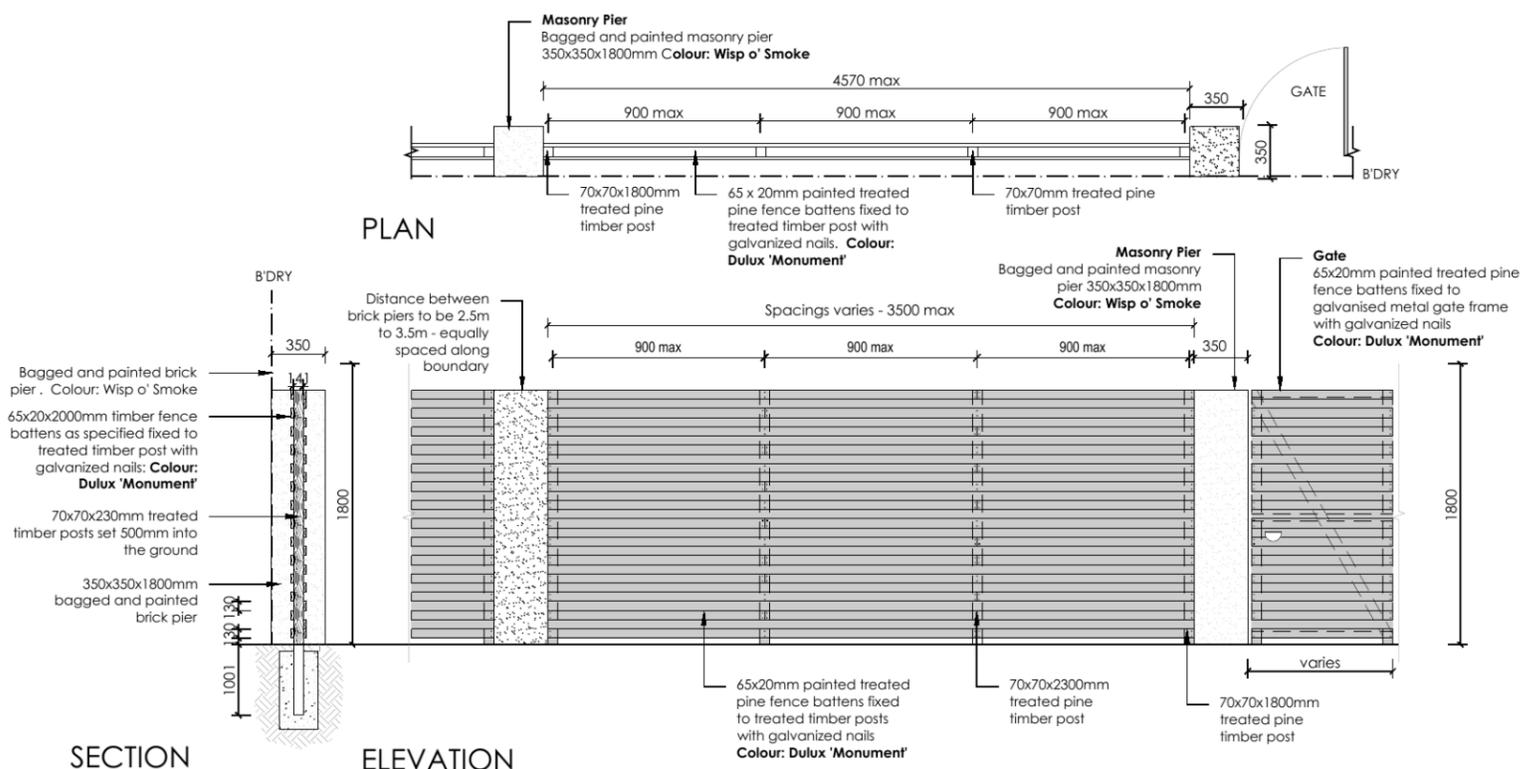




7 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail



8 **FENCE TYPE 4b - Rear Boundary**
1:50 All Laneways (except Barlett Lane)
Typical detail



9 **FENCE TYPE 2a - Secondary Street Fencing**
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-08-14
B	AMENDMENTS TO CLIENT MARK UP	RS	RS	25-08-14
C	AMENDMENTS TO CLIENT MARK UP	RS	RS	31-08-14
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E	CORRECT LOT NUMBER FOR LOT 153. ADD BED TO LOT 161	RS	RS	04-09-14
F	BED 2 AND RE-ISSUE ISSUE DA PLANS FOR REVIEW	RS	RS	10-09-14

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THORNTON FENCING + PLANTING DETAILS

FIRSTYLE HOMES

NEW RESIDENCE

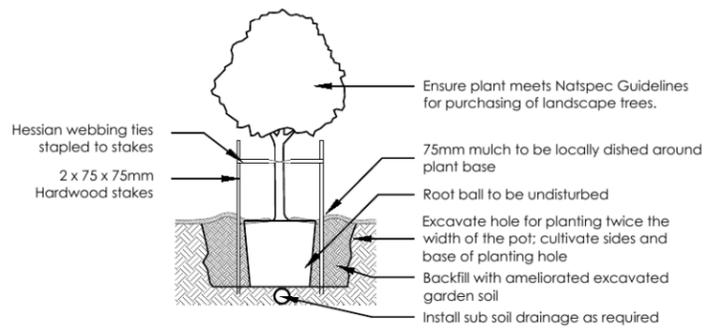
LANDSCAPE PLAN

SCALE: 1:100 @ A3

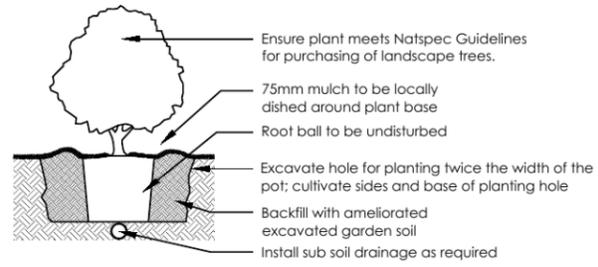
DATE: 10-09-14

REVISION: F

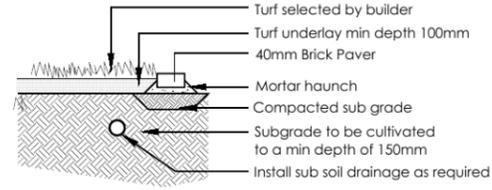




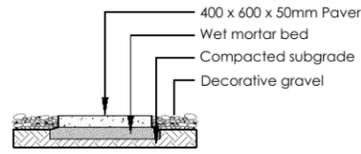
1 Tree Planting Detail
NTS 25L - 100L Pot Size



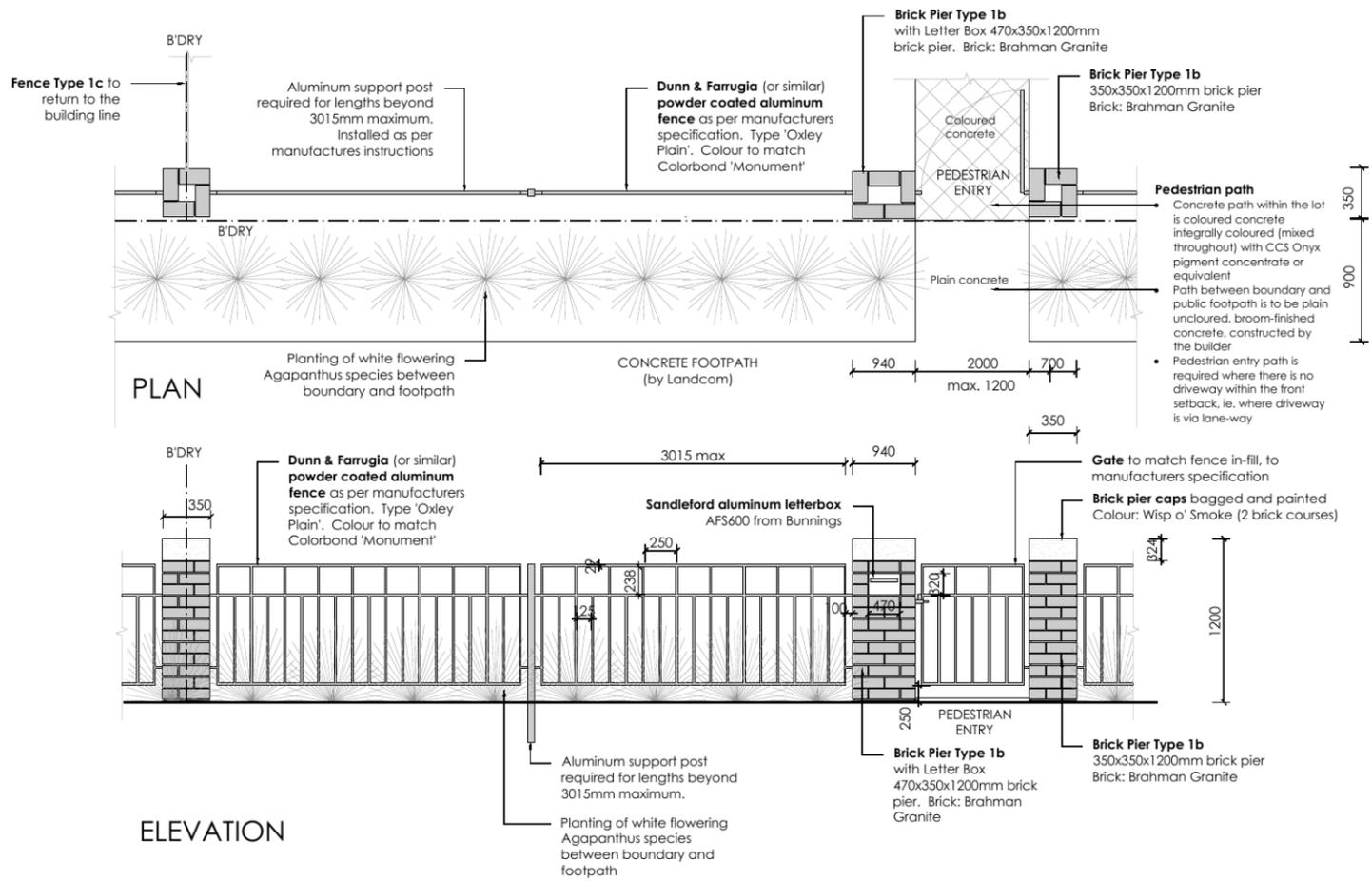
2 Planting Detail
NTS 150mm, 200mm Pot Size



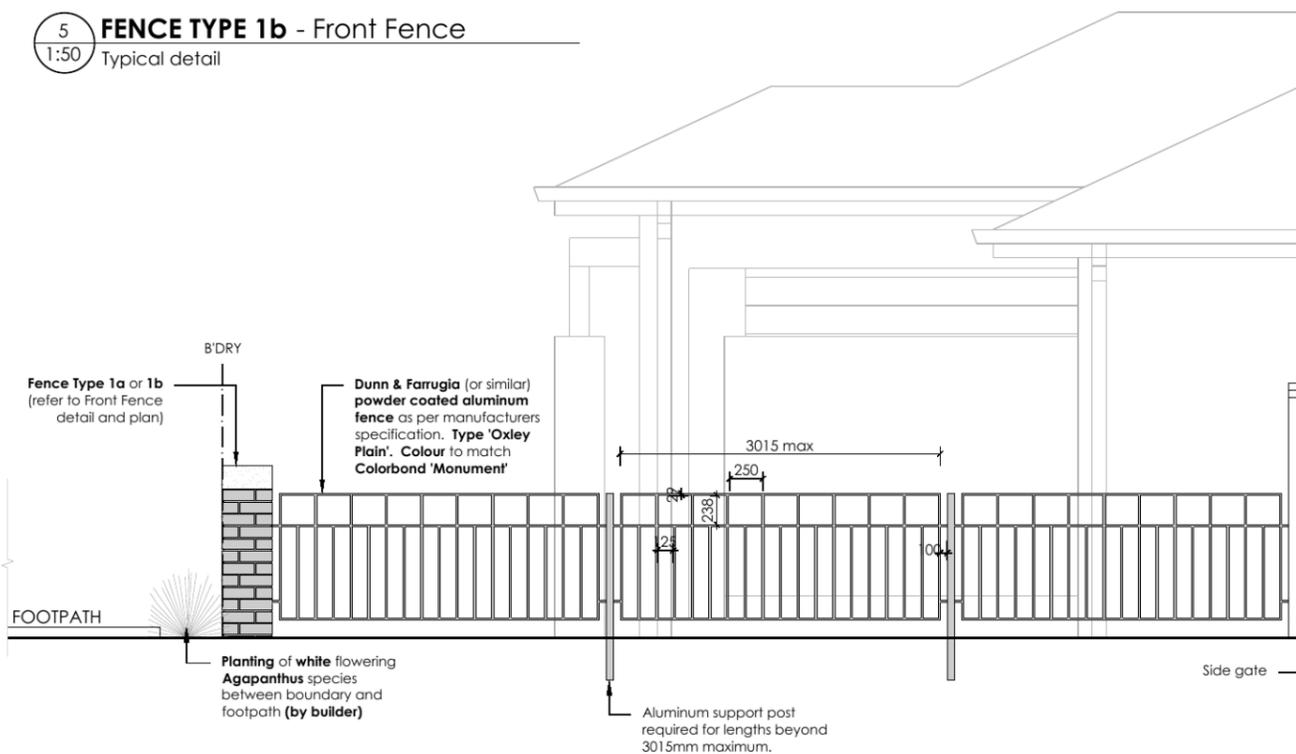
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-08-14
B	AMENDMENTS TO CLIENT MARK UP	RS	RS	25-08-14
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D	AMENDMENTS TO LOTS 153 & 164 TO CLIENT MARK UP	RS	RS	01-09-14
E	CORRECT LOT NUMBER FOR LOT 153. ADD BED TO LOT 161	RS	RS	04-09-14
F	BED 2 AND RE-ISSUE ISSUE DA PLANS FOR REVIEW	RS	RS	10-09-14

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PROJECT: NEW RESIDENCE

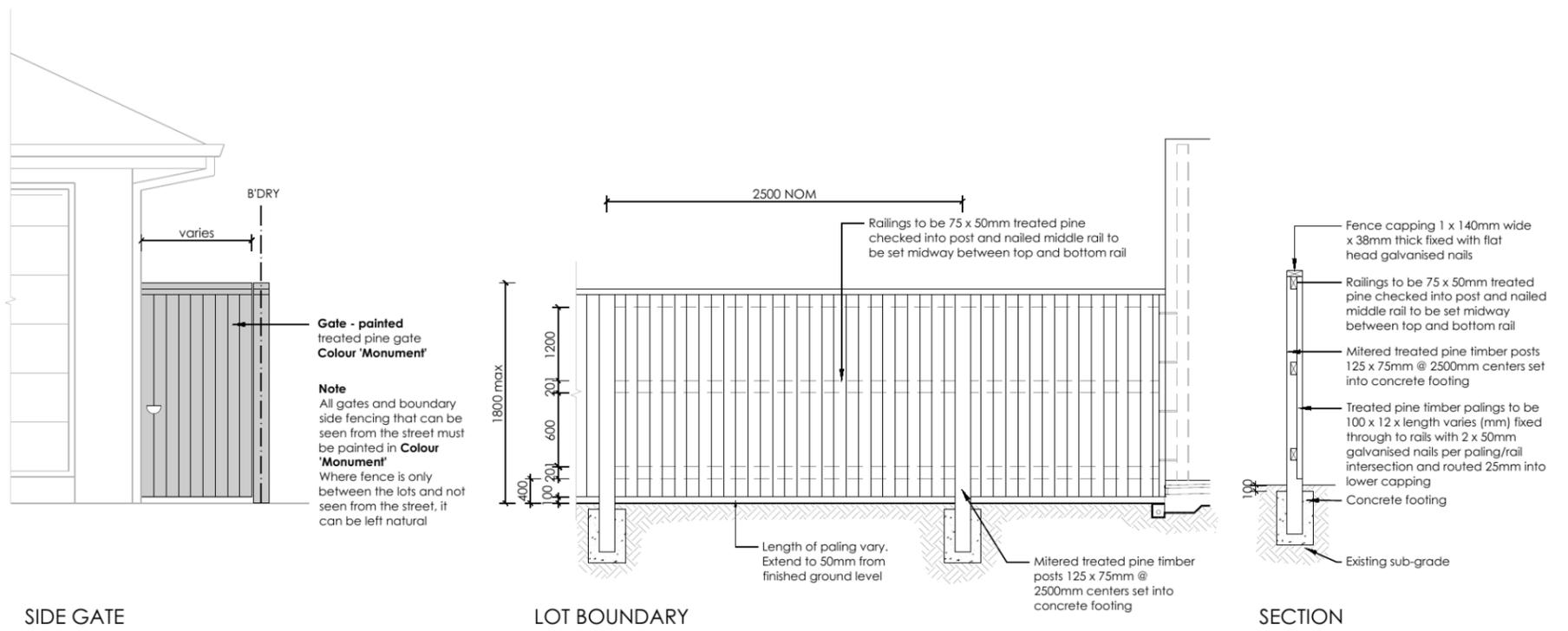
DRAWING: DETAILS

SCALE: 1:100 @ A3

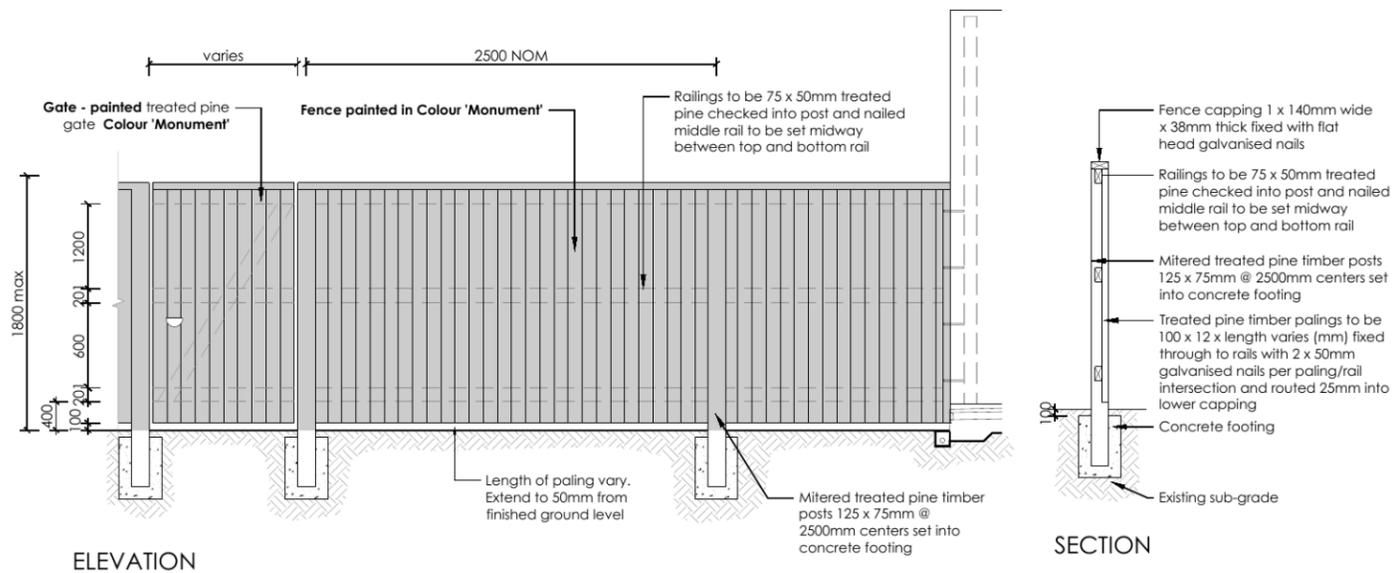
CLIENT: FIRSTYLE HOMES

THORNTON FENCING + PLANTING DETAILS

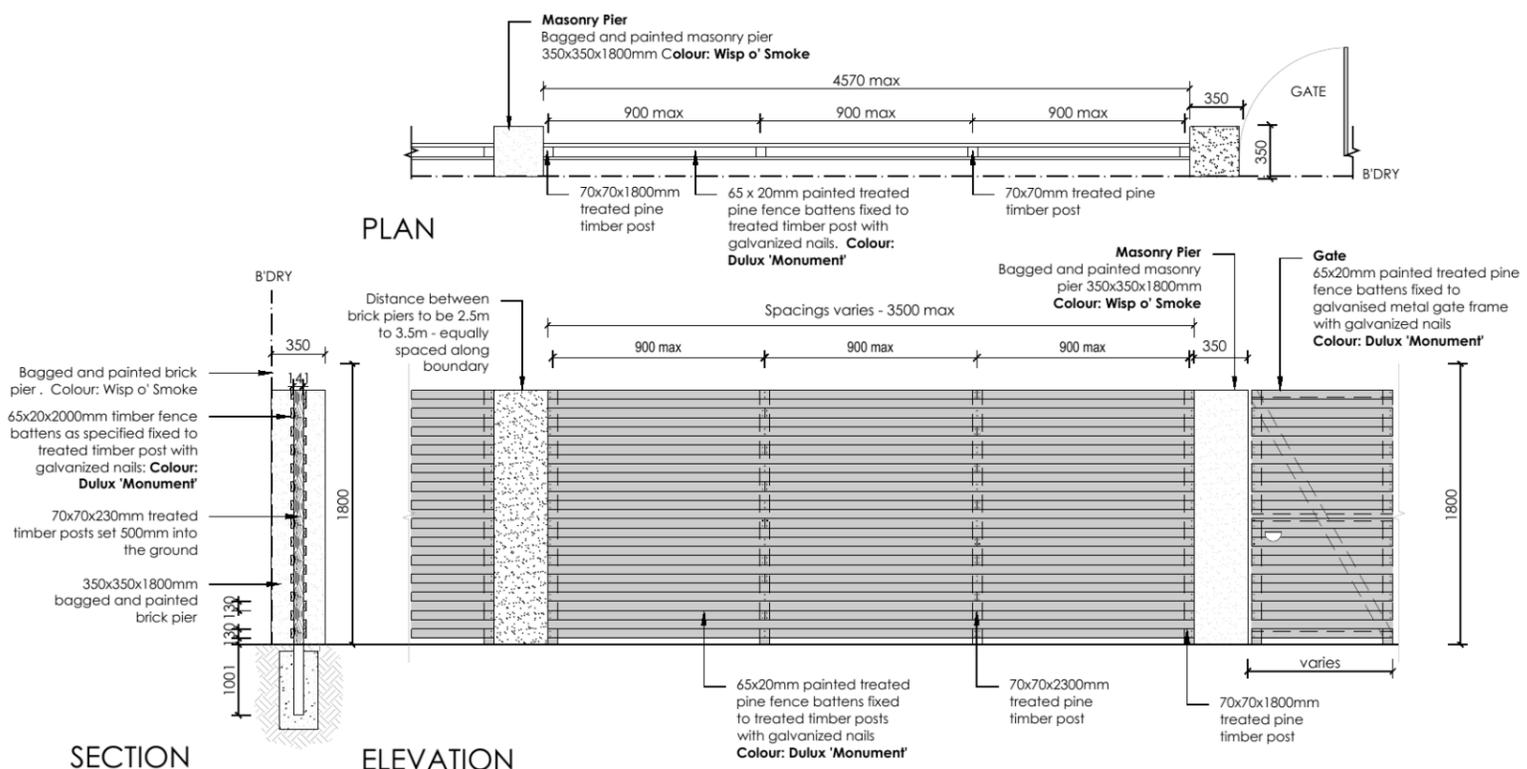
SCALE	DATE	SHEET	REVISION
1:100 @ A3	DA	L-02	F
DRAWN: RS	CHECK: RS	DATE: 10-09-14	REVISION: F



7 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail



8 **FENCE TYPE 4b - Rear Boundary**
1:50 All Laneways (except Barlett Lane)
Typical detail



9 **FENCE TYPE 2a - Secondary Street Fencing**
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
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ADDRESS
THORNTON FENCING + PLANTING DETAILS

CLIENT
FIRSTSTYLE HOMES

PROJECT
NEW RESIDENCE

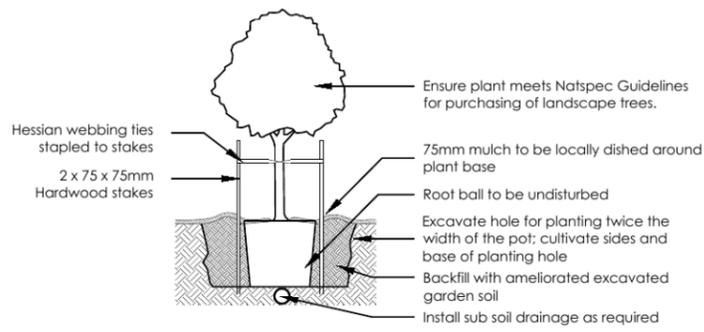
DRAWING
LANDSCAPE PLAN

SCALE
1:100 @ A3

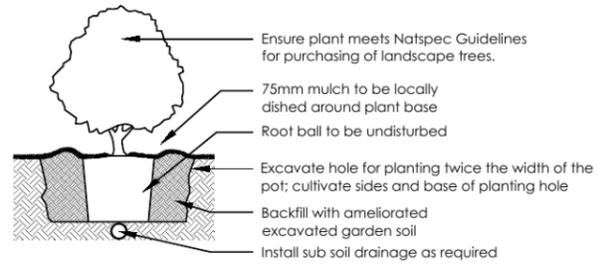
DATE
10-09-14

REVISION
F

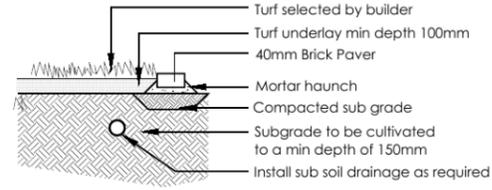




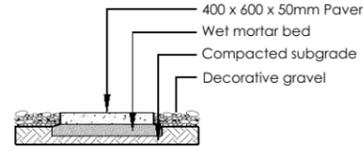
1 Tree Planting Detail
NTS 25L - 100L Pot Size



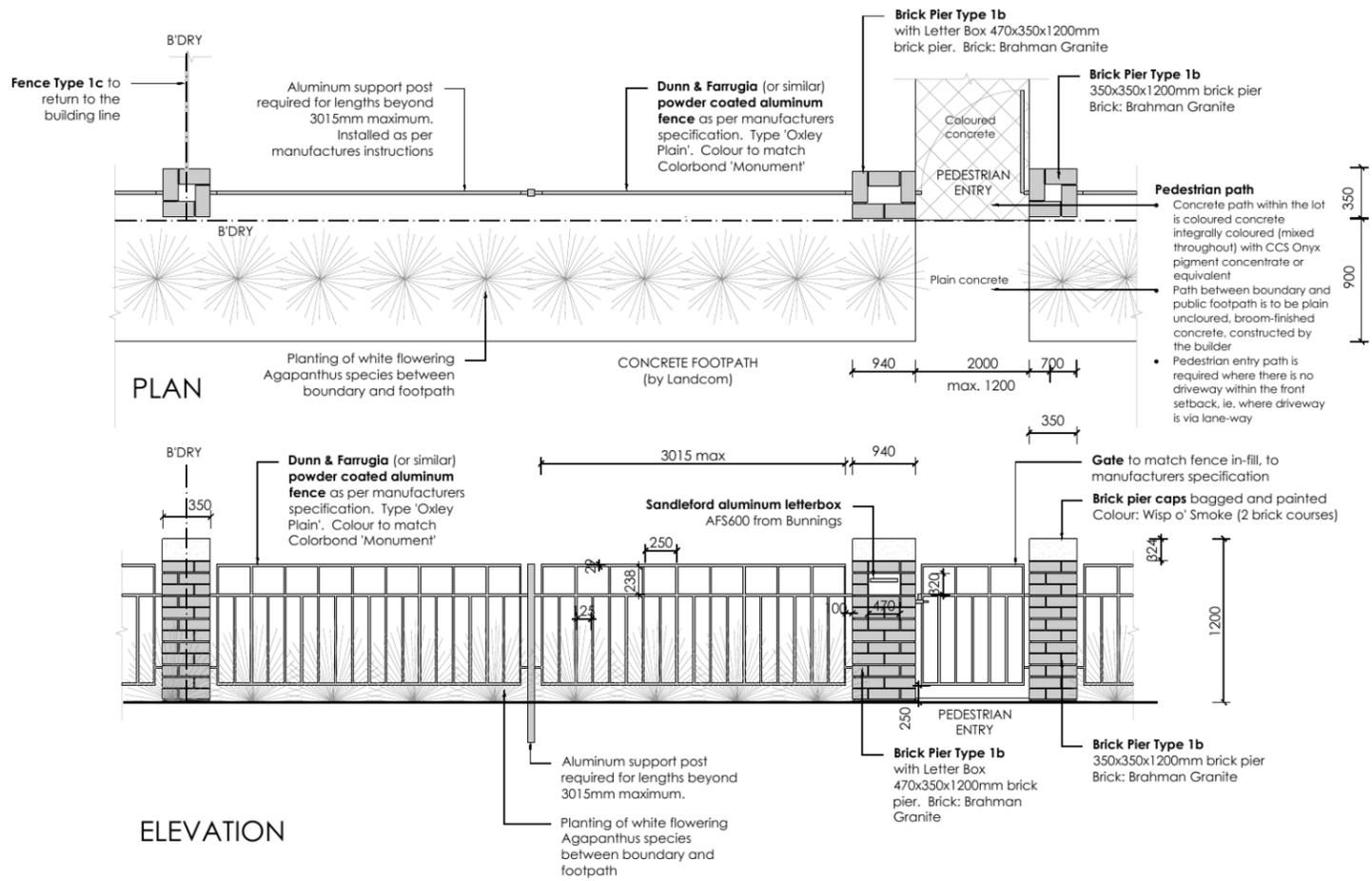
2 Planting Detail
NTS 150mm, 200mm Pot Size



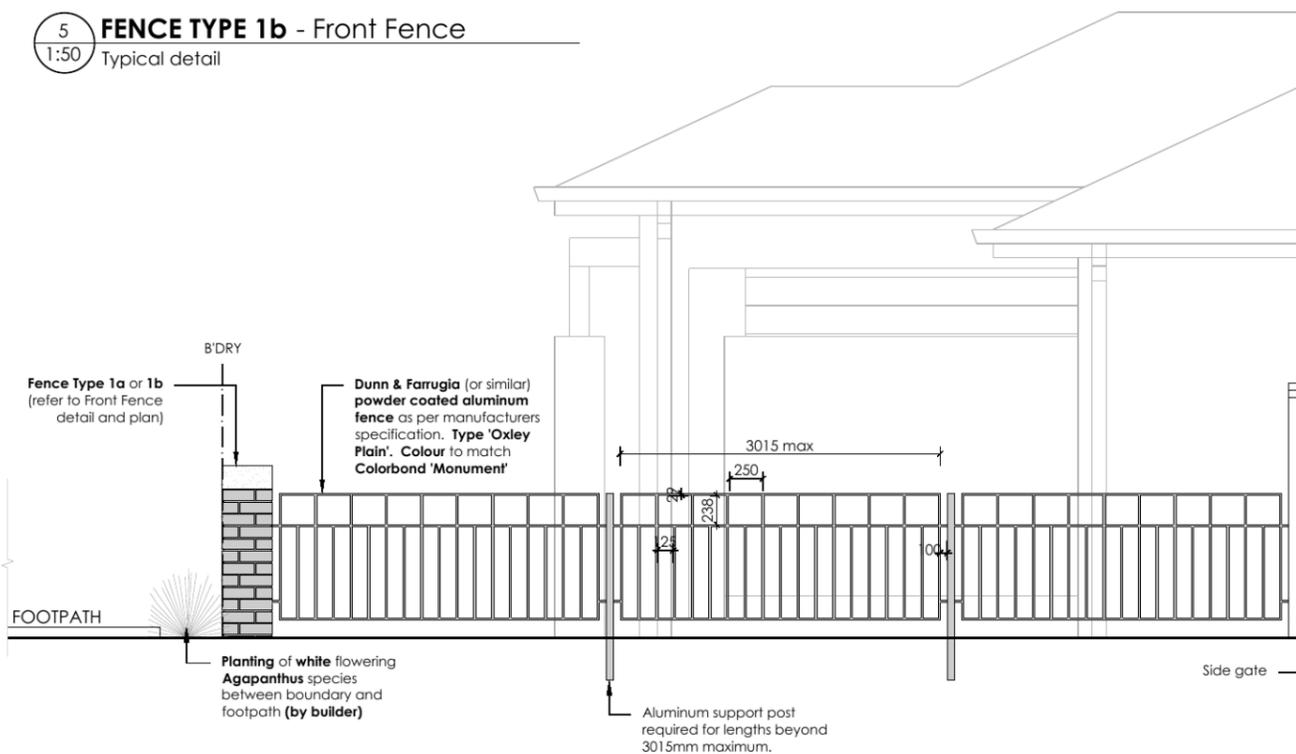
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
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D	AMENDMENTS TO LOTS 153 & 164 TO CLIENT MARK UP	RS	RS	01-09-14
E	CORRECT LOT NUMBER FOR LOT 153. ADD BED TO LOT 161	RS	RS	04-09-14
F	BED 2 AND RE-ISSUE	RS	RS	10-09-14
	ISSUE DA PLANS FOR REVIEW	RS	RS	

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PROJECT: **THORNTON FENCING + PLANTING DETAILS**

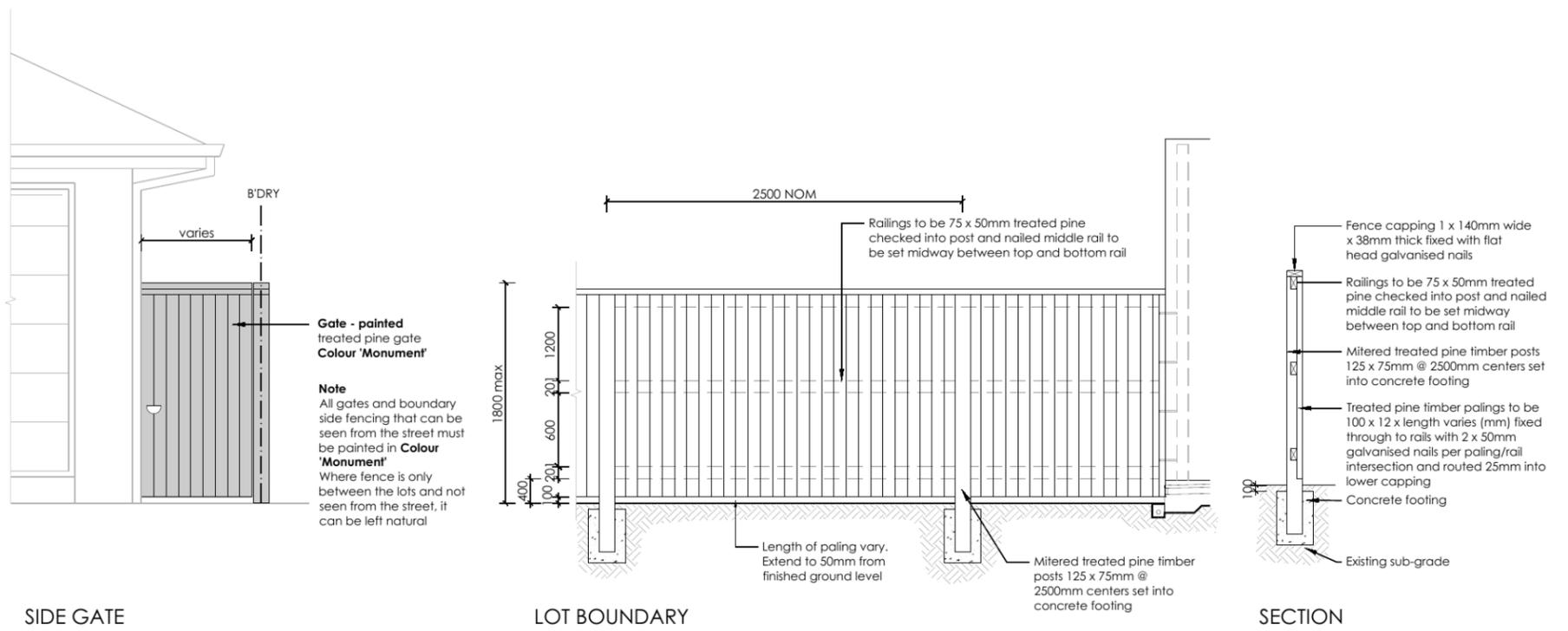
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PROJECT: **NEW RESIDENCE**

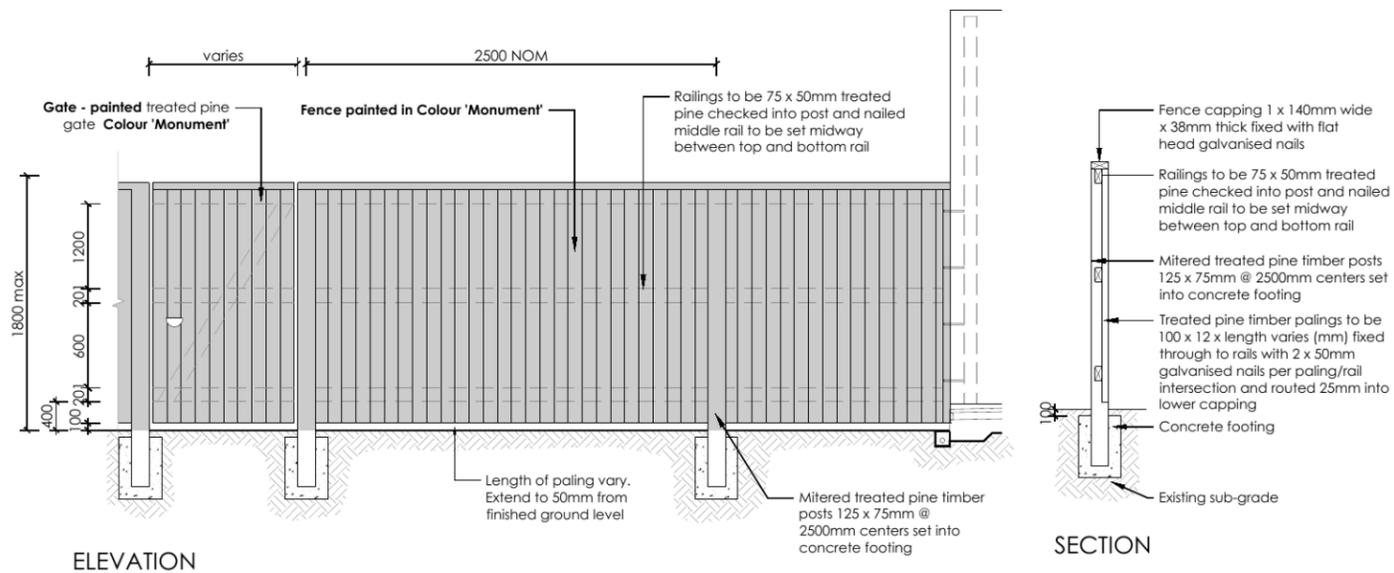
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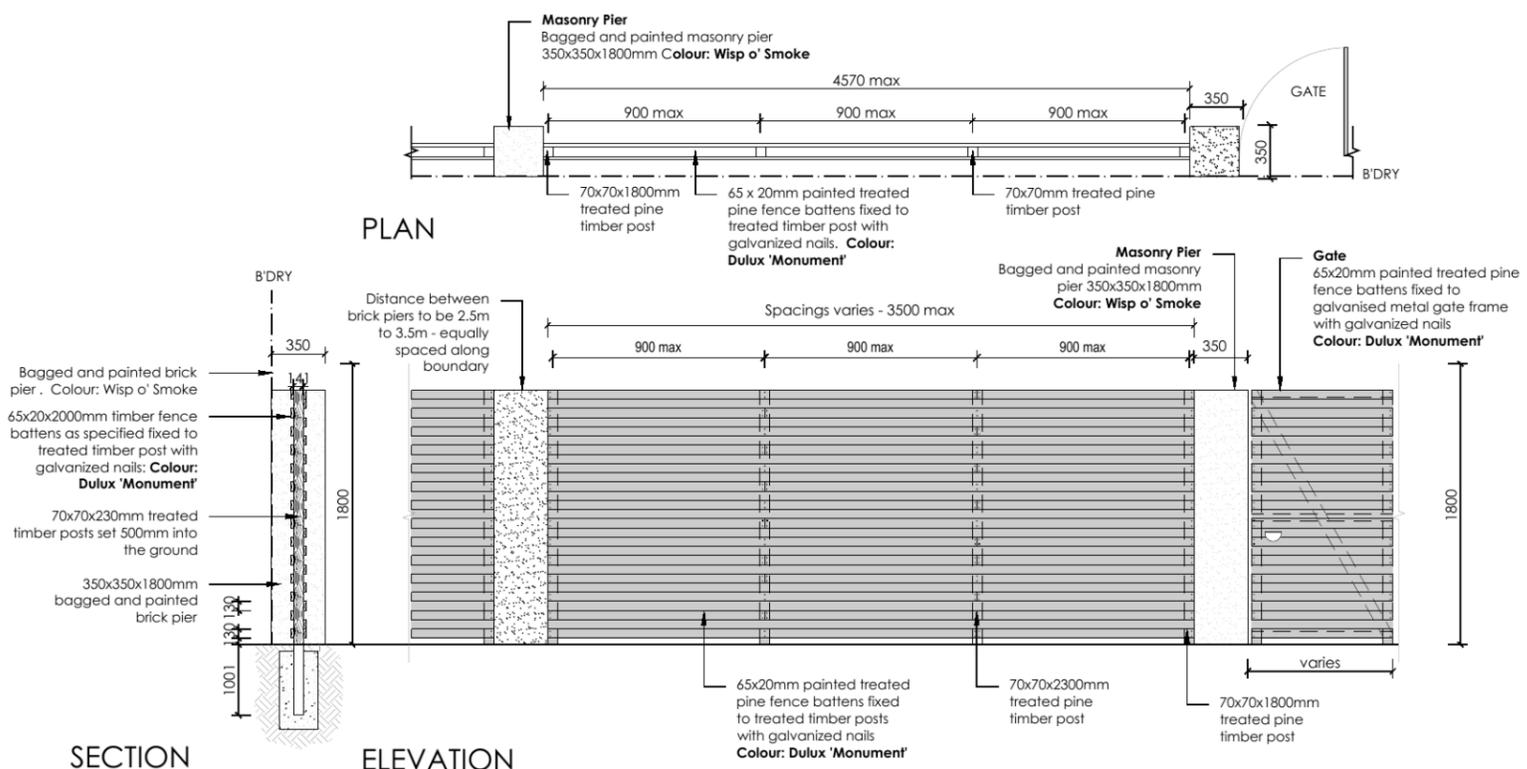
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7 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail



8 **FENCE TYPE 4b - Rear Boundary**
1:50 All Laneways (except Barlett Lane)
Typical detail



9 **FENCE TYPE 2a - Secondary Street Fencing**
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-08-14
B	AMENDMENTS TO CLIENT MARK UP	RS	RS	25-08-14
C	AMENDMENTS TO CLIENT MARK UP	RS	RS	31-08-14
D	AMENDMENTS TO LOTS 153 & 164 TO CLIENT MARK UP	RS	RS	01-09-14
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ADDRESS
THORNTON FENCING + PLANTING DETAILS

CLIENT
FIRSTSTYLE HOMES

PROJECT
NEW RESIDENCE

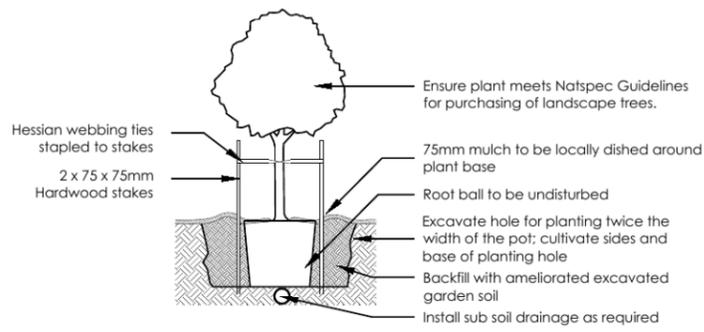
DRAWING
LANDSCAPE PLAN

SCALE
1:100 @ A3

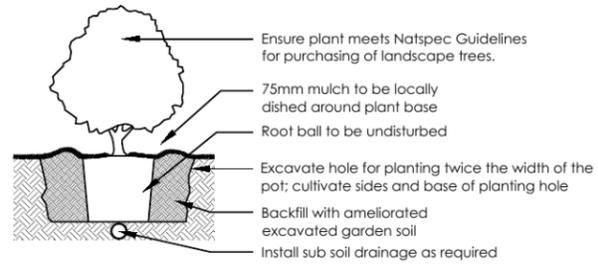
DATE
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REVISION
F

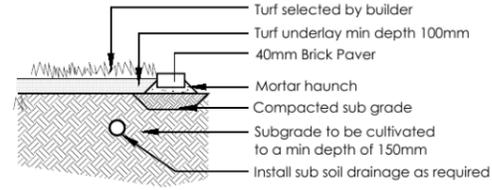




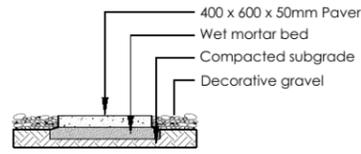
1 Tree Planting Detail
NTS 25L - 100L Pot Size



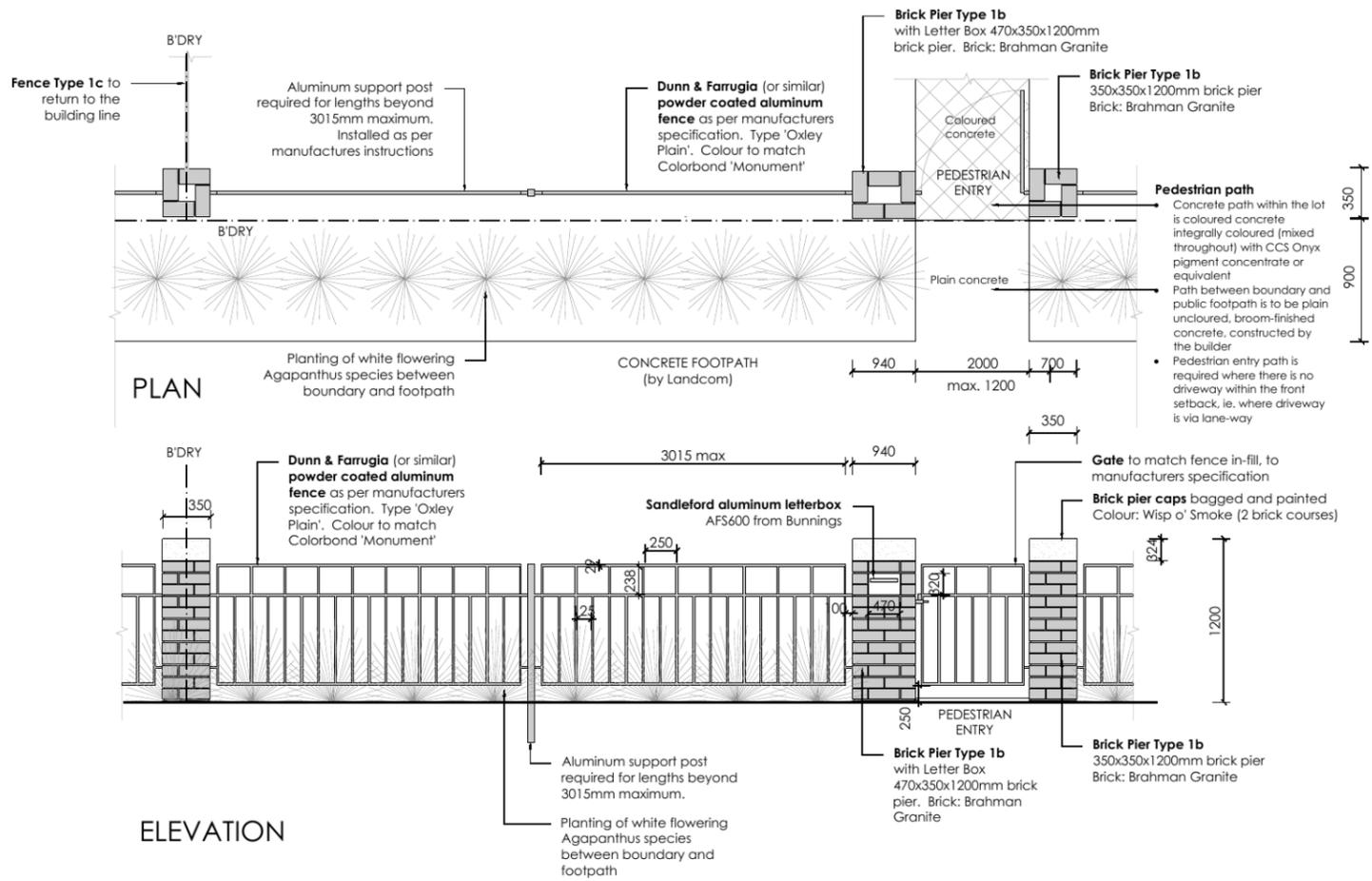
2 Planting Detail
NTS 150mm, 200mm Pot Size



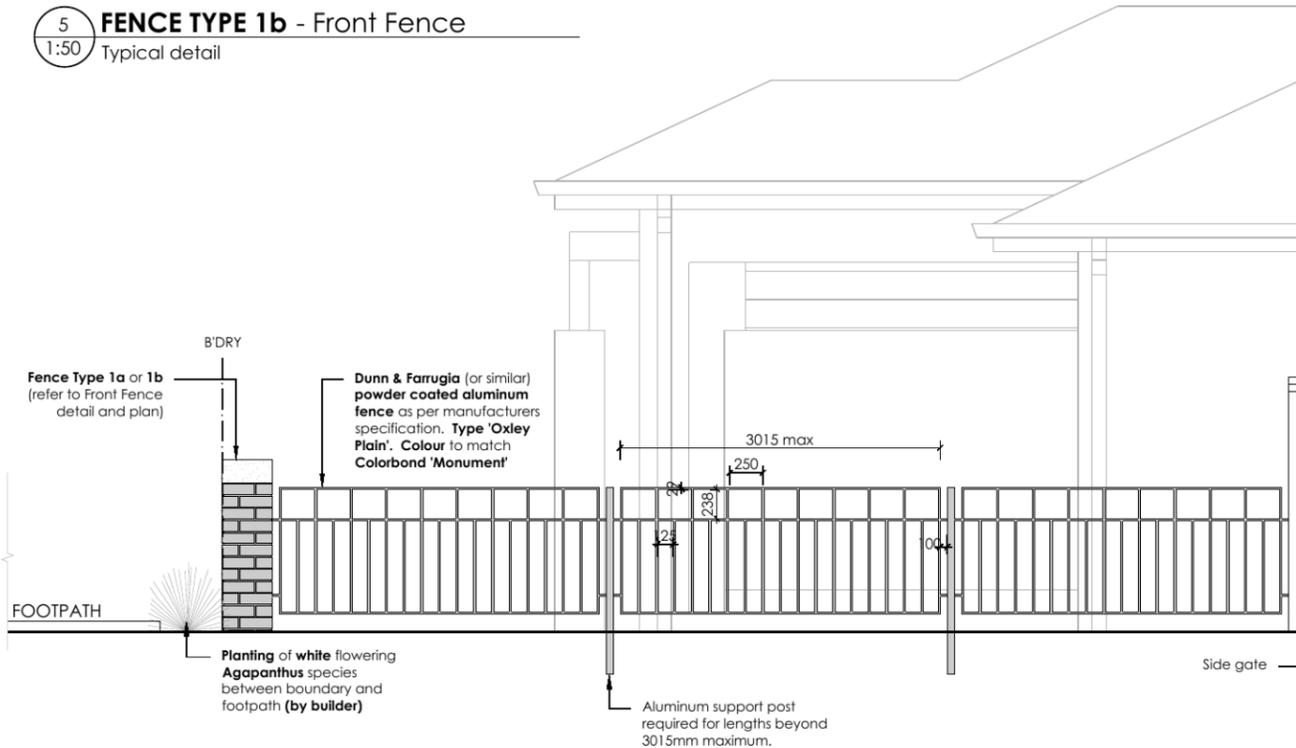
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-08-14
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PROJECT: NEW RESIDENCE

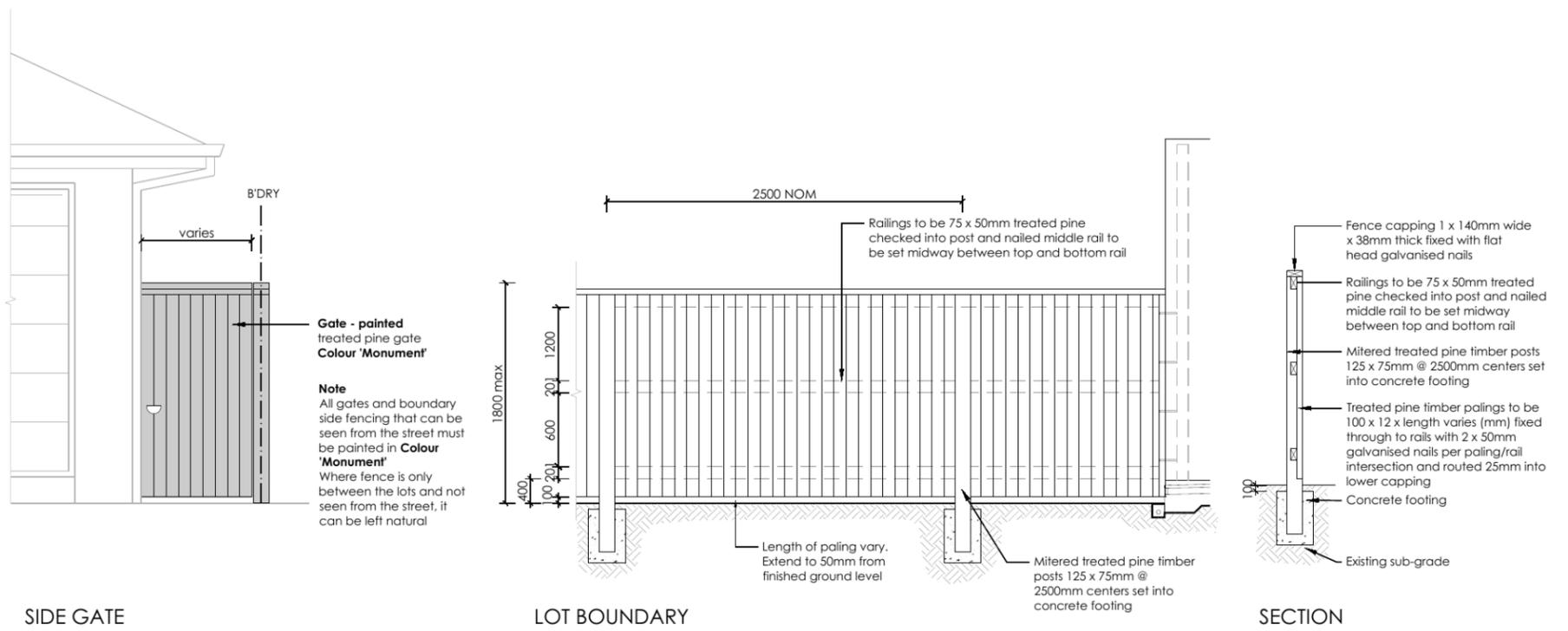
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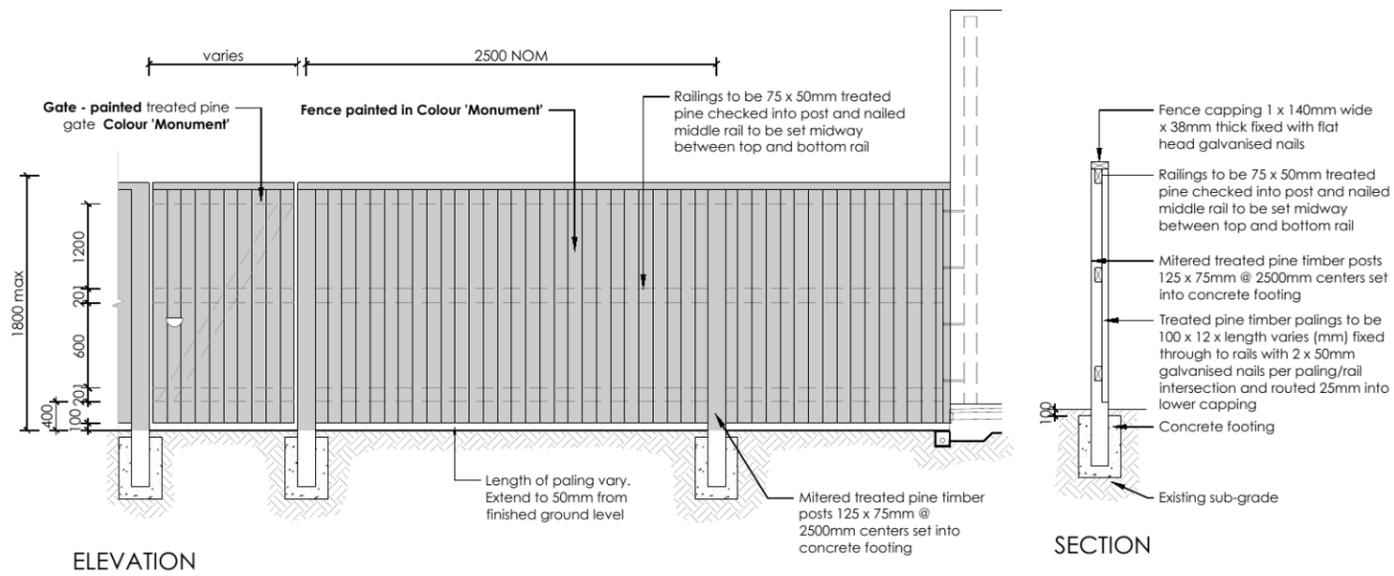
CLIENT: FIRSTYLE HOMES

THORNTON FENCING + PLANTING DETAILS

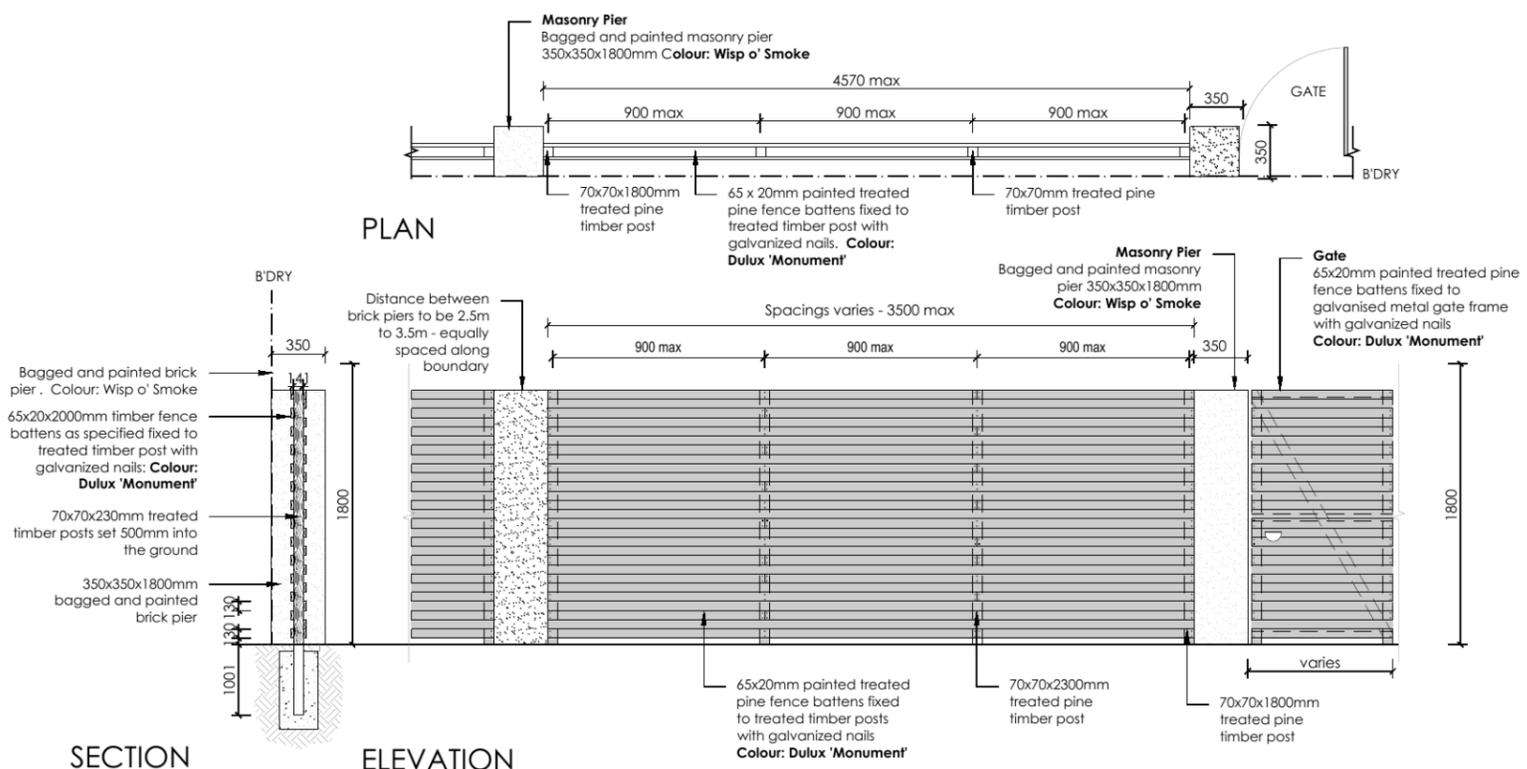
SCALE	DATE	SHEET	REVISION
1:100 @ A3	DA	L-02	F
DRAWN	CHECK	DATE	REVISION
RS	RS	10-09-14	F



7 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail



8 **FENCE TYPE 4b - Rear Boundary**
1:50 All Laneways (except Barlett Lane)
Typical detail



9 **FENCE TYPE 2a - Secondary Street Fencing**
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-08-14
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ADDRESS
THORNTON FENCING + PLANTING DETAILS

CLIENT
FIRSTYLE HOMES

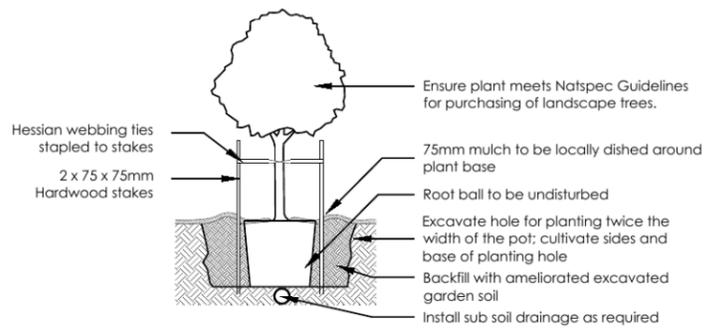
PROJECT
NEW RESIDENCE

DRAWING
LANDSCAPE PLAN

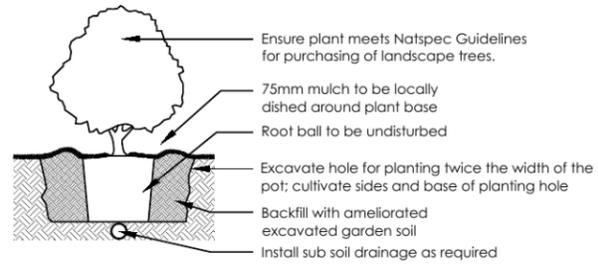
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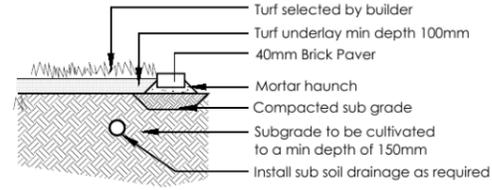
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F



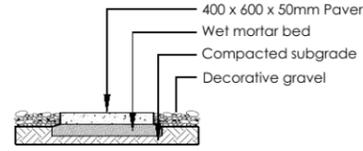
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NTS 25L - 100L Pot Size



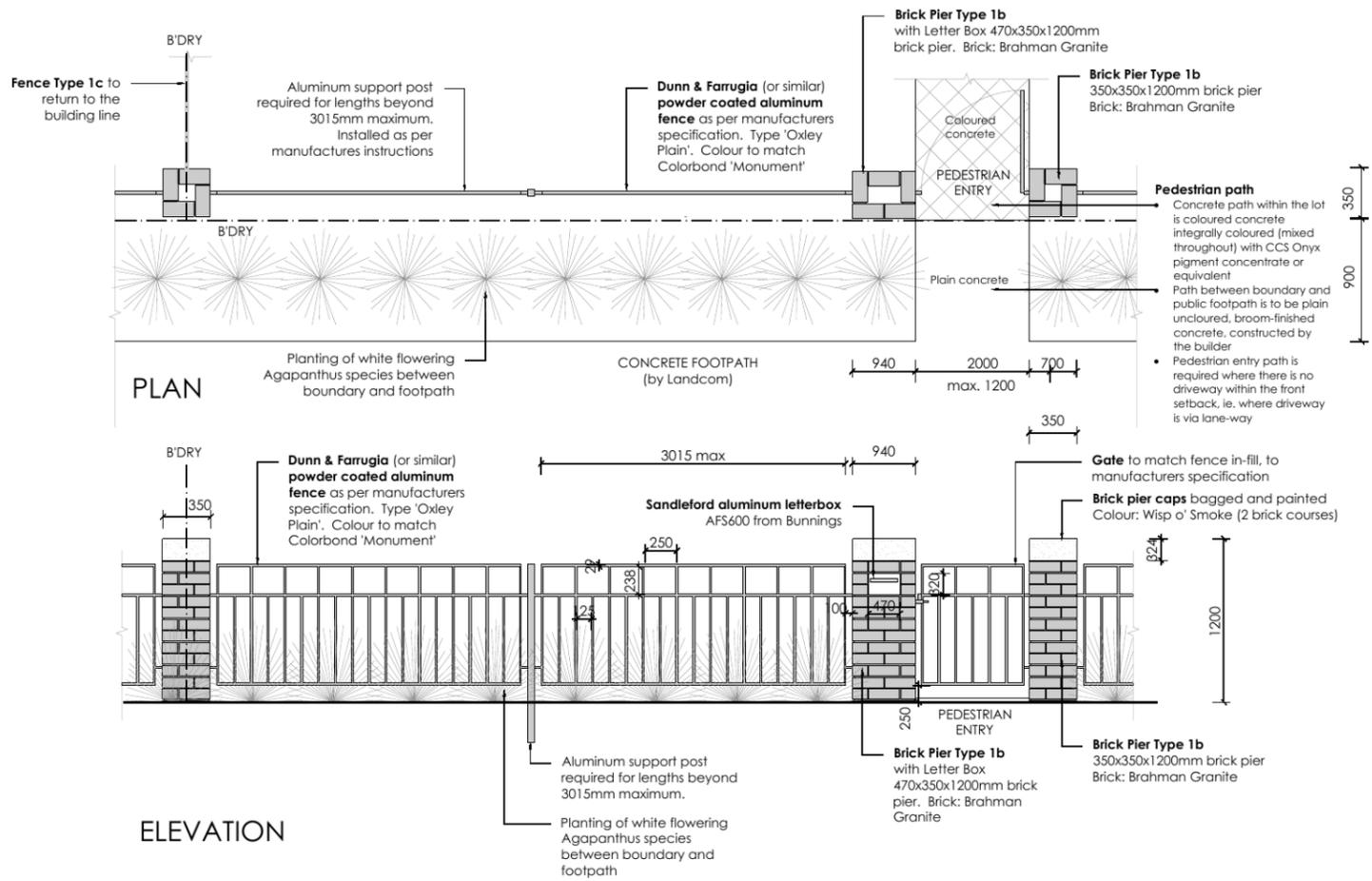
2 Planting Detail
NTS 150mm, 200mm Pot Size



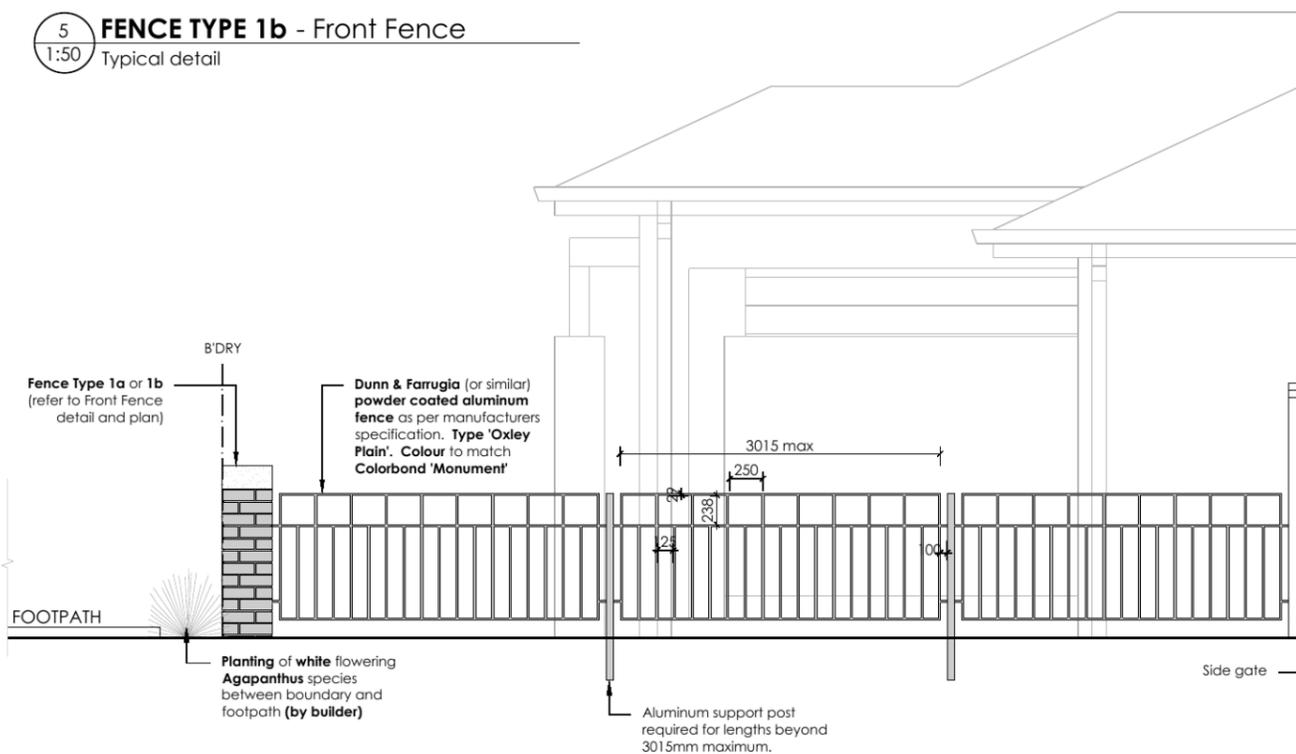
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-08-14
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E	CORRECT LOT NUMBER FOR LOT 153. ADD BED TO LOT 161	RS	RS	04-09-14
F	BED 2 AND RE-ISSUE	RS	RS	10-09-14
	ISSUE DA PLANS FOR REVIEW	RS	RS	

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PROJECT: NEW RESIDENCE

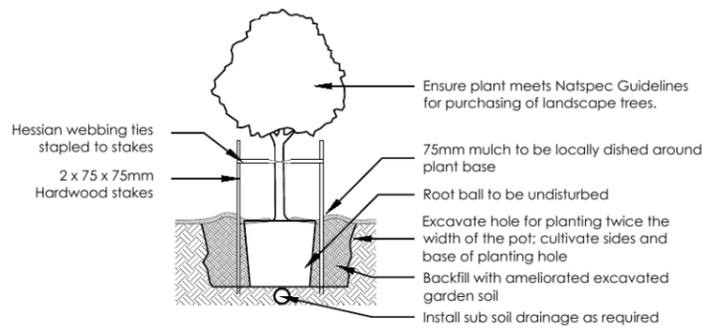
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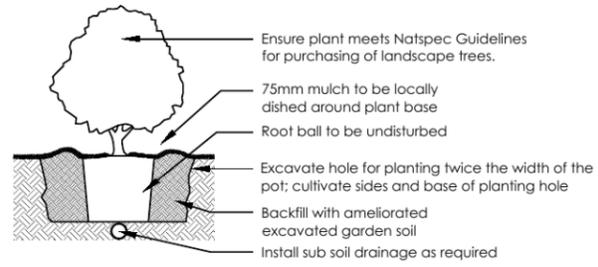
CLIENT: FIRSTYLE HOMES

THORNTON FENCING + PLANTING DETAILS

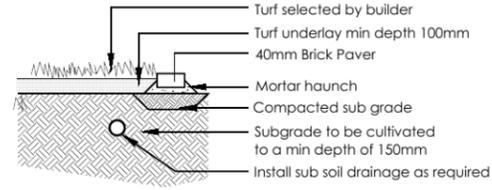
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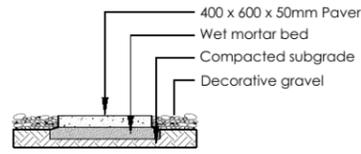
1 Tree Planting Detail
NTS 25L - 100L Pot Size



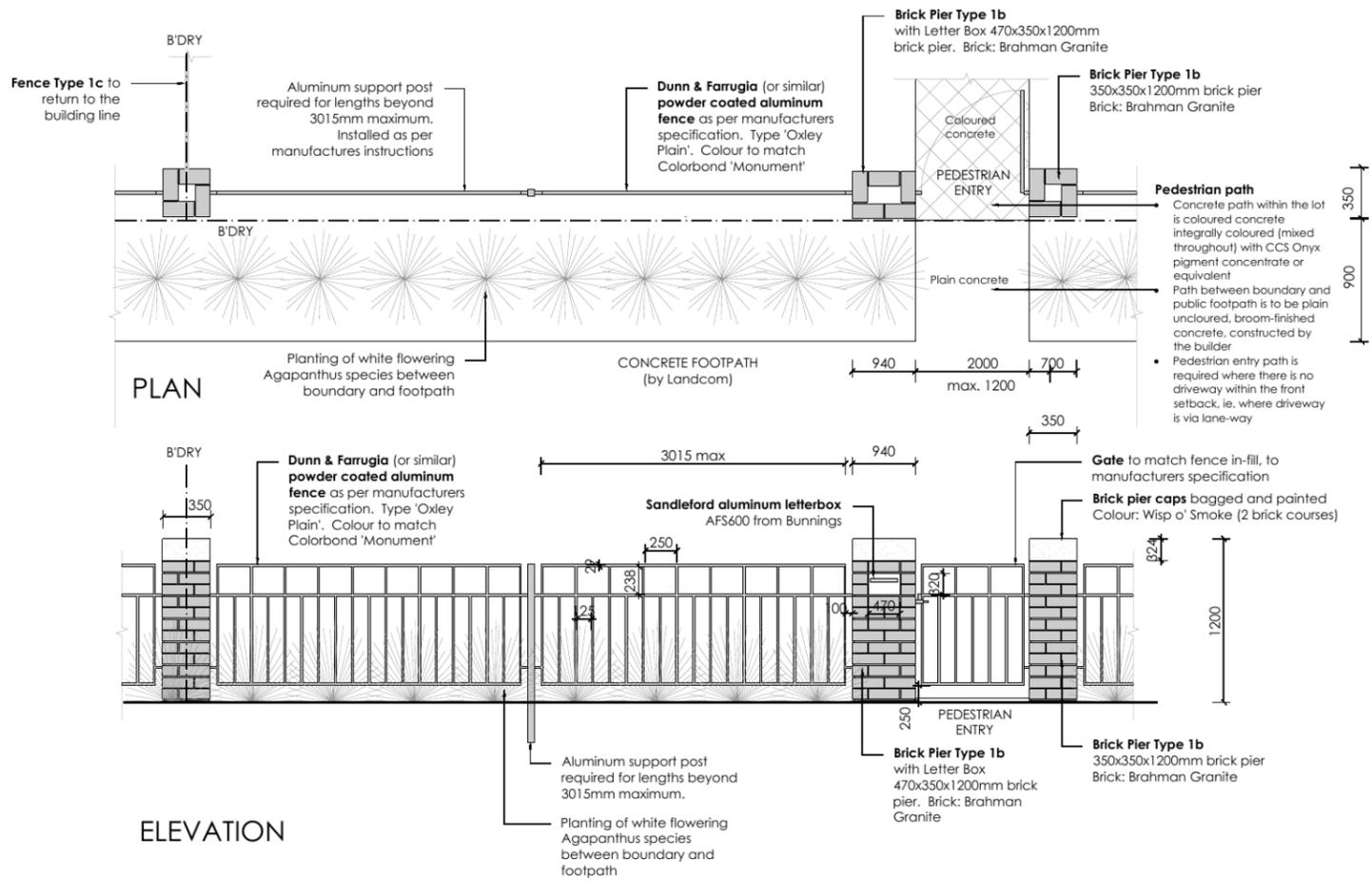
2 Planting Detail
NTS 150mm, 200mm Pot Size



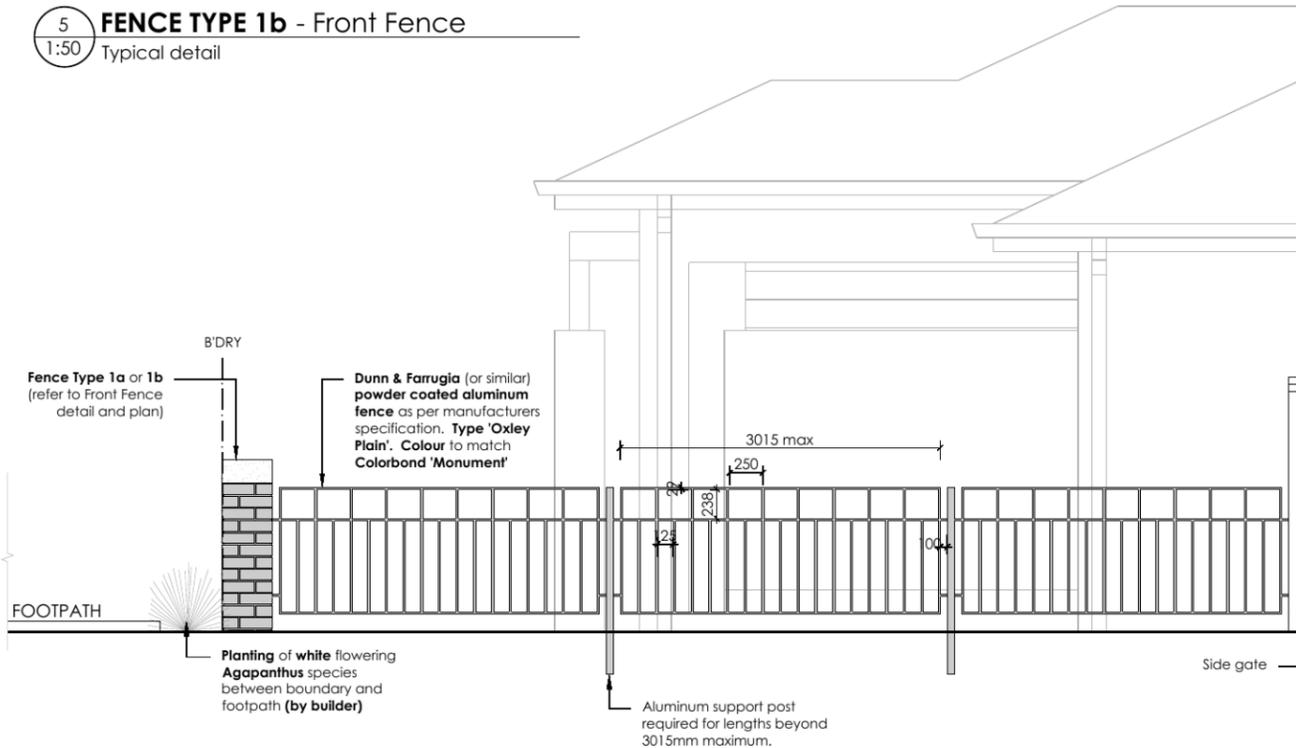
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
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E	CORRECT LOT NUMBER FOR LOT 153. ADD BED TO LOT 161	RS	RS	04-09-14
F	BED 2 AND RE-ISSUE	RS	RS	10-09-14
	ISSUE DA PLANS FOR REVIEW	RS	RS	

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PROJECT: **THORNTON FENCING + PLANTING DETAILS**

CLIENT: **FIRSTYLE HOMES**

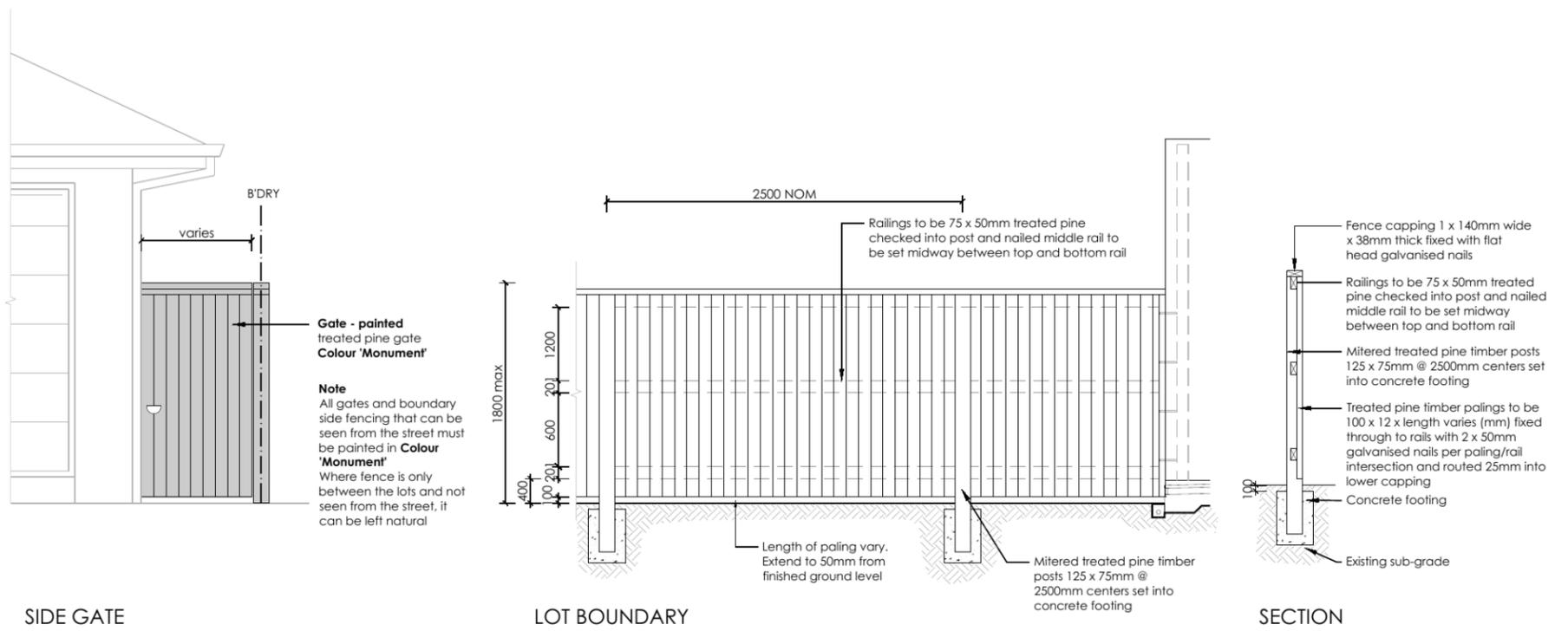
PROJECT: **NEW RESIDENCE**

DRAWING: **DETAILS**

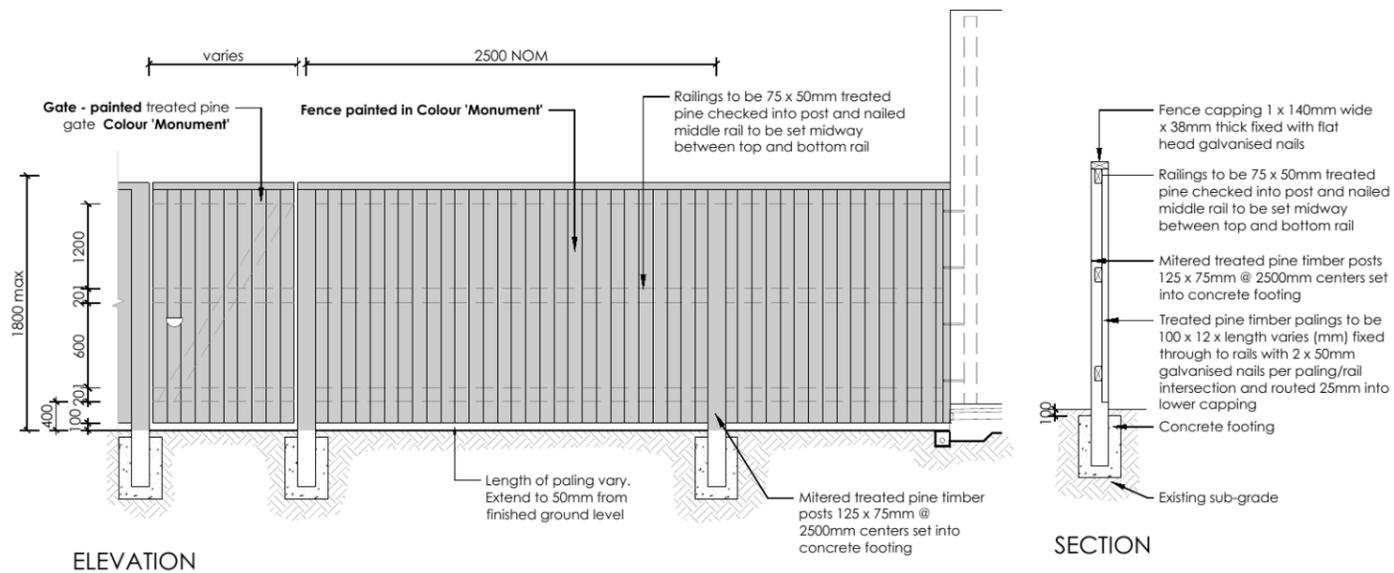
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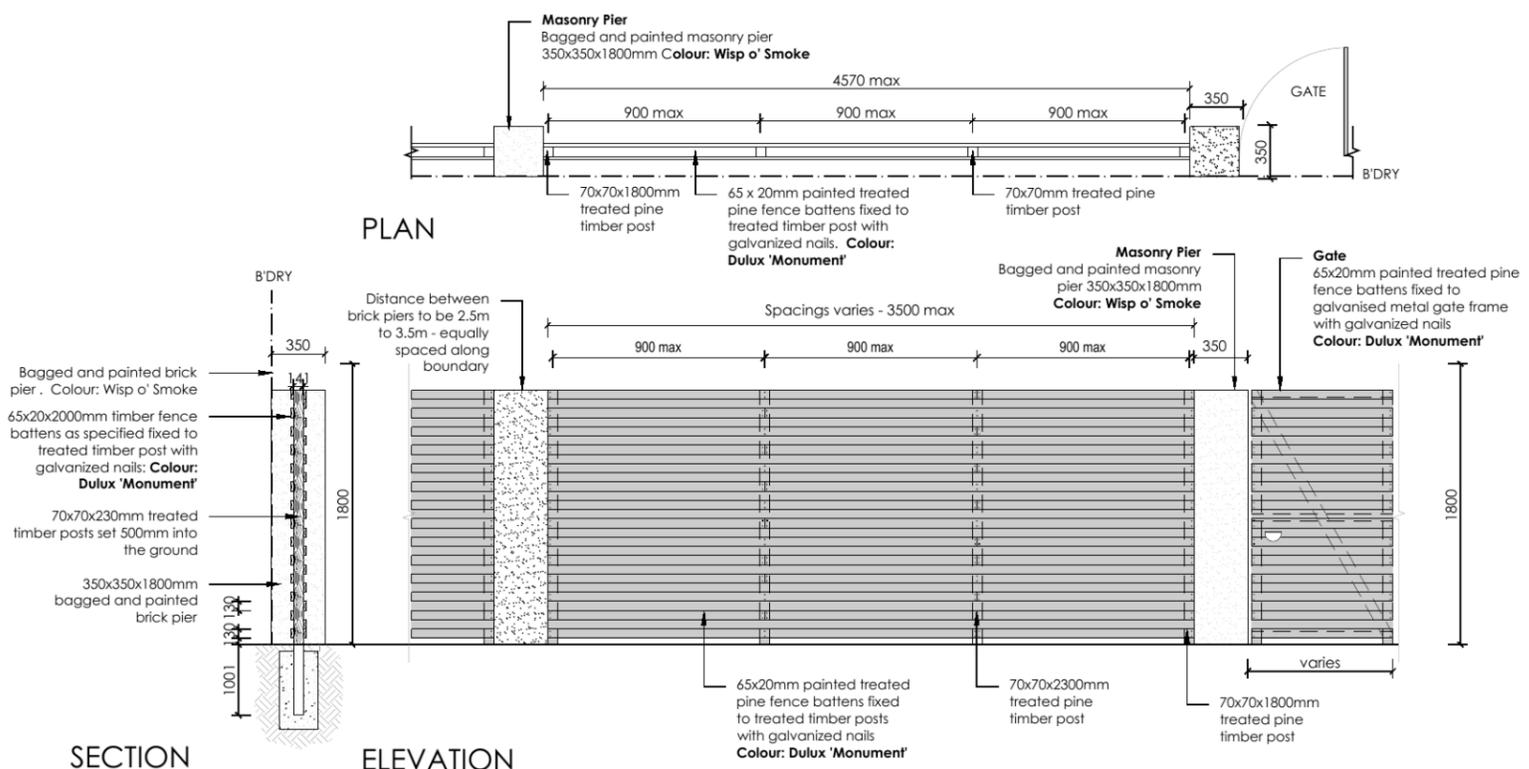




7 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail



8 **FENCE TYPE 4b - Rear Boundary**
1:50 All Laneways (except Barlett Lane)
Typical detail



9 **FENCE TYPE 2a - Secondary Street Fencing**
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
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THORNTON FENCING + PLANTING DETAILS

FIRSTYLE HOMES

NEW RESIDENCE

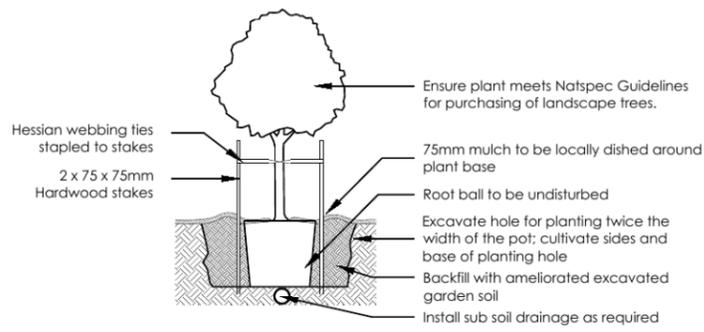
LANDSCAPE PLAN

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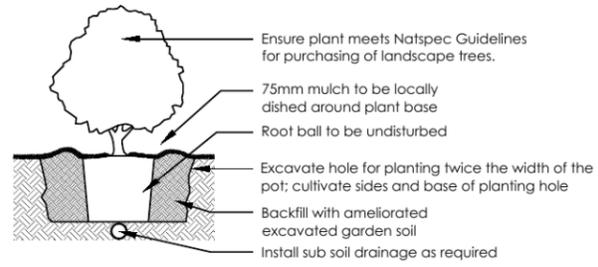
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REVISION: F

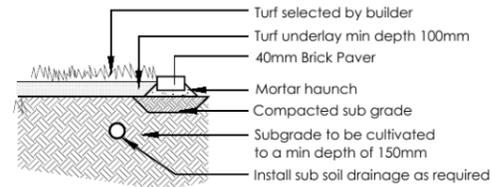




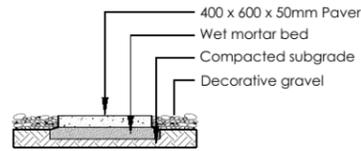
1 Tree Planting Detail
NTS 25L - 100L Pot Size



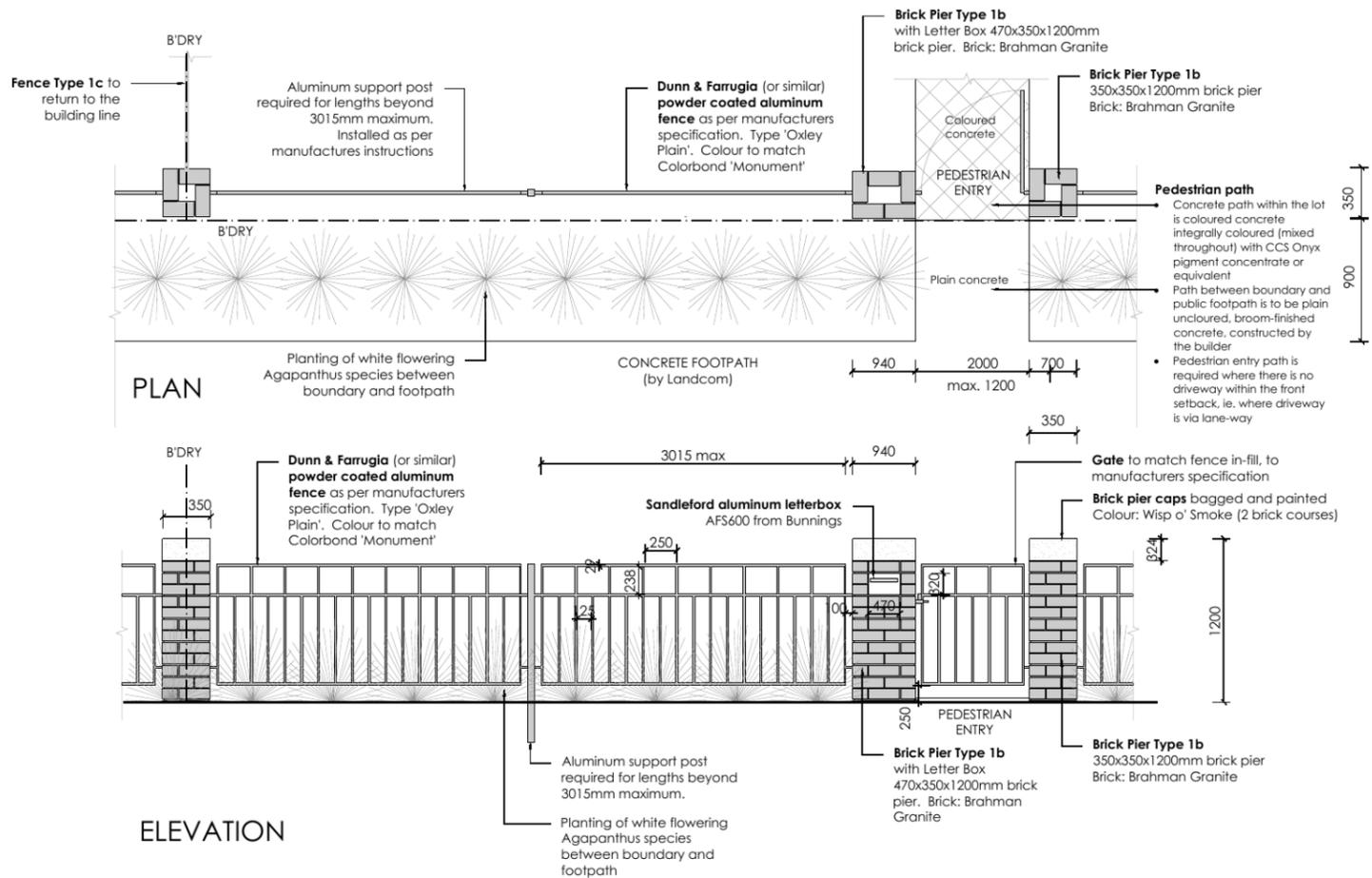
2 Planting Detail
NTS 150mm, 200mm Pot Size



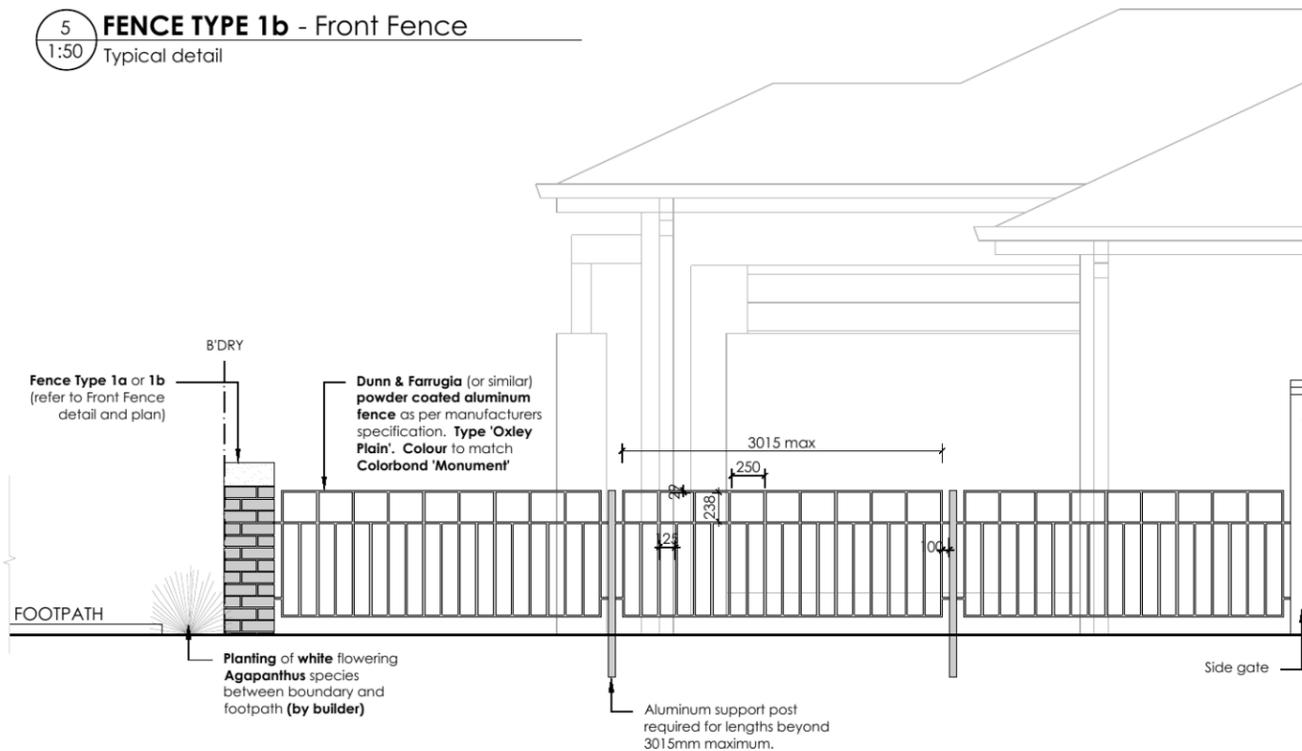
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
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PROJECT: NEW RESIDENCE

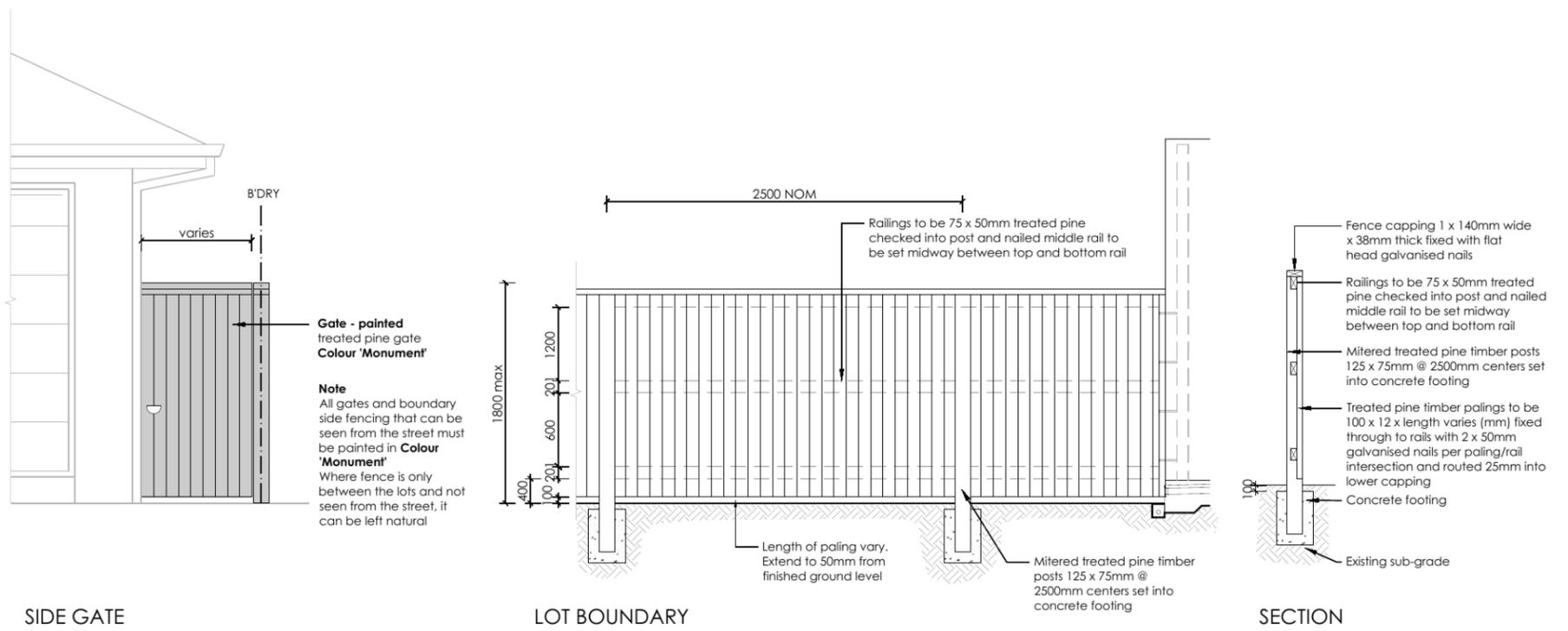
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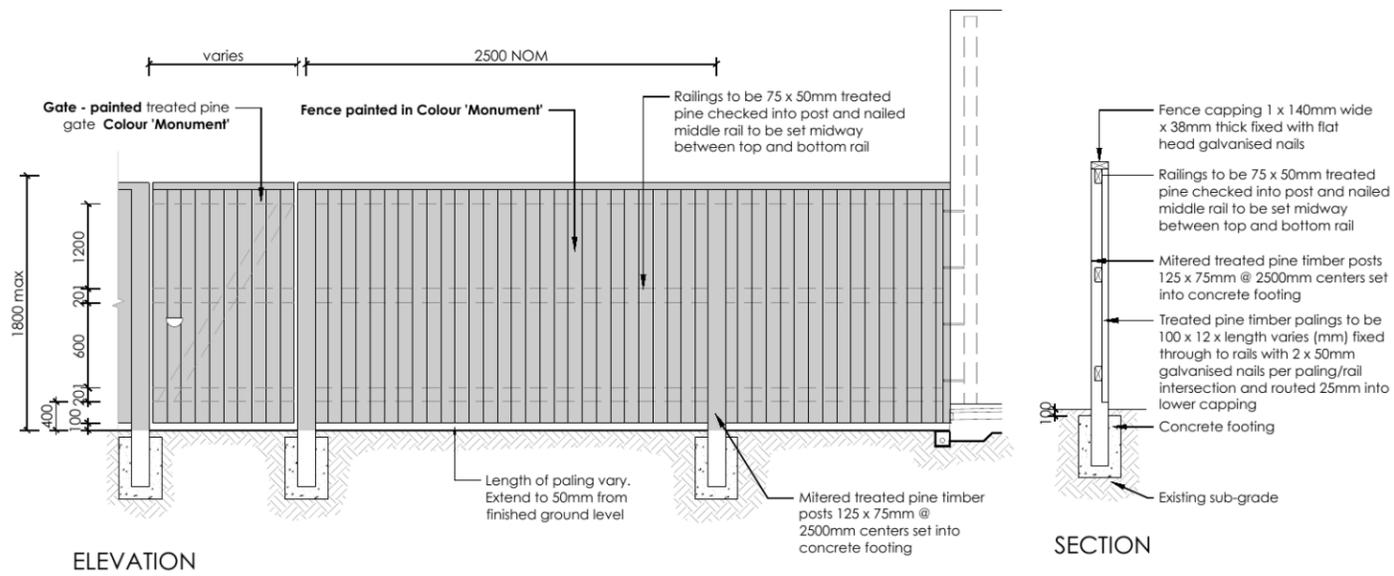
CLIENT: FIRSTYLE HOMES

THORNTON FENCING + PLANTING DETAILS

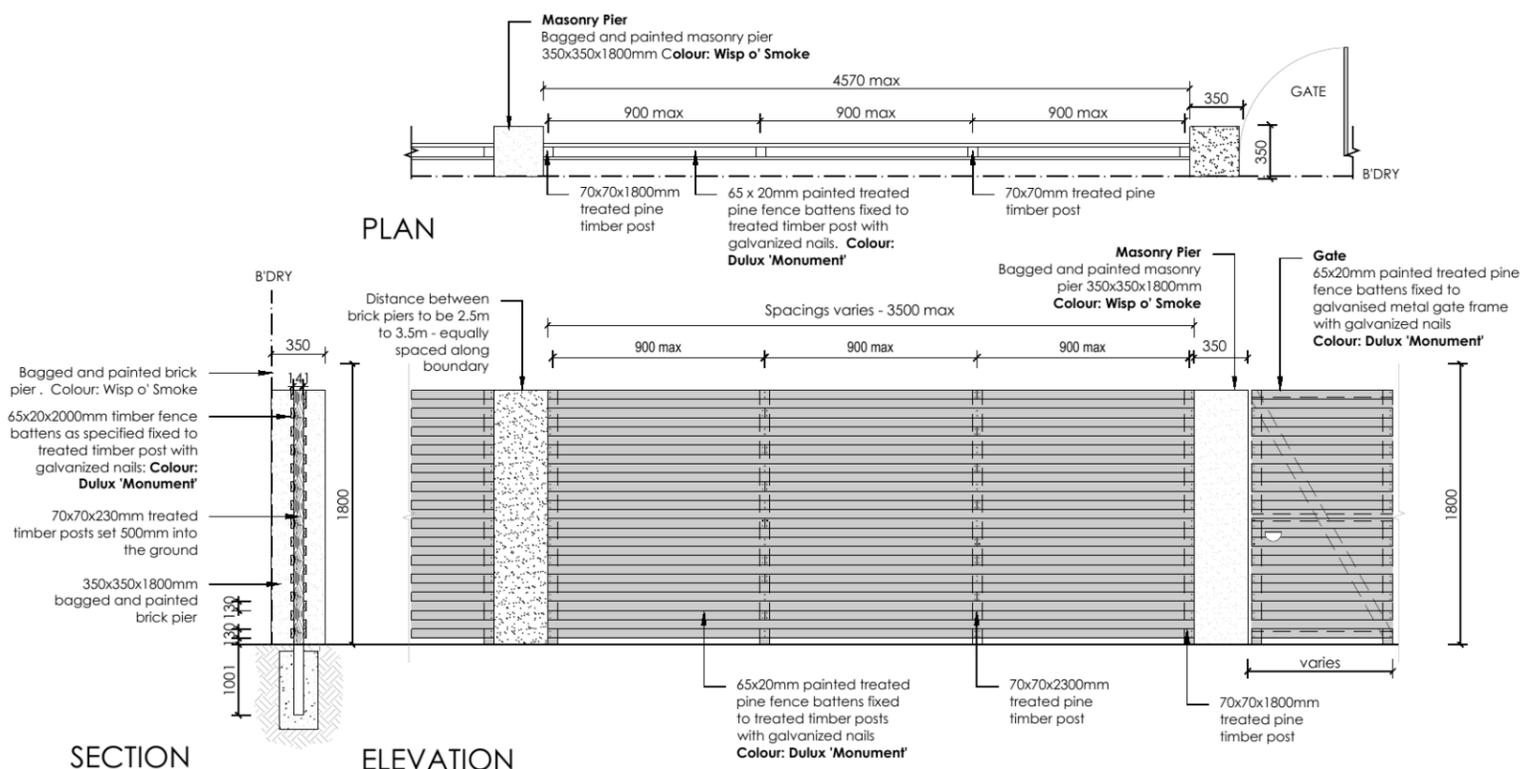
SCALE	DATE	SHEET	REVISION
1:100 @ A3	DA	L-02	F
DRAWN	CHECK	DATE	REVISION
RS	RS	10-09-14	F



7 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail



8 **FENCE TYPE 4b - Rear Boundary**
1:50 All Laneways (except Barlett Lane)
Typical detail



9 **FENCE TYPE 2a - Secondary Street Fencing**
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
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ADDRESS
THORNTON FENCING + PLANTING DETAILS

CLIENT
FIRSTYLE HOMES

PROJECT
NEW RESIDENCE

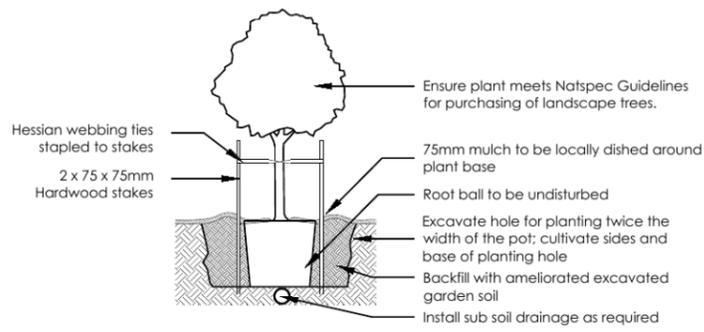
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SCALE
1:100 @ A3

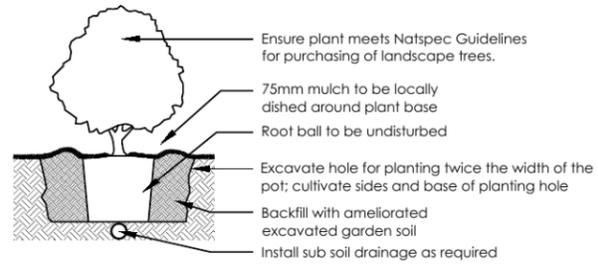
DATE
10-09-14

REVISION
F

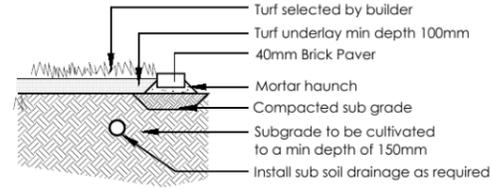




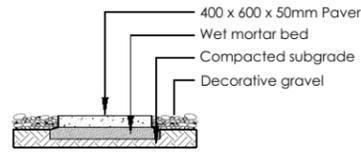
1 Tree Planting Detail
NTS 25L - 100L Pot Size



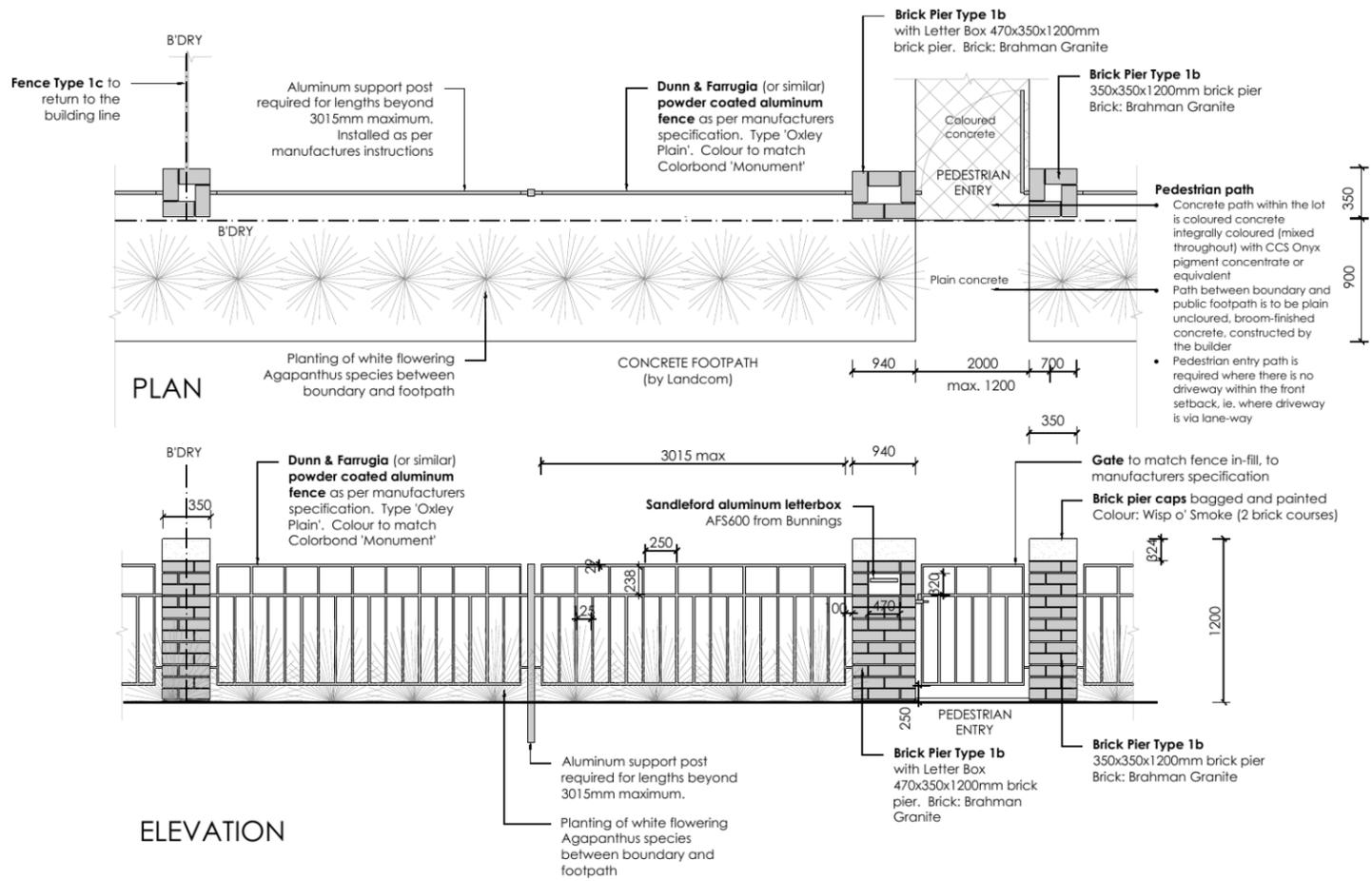
2 Planting Detail
NTS 150mm, 200mm Pot Size



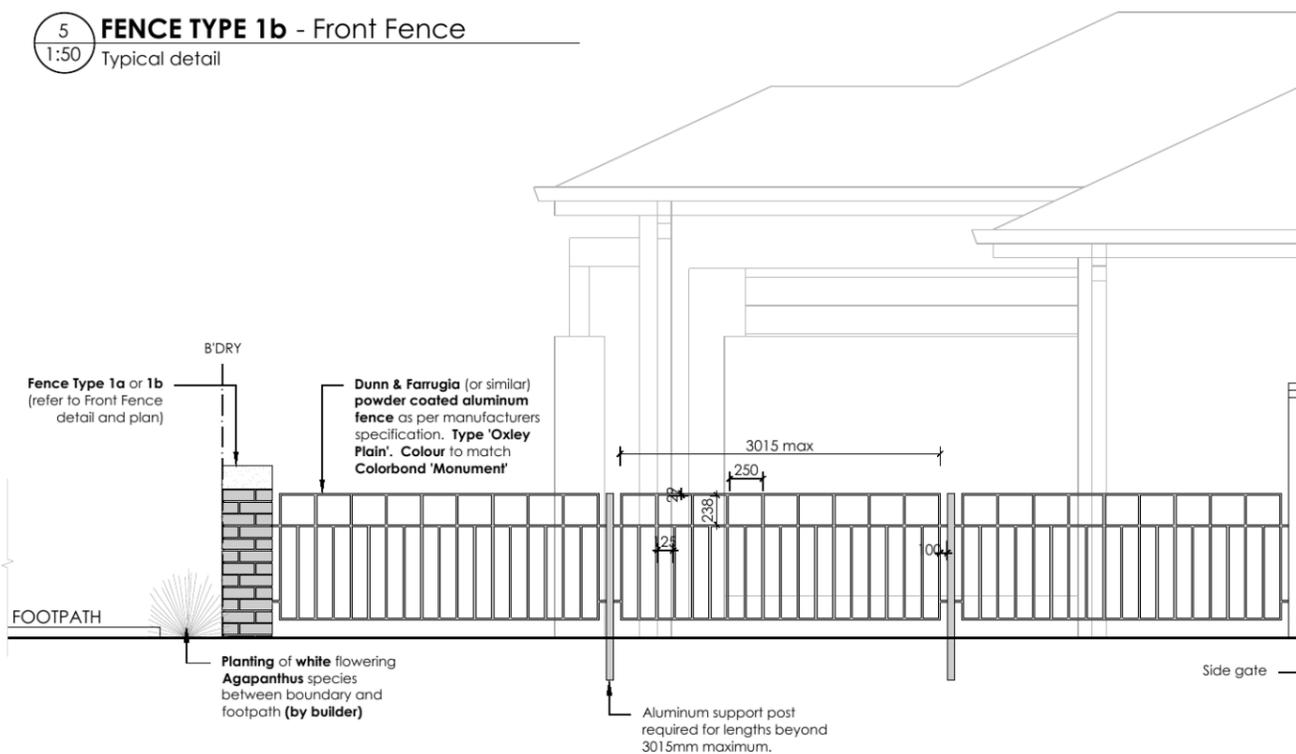
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-08-14
B	AMENDMENTS TO CLIENT MARK UP	RS	RS	25-08-14
C	AMENDMENTS TO CLIENT MARK UP	RS	RS	31-08-14
D	AMENDMENTS TO LOTS 153 & 164 TO CLIENT MARK UP	RS	RS	01-09-14
E	CORRECT LOT NUMBER FOR LOT 153. ADD BED TO LOT 161	RS	RS	04-09-14
F	BED 2 AND RE-ISSUE	RS	RS	10-09-14
	ISSUE DA PLANS FOR REVIEW	RS	RS	

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PROJECT: **THORNTON FENCING + PLANTING DETAILS**

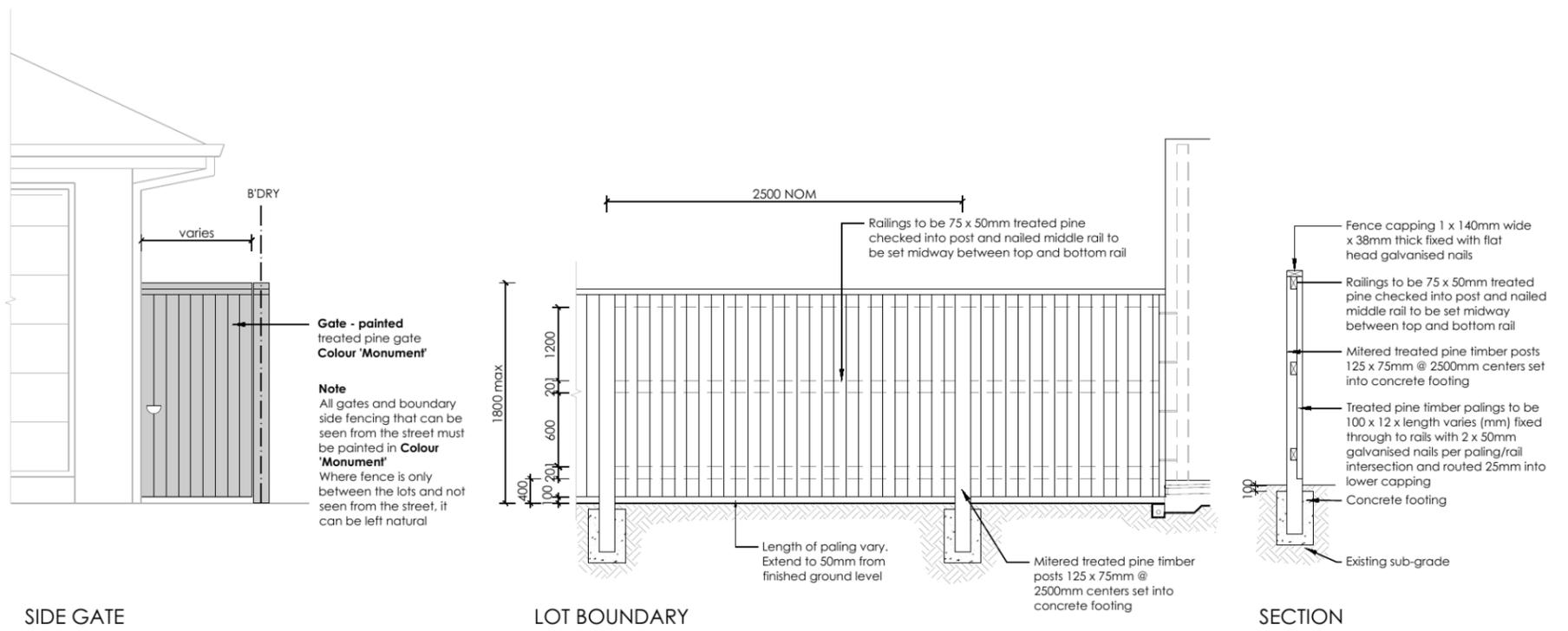
CLIENT: **FIRSTYLE HOMES**

PROJECT: **NEW RESIDENCE**

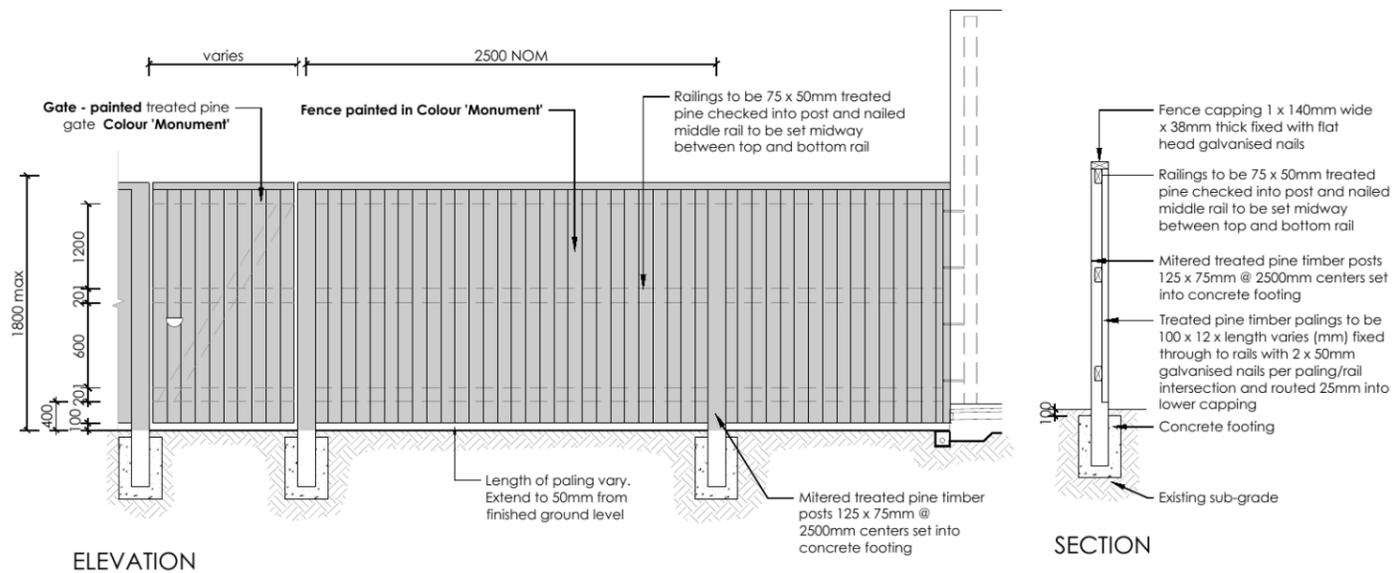
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SCALE: **1:100 @ A3** DRAW: **DA** SHEET: **L-02**

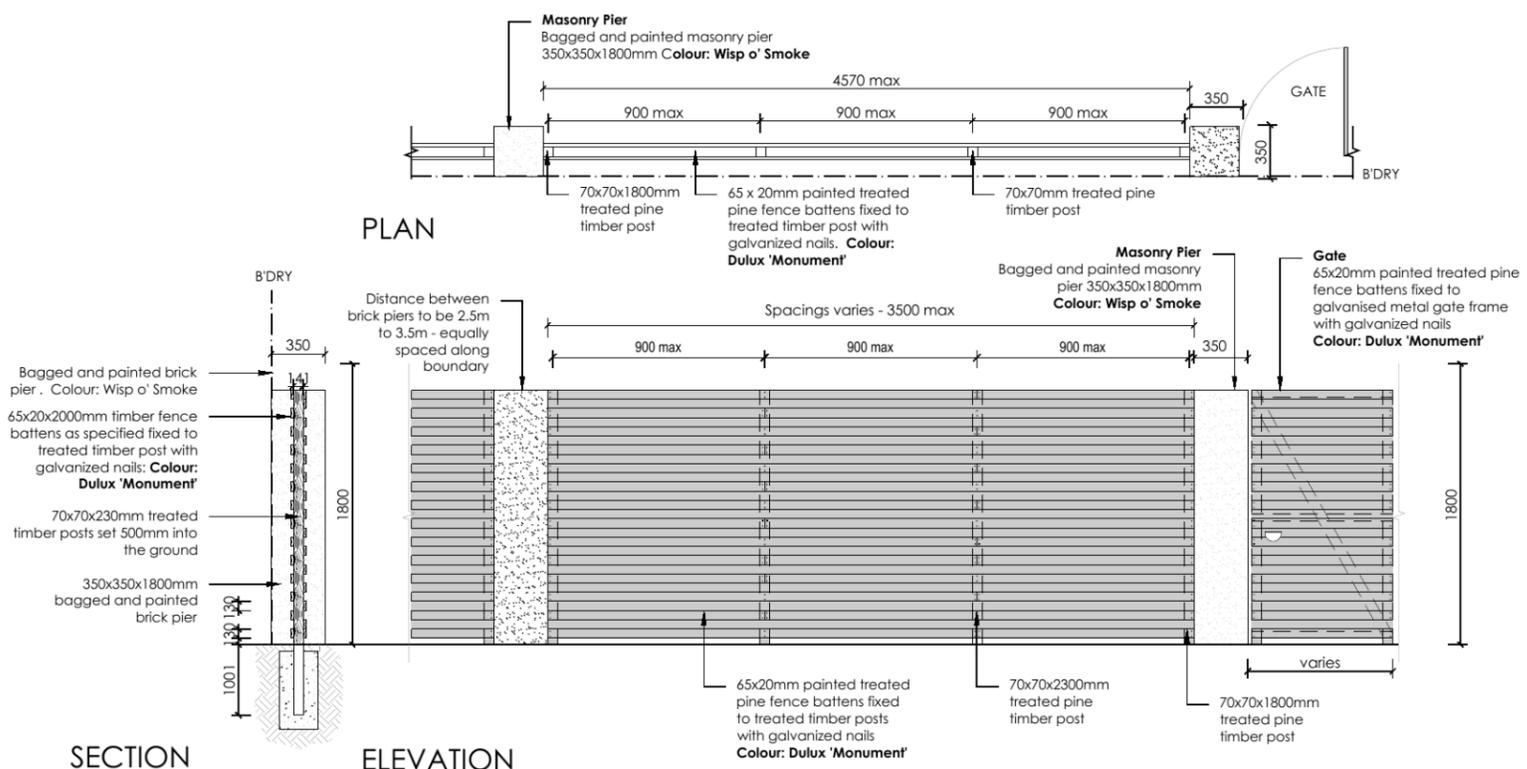
DRAWN: **RS** CHECK: **RS** DATE: **10-09-14** REVISION: **F**



7 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail



8 **FENCE TYPE 4b - Rear Boundary**
1:50 All Laneways (except Barlett Lane)
Typical detail



9 **FENCE TYPE 2a - Secondary Street Fencing**
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-08-14
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ADDRESS
THORNTON FENCING + PLANTING DETAILS

CLIENT
FIRSTSTYLE HOMES

PROJECT
NEW RESIDENCE

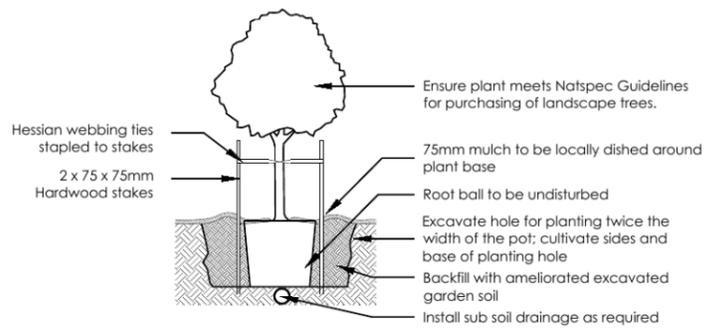
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SCALE
1:100 @ A3

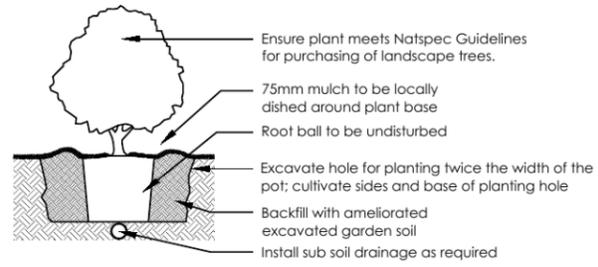
DATE
10-09-14

REVISION
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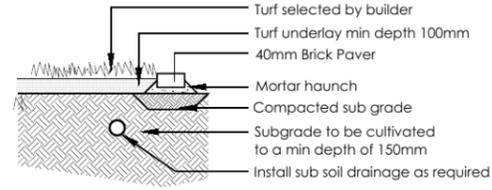




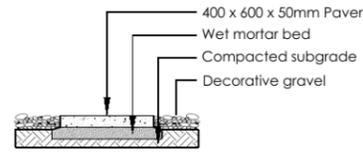
1 Tree Planting Detail
NTS 25L - 100L Pot Size



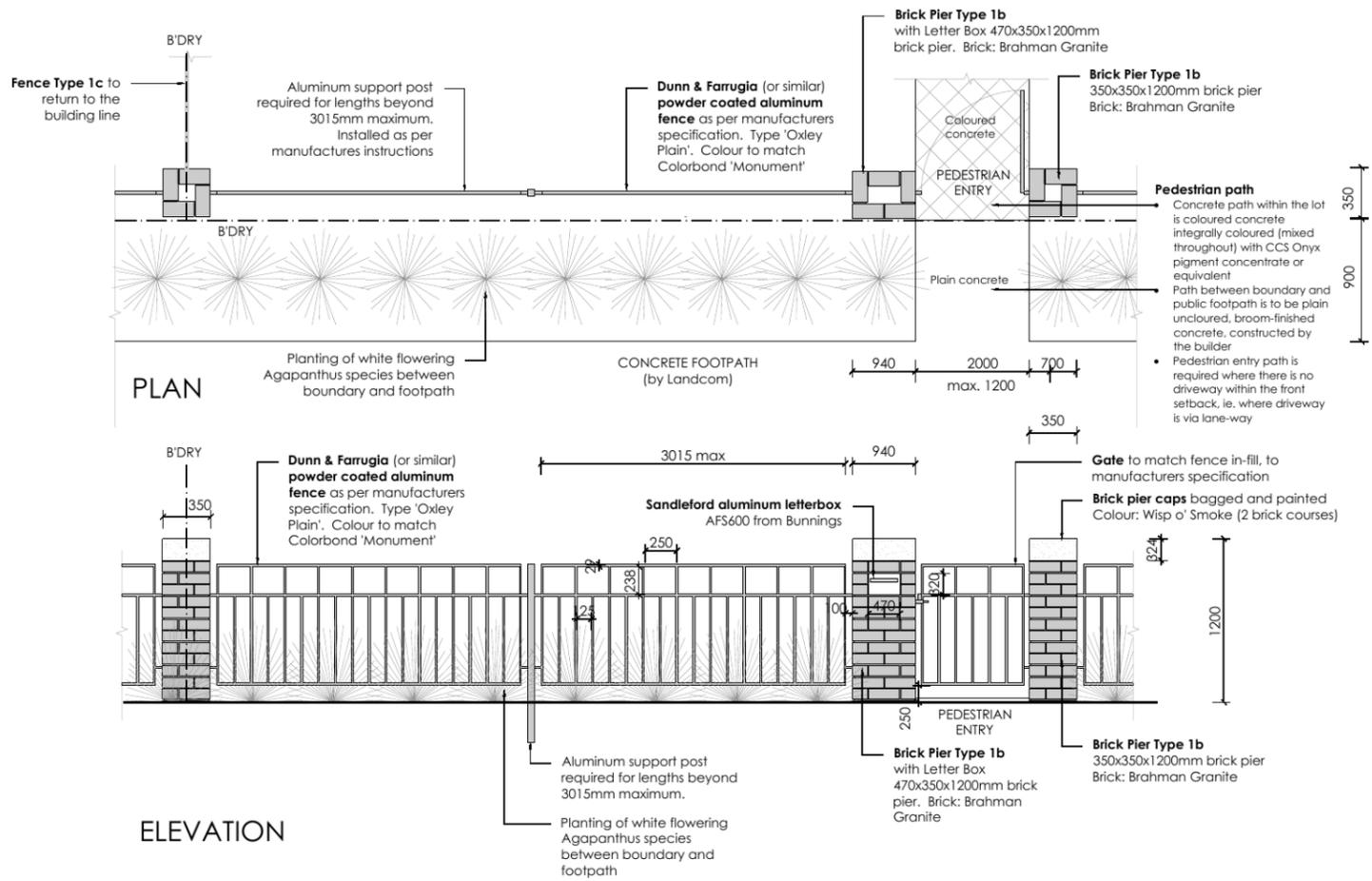
2 Planting Detail
NTS 150mm, 200mm Pot Size



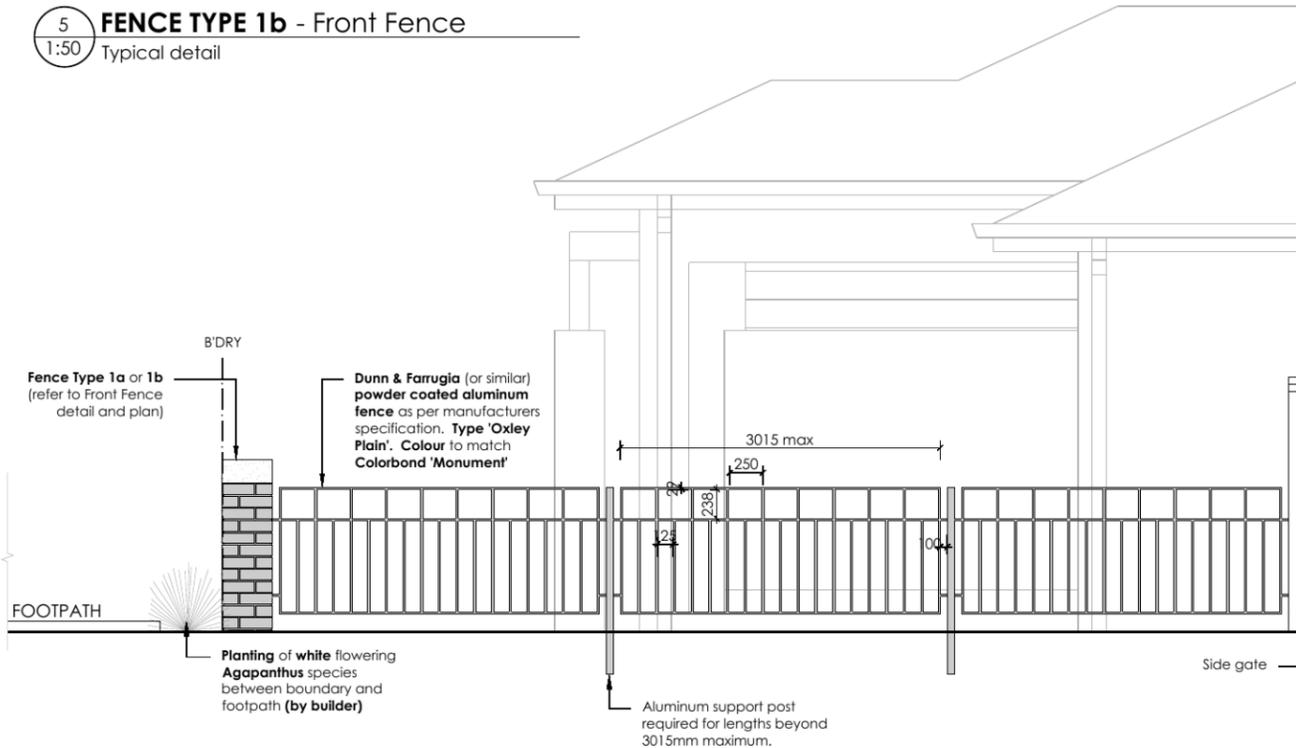
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-08-14
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E	CORRECT LOT NUMBER FOR LOT 153. ADD BED TO LOT 161	RS	RS	04-09-14
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PROJECT: NEW RESIDENCE

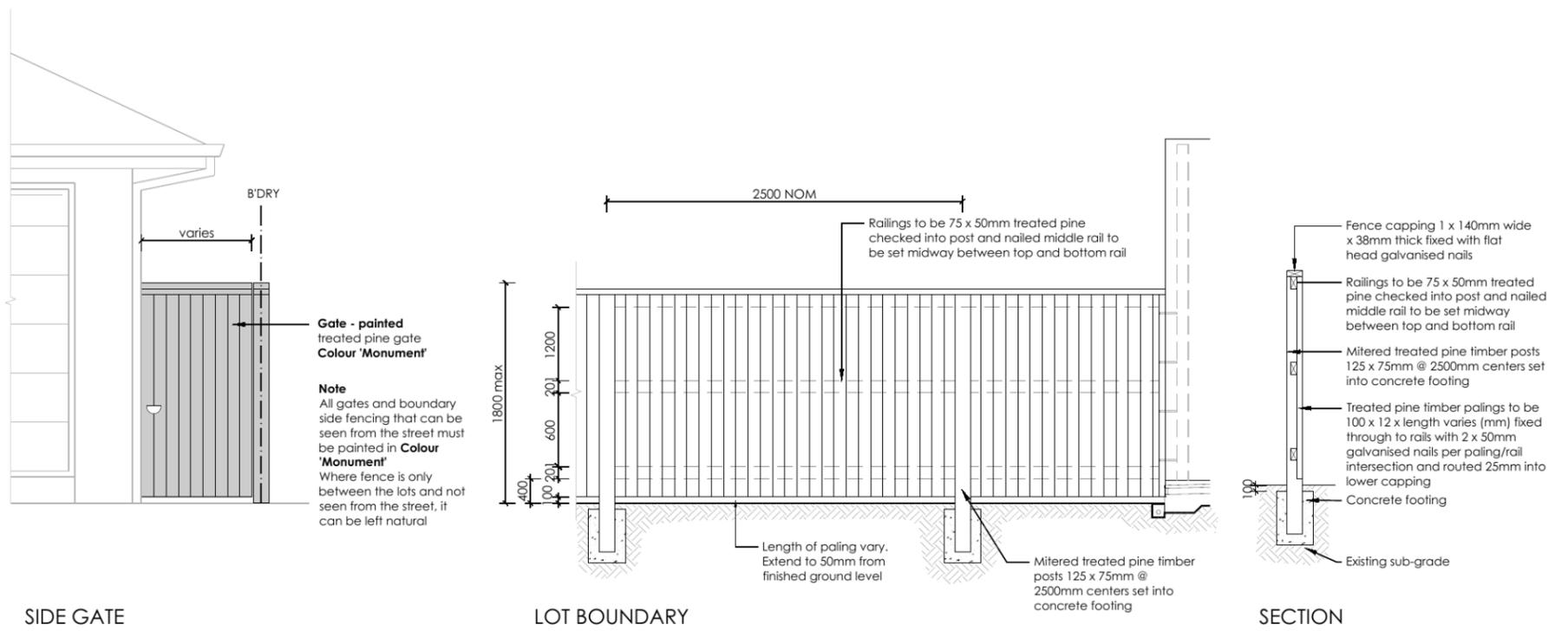
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SCALE: 1:100 @ A3

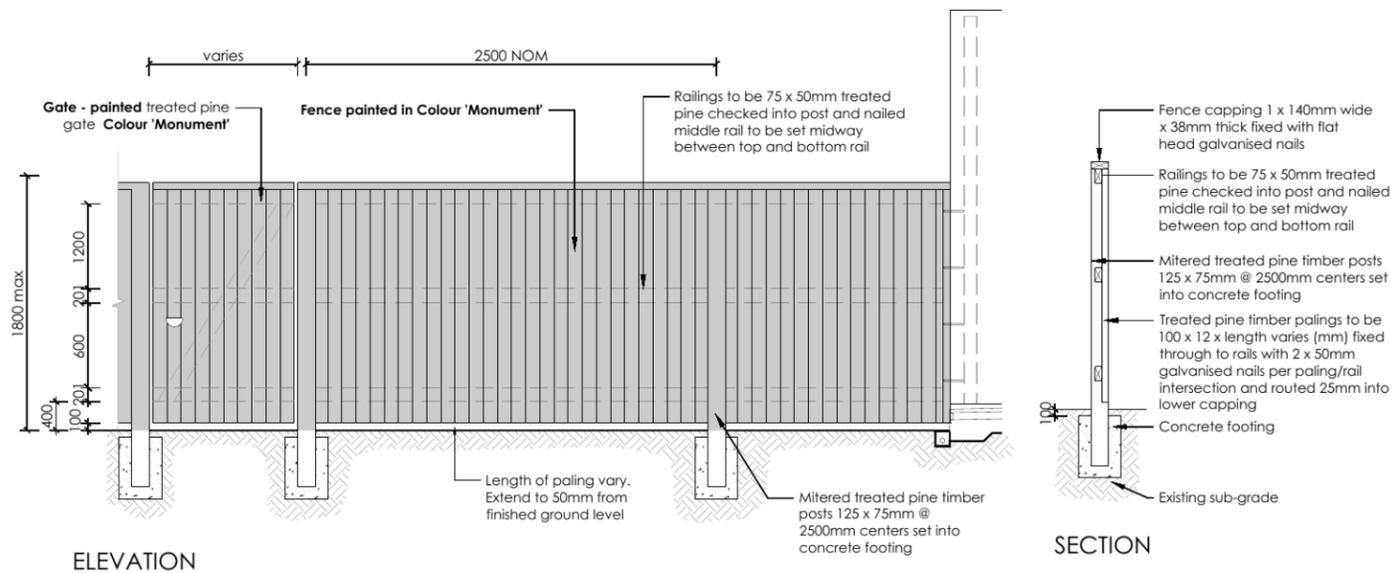
CLIENT: FIRSTYLE HOMES

THORNTON FENCING + PLANTING DETAILS

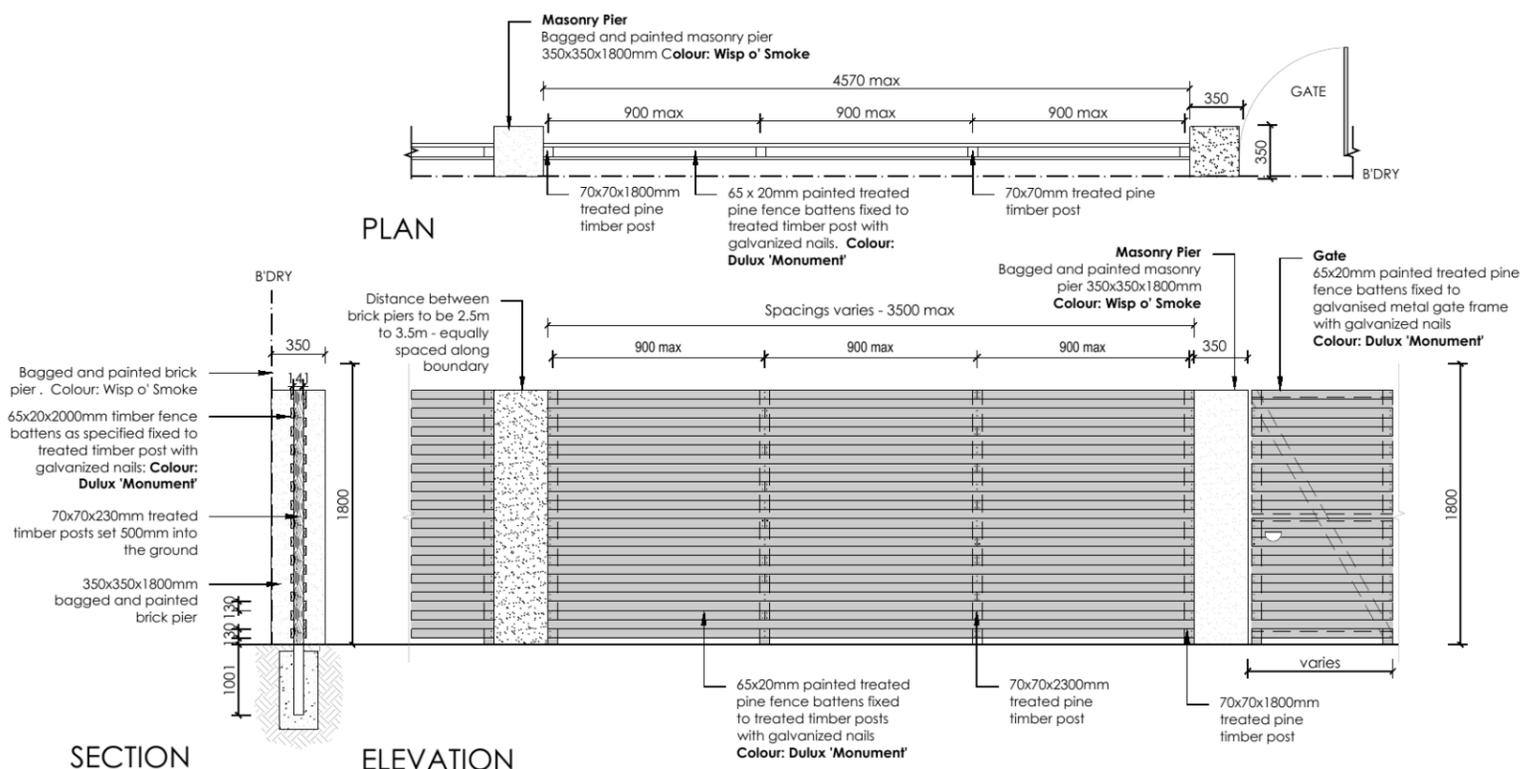
SCALE	DATE	SHEET	REVISION
1:100 @ A3	DA	L-02	F
DRAWN: RS	CHECK: RS	DATE: 10-09-14	REVISION: F



7 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail



8 **FENCE TYPE 4b - Rear Boundary**
1:50 All Laneways (except Barlett Lane)
Typical detail



9 **FENCE TYPE 2a - Secondary Street Fencing**
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-08-14
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ADDRESS
THORNTON FENCING + PLANTING DETAILS

CLIENT
FIRSTYLE HOMES

PROJECT
NEW RESIDENCE

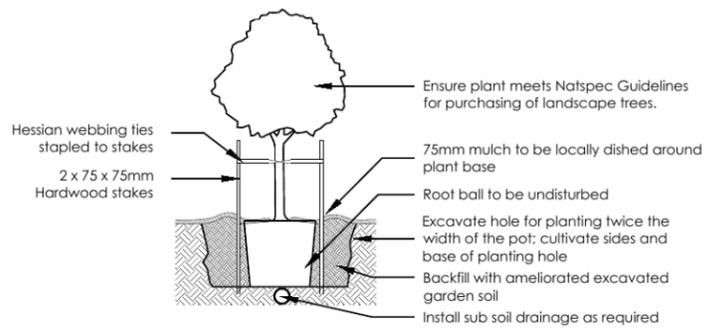
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SCALE
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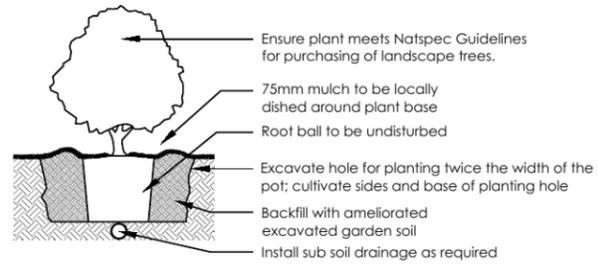
DATE
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REVISION
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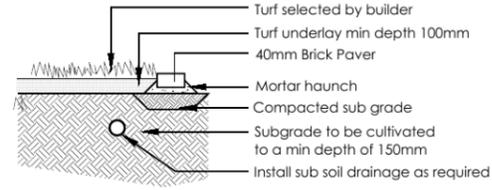




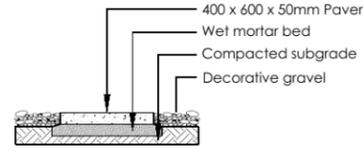
1 Tree Planting Detail
NTS 25L - 100L Pot Size



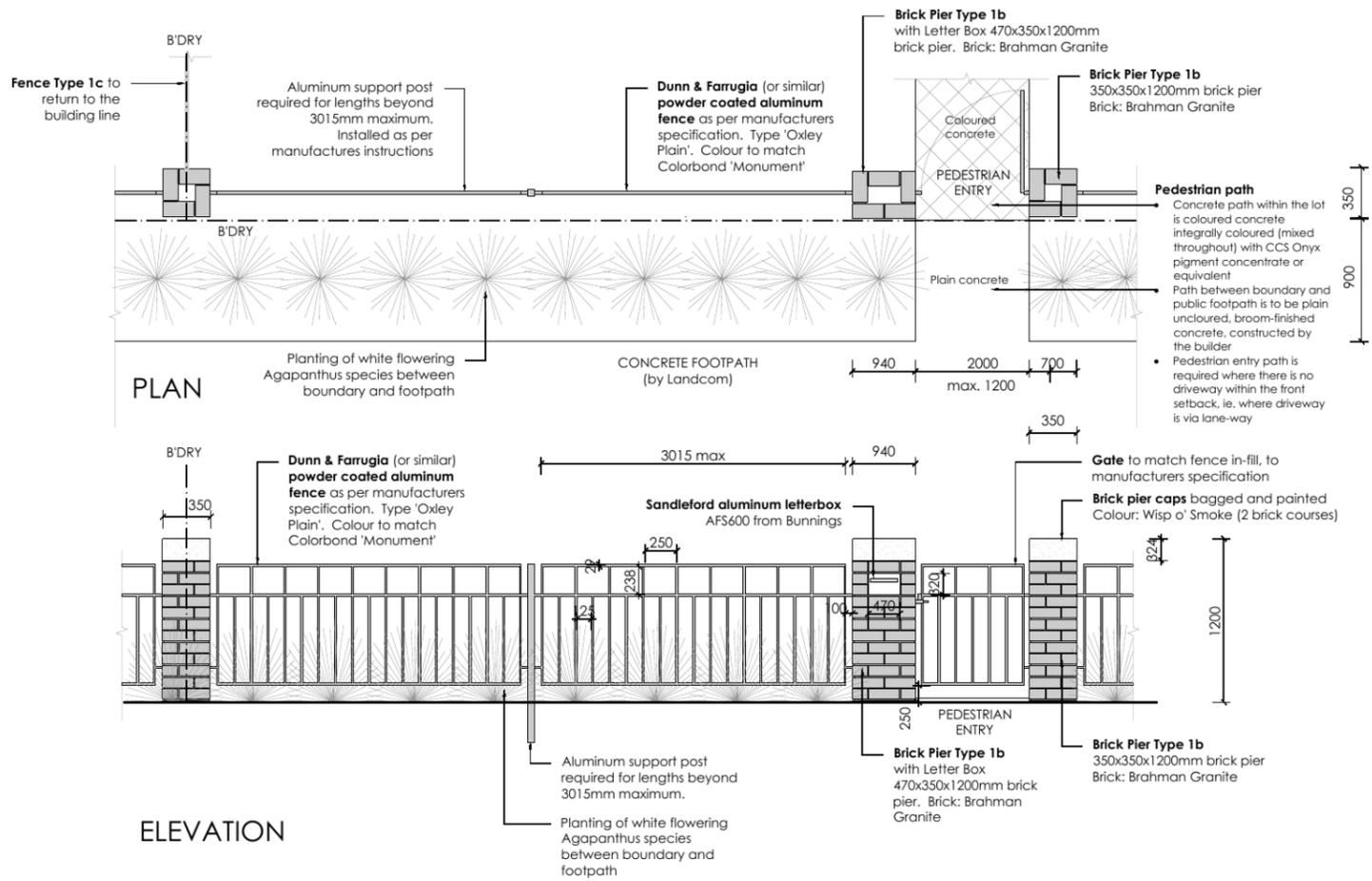
2 Planting Detail
NTS 150mm, 200mm Pot Size



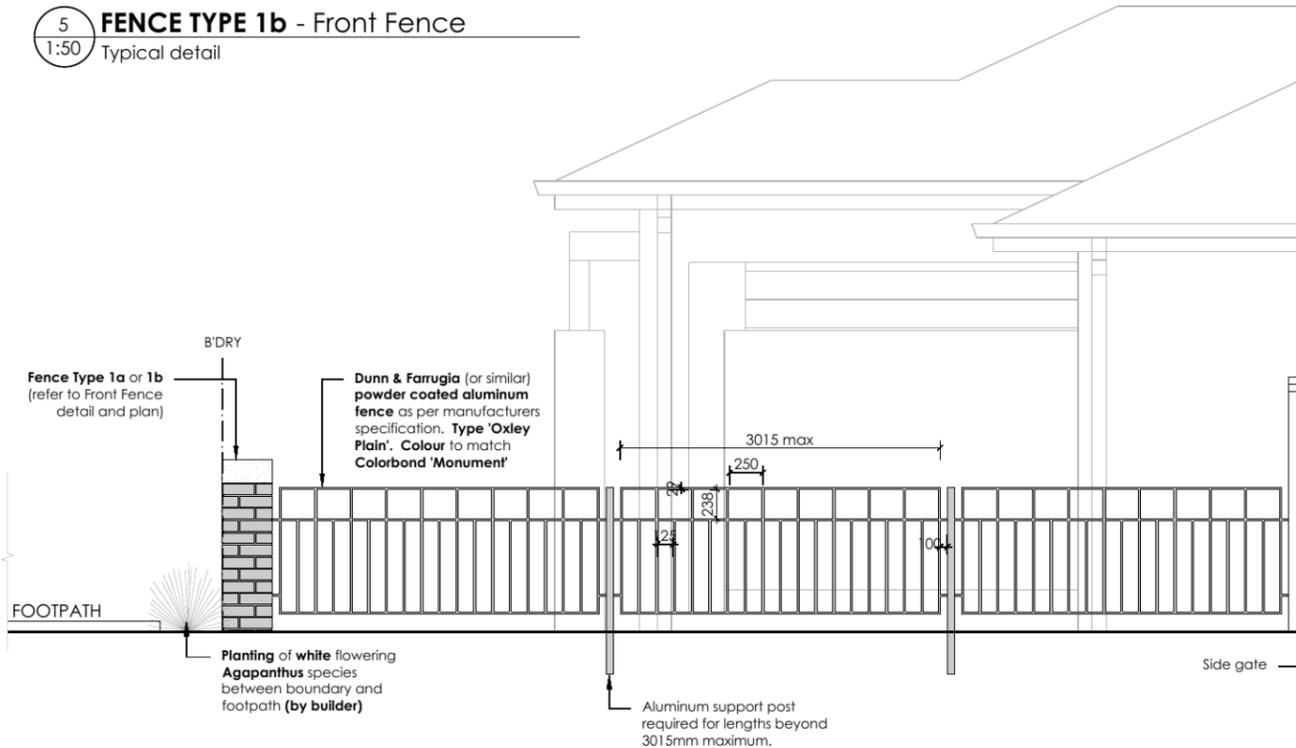
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-08-14
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E	CORRECT LOT NUMBER FOR LOT 153. ADD BED TO LOT 161	RS	RS	04-09-14
F	BED 2 AND RE-ISSUE	RS	RS	10-09-14
	ISSUE DA PLANS FOR REVIEW	RS	RS	

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PROJECT: **THORNTON FENCING + PLANTING DETAILS**

CLIENT: **FIRSTYLE HOMES**

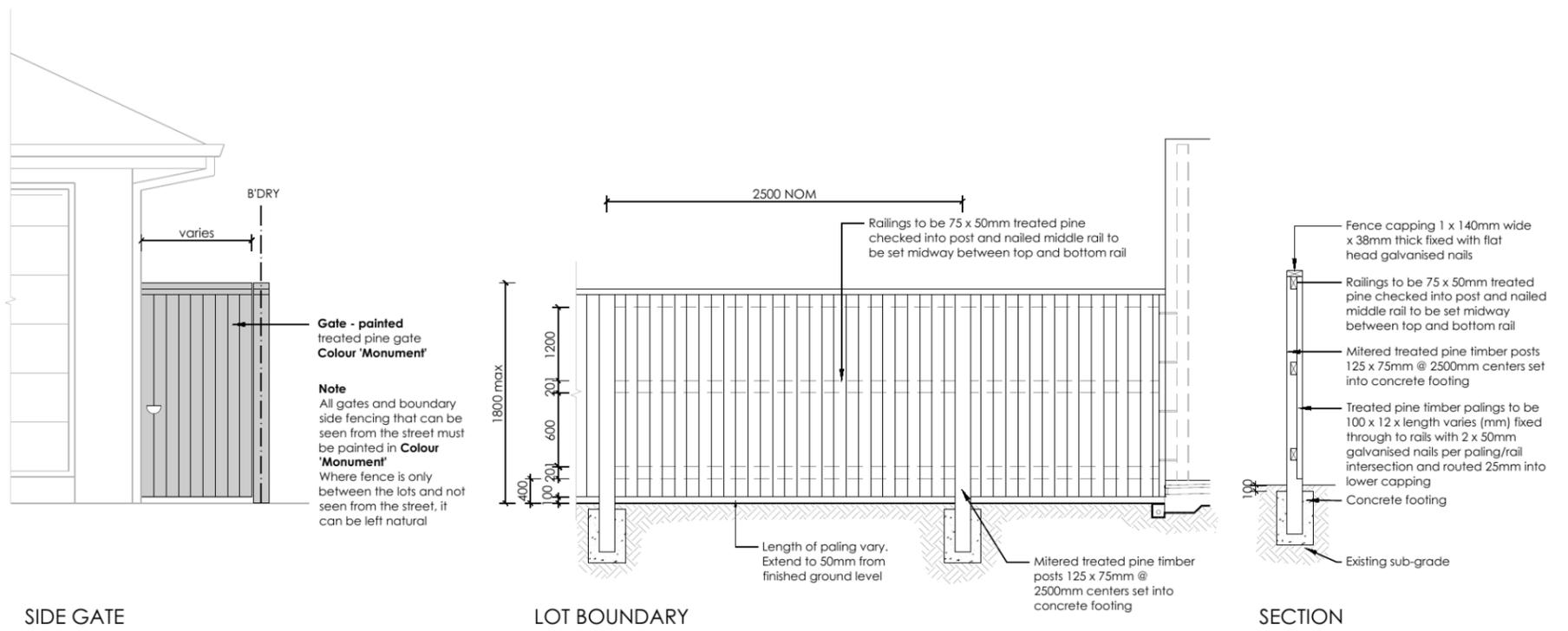
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DRAWING: **DETAILS**

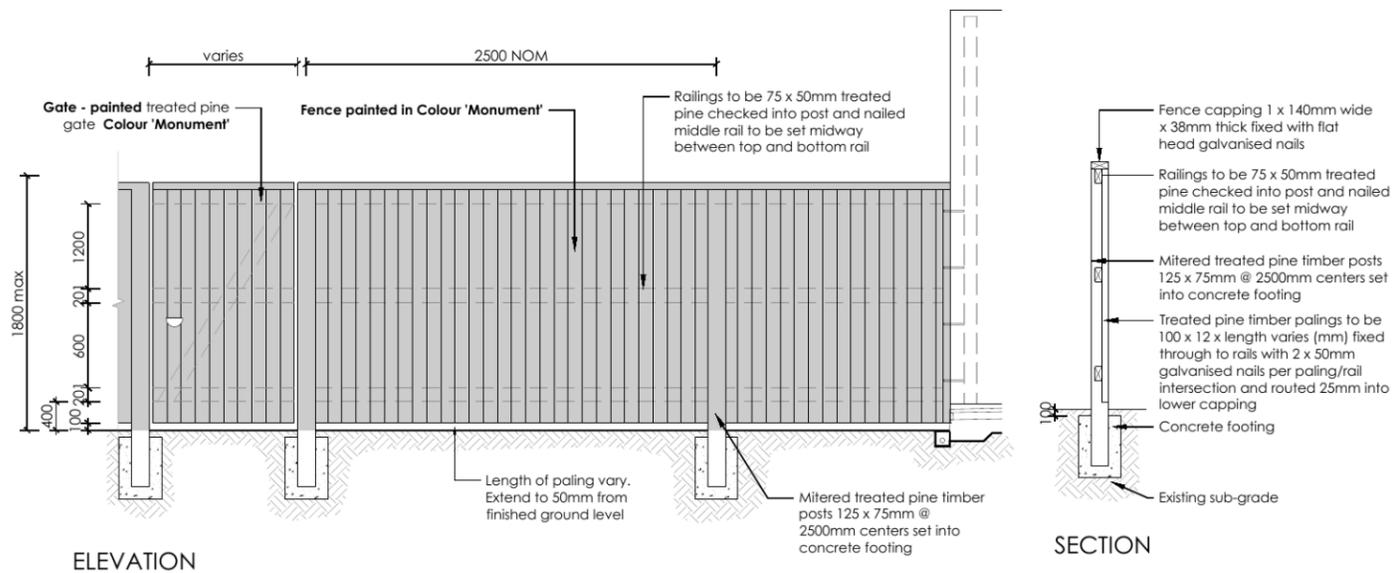
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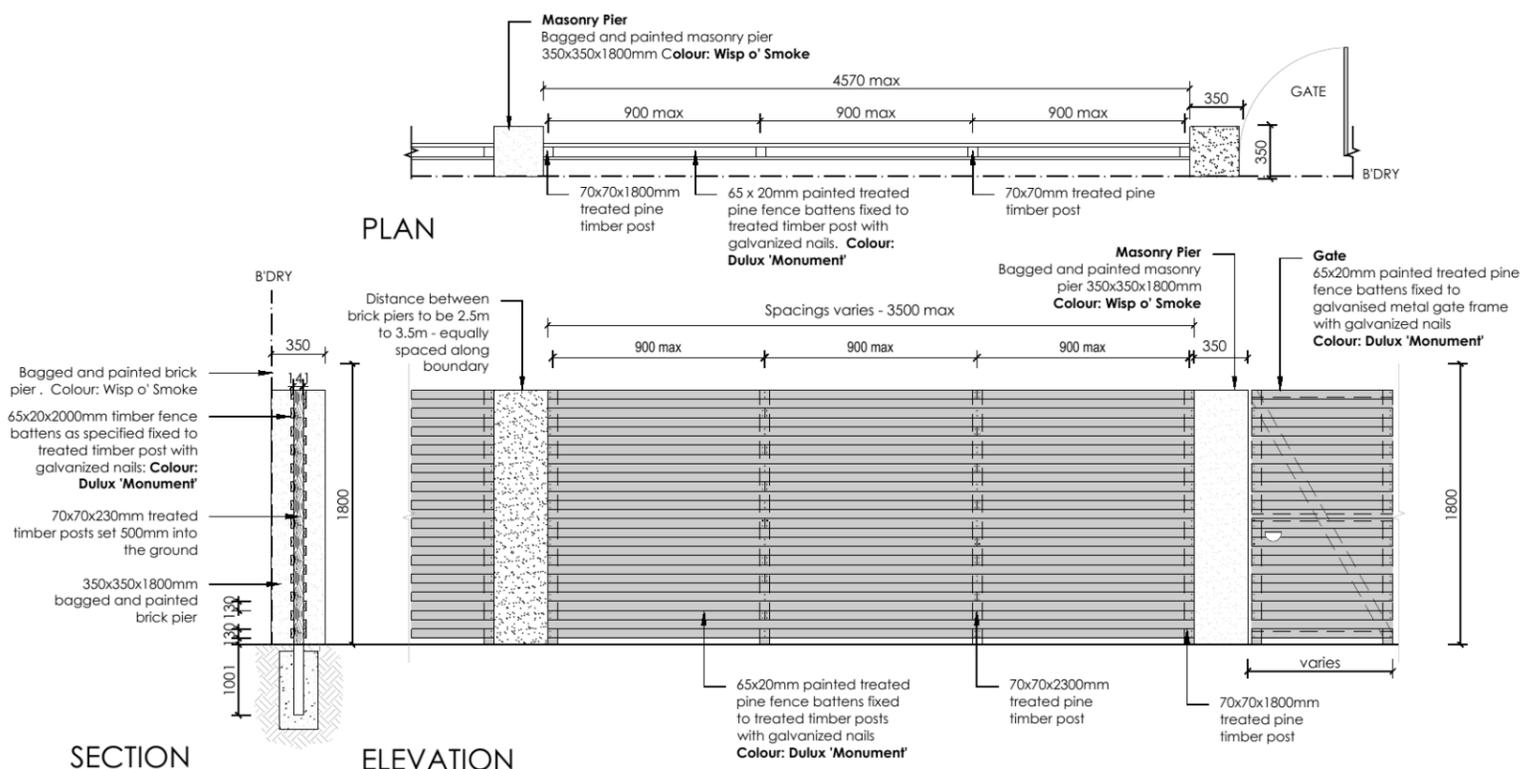




7 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail



8 **FENCE TYPE 4b - Rear Boundary**
1:50 All Laneways (except Barlett Lane)
Typical detail



9 **FENCE TYPE 2a - Secondary Street Fencing**
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-08-14
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E	CORRECT LOT NUMBER FOR LOT 153. ADD BED TO LOT 161	RS	RS	04-09-14
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ADDRESS
THORNTON FENCING + PLANTING DETAILS

CLIENT
FIRSTYLE HOMES

PROJECT
NEW RESIDENCE

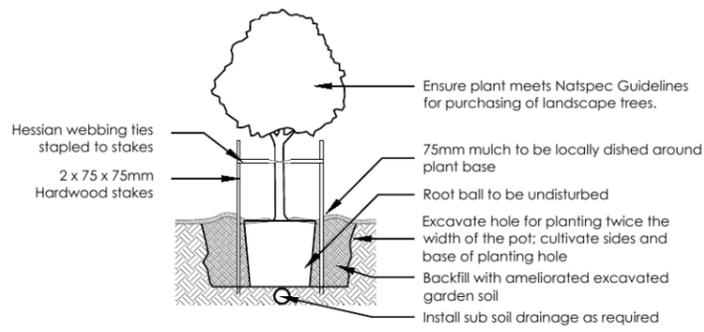
DRAWING
LANDSCAPE PLAN

SCALE
1:100 @ A3

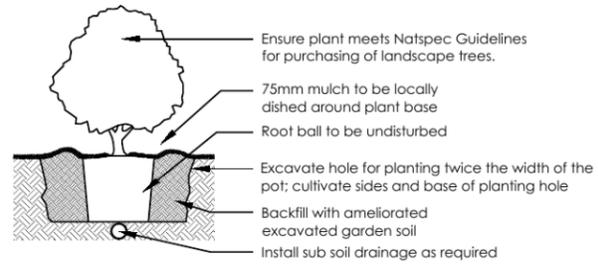
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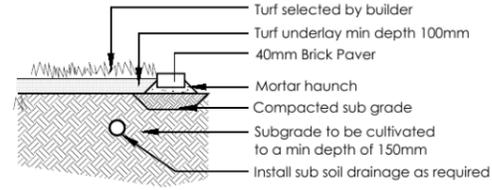




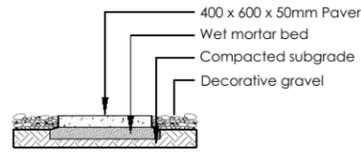
1 Tree Planting Detail
NTS 25L - 100L Pot Size



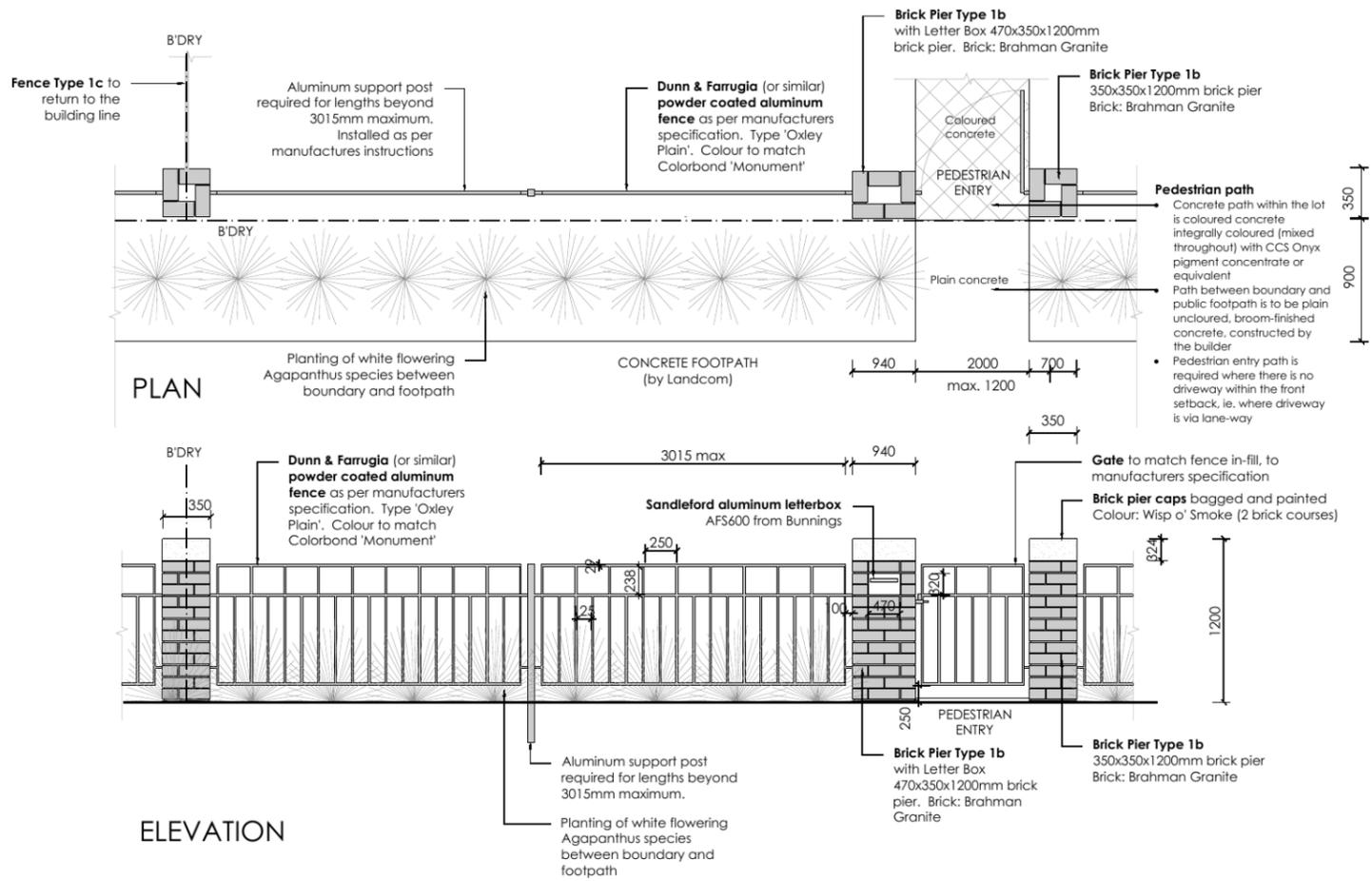
2 Planting Detail
NTS 150mm, 200mm Pot Size



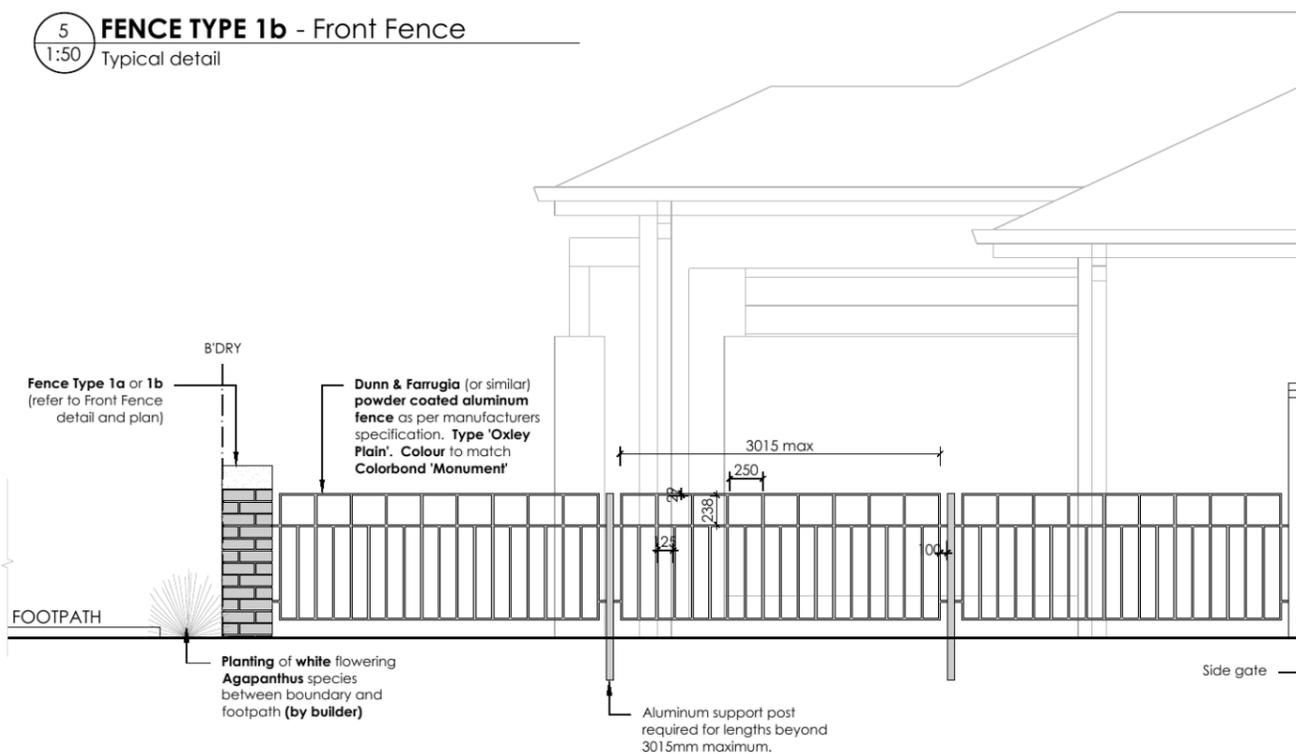
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
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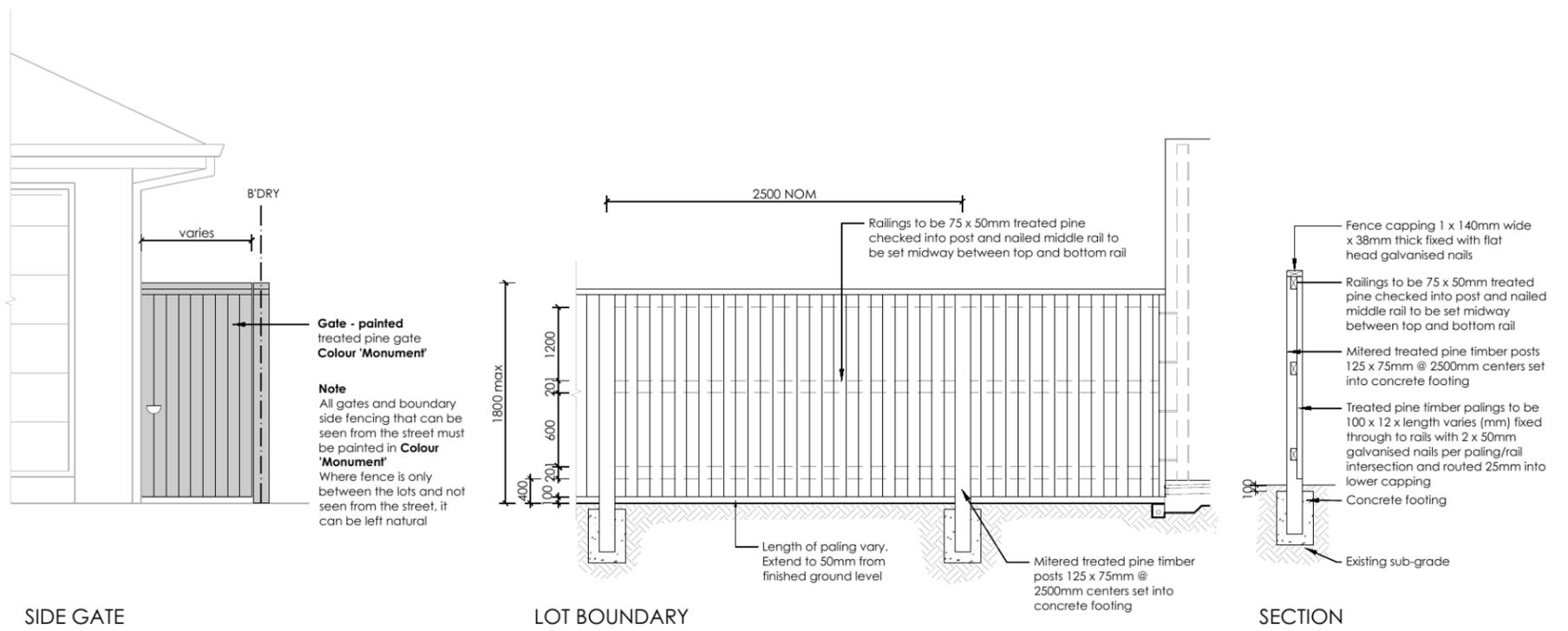
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PROJECT: **THORNTON FENCING + PLANTING DETAILS**

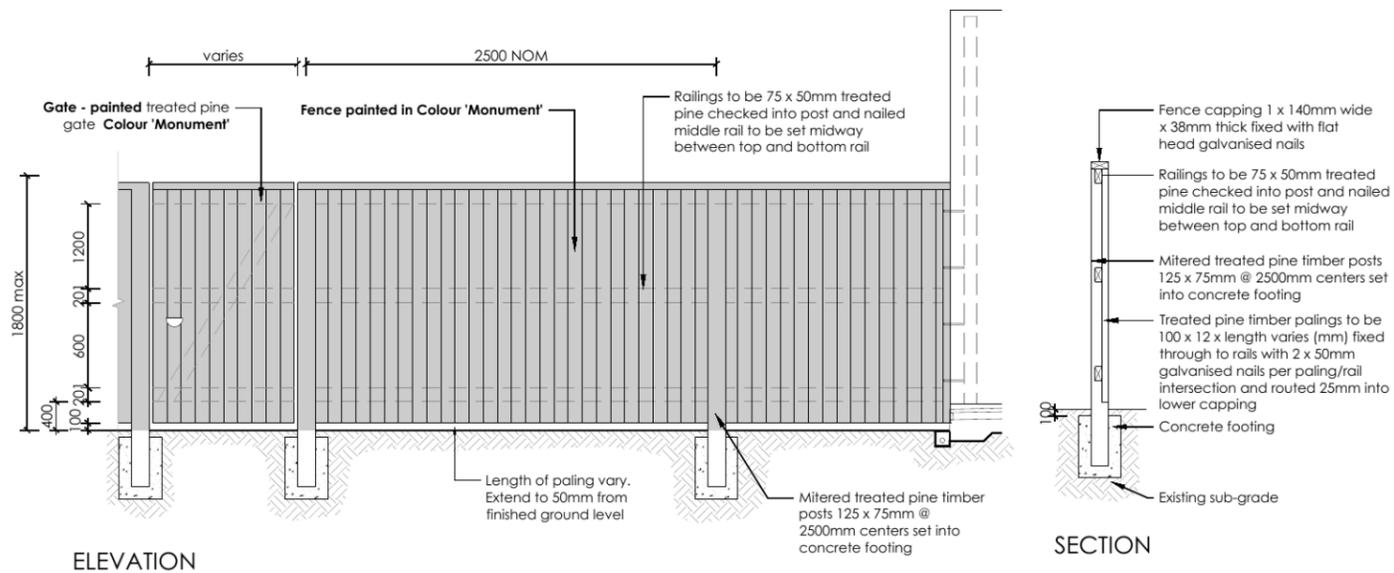
CLIENT: **FIRSTYLE HOMES**

PROJECT			
NEW RESIDENCE			
DRAWING: DETAILS			
SCALE: 1:100 @ A3	DATE: DA	SHEET: L-02	
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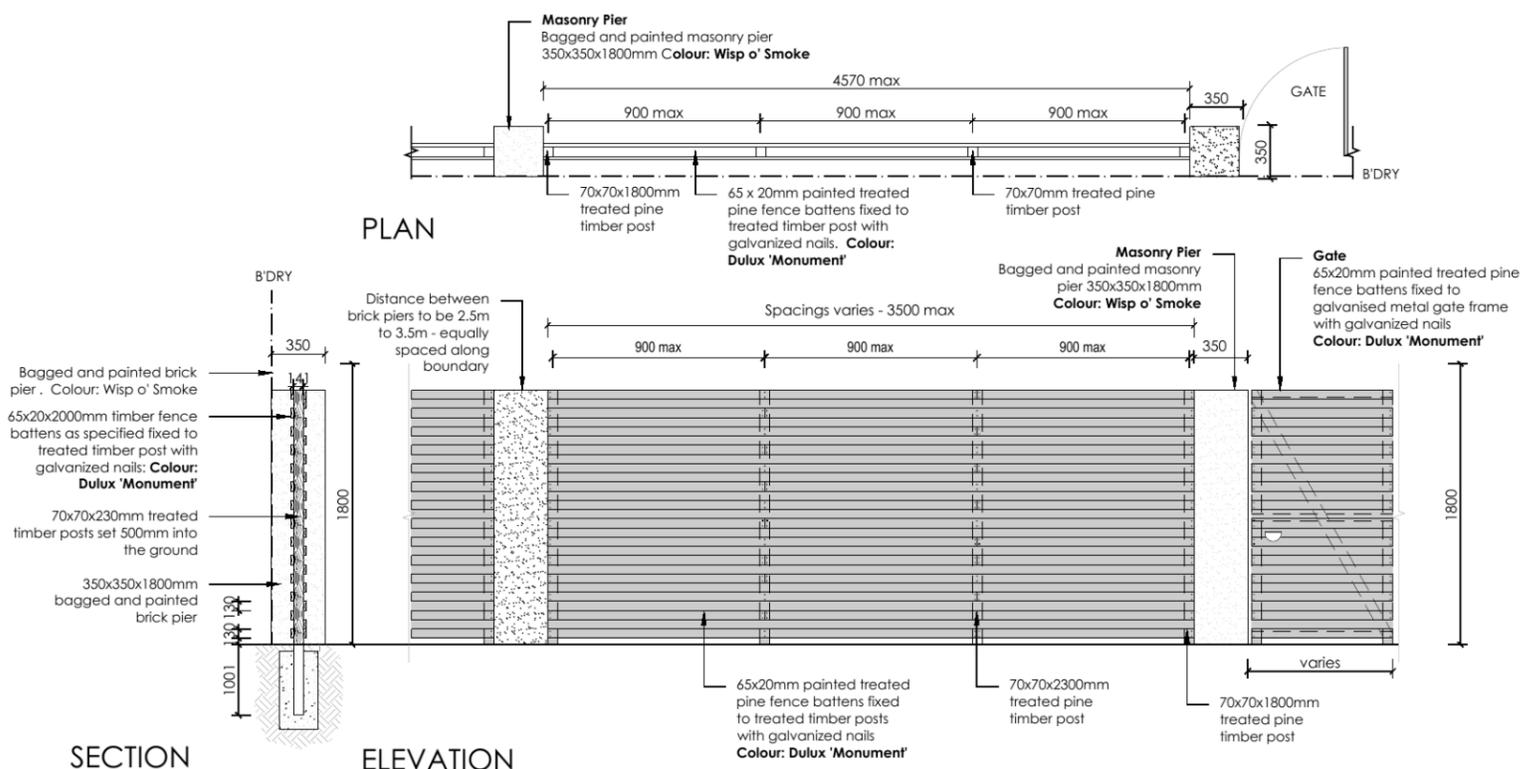




7 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail



8 **FENCE TYPE 4b - Rear Boundary**
1:50 All Laneways (except Barlett Lane)
Typical detail



9 **FENCE TYPE 2a - Secondary Street Fencing**
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
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ADDRESS
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CLIENT
FIRSTYLE HOMES

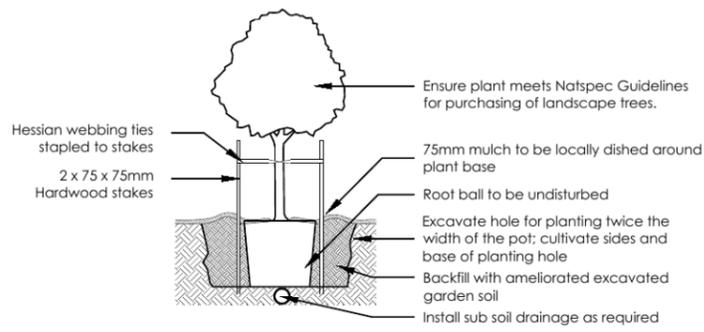
PROJECT
NEW RESIDENCE

DRAWING
LANDSCAPE PLAN

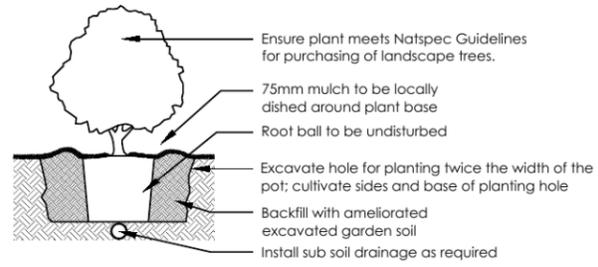
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DATE
10-09-14

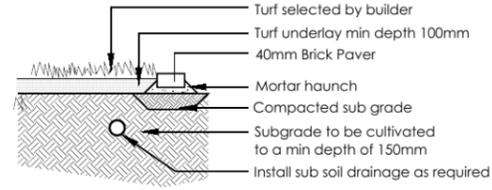
REVISION
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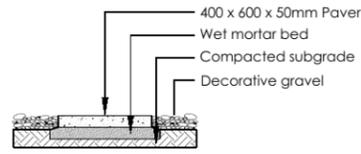
1 Tree Planting Detail
NTS 25L - 100L Pot Size



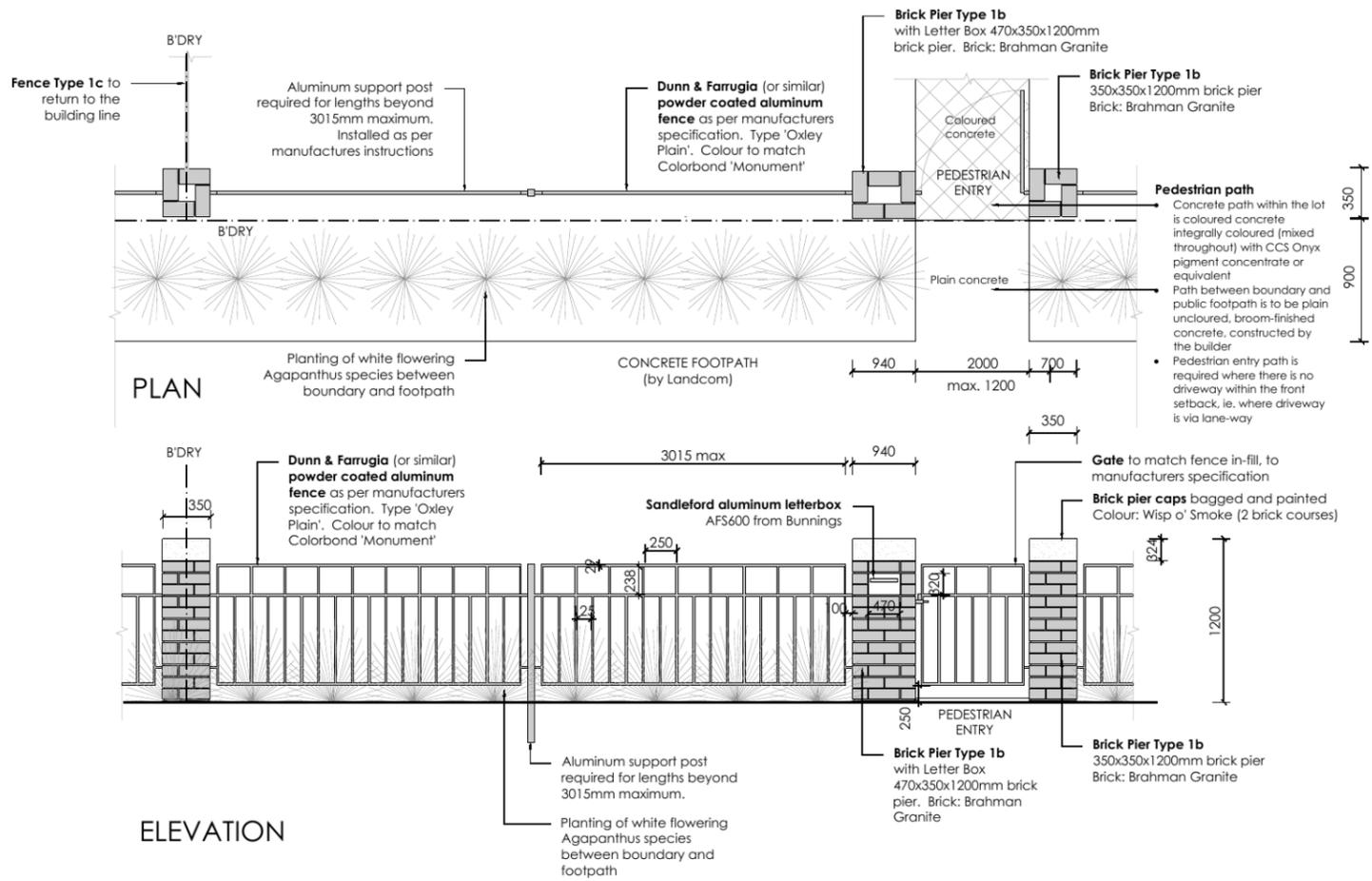
2 Planting Detail
NTS 150mm, 200mm Pot Size



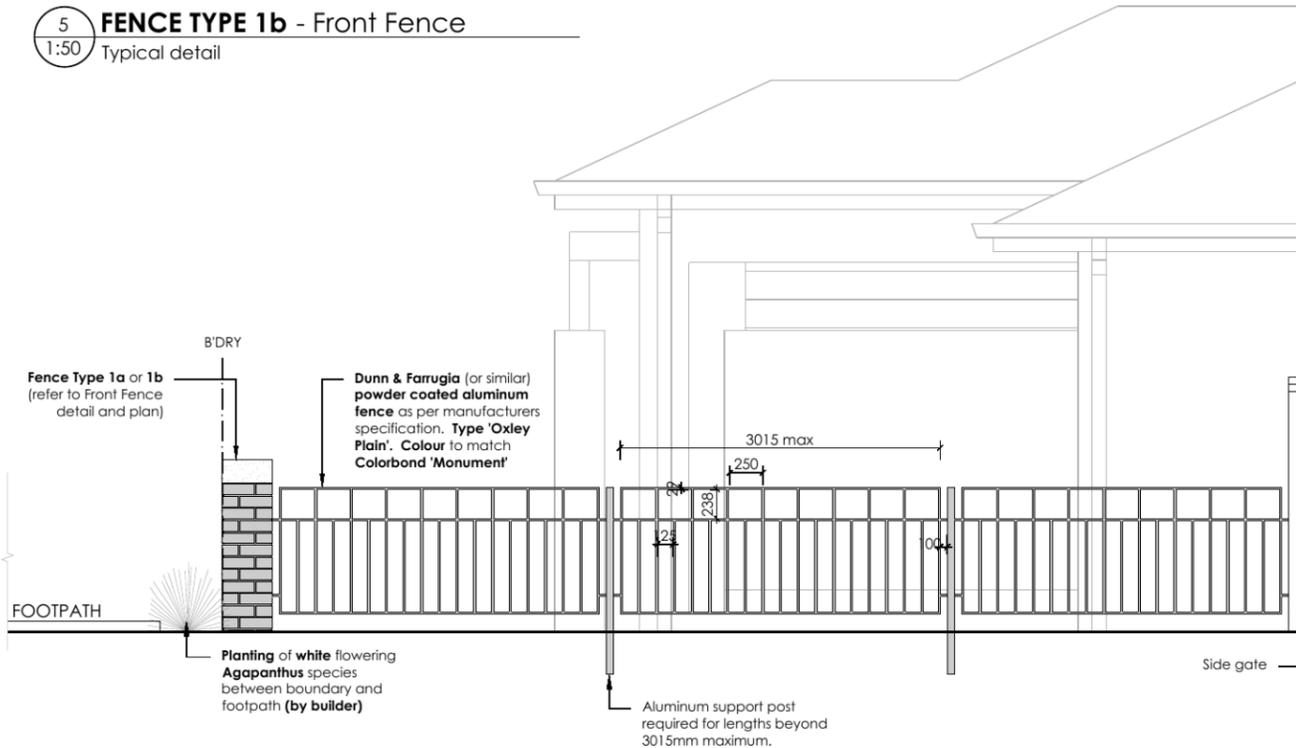
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-08-14
B	AMENDMENTS TO CLIENT MARK UP	RS	RS	25-08-14
C	AMENDMENTS TO CLIENT MARK UP	RS	RS	31-08-14
D	AMENDMENTS TO LOTS 153 & 164 TO CLIENT MARK UP	RS	RS	01-09-14
E	CORRECT LOT NUMBER FOR LOT 153. ADD BED TO LOT 161	RS	RS	04-09-14
F	BED 2 AND RE-ISSUE	RS	RS	10-09-14
	ISSUE DA PLANS FOR REVIEW	RS	RS	

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PROJECT: **THORNTON FENCING + PLANTING DETAILS**

CLIENT: **FIRSTYLE HOMES**

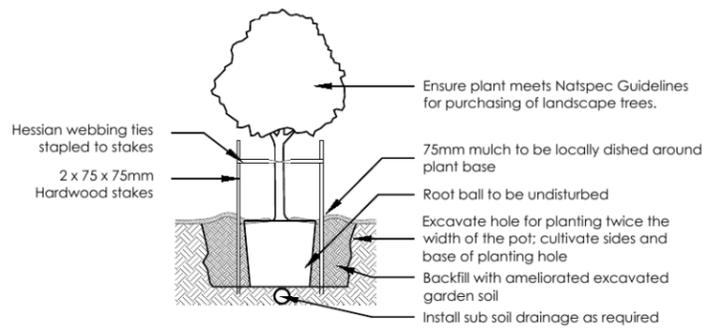
PROJECT: **NEW RESIDENCE**

DRAWING: **DETAILS**

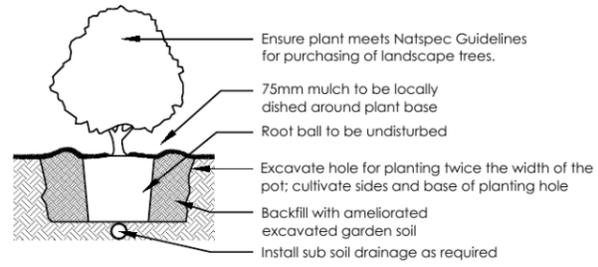
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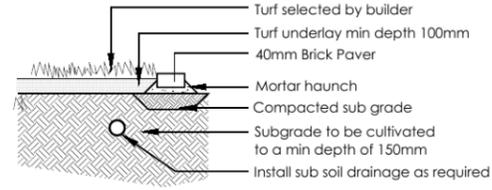




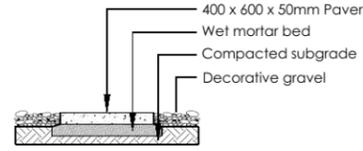
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NTS 25L - 100L Pot Size



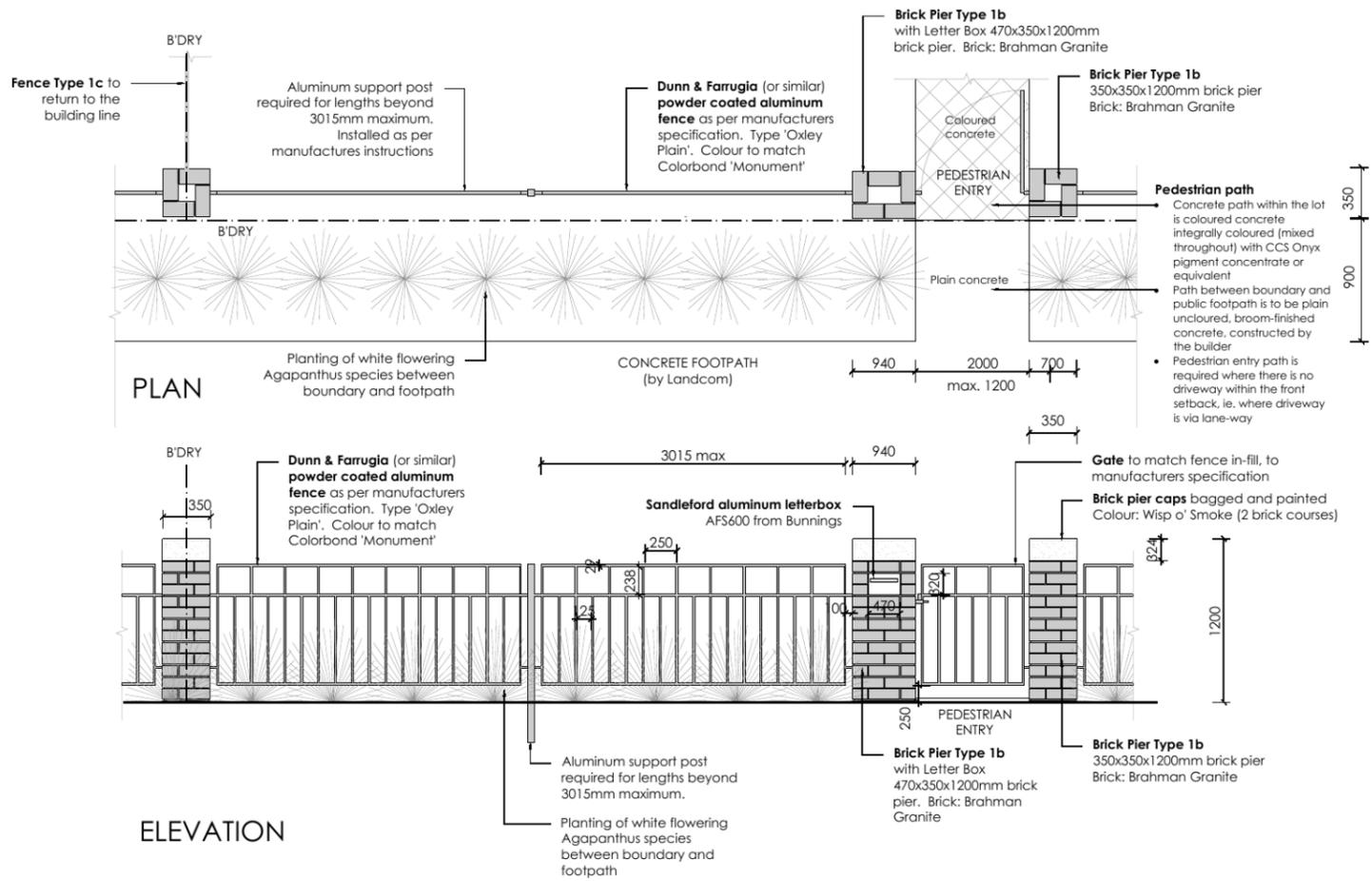
2 Planting Detail
NTS 150mm, 200mm Pot Size



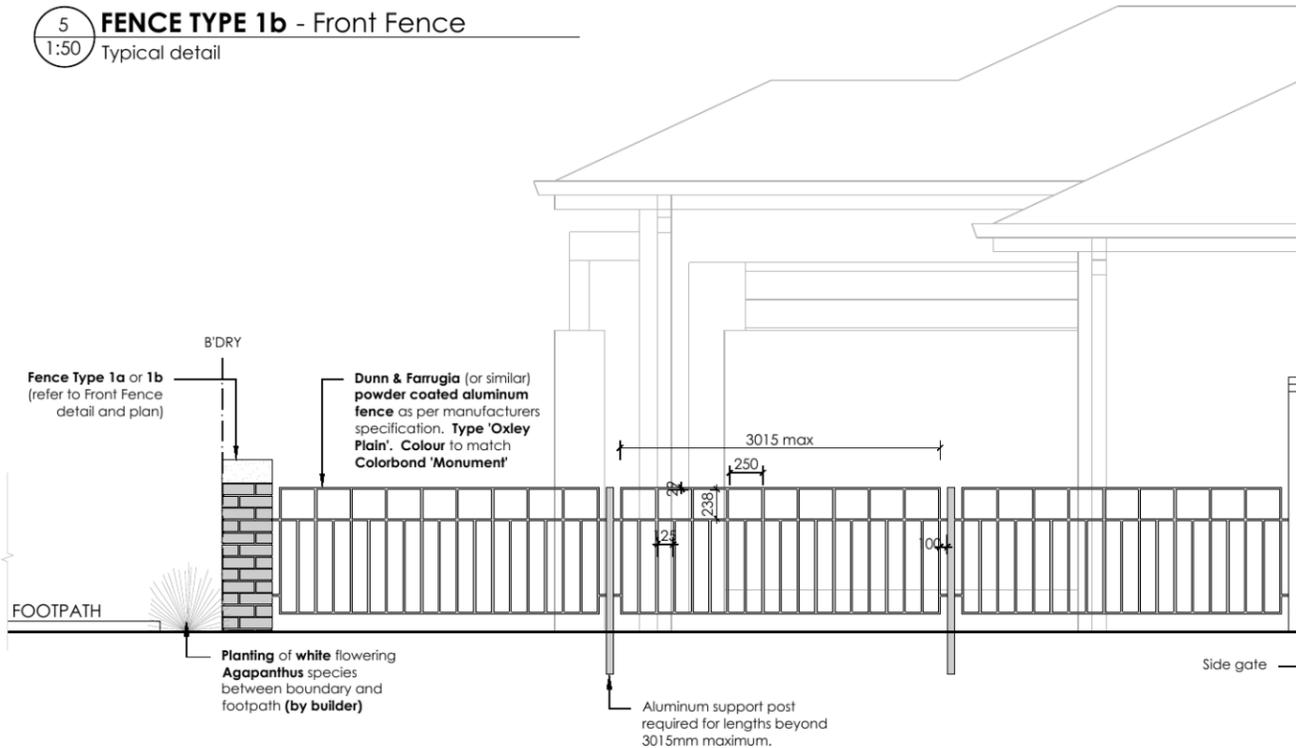
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
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	ISSUE DA PLANS FOR REVIEW	RS	RS	

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PROJECT: NEW RESIDENCE

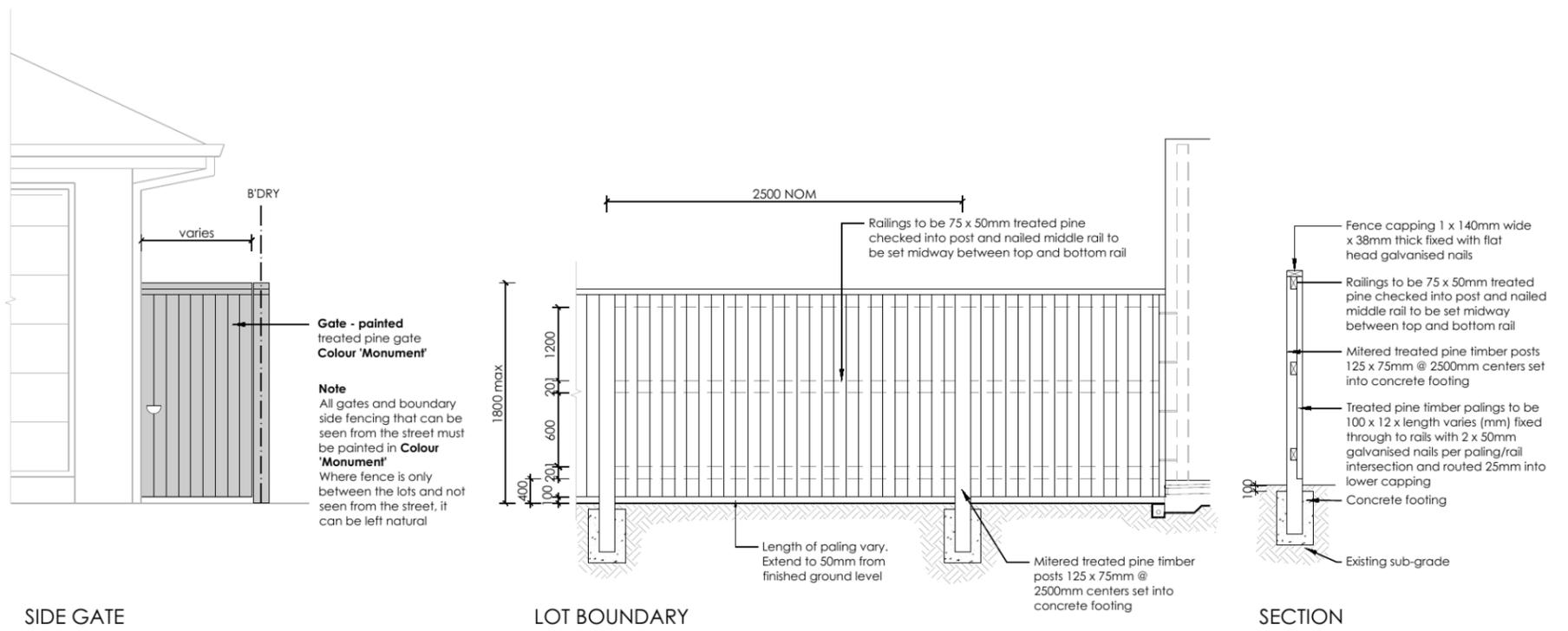
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SCALE: 1:100 @ A3

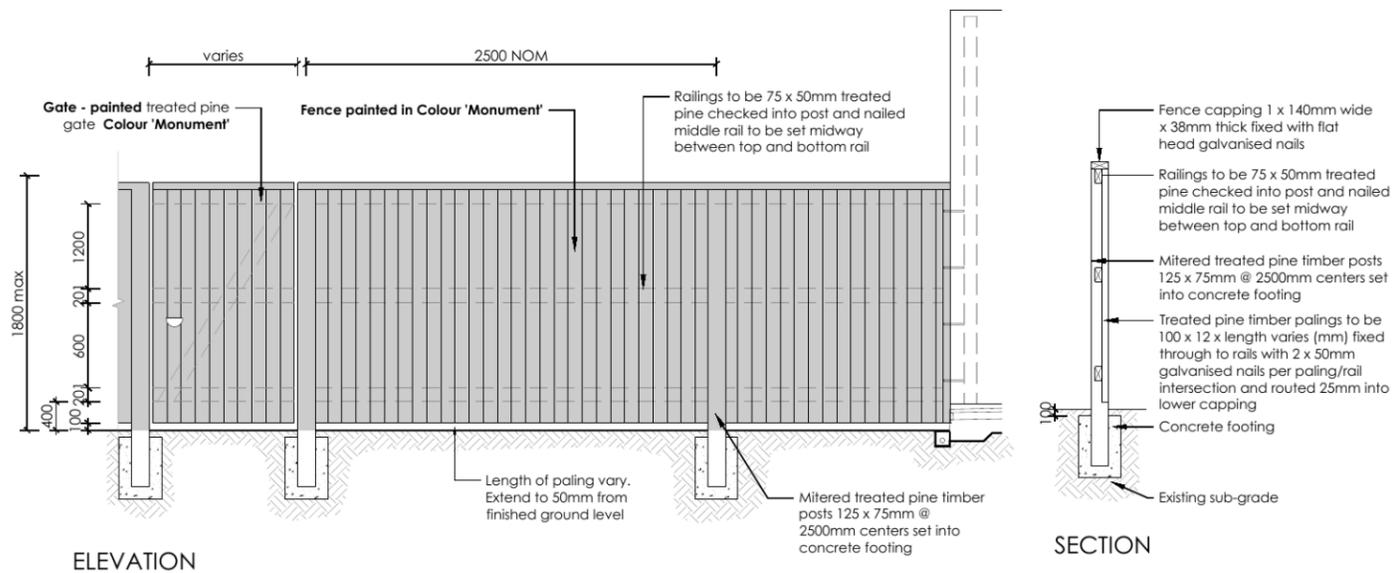
CLIENT: FIRSTYLE HOMES

THORNTON FENCING + PLANTING DETAILS

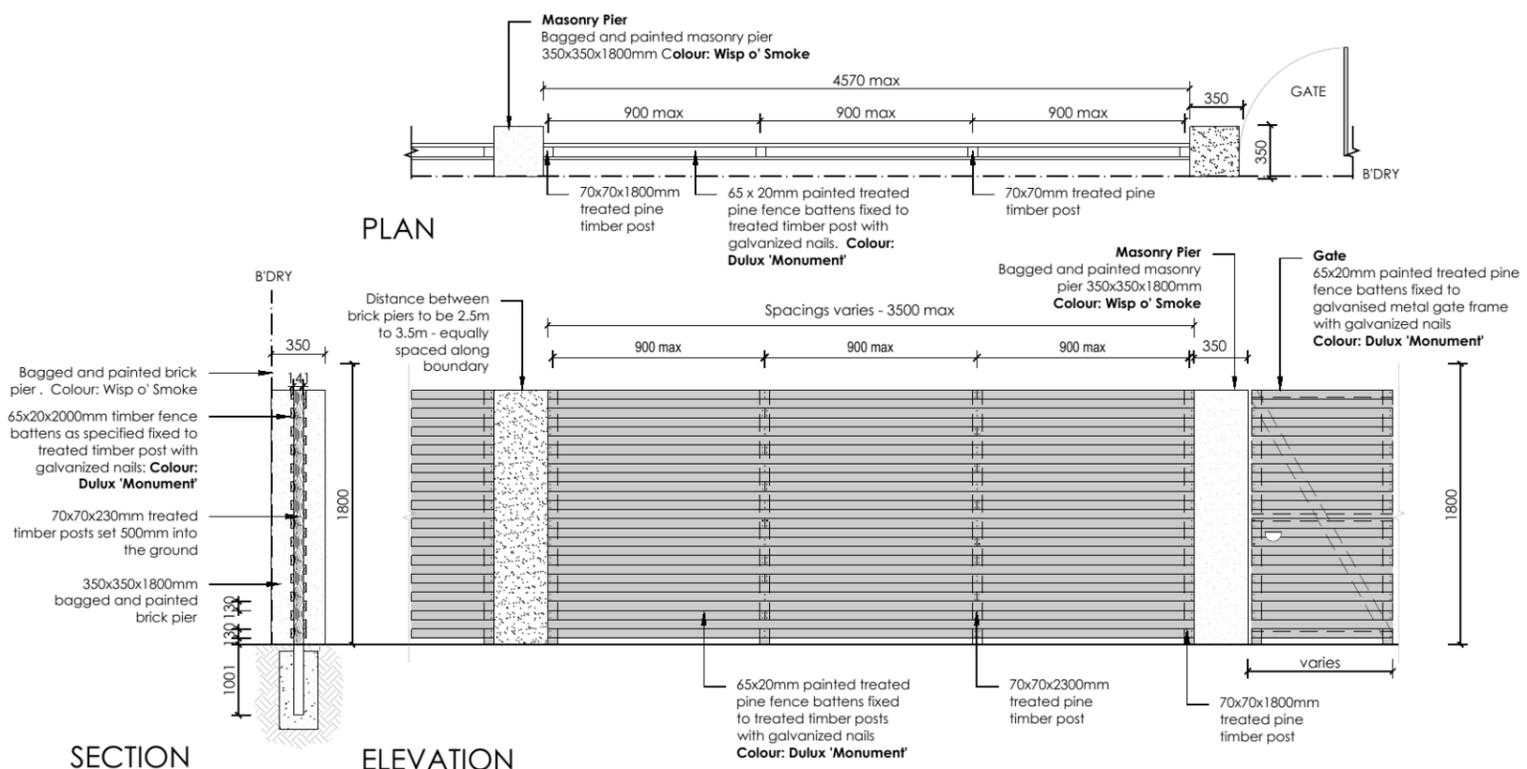
SCALE	DATE	SHEET	REVISION
1:100 @ A3	DA	L-02	F
DRAWN	CHECK	DATE	REVISION
RS	RS	10-09-14	F



7 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail



8 **FENCE TYPE 4b - Rear Boundary**
1:50 All Laneways (except Barlett Lane)
Typical detail



9 **FENCE TYPE 2a - Secondary Street Fencing**
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
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ADDRESS
THORNTON FENCING + PLANTING DETAILS

CLIENT
FIRSTSTYLE HOMES

PROJECT
NEW RESIDENCE

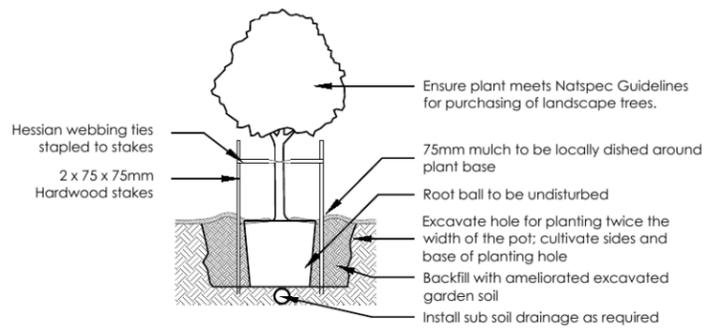
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LANDSCAPE PLAN

SCALE
1:100 @ A3

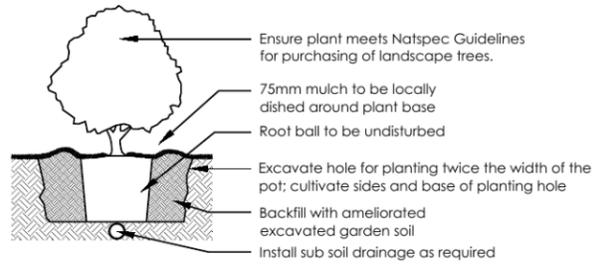
DATE
10-09-14

REVISION
F

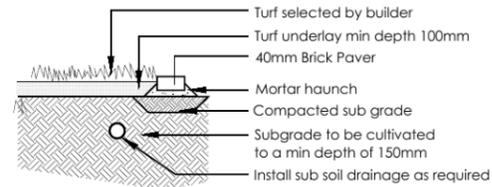




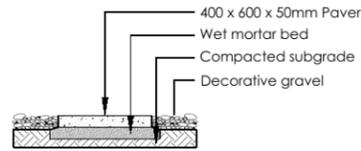
1 Tree Planting Detail
NTS 25L - 100L Pot Size



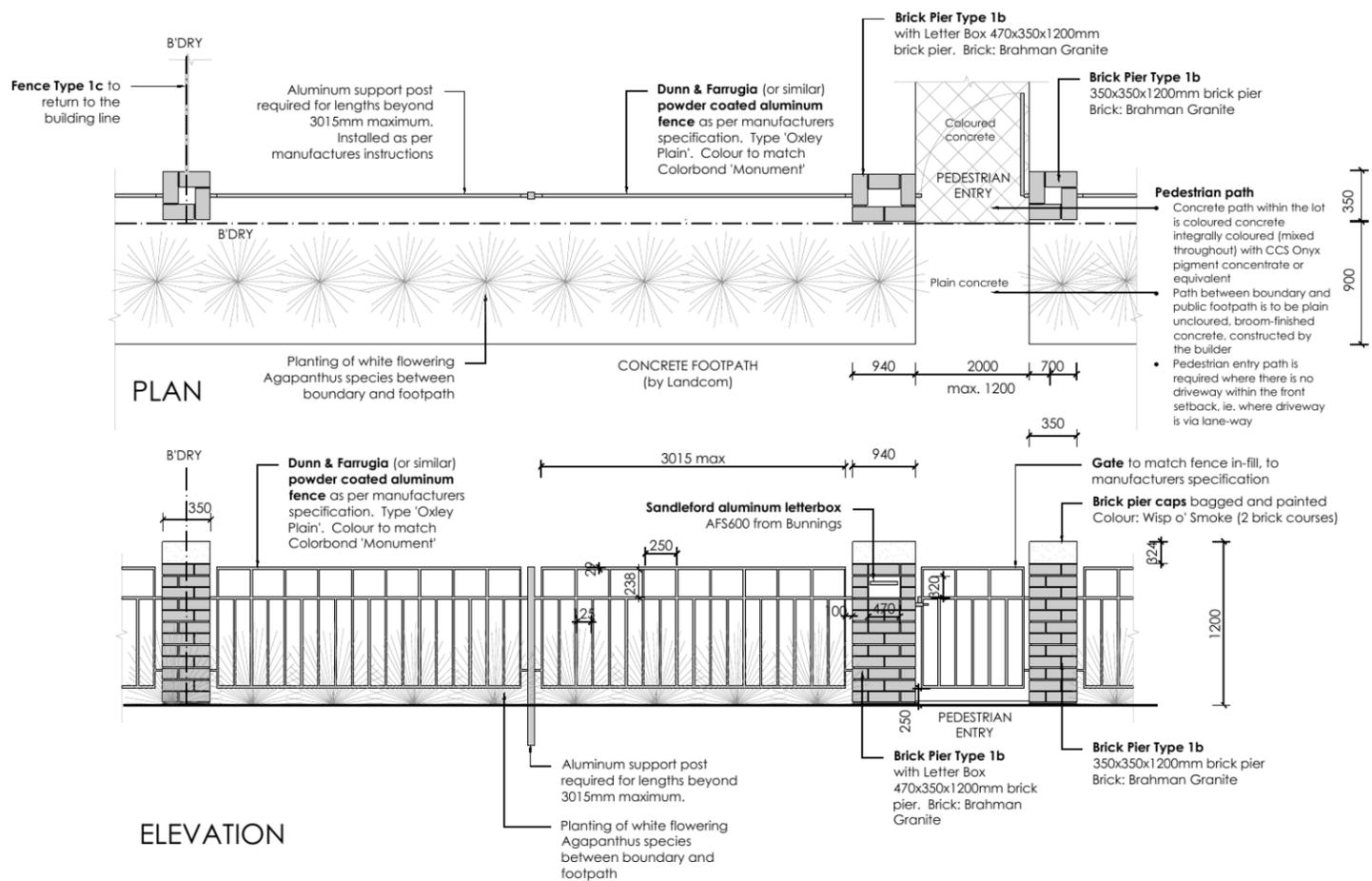
2 Planting Detail
NTS 150mm, 200mm Pot Size



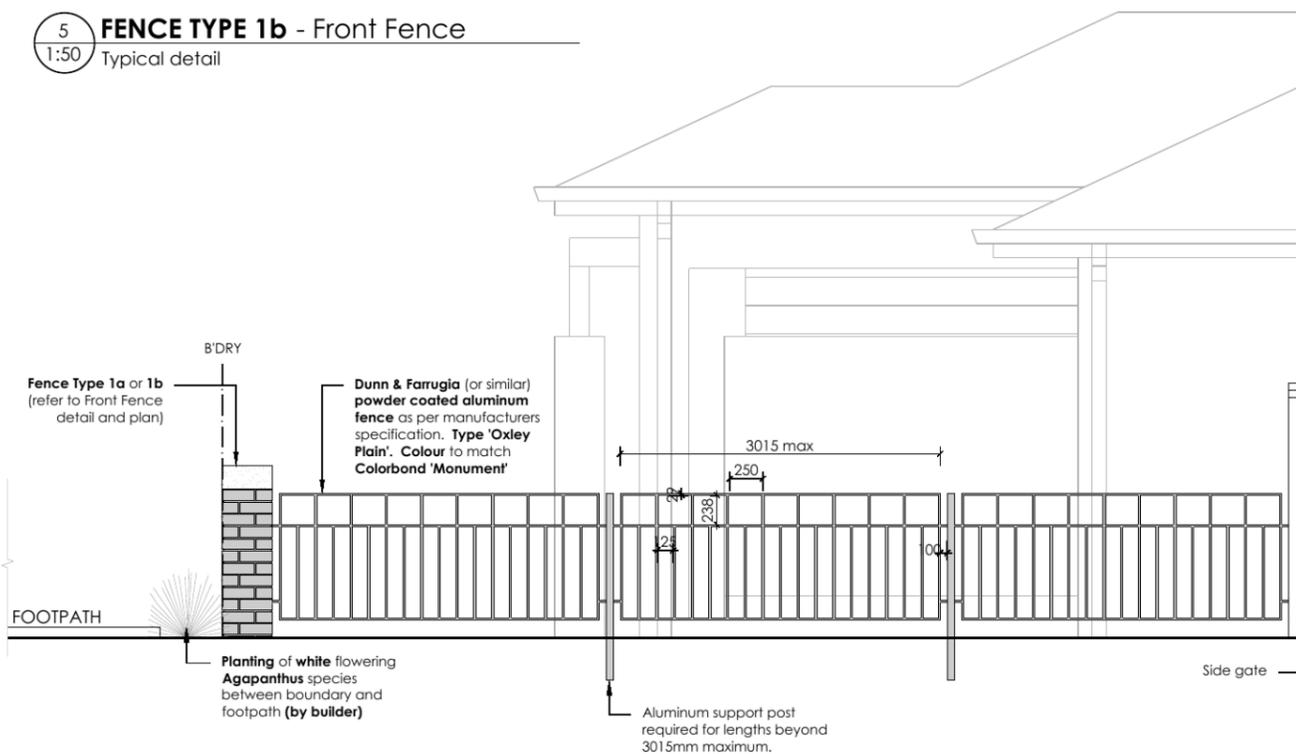
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
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PROJECT: NEW RESIDENCE

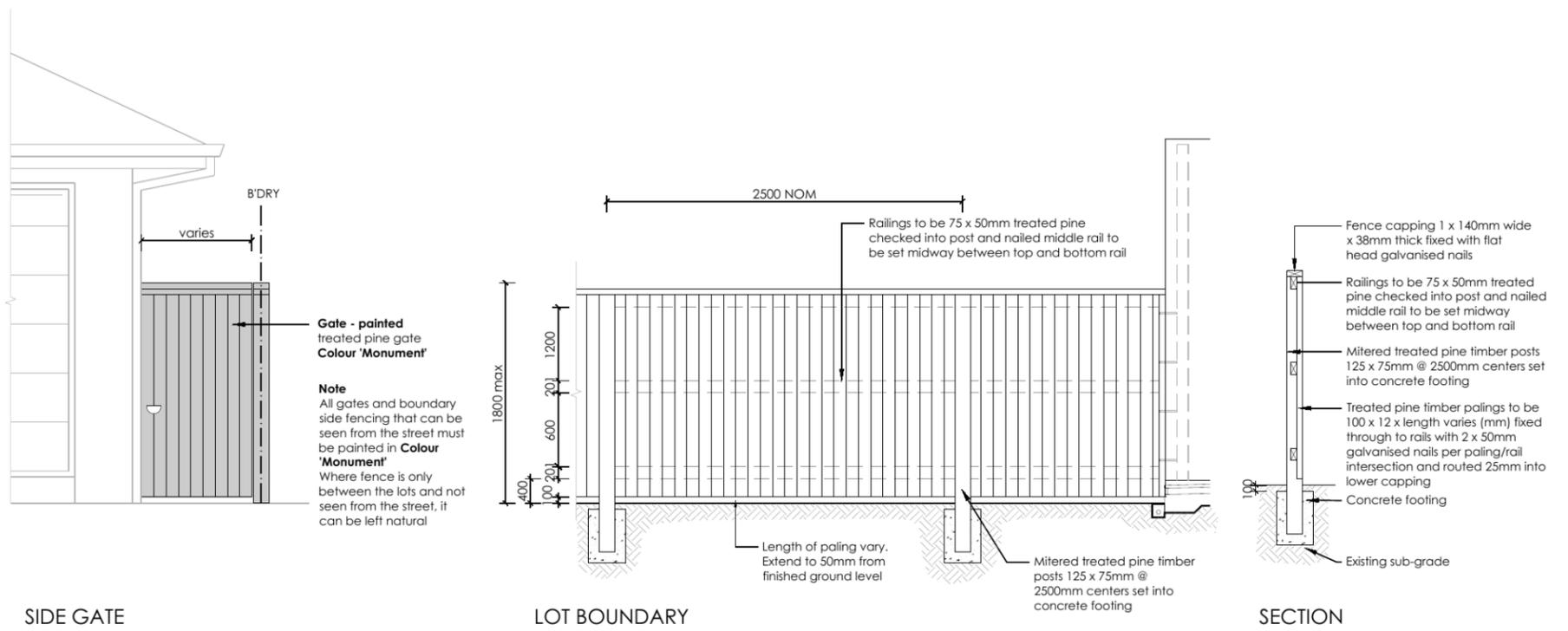
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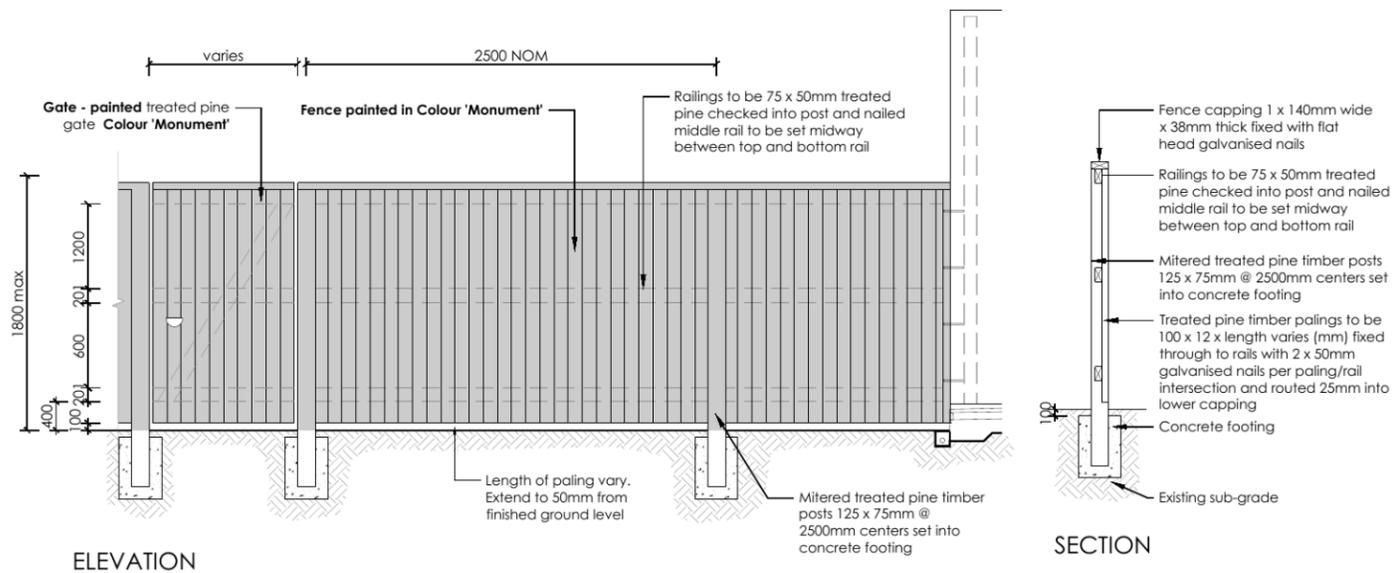
CLIENT: FIRSTYLE HOMES

THORNTON FENCING + PLANTING DETAILS

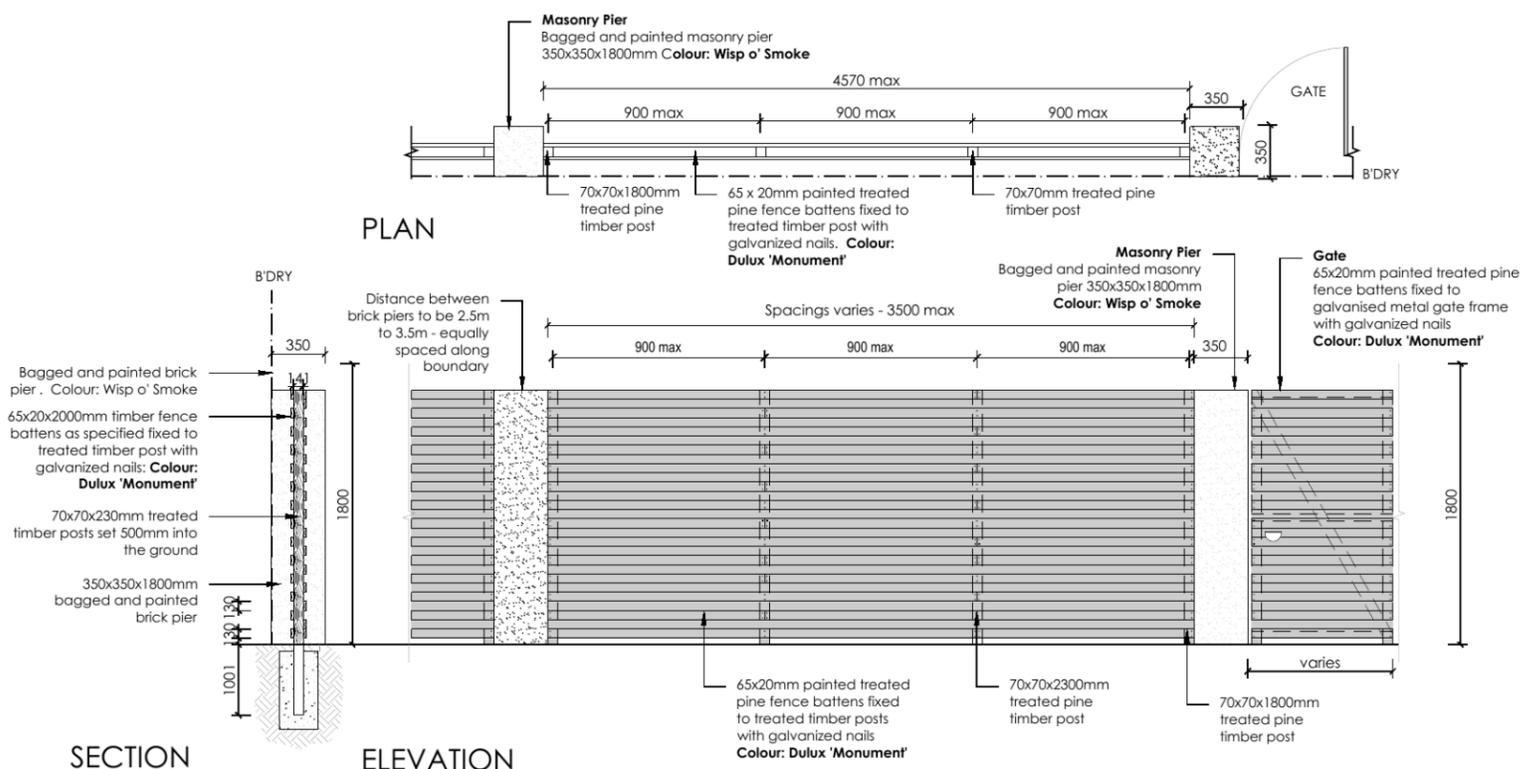
SCALE	DATE	SHEET	REVISION
1:100 @ A3	DA	L-02	F
DRAWN: RS	CHECK: RS	DATE: 10-09-14	REVISION: F



7 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail



8 **FENCE TYPE 4b - Rear Boundary**
1:50 All Laneways (except Barlett Lane)
Typical detail



9 **FENCE TYPE 2a - Secondary Street Fencing**
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
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ADDRESS
THORNTON FENCING + PLANTING DETAILS

CLIENT
FIRSTYLE HOMES

PROJECT
NEW RESIDENCE

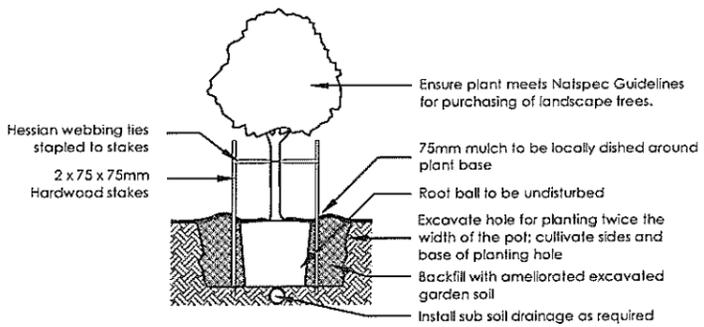
DRAWING
LANDSCAPE PLAN

SCALE
1:100 @ A3

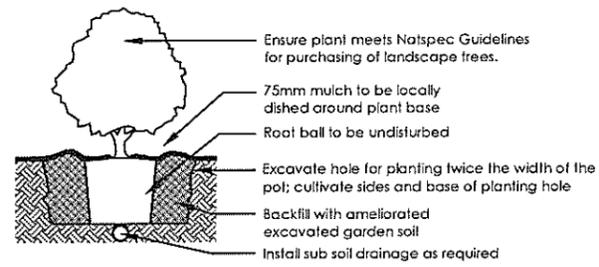
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10-09-14

REVISION
F

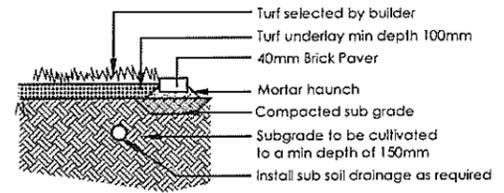




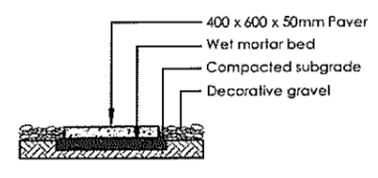
1 Tree Planting Detail
NTS 25L - 100L Pot Size



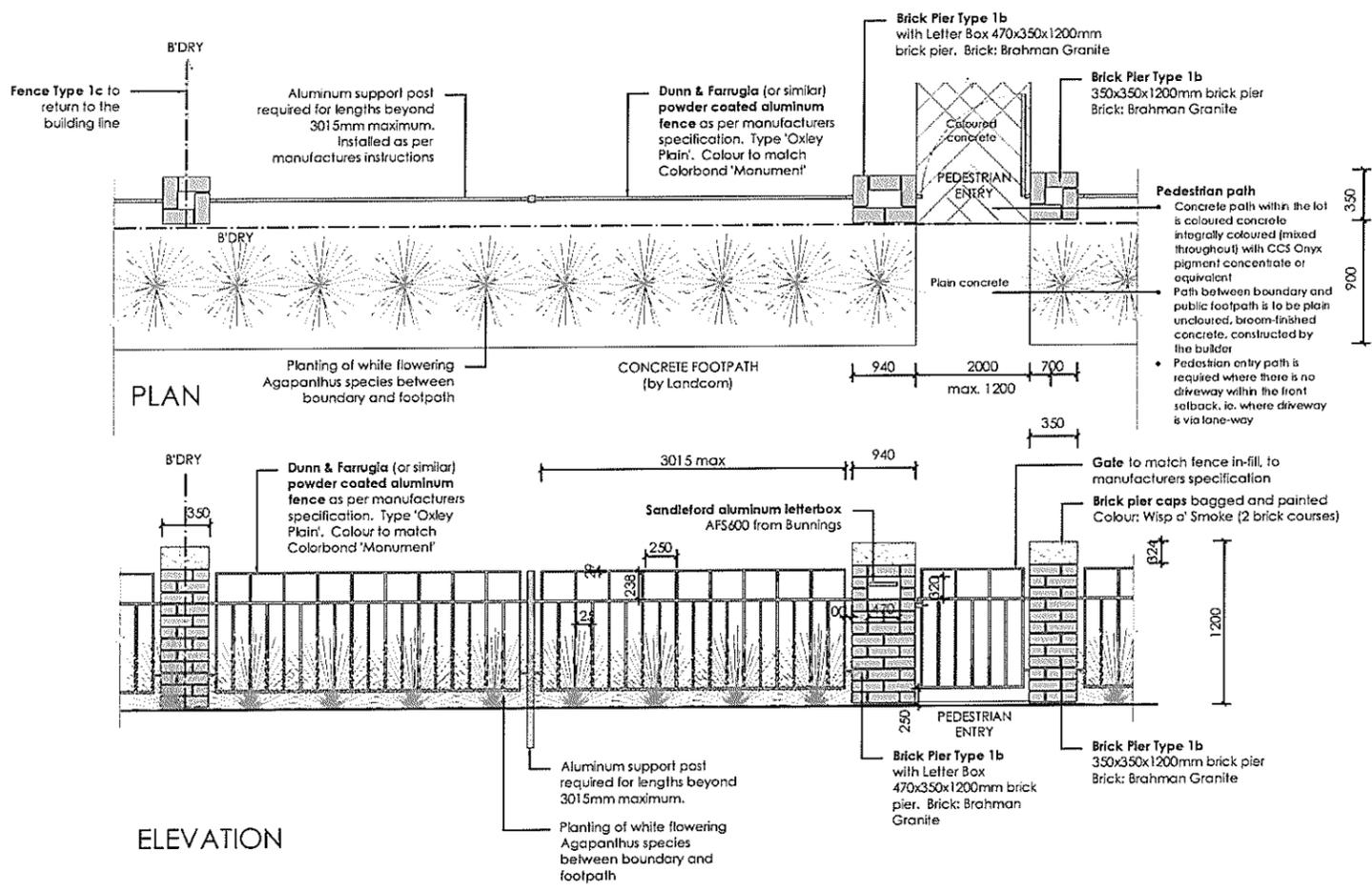
2 Planting Detail
NTS 150mm, 200mm Pot Size



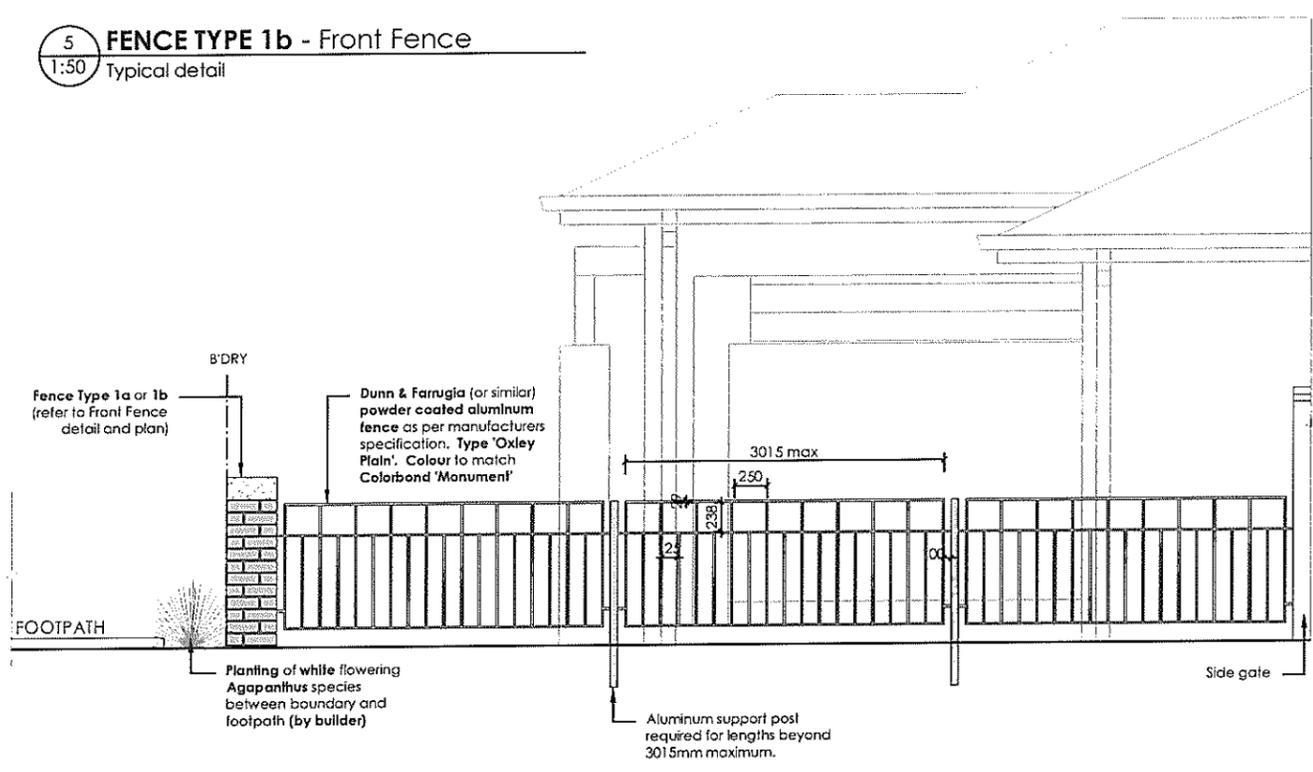
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone

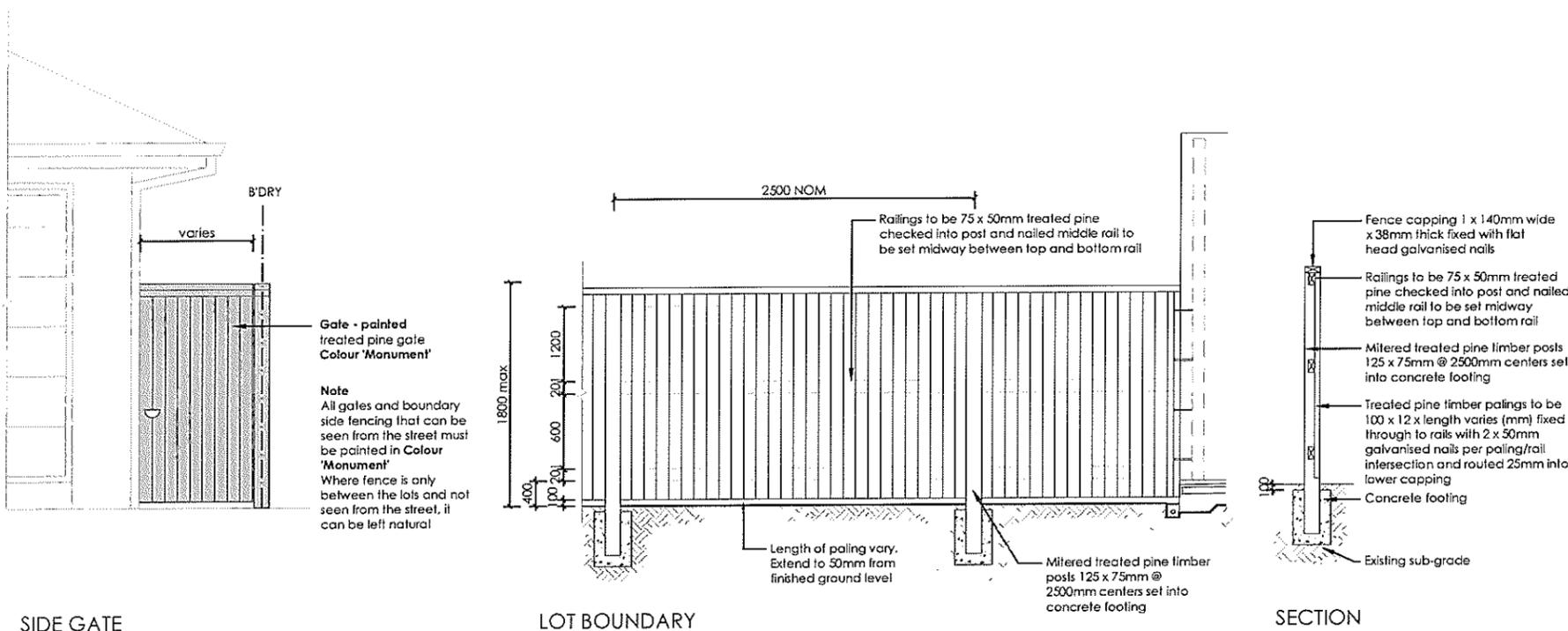


5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

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				<p>DATE: 1:100 @ A3 DRAWN: RS CHECKED: RS DATE: 10-09-14 REVISION: F</p>																																						

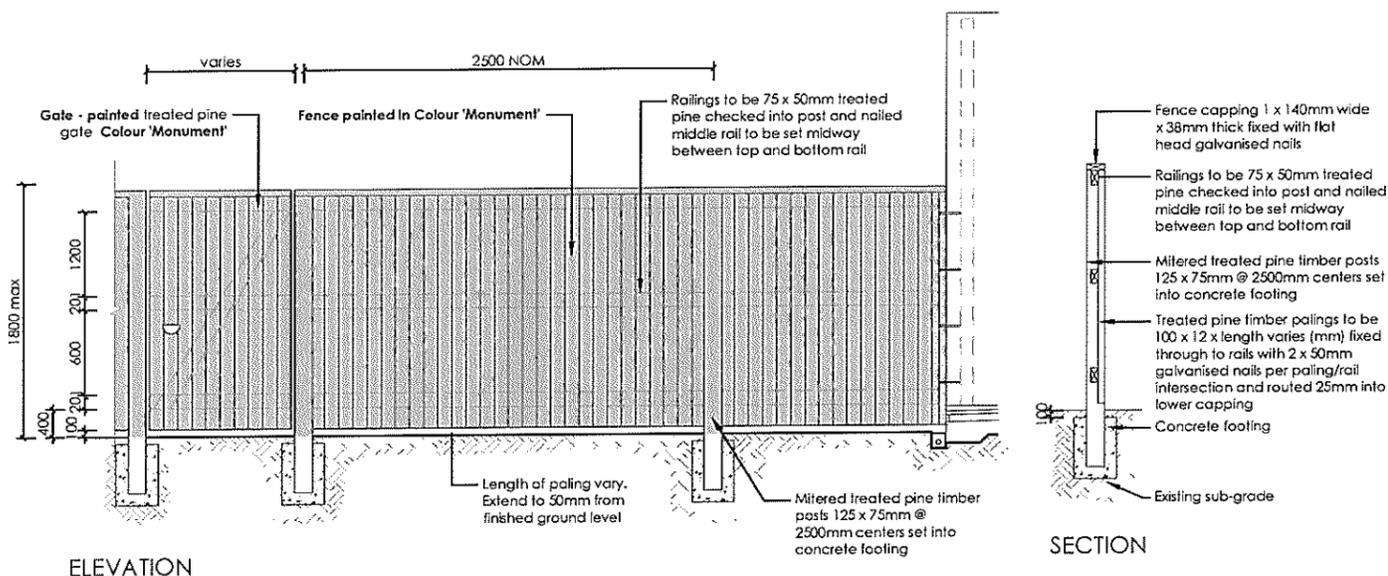


SIDE GATE

LOT BOUNDARY

SECTION

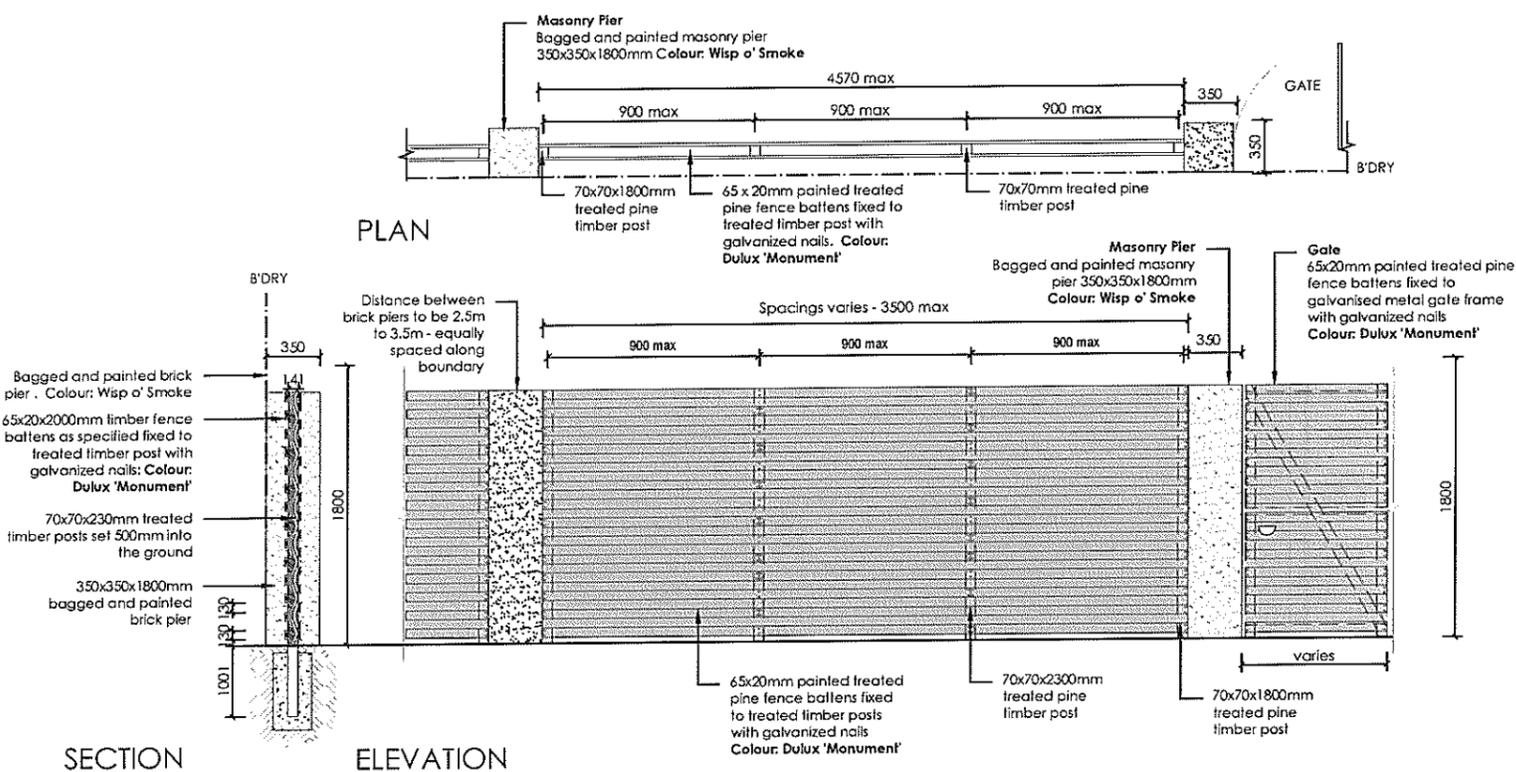
7 FENCE TYPE 4a - Side Boundaries
1:50 Typical detail



ELEVATION

SECTION

8 FENCE TYPE 4b - Rear Boundary
1:50 All Laneways (except Barlett Lane)
Typical detail

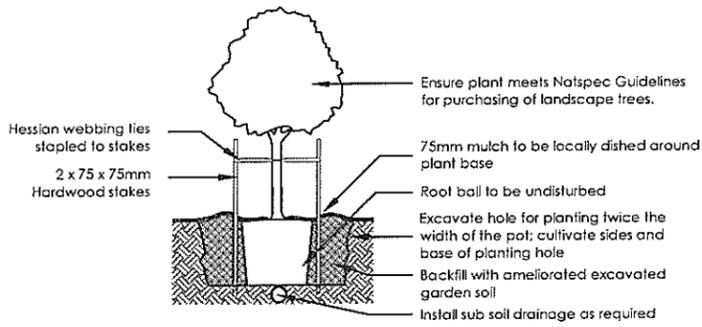


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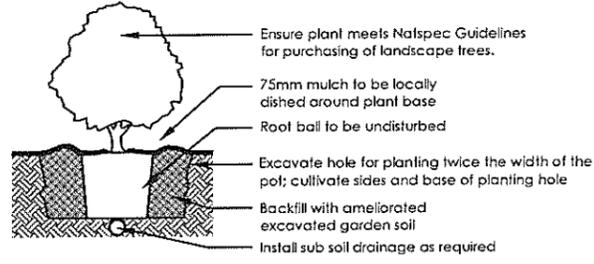
ELEVATION

9 FENCE TYPE 2a - Secondary Street Fencing
1:50 Typical detail

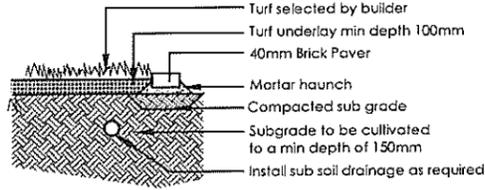
REVISION	DATE	BY	CHECKED	DATE	PROJECT	SCALE	DATE	BY	DATE	BY
A	22-09-14	MD	RS	22-09-14	THORNTON FENCING + PLANTING DETAILS	NEW RESIDENCE	1:100 @ A3	DA	L-03	F
B	23-09-14	RS	RS	23-09-14						
C	31-09-14	RS	RS	31-09-14						
D	01-09-14	RS	RS	01-09-14						
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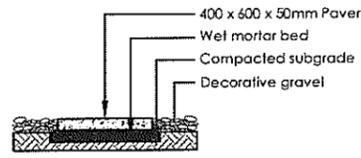
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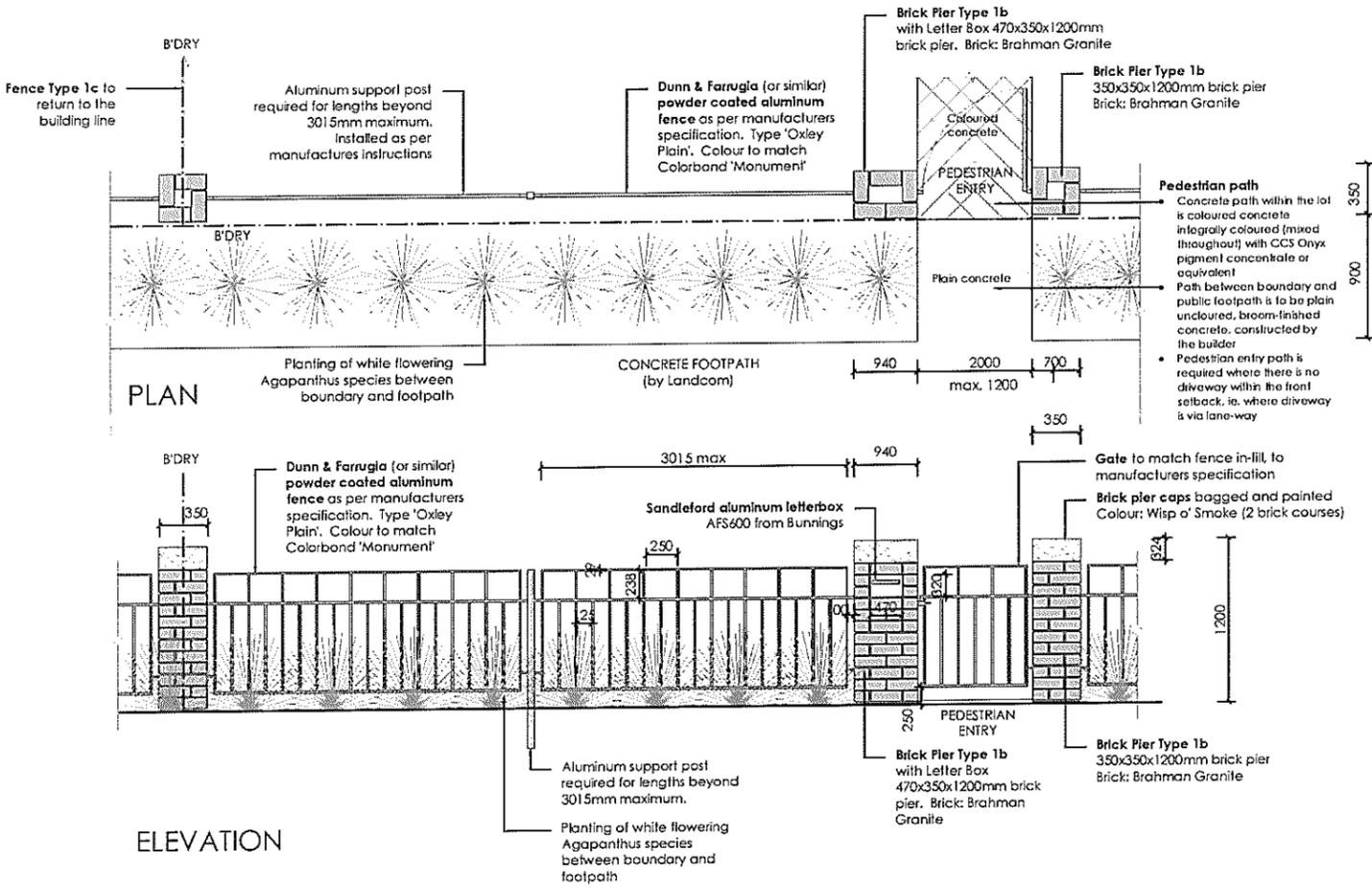
2 Planting Detail
NTS 150mm, 200mm Pot Size



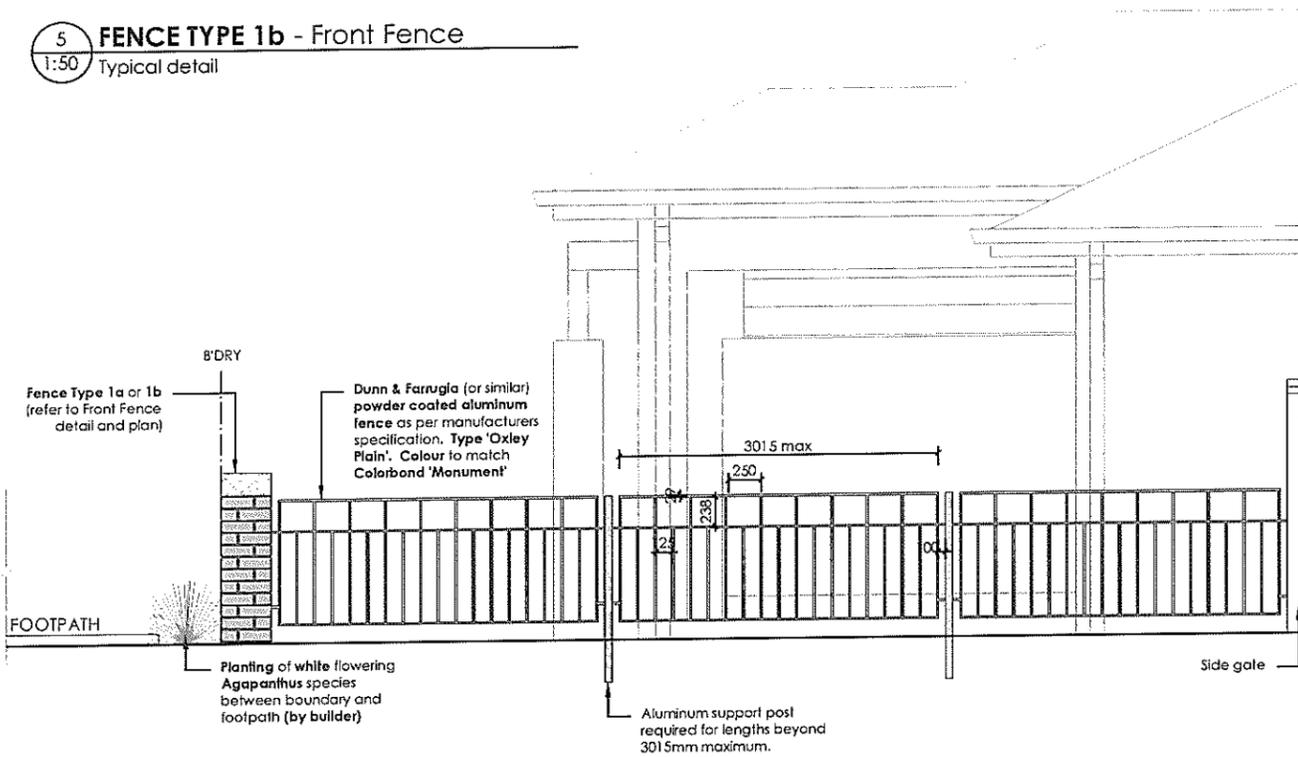
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone

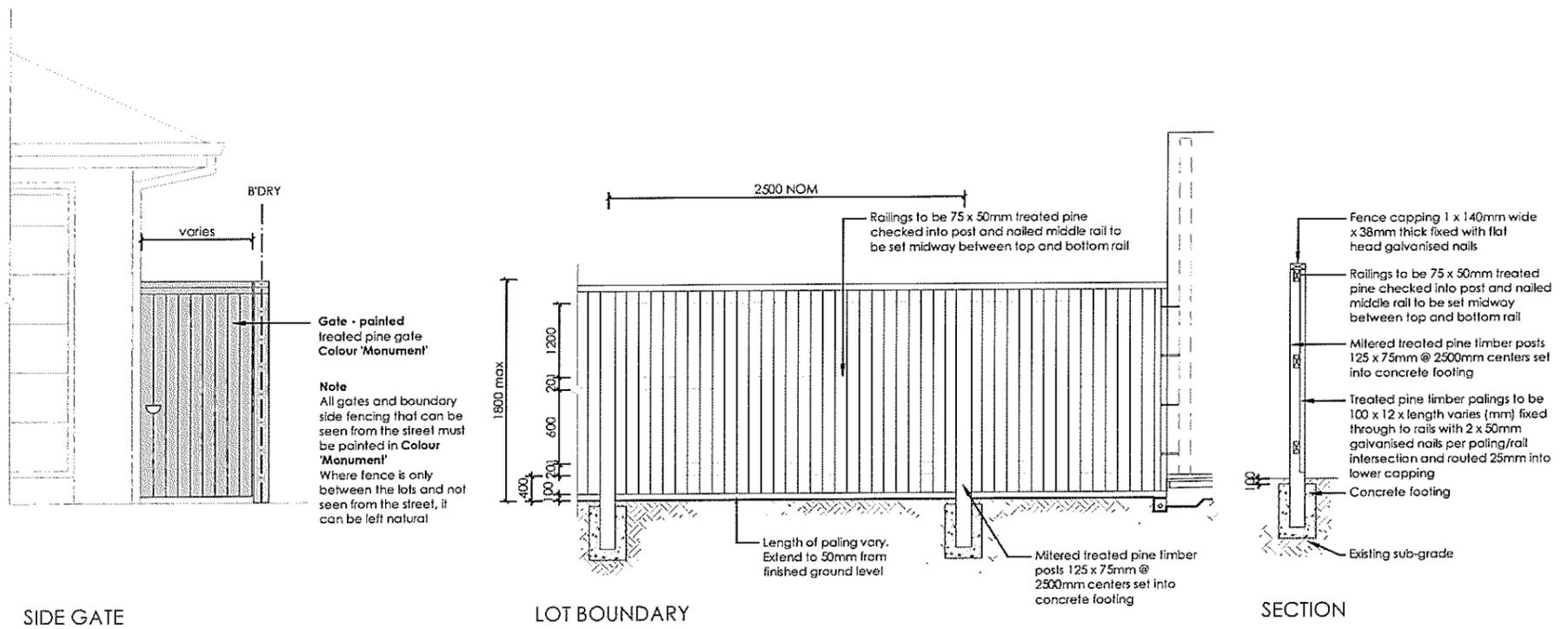


5 FENCE TYPE 1b - Front Fence
1:50 Typical detail

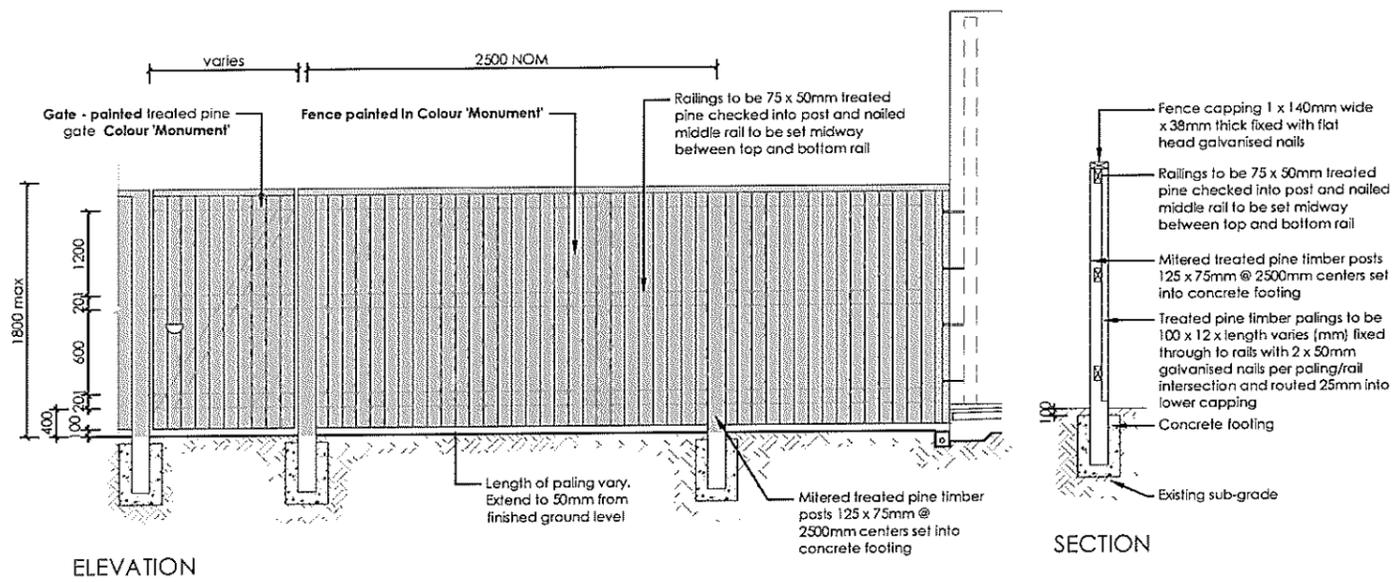


6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

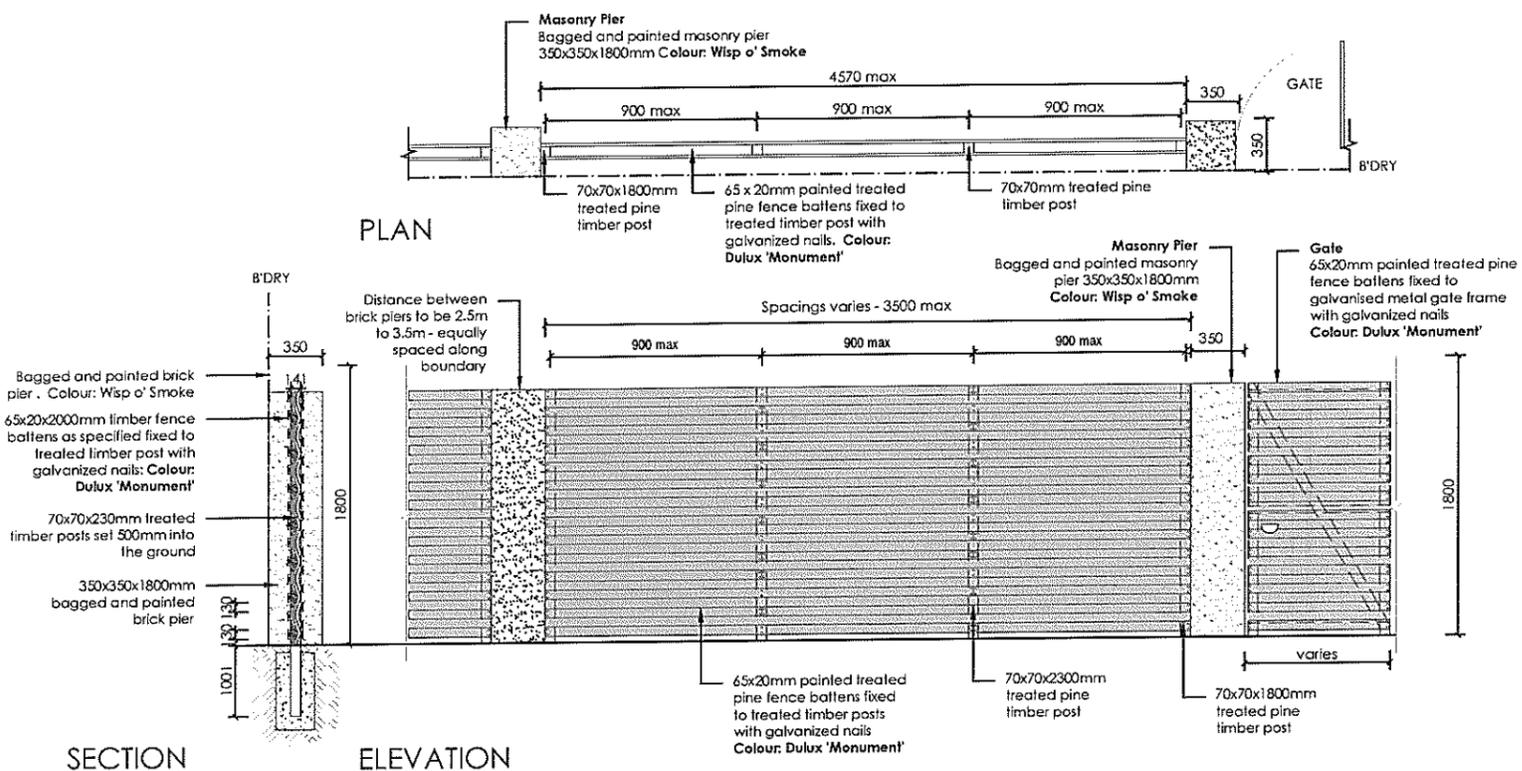
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REVISION	DESCRIPTION	DRAWN	CHECK	DATE																																							
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	ISSUE DA PLANS FOR REVIEW	RS	RS	10-09-14																																							



7 FENCE TYPE 4a - Side Boundaries
Typical detail

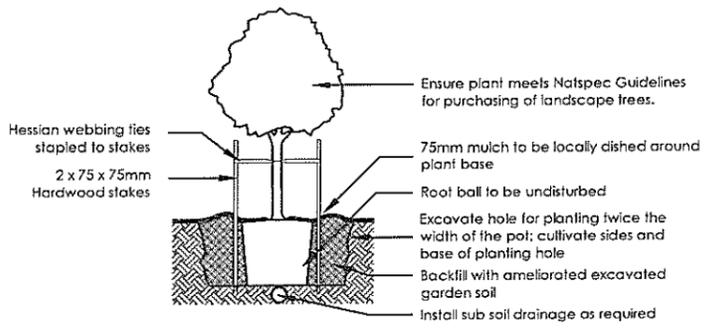


8 FENCE TYPE 4b - Rear Boundary
All Laneways (except Bartlett Lane)
Typical detail

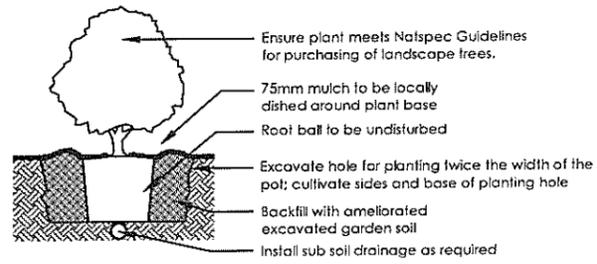


9 FENCE TYPE 2a - Secondary Street Fencing
Typical detail

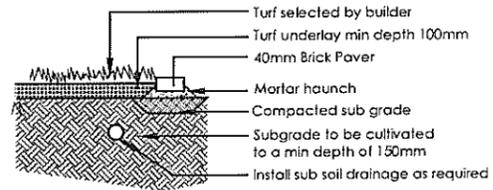
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ecodesign outdoor living environments 1. Do not scale from drawings 2. Verify all measurements on site 3. Notify ecodesign of any inconsistencies 4. Copyright © ecodesign. All rights reserved. 5. Drawing remains the property of ecodesign										FIRSTYLE HOMES All work to be performed by a suitably qualified tradesperson. B. For application purposes only - NOT FOR CONSTRUCTION										THORNTON FENCING + PLANTING DETAILS		NEW RESIDENCE		LANDSCAPE PLAN	



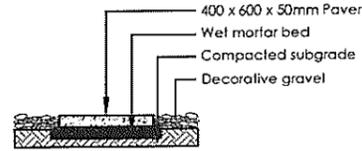
1 Tree Planting Detail
NTS 25L - 100L Pot Size



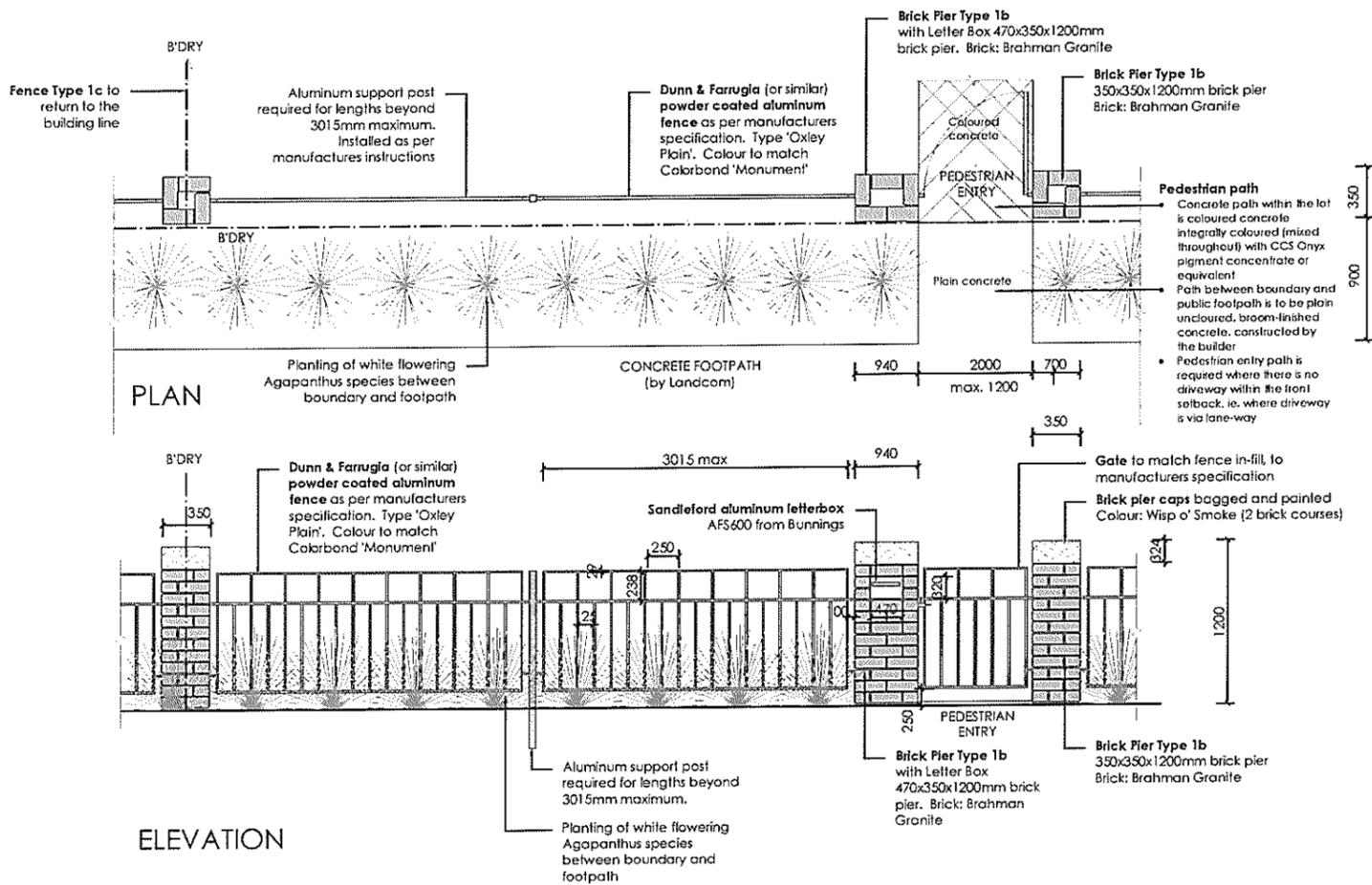
2 Planting Detail
NTS 150mm, 200mm Pot Size



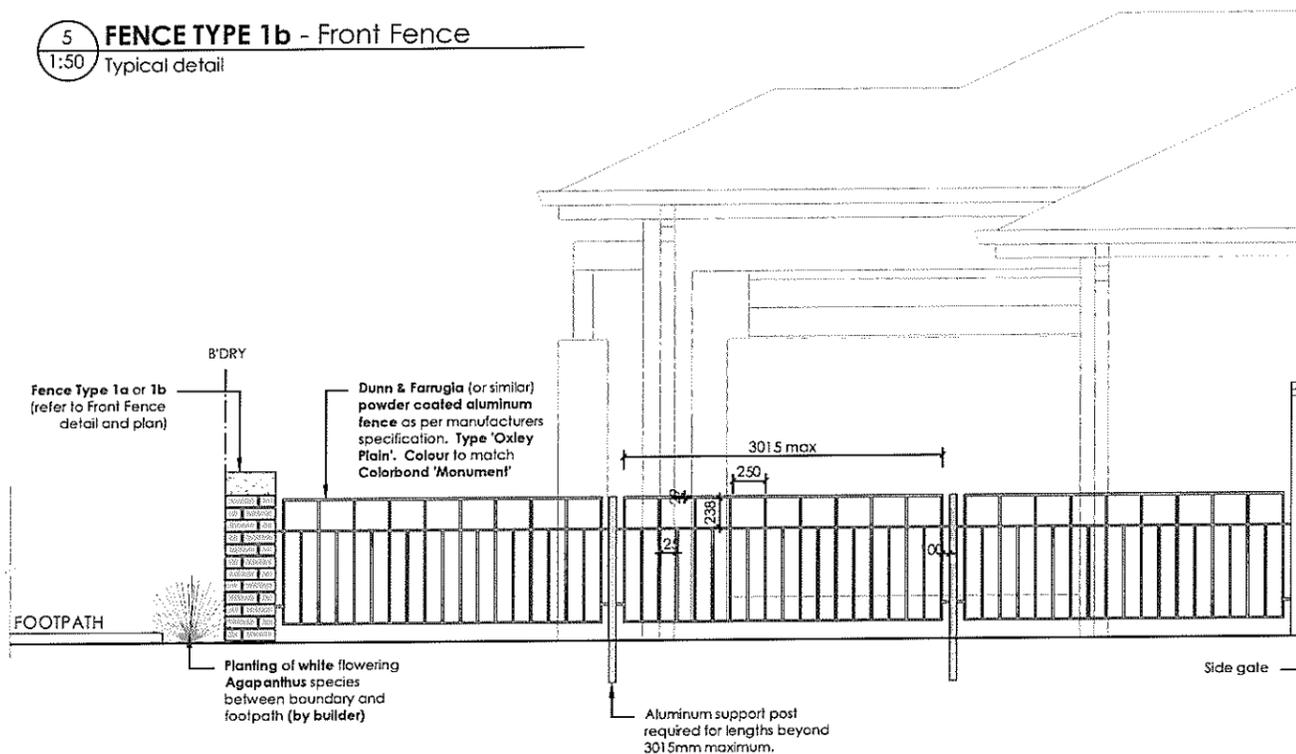
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DESIGN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-09-14
B	AMENDMENTS TO CLIENT MARK UP	RS	RS	25-09-14
C	AMENDMENTS TO CLIENT MARK UP	RS	RS	31-09-14
D	AMENDMENTS TO LOTS 153 & 164 TO CLIENT MARK UP	RS	RS	01-09-14
E	CORRECT LOT NUMBER FOR LOT 153, ADD BED TO LOT 161 BED 2 AND RE ISSUE	RS	RS	04-09-14
F	ISSUE DA PLANS FOR REVIEW	RS	RS	10-09-14

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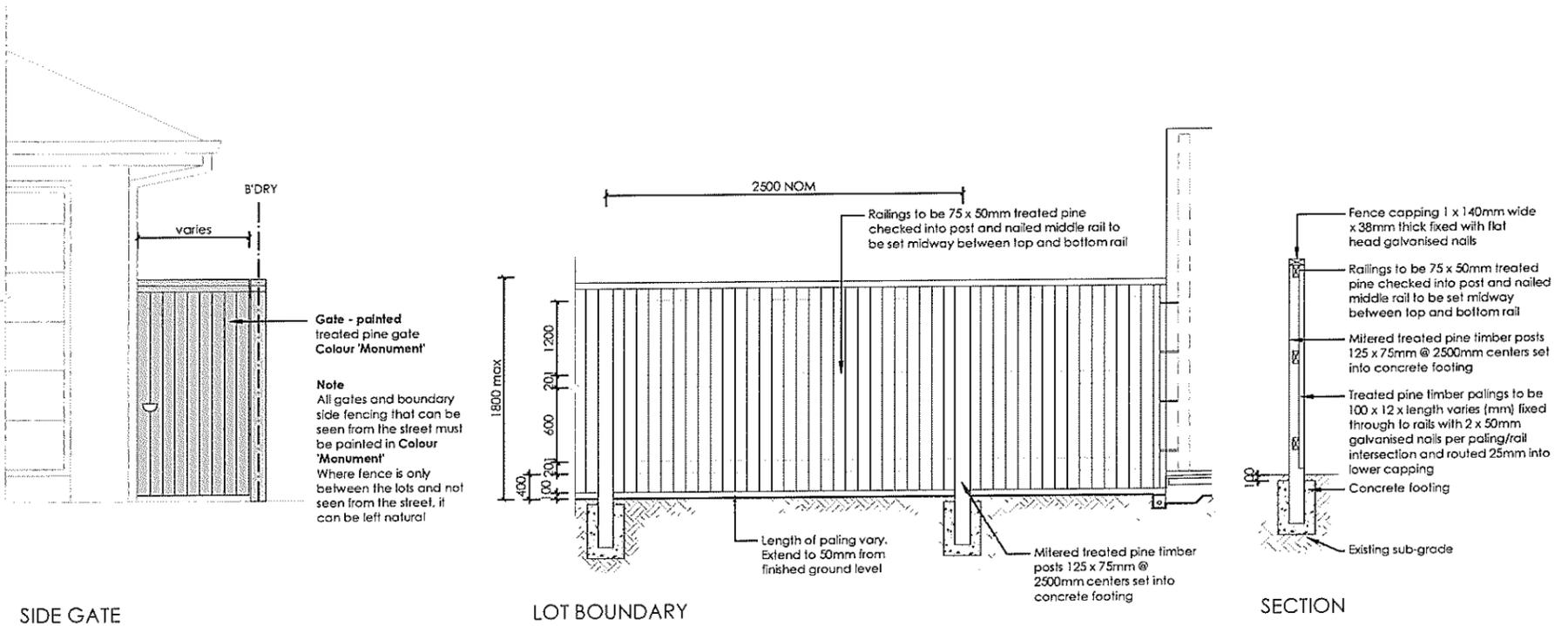
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THORNTON FENCING + PLANTING DETAILS

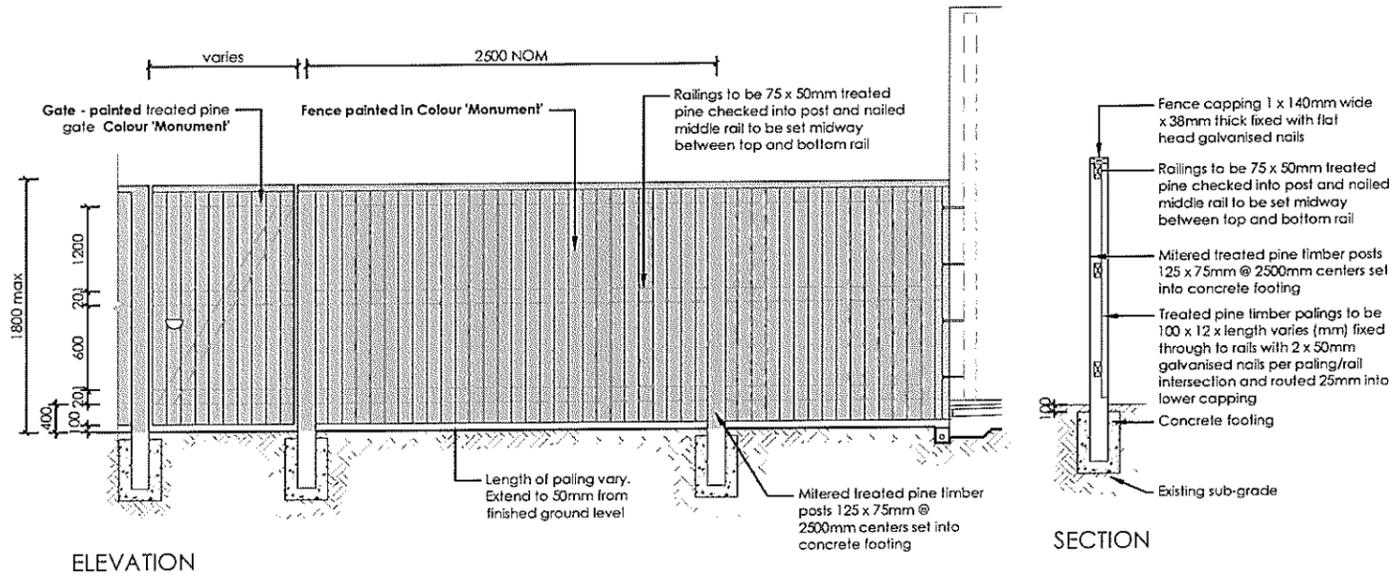
CLIENT: **FIRSTYLE HOMES**

NEW RESIDENCE			
DETAILS			
SCALE	DATE	NO.	REVISION
1:100 @ A3	DA	L-02	
RS	RS	10-09-14	F

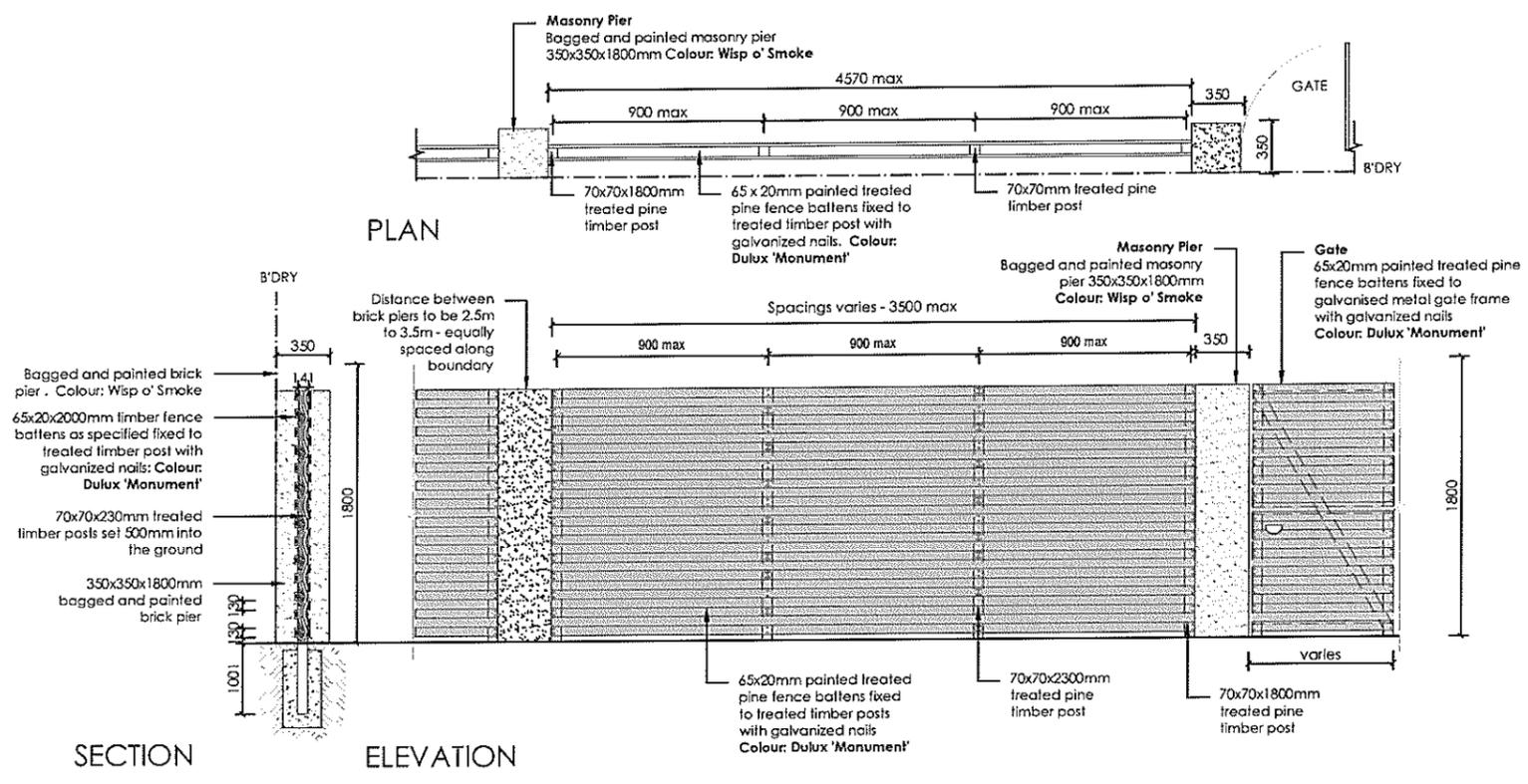




7 FENCE TYPE 4a - Side Boundaries
1:50 Typical detail

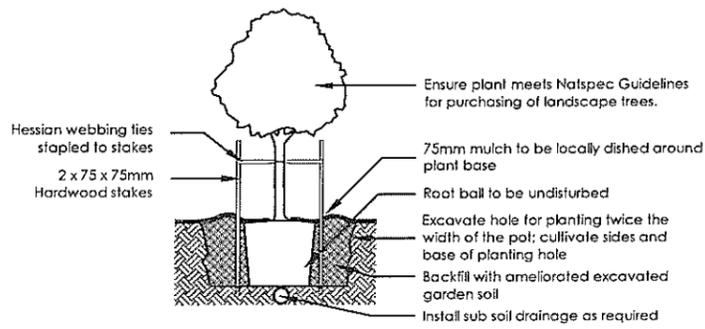


8 FENCE TYPE 4b - Rear Boundary
1:50 All Laneways (except Barleft Lane)
Typical detail

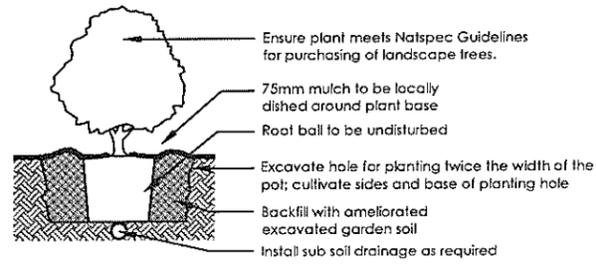


9 FENCE TYPE 2a - Secondary Street Fencing
1:50 Typical detail

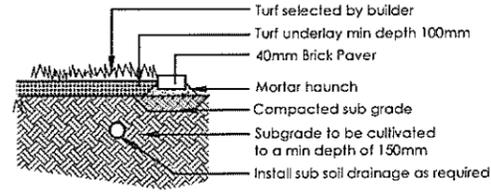
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REVISION	DESCRIPTION	DRAWN	CHECK	DATE																																																				
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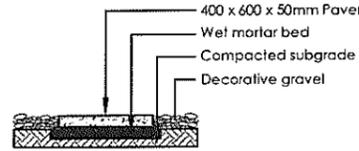
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NTS 25L - 100L Pot Size



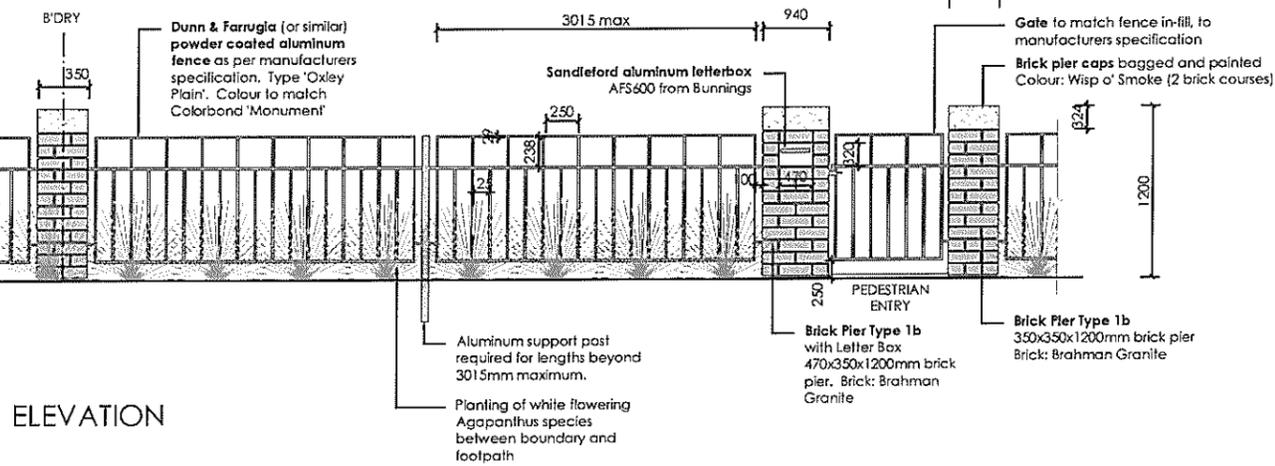
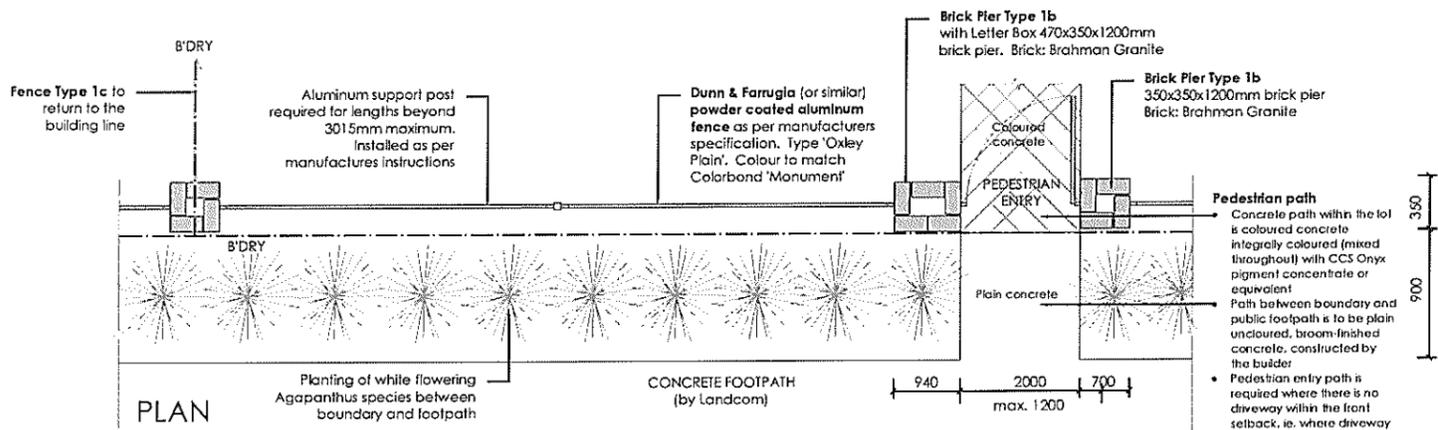
2 Planting Detail
NTS 150mm, 200mm Pot Size



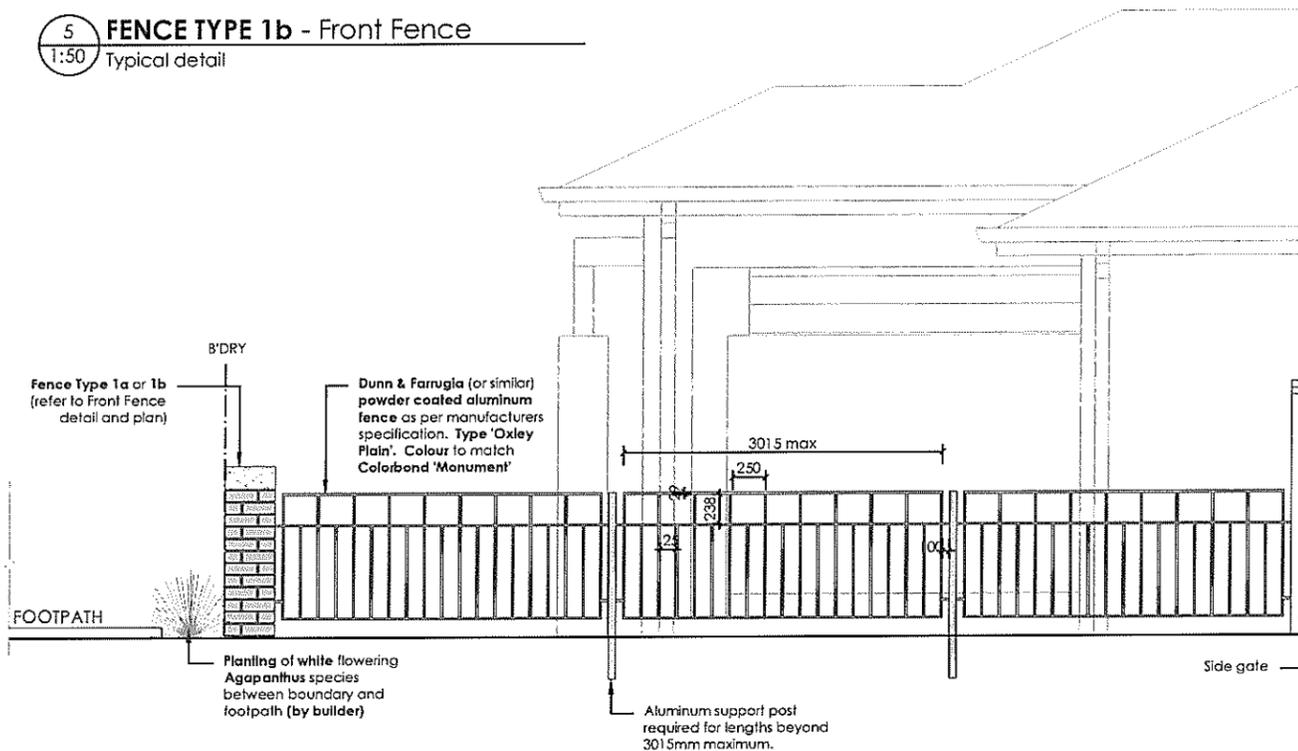
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-09-14
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C	AMENDMENTS TO CLIENT MARK UP	RS	RS	31-09-14
D	AMENDMENTS TO LOTS 153 & 164 TO CLIENT MARK UP	RS	RS	01-09-14
E	CORRECT LOT NUMBER FOR LOT 153, ADD BED TO LOT 161	RS	RS	04-09-14
F	BED 2 AND RE-ISSUE	RS	RS	10-09-14
	ISSUE DA PLANS FOR REVIEW	RS	RS	10-09-14

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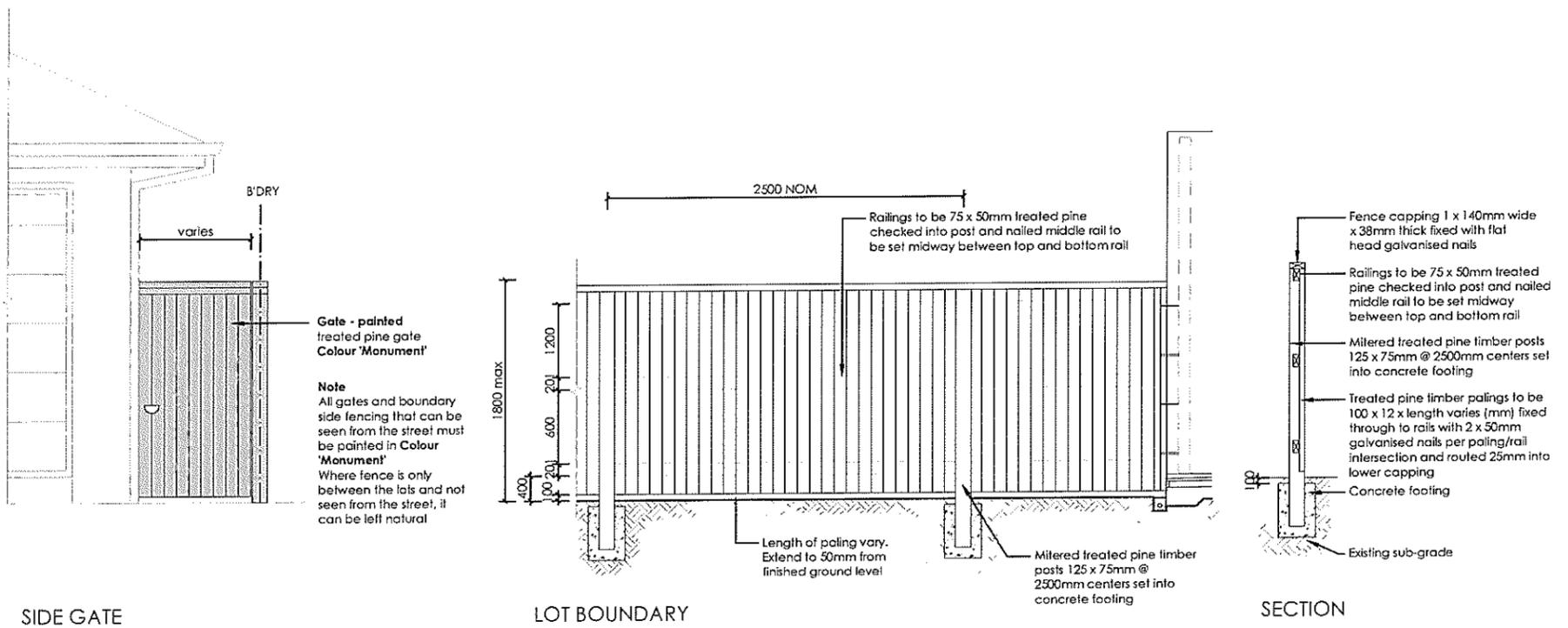
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THORNTON FENCING + PLANTING DETAILS

FIRSTYLE HOMES

NEW RESIDENCE			
DETAILS			
SCALE	DATE	REV	BY
1:100 @ A3	DA	L-02	
DESIGNER	DRAWN	CHECK	DATE
RS	RS		10-09-14
APPROVED	DATE	BY	REVISION
			F

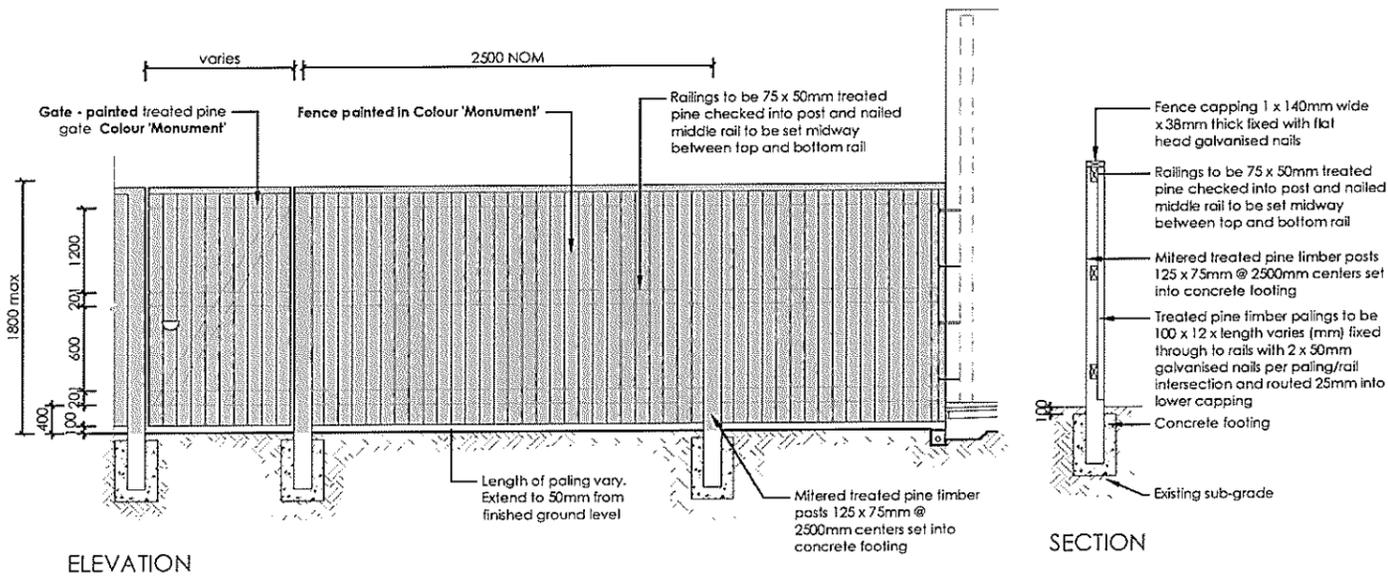


SIDE GATE

LOT BOUNDARY

SECTION

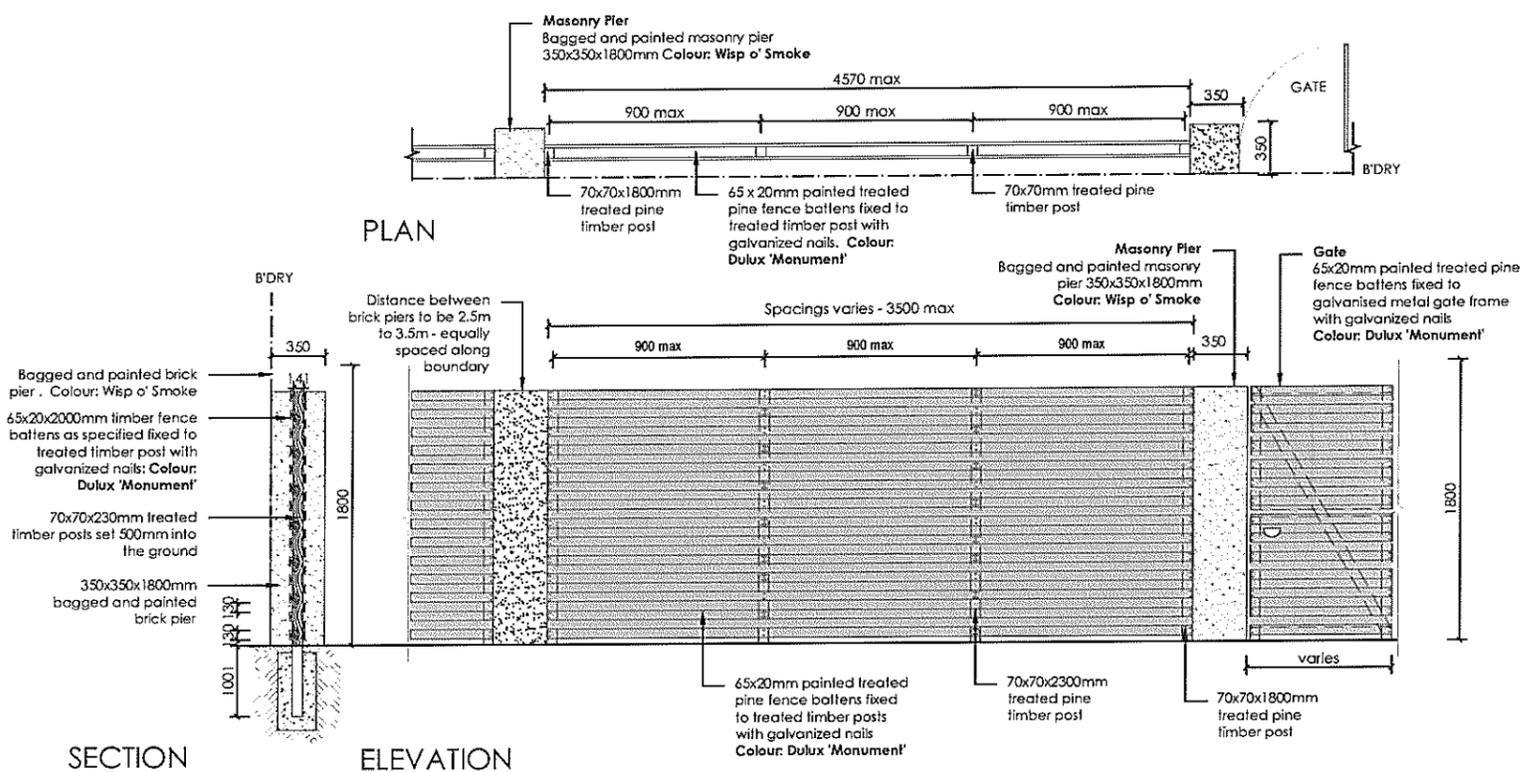
7 FENCE TYPE 4a - Side Boundaries
1:50 Typical detail



ELEVATION

SECTION

8 FENCE TYPE 4b - Rear Boundary
1:50 All Laneways (except Barlett Lane)
Typical detail

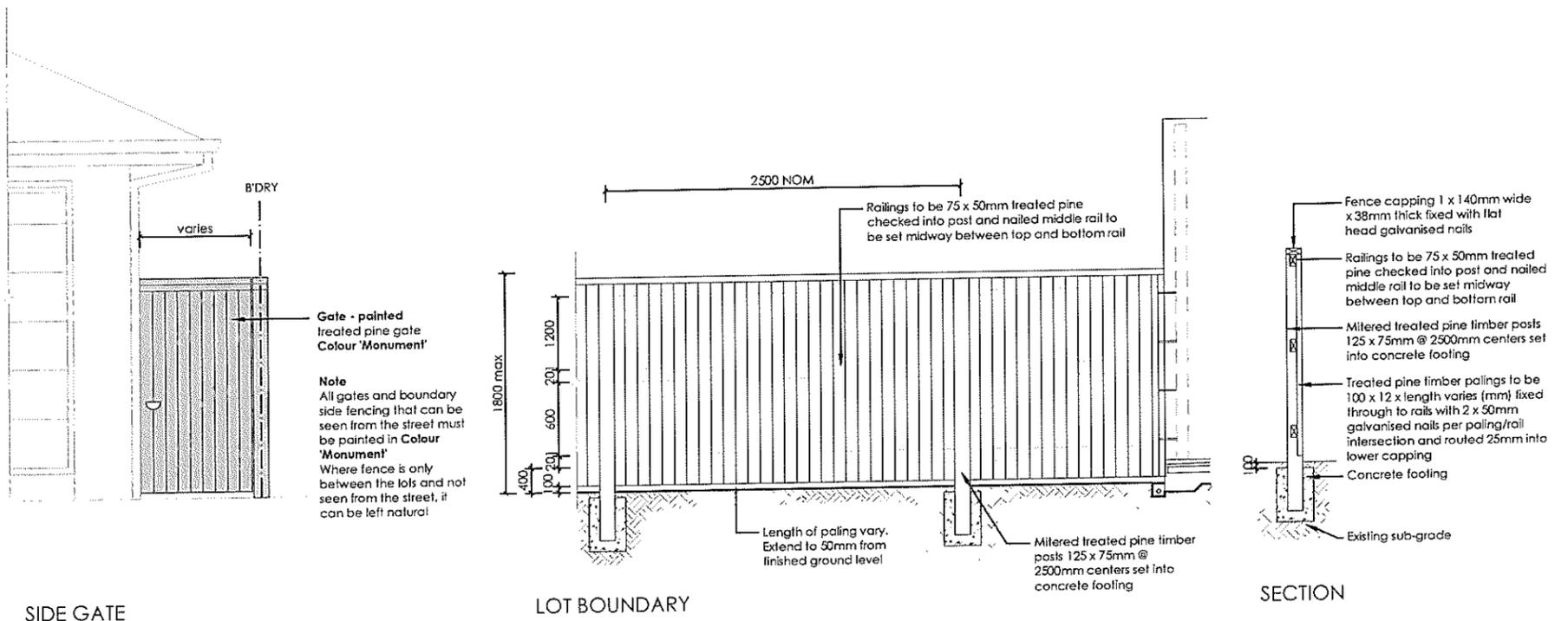


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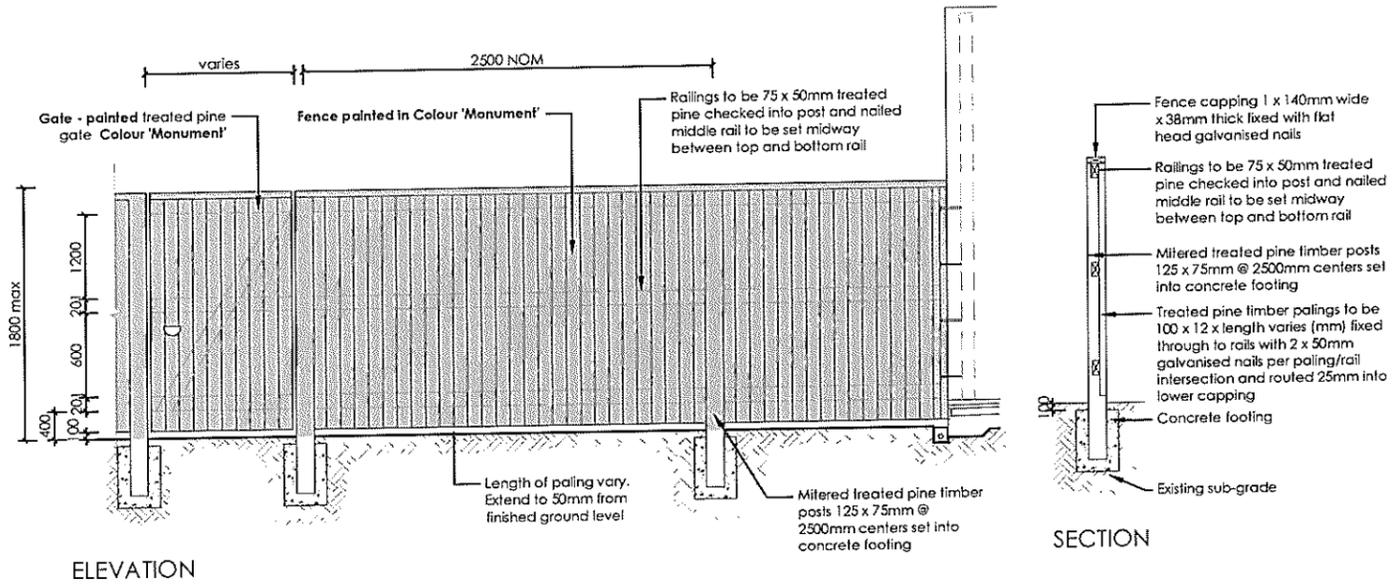
ELEVATION

9 FENCE TYPE 2a - Secondary Street Fencing
1:50 Typical detail

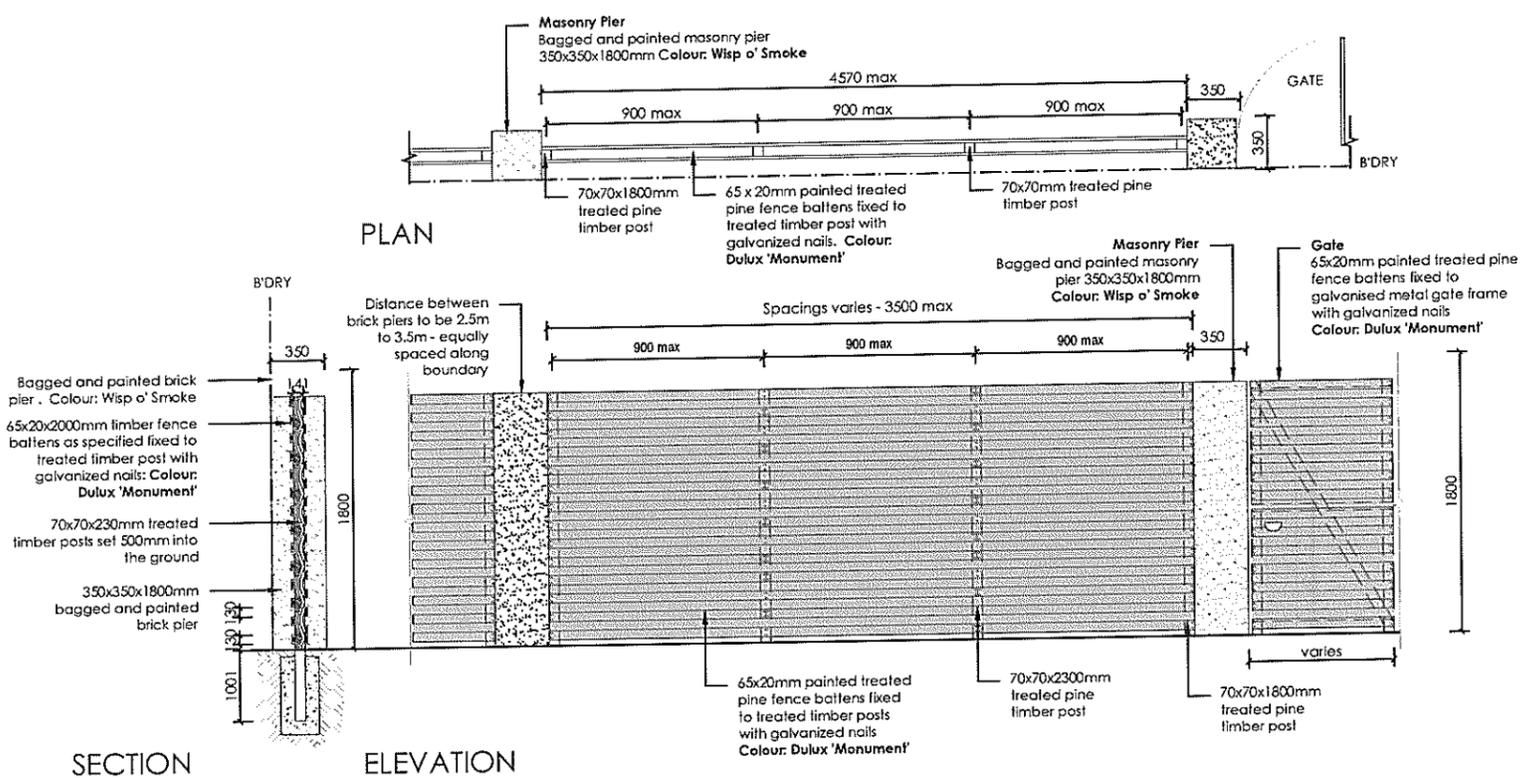
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B	25-09-14	RS	RS	25-09-14				
C	31-09-14	RS	RS	31-09-14				
D	01-09-14	RS	RS	01-09-14				
E	04-09-14	RS	RS	04-09-14				
F	10-09-14	RS	RS	10-09-14	FIRSTYLE HOMES	RS	RS	10-09-14



7 FENCE TYPE 4a - Side Boundaries
1:50 Typical detail



8 FENCE TYPE 4b - Rear Boundary
1:50 All Laneways (except Barlett Lane)
Typical detail



9 FENCE TYPE 2a - Secondary Street Fencing
1:50 Typical detail

REVISION	DESCRIPTION	BY	CHECK	DATE
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E	CORRECT LOT NUMBER FOR LOT 153, ADD BED TO LOT 161	RS	RS	04-09-14
F	BED 2 AND RE-ISSUE ISSUE DA PLANS FOR REVIEW	RS	RS	10-09-14

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THORNTON FENCING + PLANTING DETAILS

CLIENT: **FIRSTYLE HOMES**

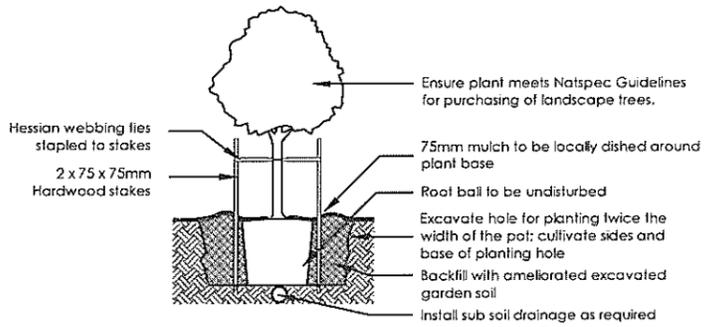
NEW RESIDENCE

LANDSCAPE PLAN

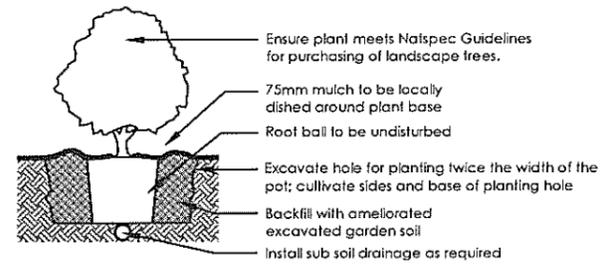
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DATE: DA
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10-09-14

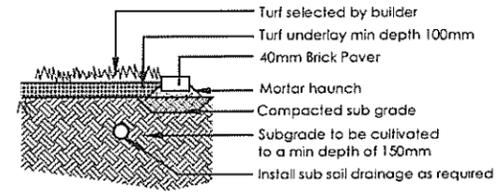
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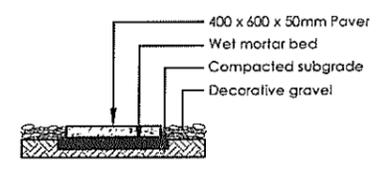
1 Tree Planting Detail
NTS 25L - 100L Pot Size



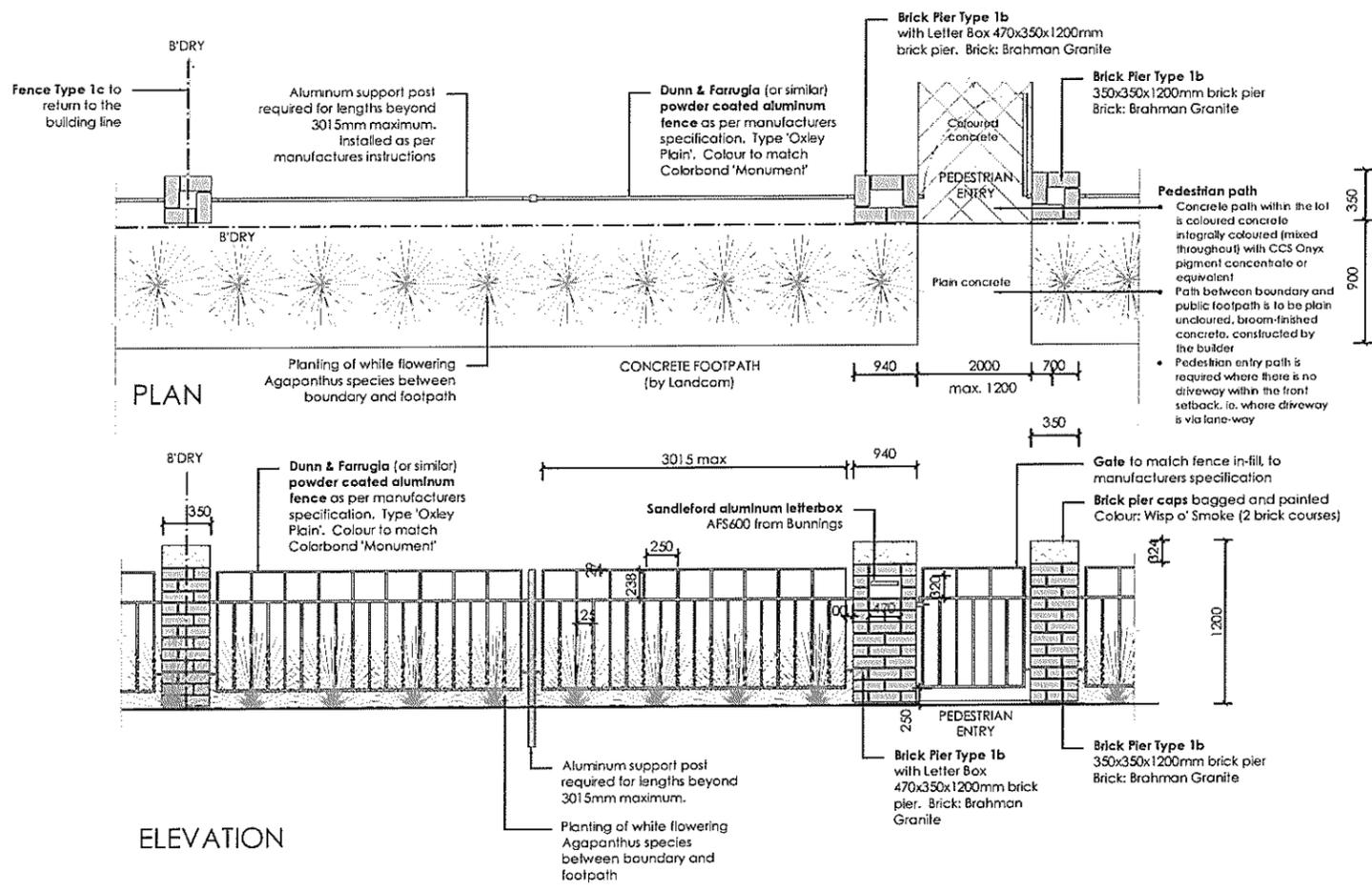
2 Planting Detail
NTS 150mm, 200mm Pot Size



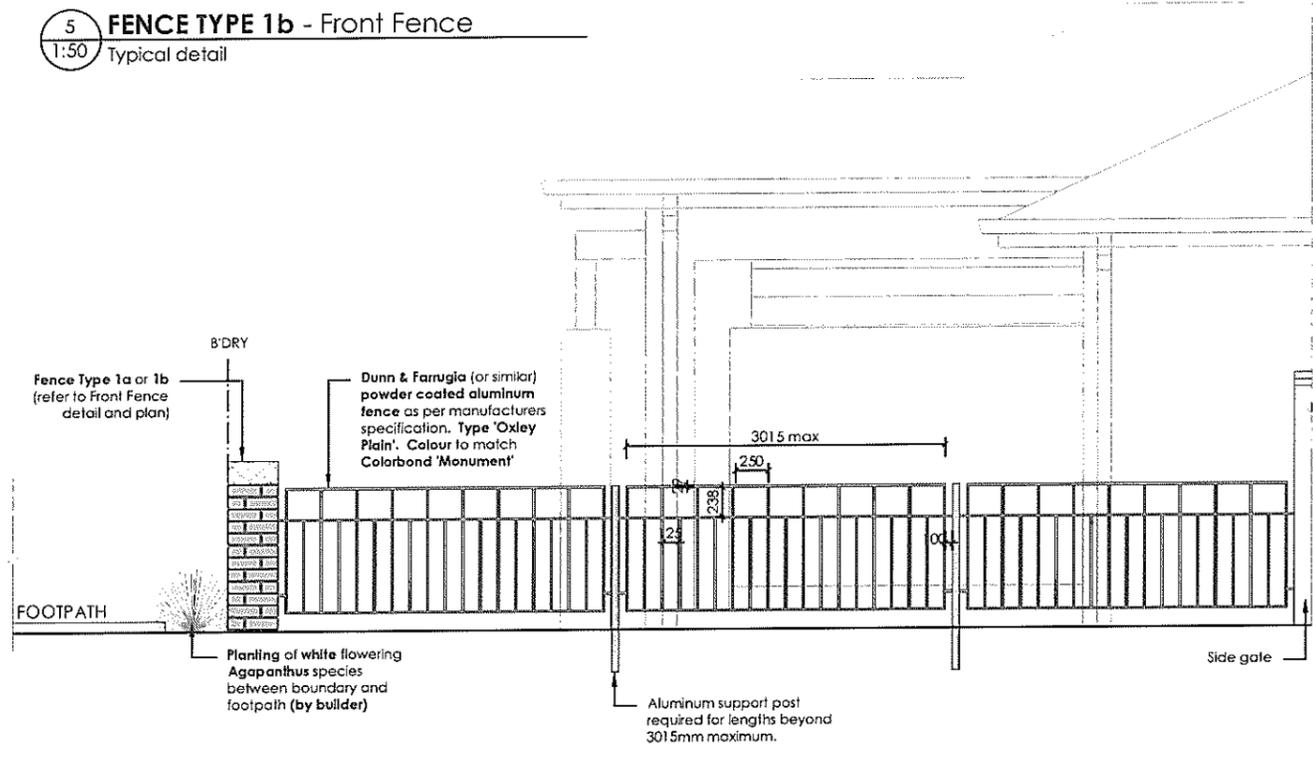
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	NEW REVISION	DATE	BY	CHECK
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	22-09-14	RS	AND
B	AMENDMENTS TO CLIENT MARK UP	25-09-14	RS	RS
C	AMENDMENTS TO CLIENT MARK UP	31-09-14	RS	RS
D	AMENDMENTS TO LOTS 153 & 164 TO CLIENT MARK UP	01-09-14	RS	RS
E	CORRECT LOT NUMBER FOR LOT 153, ADD BED TO LOT 161	04-09-14	RS	RS
F	BED 2 AND RE ISSUE			
	ISSUE DA PLANS FOR REVIEW	10-09-14	RS	RS

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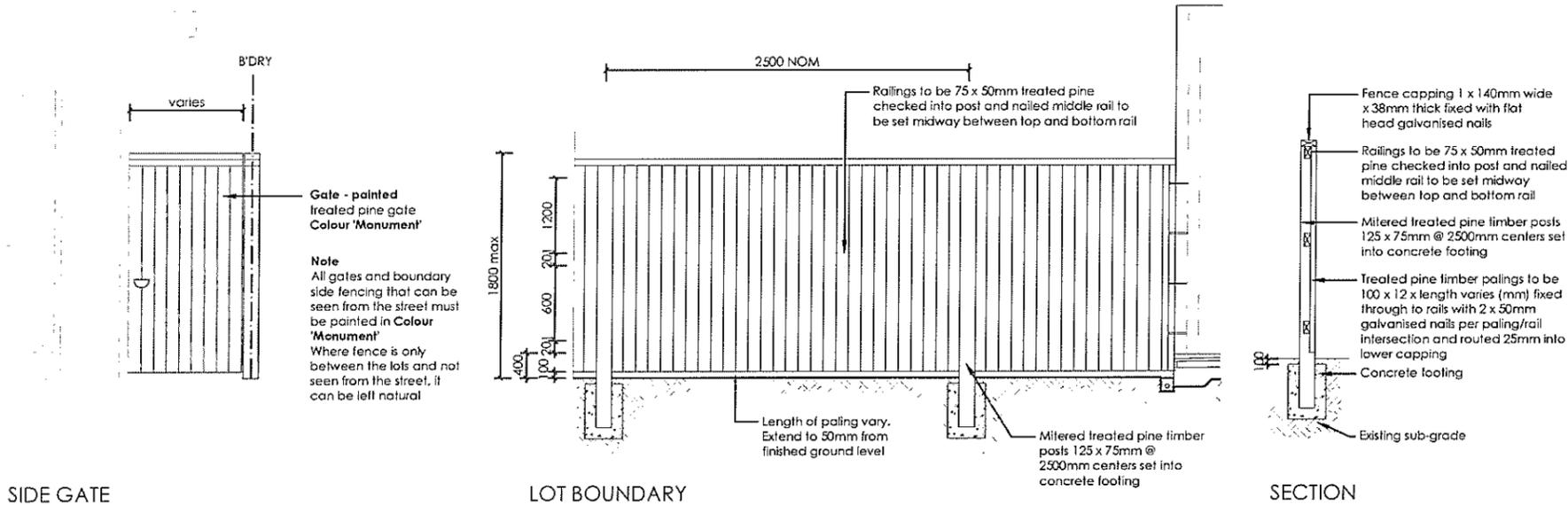
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THORNTON FENCING + PLANTING DETAILS

PROJECT: NEW RESIDENCE

CLIENT: FIRSTYLE HOMES

NEW RESIDENCE			
DETAILS			
SCALE: 1:100 @ A3	DATE: DA	REVISION: L-02	
DRAWN: RS	CHECKED: RS	DATE: 10-09-14	APPROVED: F



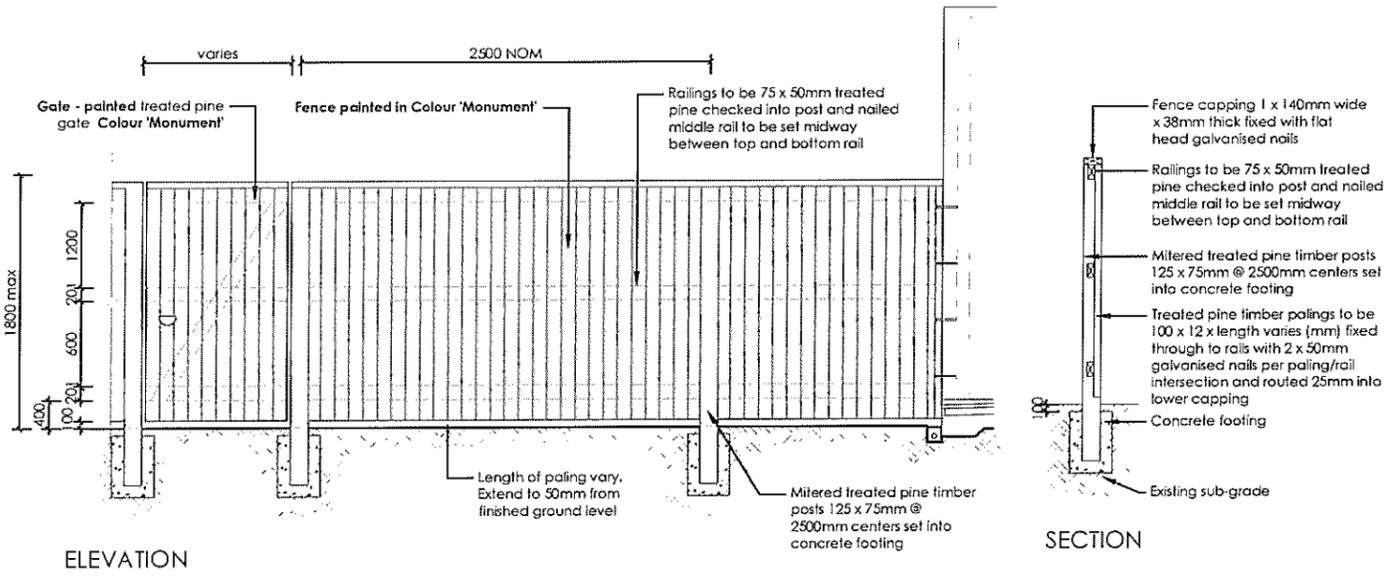
SIDE GATE

LOT BOUNDARY

SECTION

7 FENCE TYPE 4a - Side Boundaries

1:50 Typical detail

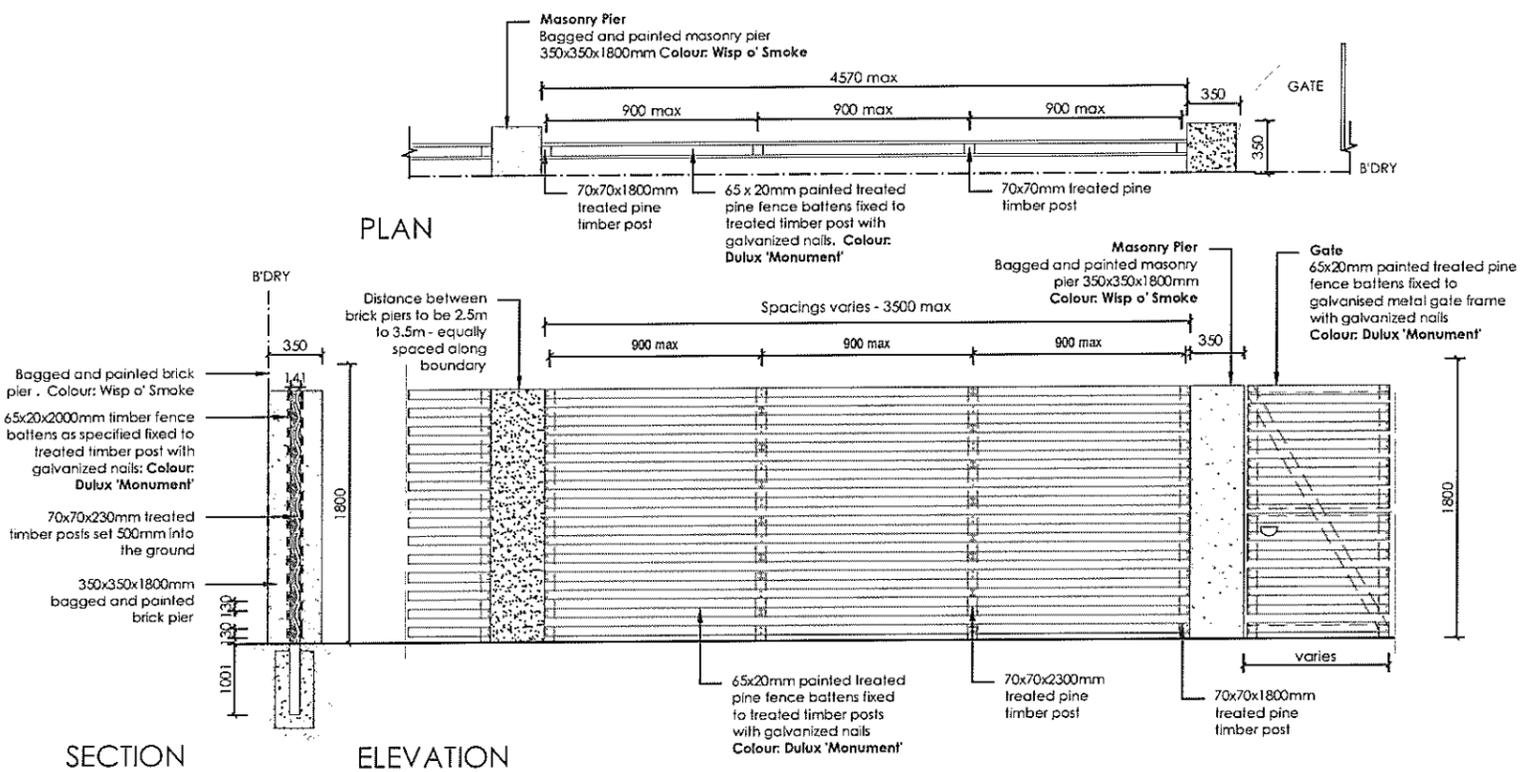


ELEVATION

SECTION

8 FENCE TYPE 4b - Rear Boundary

1:50 All Laneways (except Barlett Lane)
Typical detail



PLAN

SECTION

ELEVATION

9 FENCE TYPE 2a - Secondary Street Fencing

1:50 Typical detail

REV	DATE	BY	CHK	APP
A		RS	JMD	22-09-14
B		RS	RS	25-09-14
C		RS	RS	31-09-14
D		RS	RS	01-10-14
E		RS	RS	04-10-14
F		RS	RS	10-09-14

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7. Always to be performed by a suitably qualified tradesperson
8. For application purposes only - NOT FOR CONSTRUCTION

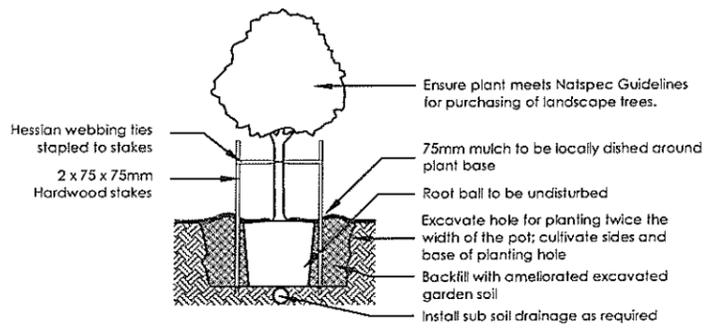
THORNTON FENCING + PLANTING DETAILS

CLIENT: **FIRSTYLE HOMES**

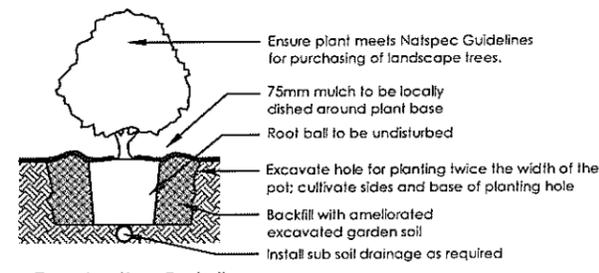
PROJECT: **NEW RESIDENCE**

LANDSCAPE PLAN

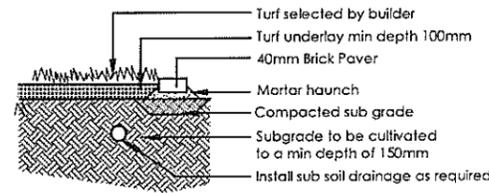
SCALE: 1:100 @ A3
DATE: 10-09-14
DRAWN: RS
CHECKED: RS
DATE: 10-09-14
BY: F



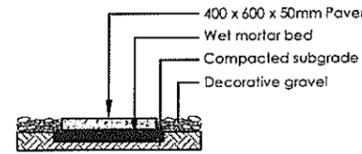
1 Tree Planting Detail
NTS 25L - 100L Pot Size



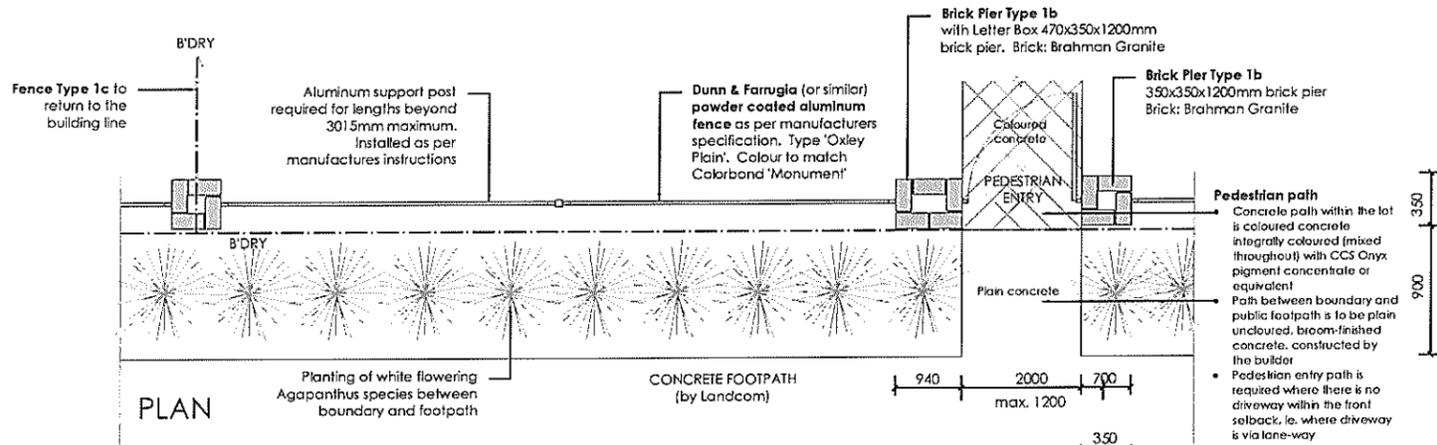
2 Planting Detail
NTS 150mm, 200mm Pot Size



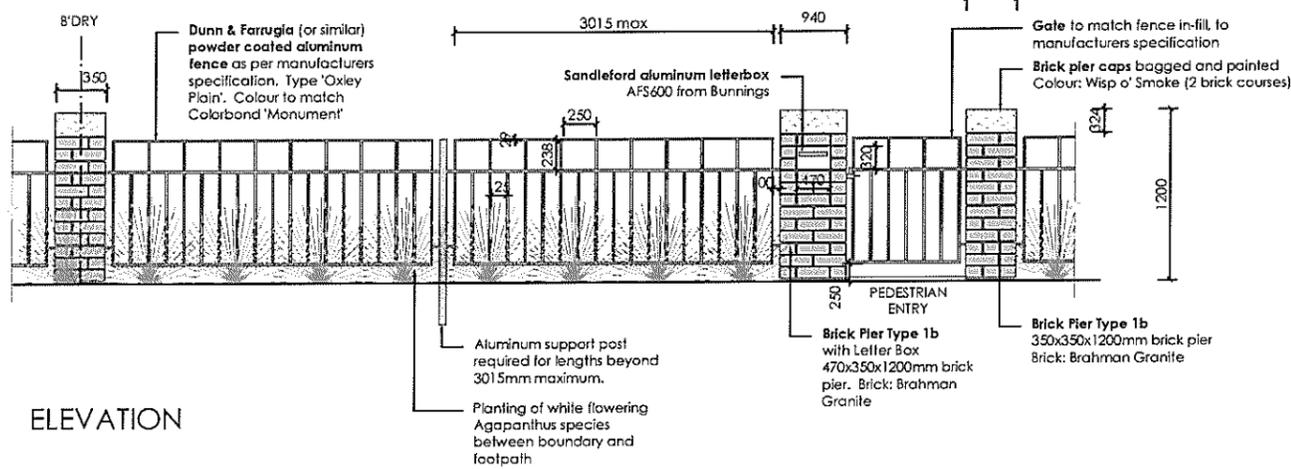
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone

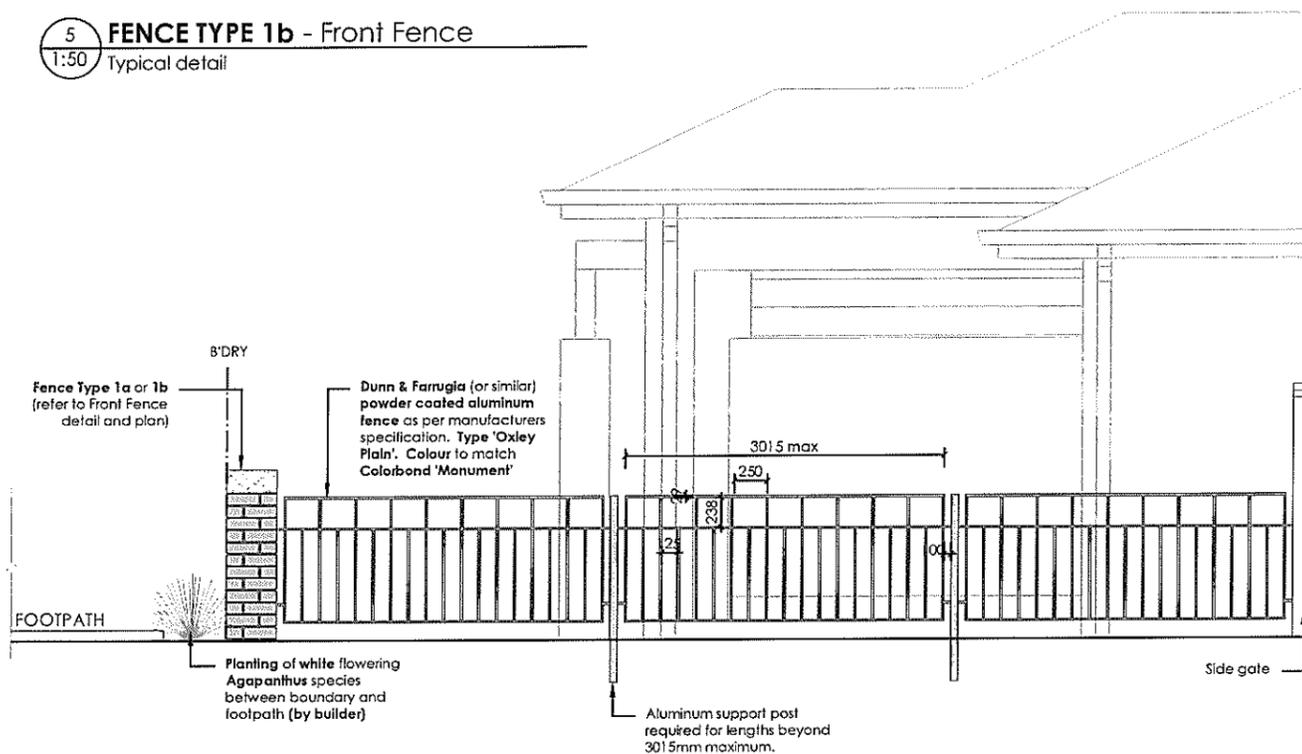


PLAN



ELEVATION

5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DESIGN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-08-14
B	AMENDMENTS TO CLIENT MARK UP	RS	RS	25-08-14
C	AMENDMENTS TO CLIENT MARK UP	RS	RS	31-08-14
D	AMENDMENTS TO LOTS 153 & 154 TO CLIENT MARK UP	RS	RS	01-09-14
E	CORRECT LOT NUMBER FOR LOT 153, ADD BED TO LOT 161 BED 2 AND RE-ISSUE	RS	RS	04-09-14
F	ISSUE DA PLANS FOR REVIEW	RS	RS	10-09-14

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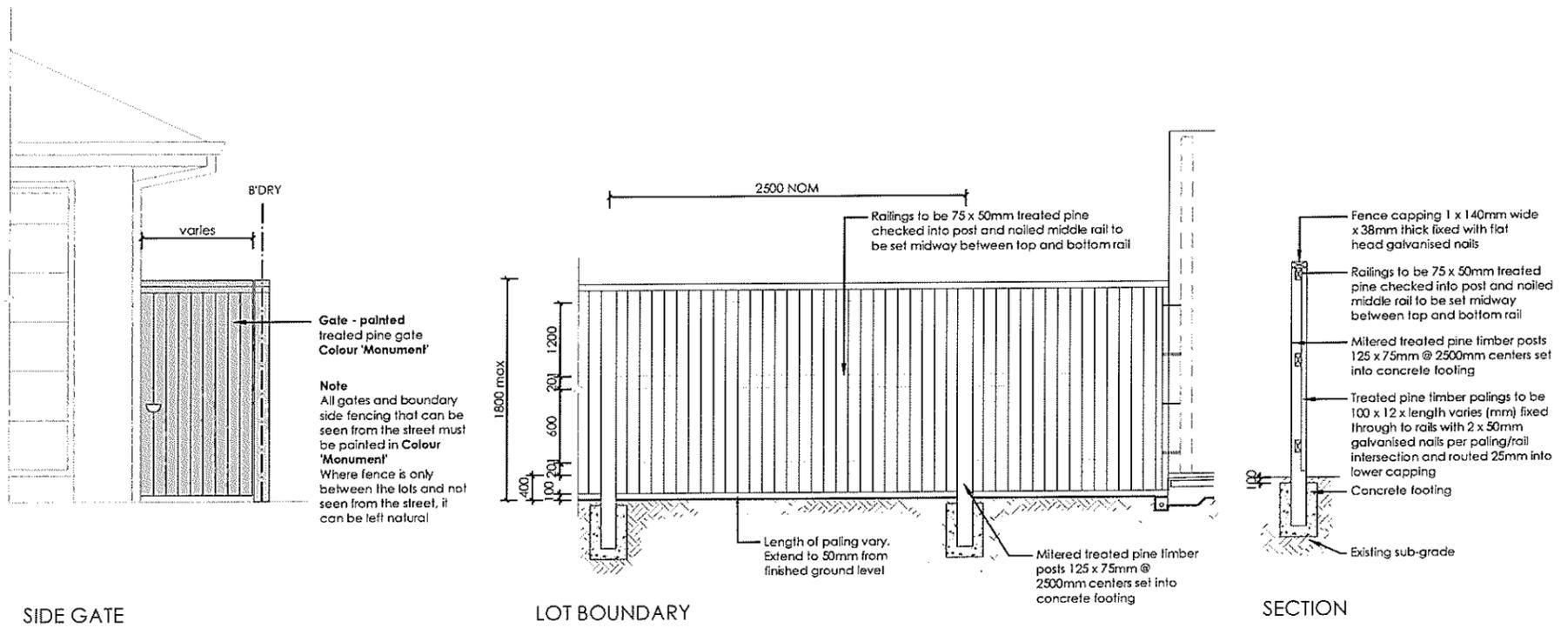
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THORNTON FENCING + PLANTING DETAILS

FIRSTYLE HOMES

NEW RESIDENCE			
DETAILS			
SCALE	DATE	PROJECT	REVISION
1:100 @ A3	DA	L-02	
RS	RS	10-09-14	F

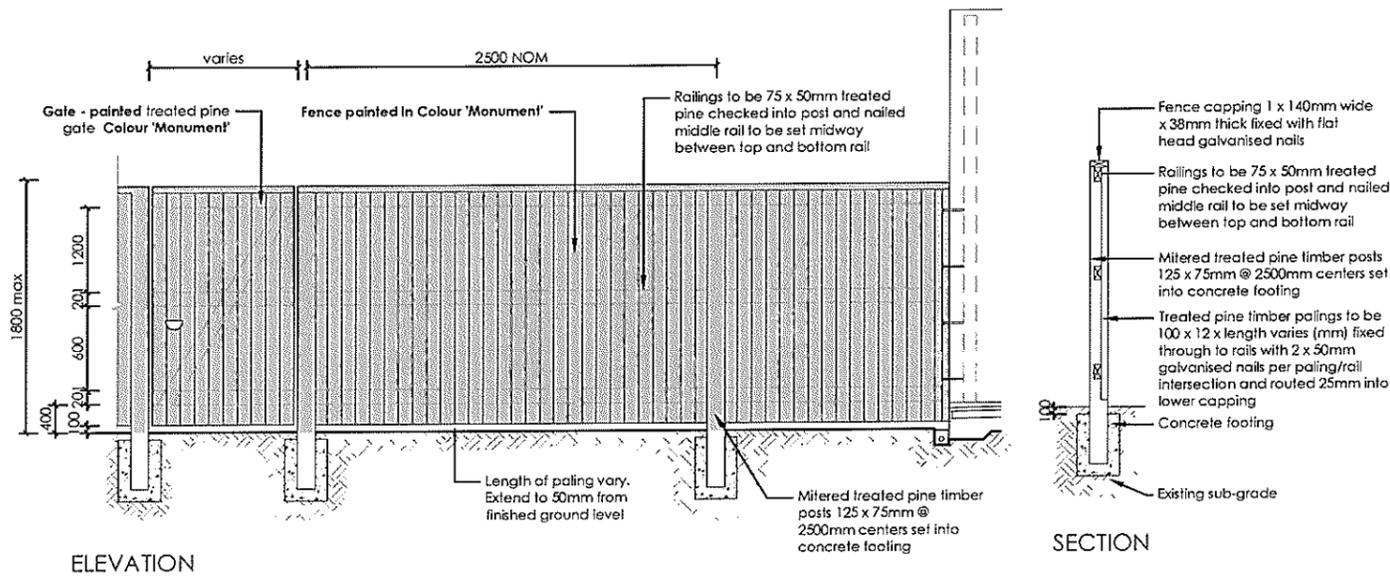


SIDE GATE

LOT BOUNDARY

SECTION

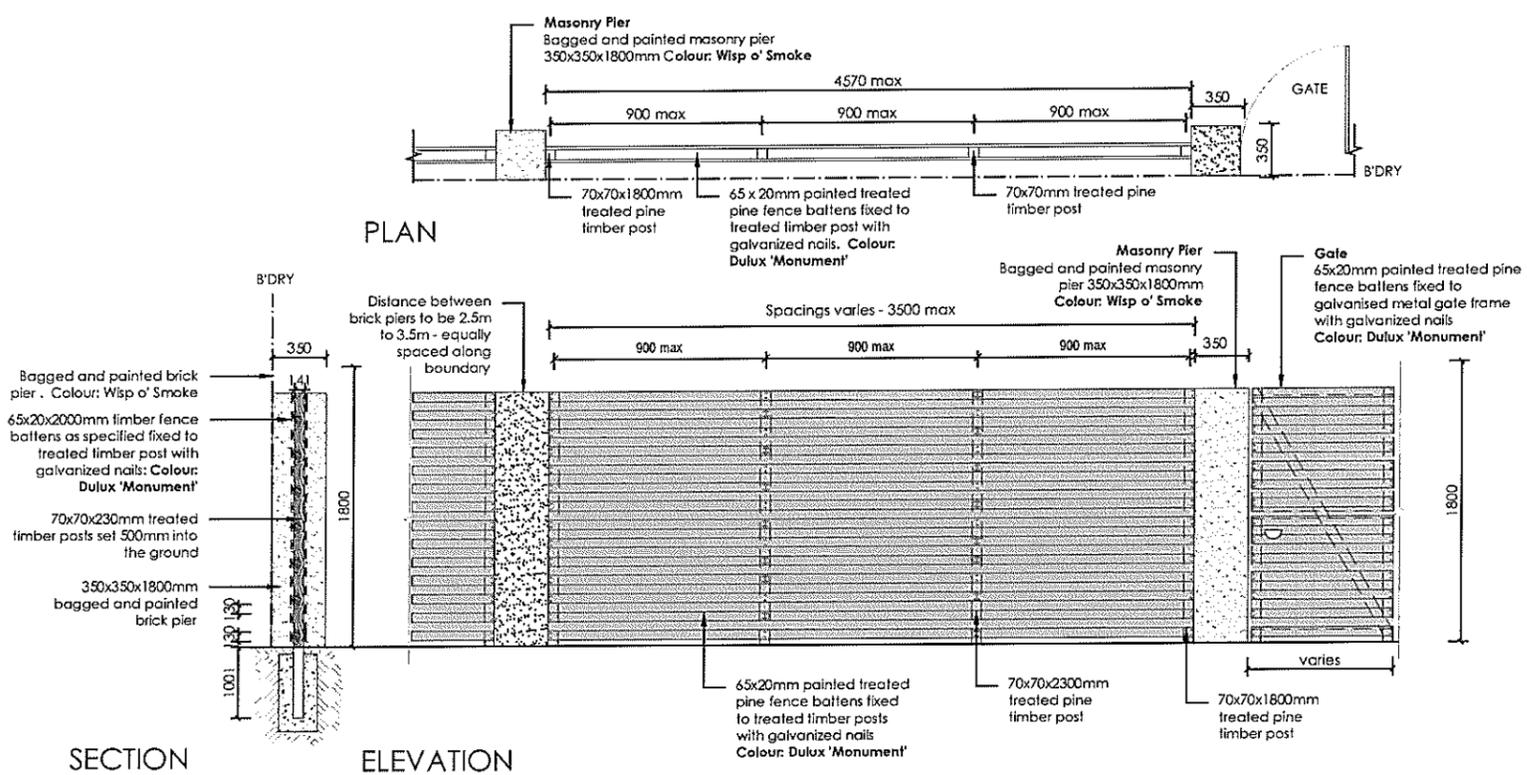
7 FENCE TYPE 4a - Side Boundaries
1:50 Typical detail



ELEVATION

SECTION

8 FENCE TYPE 4b - Rear Boundary
1:50 All Laneways (except Barlett Lane)
Typical detail



PLAN

SECTION

ELEVATION

9 FENCE TYPE 2a - Secondary Street Fencing
1:50 Typical detail

REVISION	DATE	BY	CHECKED	DATE
A	22-09-14	RS	MD	22-09-14
B	25-09-14	RS	RS	25-09-14
C	31-08-14	RS	RS	31-08-14
D	01-09-14	RS	RS	01-09-14
E	04-09-14	RS	RS	04-09-14
F	10-09-14	RS	RS	10-09-14

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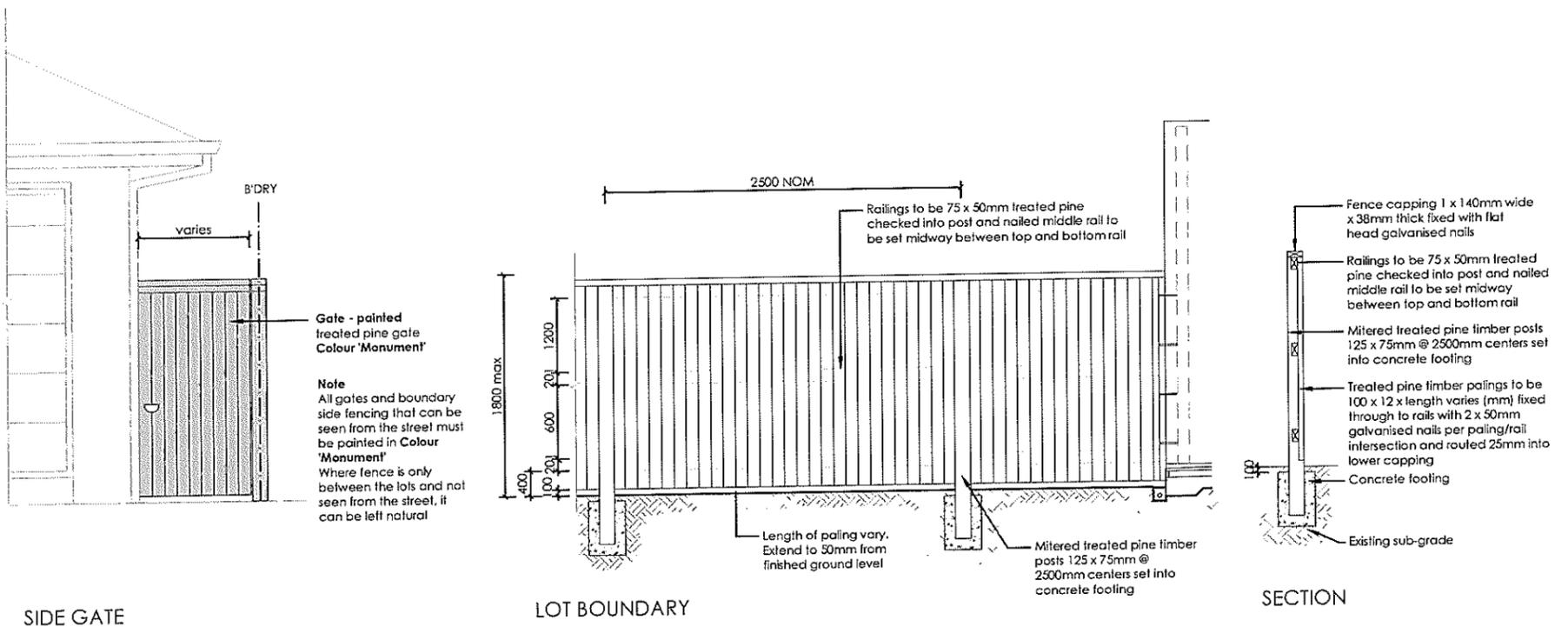
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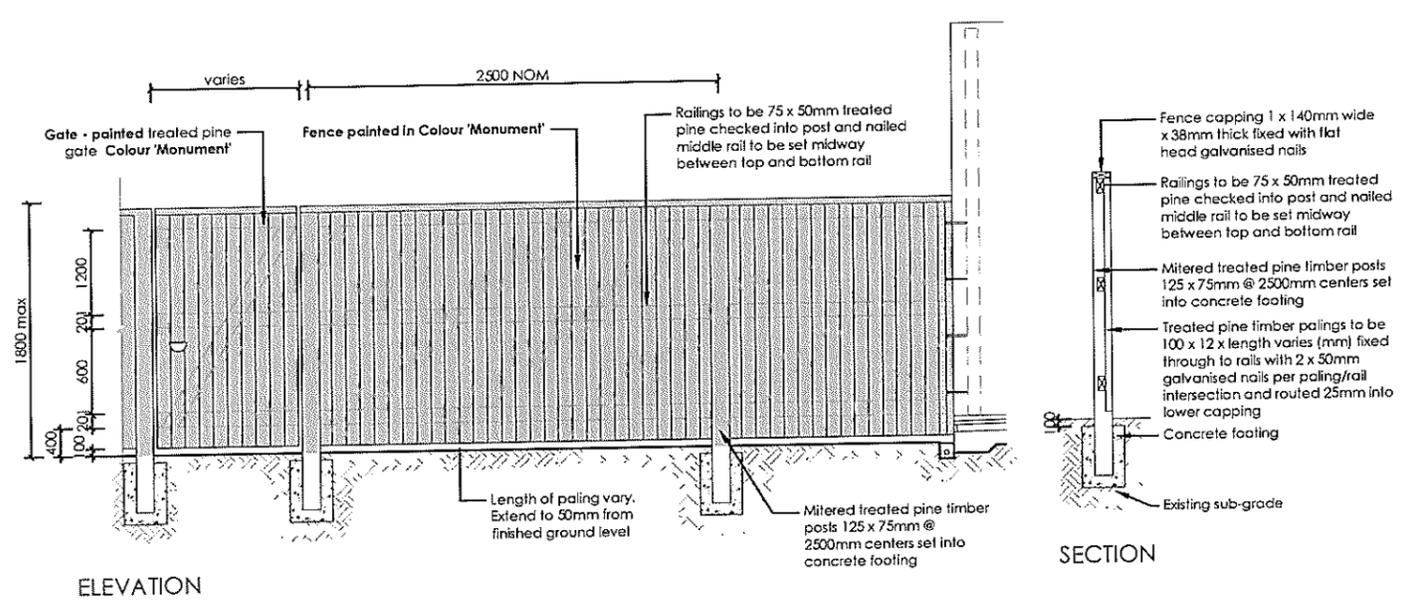
THORNTON FENCING + PLANTING DETAILS

FIRSTYLE HOMES

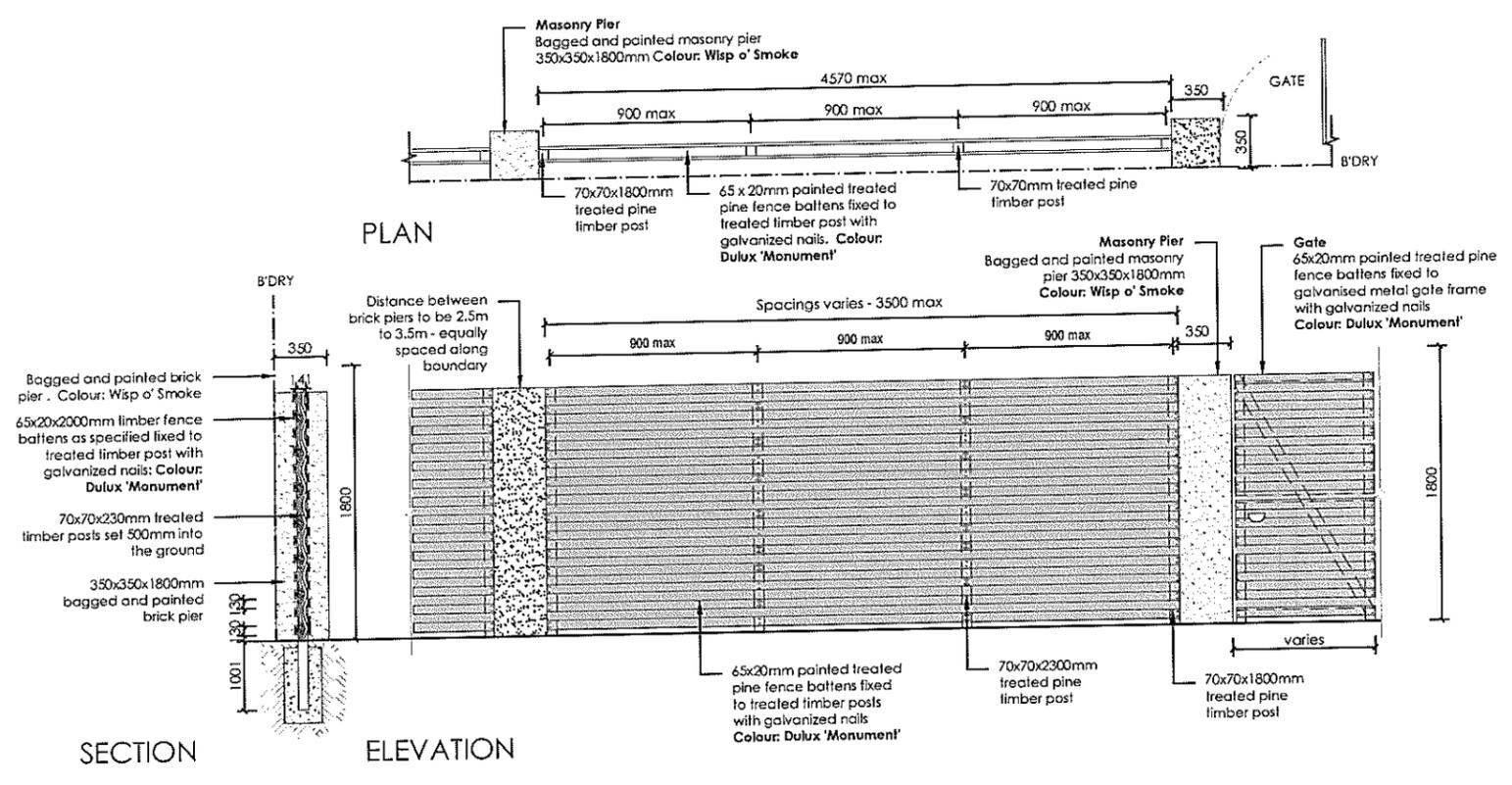
NEW RESIDENCE			
LANDSCAPE PLAN			
SCALE	DATE	REV	BY
1:100 @ A3	DA	L-03	
DESIGNER	CHECKED	DATE	REVISION
RS	RS	10-09-14	F



7 FENCE TYPE 4a - Side Boundaries
1:50 Typical detail

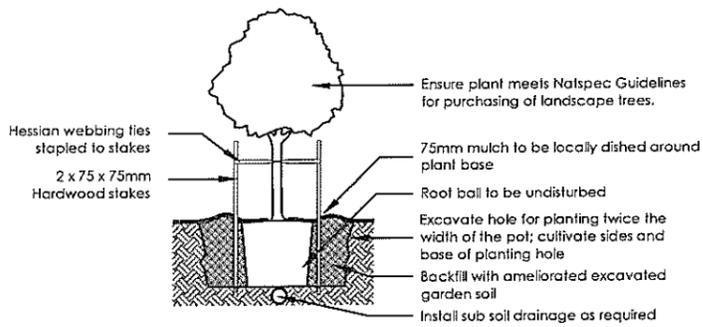


8 FENCE TYPE 4b - Rear Boundary
1:50 All Laneways (except Bartlett Lane)
Typical detail

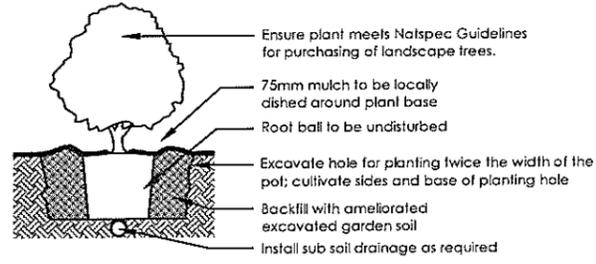


9 FENCE TYPE 2a - Secondary Street Fencing
1:50 Typical detail

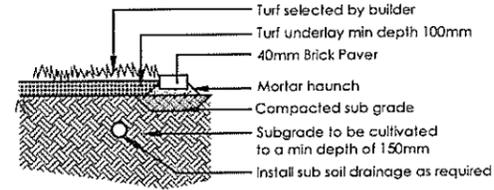
eco design outdoor living environments PO Box 8136, Southport QLD 4215 Ph: 02 9450 7712 Fax: 02 9450 7705 Email: info@ecodesign.com.au Web: www.ecodesign.com.au			THORNTON FENCING + PLANTING DETAILS			NEW RESIDENCE		
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FIRSTYLE HOMES			CLIENT			SCALE: 1:100 @ A3 DRAWN: RS CHECKED: RS DATE: 10-09-14		



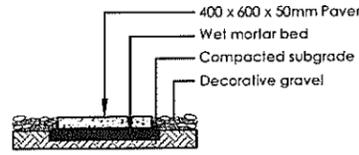
1 Tree Planting Detail
NTS 25L-100L Pot Size



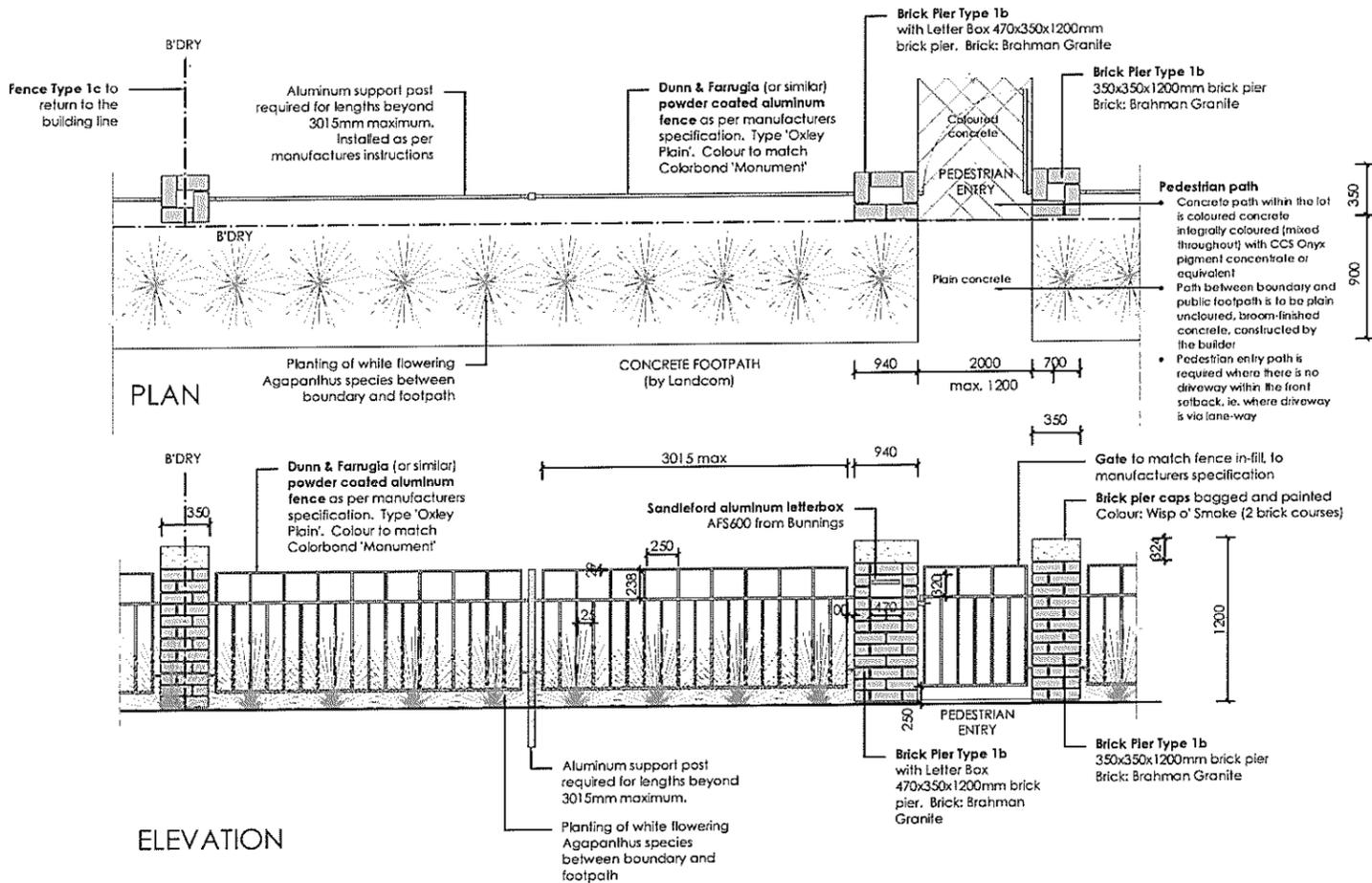
2 Planting Detail
NTS 150mm, 200mm Pot Size



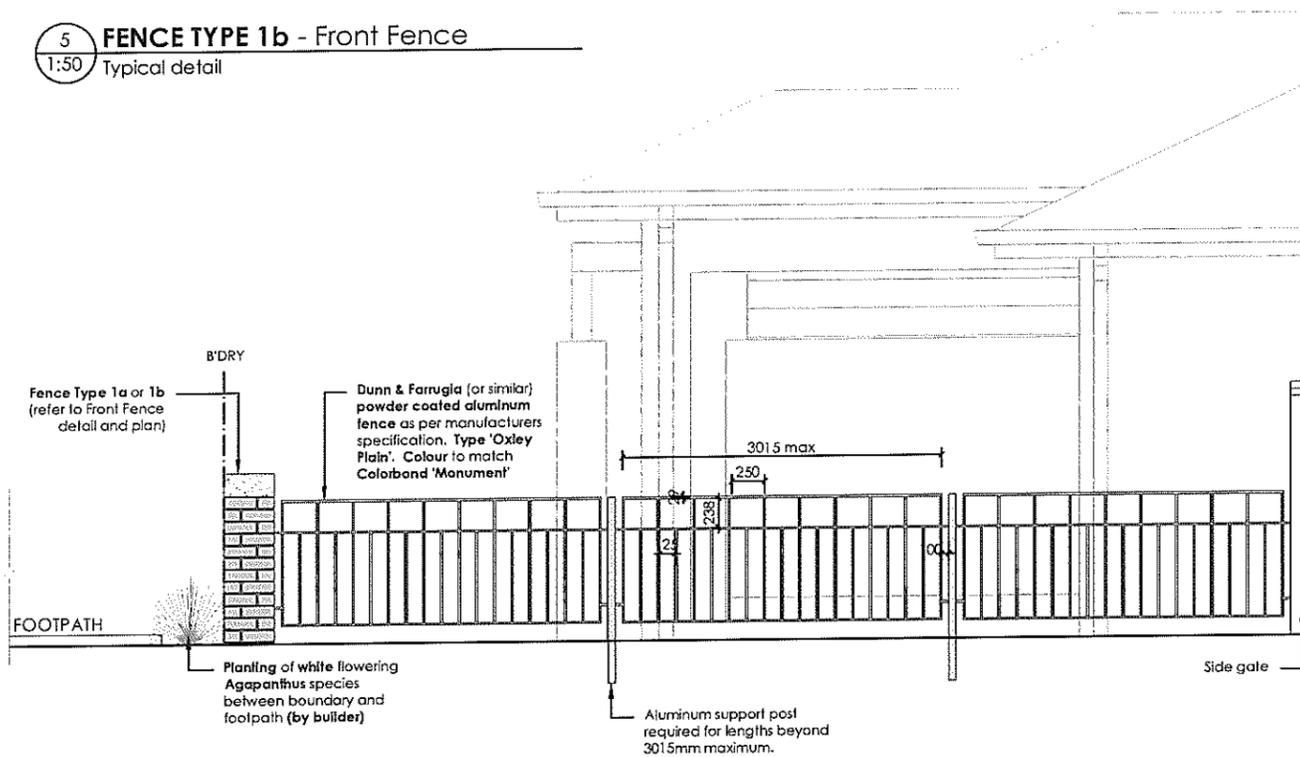
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DESIGNER	CHECKER	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	AJD	22-09-14
B	AMENDMENTS TO CLIENT MARK UP	RS	RS	25-09-14
C	AMENDMENTS TO CLIENT MARK UP	RS	RS	31-09-14
D	AMENDMENTS TO LOTS 153 & 164 TO CLIENT MARK UP	RS	RS	01-09-14
E	CORRECT LOT NUMBER FOR LOT 153, ADD BED TO LOT 161 BED 2 AND RE-ISSUE	RS	RS	04-09-14
F	ISSUE DA PLANS FOR REVIEW	RS	RS	10-09-14

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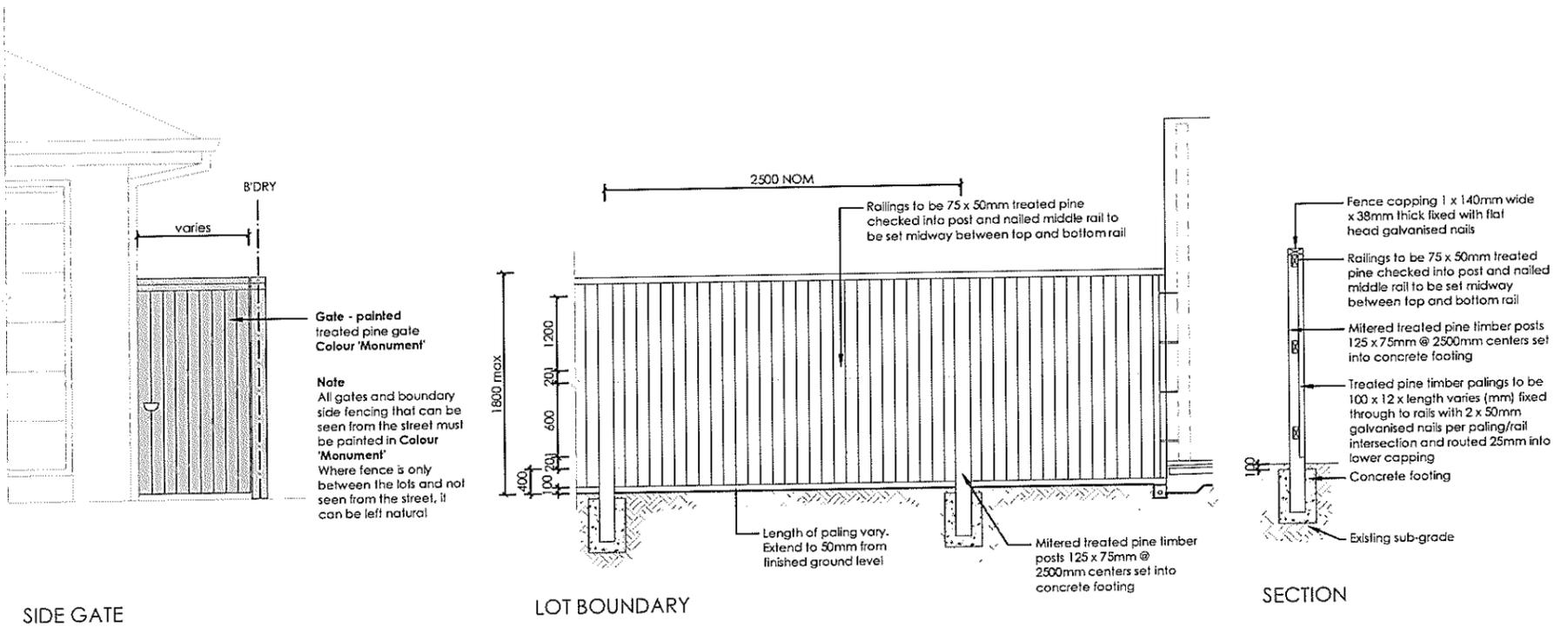
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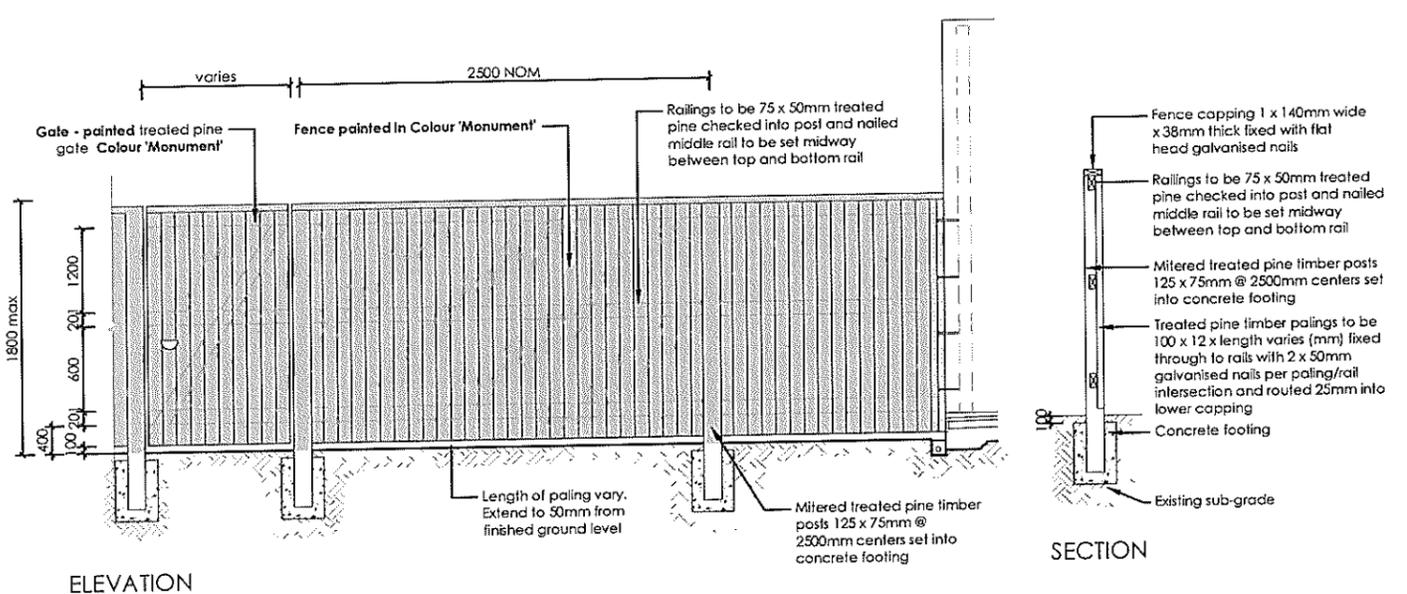
THORNTON FENCING + PLANTING DETAILS

FIRSTYLE HOMES

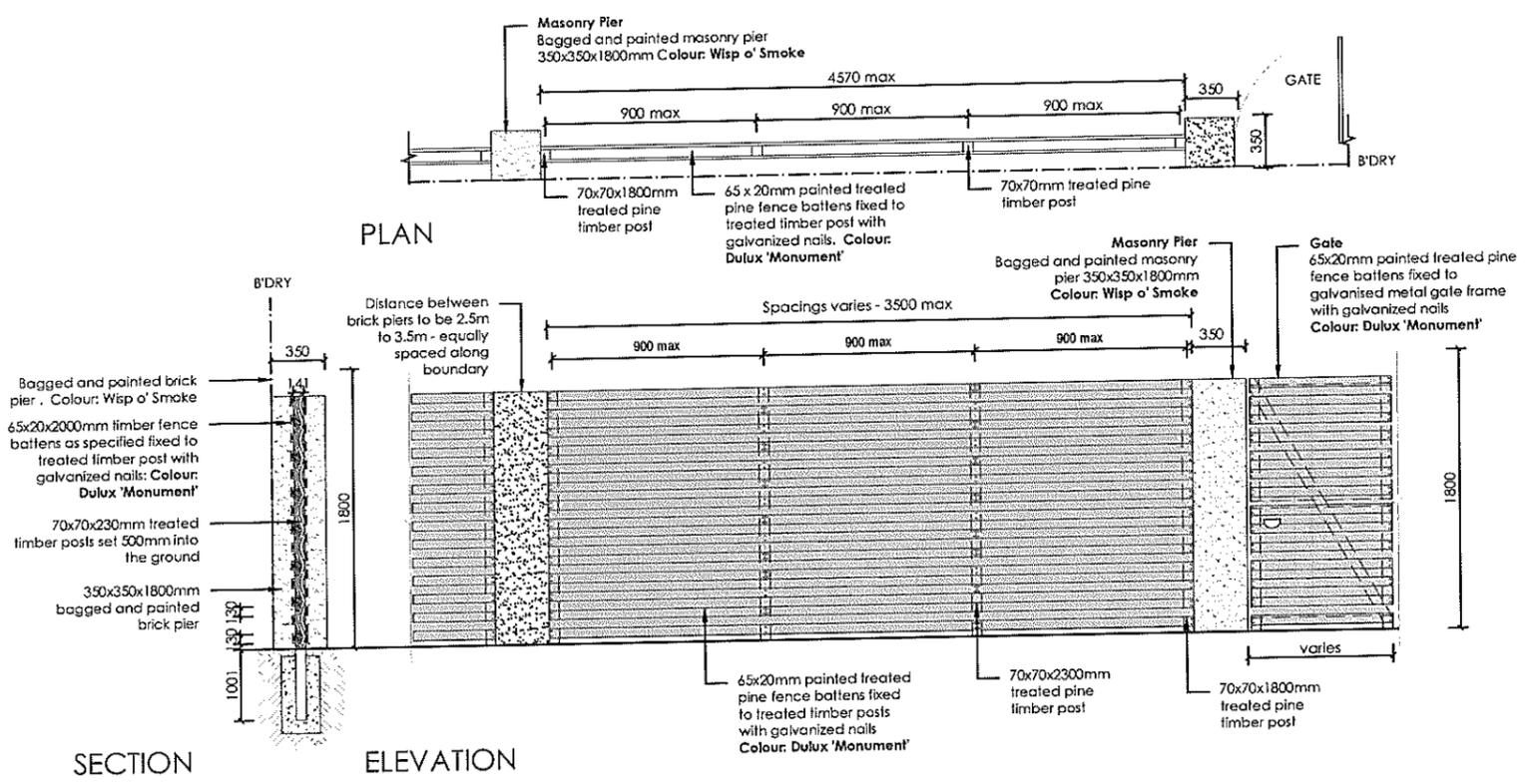
NEW RESIDENCE			
DETAILS			
SCALE	DATE	REVISED	BY
1:100 @ A3	DA	L-02	
RS	RS	10-09-14	F



7 FENCE TYPE 4a - Side Boundaries
 Typical detail
 1:50

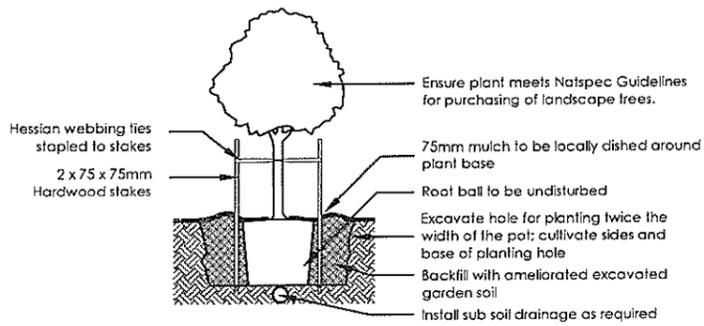


8 FENCE TYPE 4b - Rear Boundary
 All Laneways (except Barlett Lane)
 Typical detail
 1:50

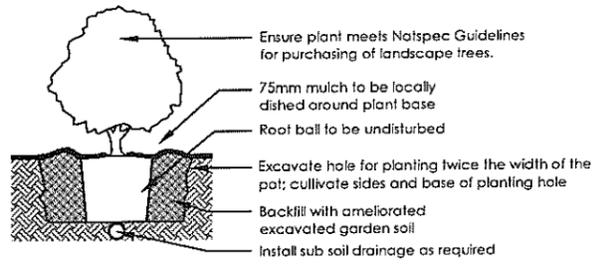


9 FENCE TYPE 2a - Secondary Street Fencing
 Typical detail
 1:50

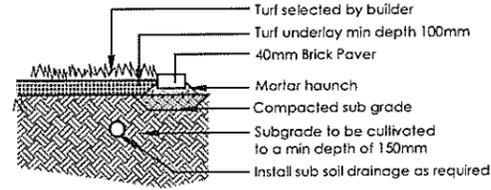
ecodesign outdoor living environments		PO Box 8134, Eastham Hills BC, NSW 2113 Ph: 623 9650 7712 Fax: 623 9650 7705 Email: info@ecodesign.com.au Web: www.ecodesign.com.au		THORNTON FENCING + PLANTING DETAILS		NEW RESIDENCE			
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REVISION A B C D E F	DESCRIPTION ISSUE COLOUR PLANS FOR CLIENT REVIEW AMENDMENTS TO CLIENT MARK UP AMENDMENTS TO CLIENT MARK UP AMENDMENTS TO CLIENT MARK UP CORRECT LOT NUMBER FOR LOT 153, ADD BED TO LOT 161 BED 2 AND RE-ISSUE ISSUE DA PLANS FOR REVIEW	DESIGNED RS RS RS RS RS	CHECKED MD RS RS RS RS	DATE 22-08-14 23-08-14 31-08-14 01-09-14 04-09-14 10-09-14	DRAWN RS RS		DATE 10-09-14		PROJECT NEW RESIDENCE
				SCALE 1:100 @ A3		DATE 10-09-14		DRAWN RS	



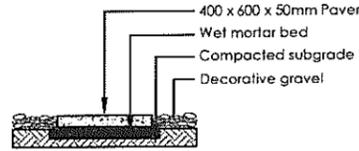
1 Tree Planting Detail
NTS 25L - 100L Pot Size



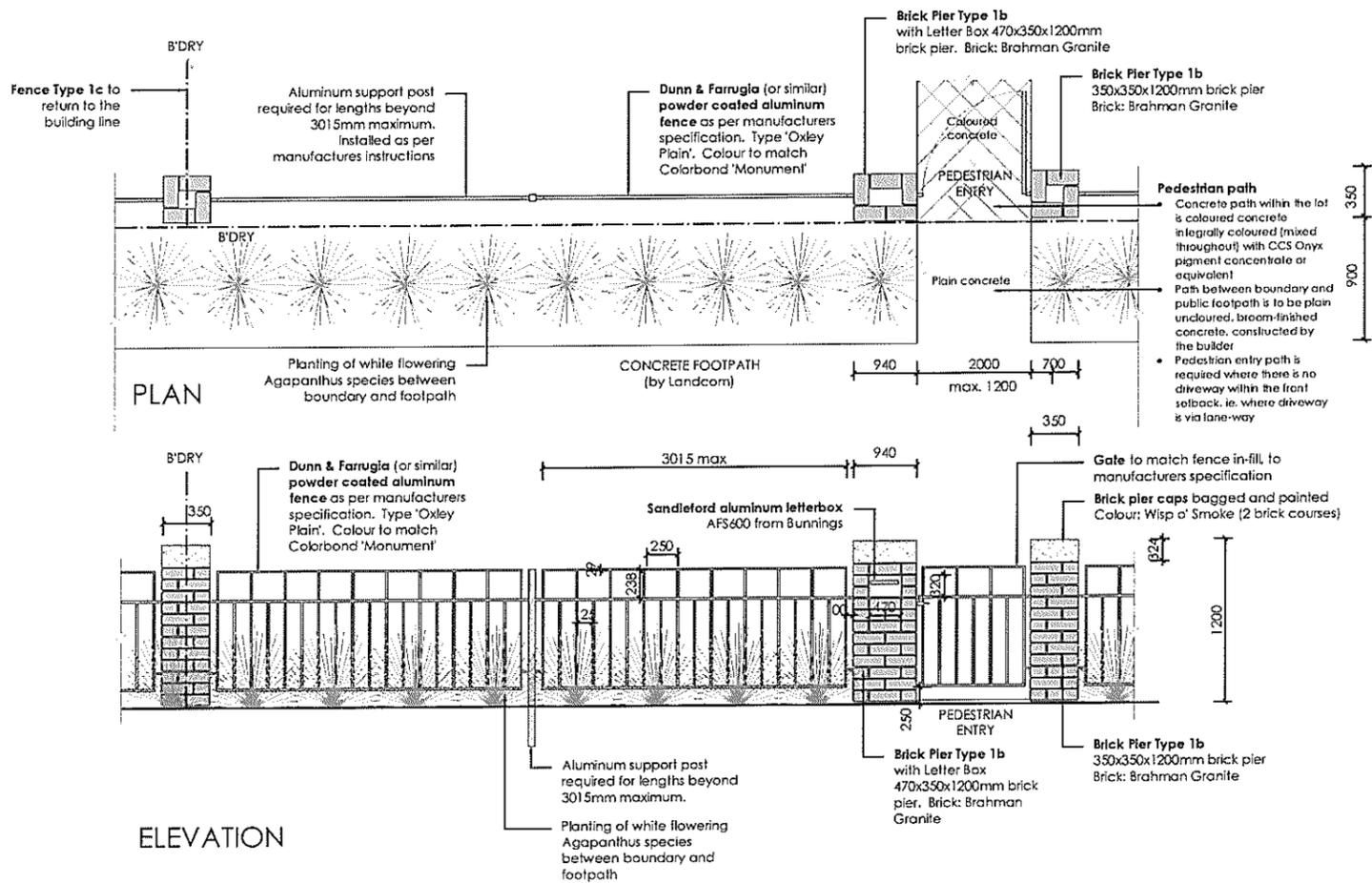
2 Planting Detail
NTS 150mm, 200mm Pot Size



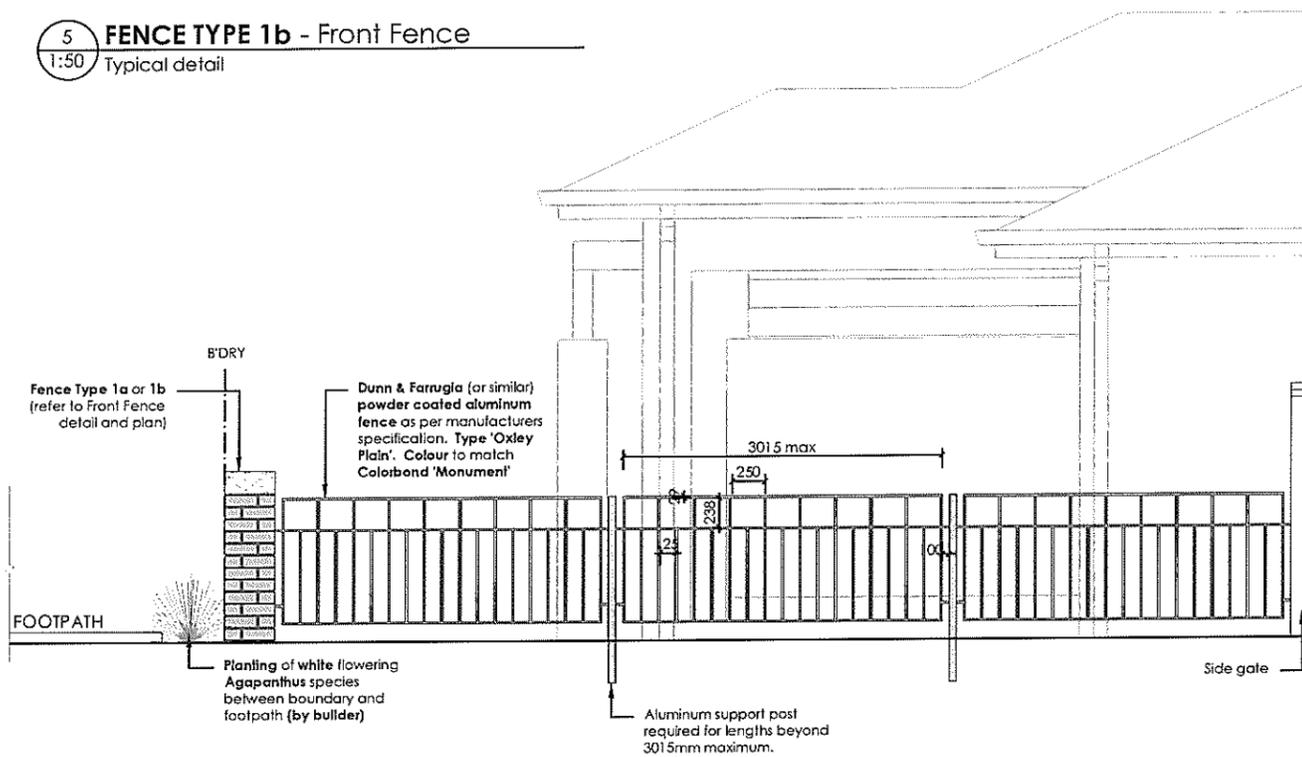
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	MD	22-08-14
B	AMENDMENTS TO CLIENT MARK UP	RS	RS	25-08-14
C	AMENDMENTS TO CLIENT MARK UP	RS	RS	31-08-14
D	AMENDMENTS TO LOTS 153 & 164 TO CLIENT MARK UP	RS	RS	01-09-14
E	CORRECT LOT NUMBER FOR LOT 153. ADD BED TO LOT 161	RS	RS	04-09-14
F	BED 2 AND RE-ISSUE	RS	RS	10-09-14
	ISSUE DA PLANS FOR REVIEW	RS	RS	10-09-14

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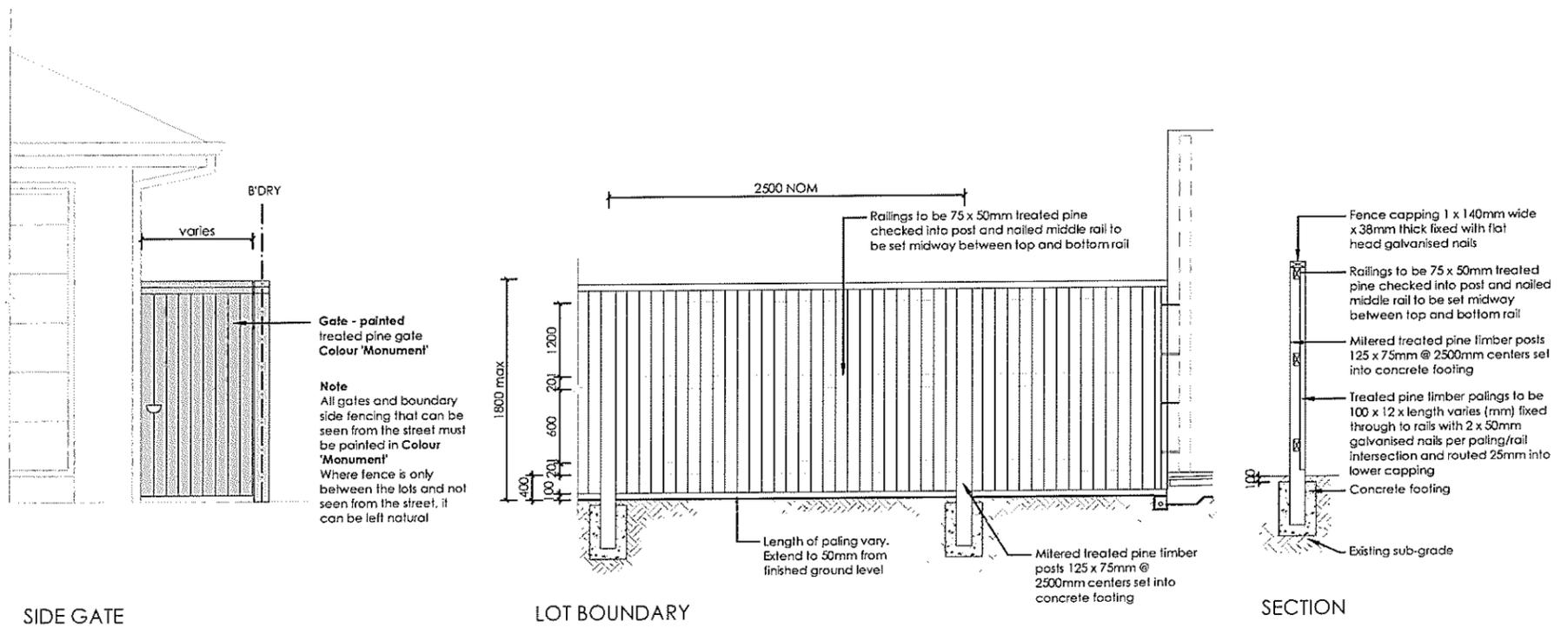
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THORNTON FENCING + PLANTING DETAILS

FIRSTYLE HOMES

NEW RESIDENCE			
DETAILS			
SCALE	DATE	NO.	REV.
1:100 @ A3	DA	L-02	
DESIGNER	CHECKED	DATE	BY
RS	RS	10-09-14	F

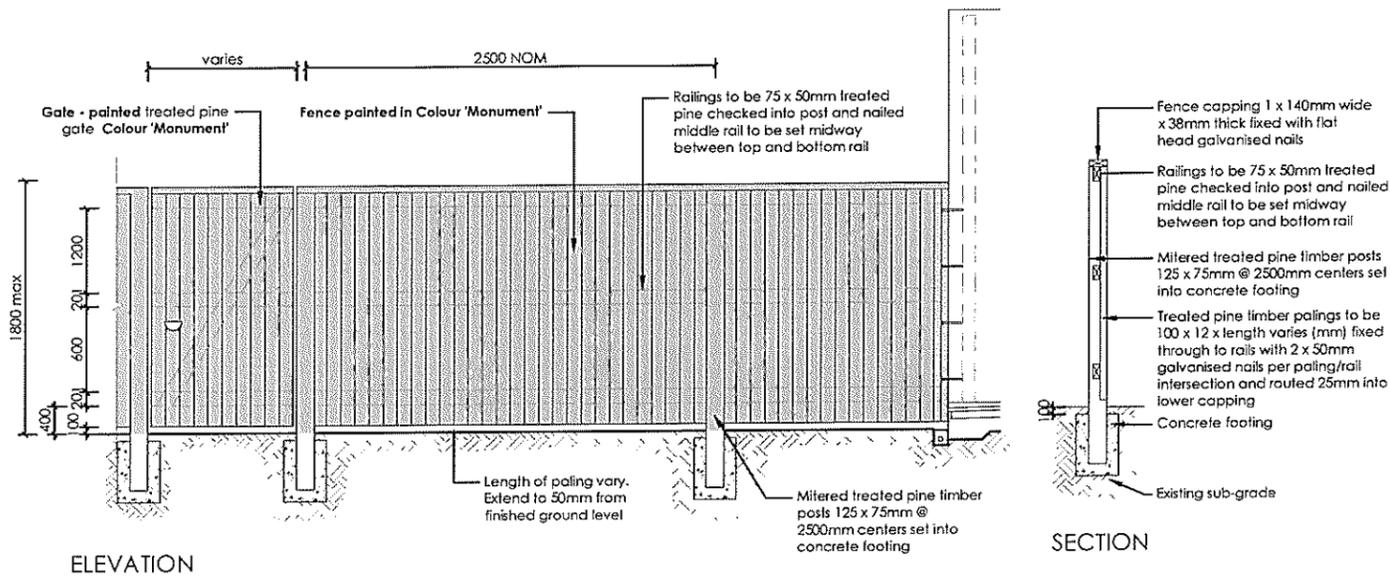


SIDE GATE

LOT BOUNDARY

SECTION

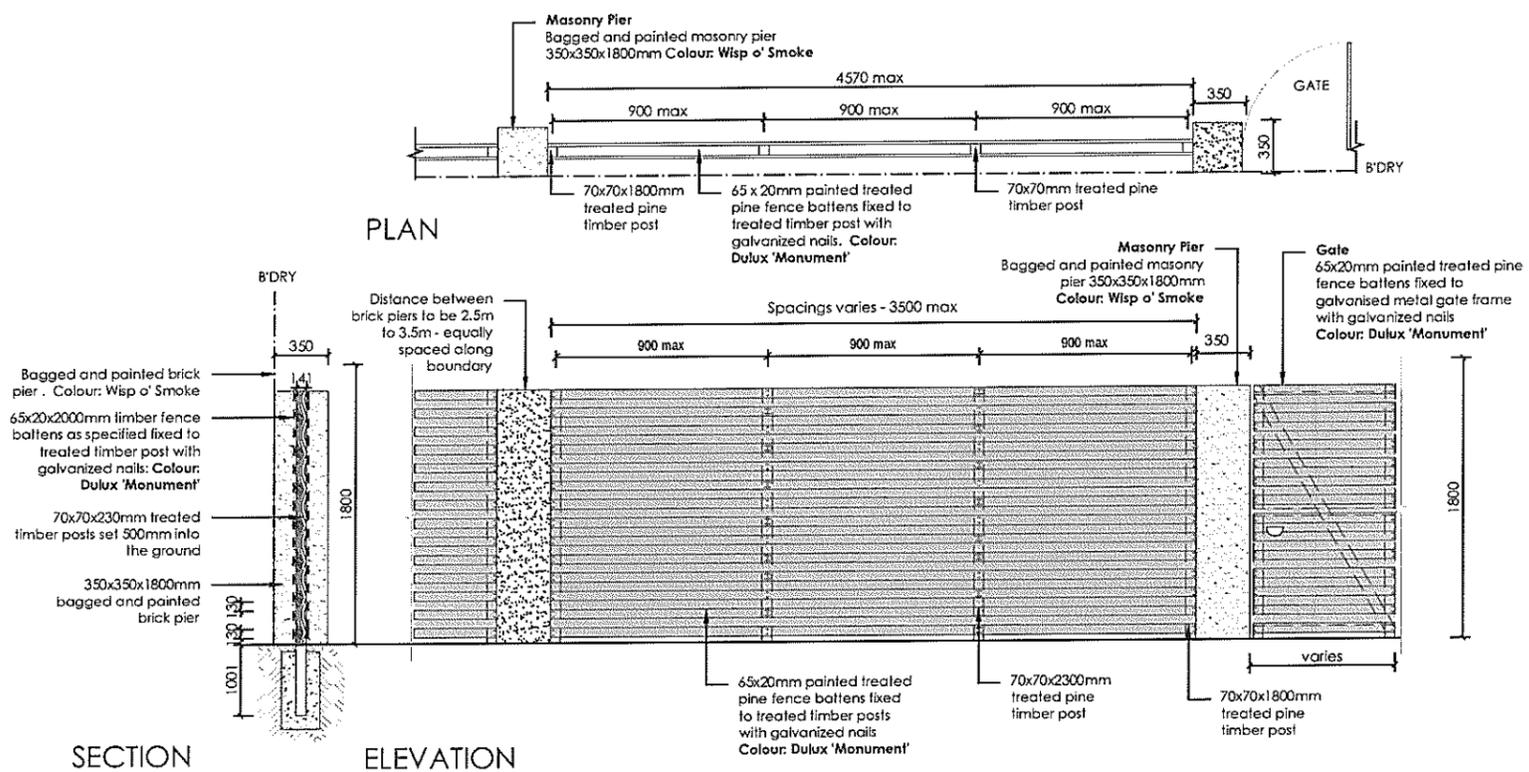
7 FENCE TYPE 4a - Side Boundaries
1:50 Typical detail



ELEVATION

SECTION

8 FENCE TYPE 4b - Rear Boundary
1:50 All Laneways (except Barlett Lane)
Typical detail



SECTION

ELEVATION

9 FENCE TYPE 2a - Secondary Street Fencing
1:50 Typical detail

REV	DESCRIPTION	BY	CHK	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	RS	H/D	22-08-14
B	AMENDMENTS TO CLIENT MARK UP	RS	RS	25-08-14
C	AMENDMENTS TO CLIENT MARK UP	RS	RS	31-08-14
D	AMENDMENTS TO LOTS 153 & 164 TO CLIENT MARK UP	RS	RS	01-09-14
E	CORRECT LOT NUMBER FOR LOT 153, ADD BED TO LOT 161	RS	RS	04-09-14
F	BED 2 AND REISSUE	RS	RS	10-09-14
	ISSUE DA PLANS FOR REVIEW	RS	RS	10-09-14

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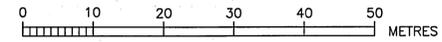
FIRSTYLE HOMES

NEW RESIDENCE			
LANDSCAPE PLAN			
SCALE	DATE	REV	BY
1:100 @ A3	DA	L-03	
RS	RS	10-09-14	F

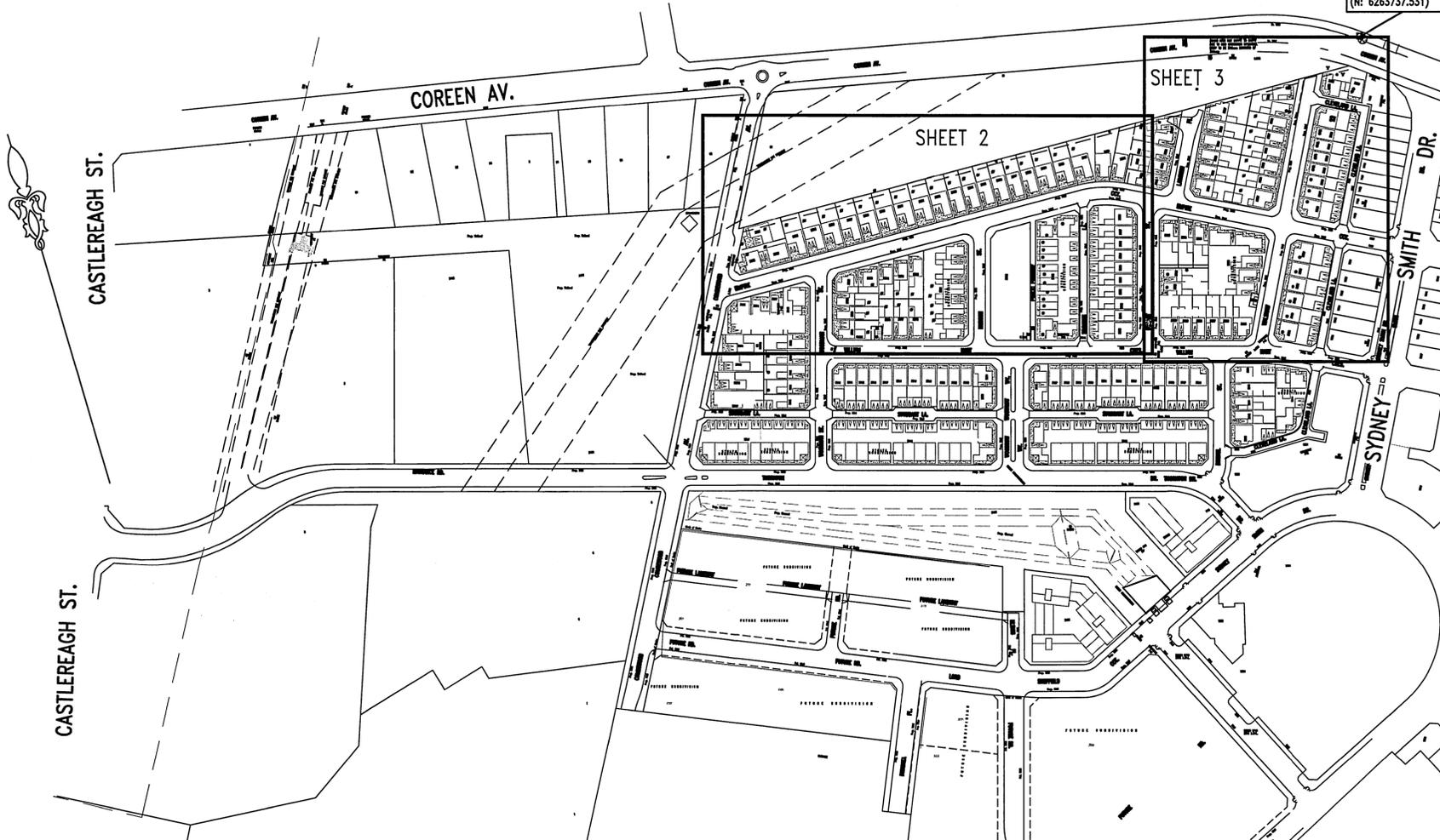


LAYOUT

(NOT TO SCALE)



DEVELOPER CONTRACT PLAN STAGE 2 D LOW INFILTRATION SEWER SYSTEM



- DESIGNER AND WATER SERVICES COORDINATOR:
QALCHEK PTY LTD (CERTIFIED No.289)
77 UNION RD. PENRITH NSW 2750
PH. No. (02) 4722 8181
FOR :
URBANGROWTH NSW
c/o J WYNHAM PRINCE
580 HIGH STREET, PENRITH, 2750
PH.: 4720 3300 (DAVID JOHNSON)
- THE PROPOSED WORKS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE SEWER RETICULATION CODE OF AUSTRALIA (WSA 02-2002-2.2 VERSION 3) INCLUDING THE SYDNEY WATER SUPPLEMENT AND APPENDICES AS WELL AS THE LOW INFILTRATION SPECIFICATION VERSION 7. THE CONSTRUCTOR MUST HAVE A COPY OF THESE DOCUMENTS ON SITE AT ALL TIMES.
- ALL STRUCTURES TO BE CONSTRUCTED TO PROPOSED FINISHED SURFACE LEVELS.
ALL LEVELS REFER TO PROPOSED FINISHED SURFACE LEVEL.
SEWER CONSTRUCTOR TO LIASE WITH ROAD AND/OR CIVIL CONTRACTOR TO VERIFY ALL LEVELS IN PARTICULAR IN OR ADJACENT TO ROADS. PROJECT SUPERVISOR/DESIGNER TO BE INFORMED OF ANY DISCREPANCIES.
- ALL BUILDING LAYOUTS, FINISHED SURFACE LEVELS, STORMWATER INFORMATION, AND GENERAL CIVIL ENGINEERING DETAILS TAKEN FROM THE FOLLOWING PLANS:
HOUSE LAYOUT: "07210L27" SUPPLIED BY JWP ON 17.04.2013
SURFACE LEVELS: "DESIGN SURFACE.XML" SUPPLIED BY JWP ON 19.07.2013
STORMWATER: "9470CC DRAINAGE NETWORK DESIGN ONLY" SUPPLIED BY JWP ON 19.07.2013. FOR CULVERT "9470CC74-76" SUPPLIED BY JWP ON 21.02.2013
STORMWATER LONGSECTIONS: "COMBINED - DRAINAGE - LONGSECTIONS1" SUPPLIED BY JWP ON 29.10.2013. FOR CULVERT "9470CC74-76" CIVIL ENGINEERING LAYOUT: "9470CC OVERALL DRAFTING BASE" SUPPLIED BY JWP ON 19.07.2013
- THE MINIMUM NUMBER OF FIELD COMPACTION TESTS REQUIRED TO SATISFY THE SEWERAGE CODE OF AUSTRALIA ARE:
IF SAND/CEMENT BACKFILL IS USED AT ROAD CROSSINGS AND IN ROADS, THE NUMBER OF TRENCHFILL COMPACTION TESTS MAY BE REDUCED BY 11 IF THE CONSTRUCTOR PROVIDES DOCUMENTATION FROM THEM SELF AND THE TESTING COMPANY STATING EXTENTS AND COMPLIANCE.
PIPE EMBEDMENT ZONE: 19 TESTS REQUIRED

TRENCH FILL ZONE (TRAFFICABLE): 11 TESTS REQUIRED (TRENCHFILL IN TRAFFICABLE AREAS TO ADHERE TO CLAUSE 21.1.2 OF WSA02-2002-2.2)
TRENCH FILL ZONE (NON TRAFFICABLE): 36 TESTS REQUIRED
TRENCH FILL ZONE (MH'S/MS'S): 94 TESTS REQUIRED
TRENCH FILL ZONE - TOTAL: 141 TESTS REQUIRED
- ALL LEVELS ELECTRONICALLY GENERATED. NO LEVEL BOOK AVAILABLE.
- THE REVIEW OF ENVIRONMENTAL FACTORS IS AN INTEGRAL PART OF THIS DESIGN AND MUST BE READ IN CONJUNCTION WITH THIS PLAN.
- PRIOR TO ANY EXCAVATION THE CONSTRUCTOR MUST HAVE A CURRENT COPY OF THE UNDERGROUND SERVICES REPORT WHICH IS TO BE READ IN CONJUNCTION WITH THIS PLAN.
- SERVICES SHOWN FROM "DIAL BEFORE YOU DIG" SERVICES SEARCH ARE INDICATIVE ONLY. AUTHENTICITY AND ACCURACY SHOULD NOT BE PRESUMED AND SHOULD BE CONFIRMED BY THE CONSTRUCTOR PRIOR TO ANY EXCAVATION WORKS ON SITE.
- BUILDING OVER/ADJACENT TO SEWER - CONDITIONS MAY APPLY. REFER TO QALCHEK FOR DETAILS.
- ALL EXCAVATION, SHORING EXCAVATION AND STABILITY OF ADJACENT STRUCTURES/SERVICES/DWELLINGS IS THE RESPONSIBILITY OF THE CONSTRUCTOR.
- ALL JUNCTIONS TO BE CONSTRUCTED MIN. 1.0m OFF BOUNDARY/EASEMENT ON THE LOW SIDE OF THE LOT OR ON THE LOWEST SECTION OF SEWER IN THAT LOT. IF A STRUCTURE IS IN THAT LOCATION, THEN THE JUNCTION IS TO BE LOCATED 1.0m CLEAR OF THE STRUCTURE AT THE UPSTREAM END OF THE STRUCTURE. FOR OTHER JUNCTIONS NOTES ARE GIVEN ON PLAN.
- CONSTRUCTOR TO SUPPLY ALL JUNCTION DISTANCES AND END OF LINE DEPTH TO INVERTS, TIES TO NEAREST BOUNDARY, CONCRETE ENCASEMENT CHAINAGES AND DROP JUNCTION INLET LEVELS/DEPTHS.
IF TIES ARE NOT ABLE TO BE PROVIDED THE CONSTRUCTOR IS TO LEAVE A MARKER OF SOME DESCRIPTION THAT SURVEYORS CAN LOCATE AT A LATER TIME AFTER CONSTRUCTION.
- PIPES TO BE CONCRETE ENCASED SHOWN ACCORDINGLY: REFER TO SEW-1205-V
EACH SECTION OF PIPE SHALL BE CONCRETE ENCASED IN THE FOLLOWING MANNER
EACH PIPE JOINT REQUIRES A 12mm THICK COMPRESSIBLE MEMBRANE TO BE INSERTED
EACH PIPE JOINT IS REQUIRED TO HAVE 3 R16 DOWEL PINS TOP & BOTTOM.
DOWEL PINS ARE TO BE CENTRALLY PLACED IN CONCRETE WITH A MINIMUM BAR LENGTH OF 600mm
THE DOWEL PIN IS TO BE EITHER GALVANISE OR STAINLESS STEEL.
AT THE ENDS OF EACH SECTION OF ENCASEMENT A 600mm ROCKER PIPE IS TO BE INSTALLED.
- ALL PCS'S TO HAVE MIN. STIFFNESS RATING OF SN10 AND JOINTING TO BE SOLVENT WELDED.
ALL I.O.s TO BE CONSTRUCTED TO PROPOSED FINISHED SURFACE LEVELS.

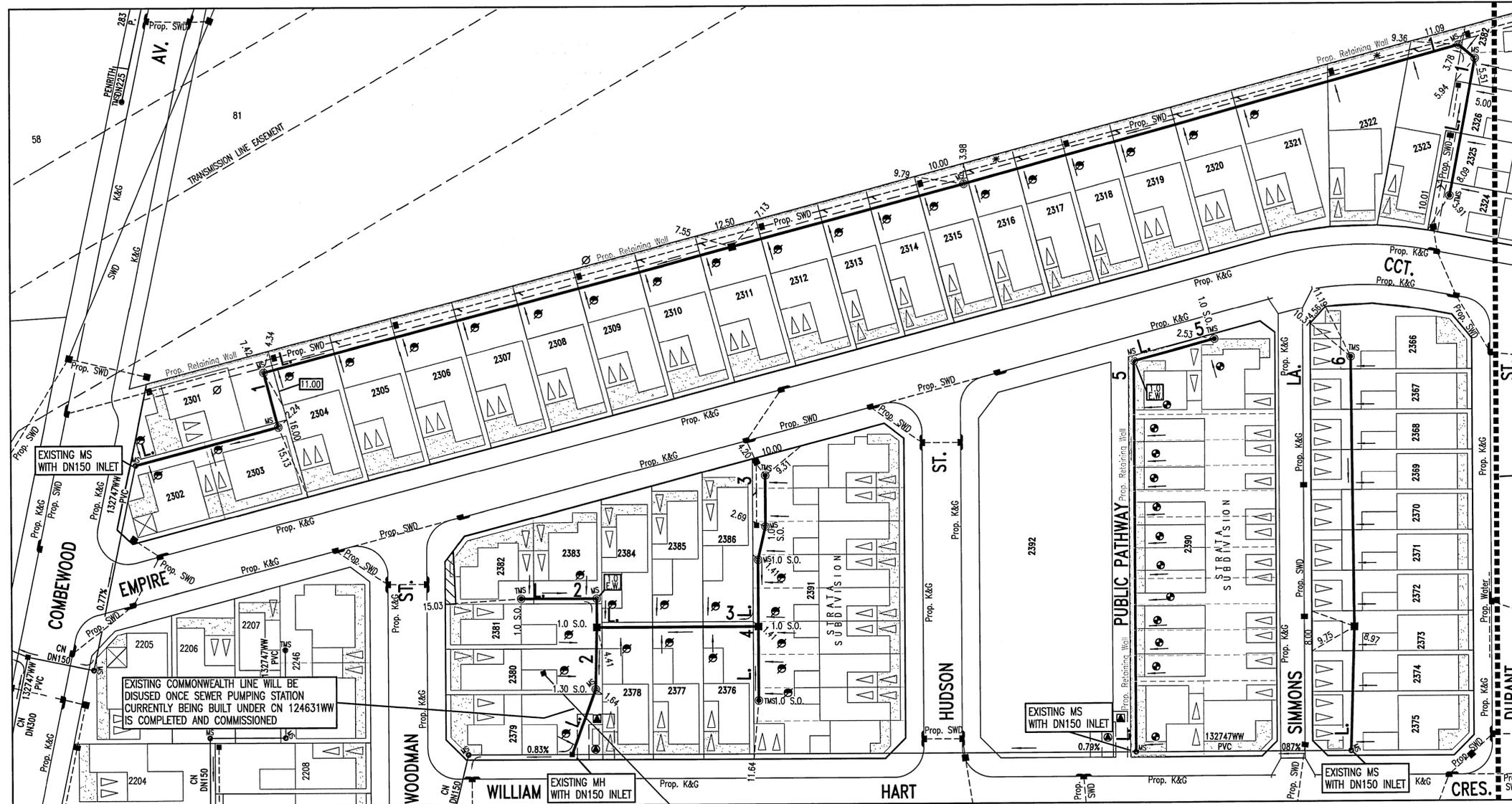
 DENOTES STANDARD PCS CONNECTION (REFER LIS FIG.9)
 DENOTES DEEP PCS CONNECTION (REFER LIS FIG.10)
 DENOTES PCS TO BE CONCRETE ENCASED
- IT IS THE CONSTRUCTORS RESPONSIBILITY TO PROVIDE THE CHAINAGES FOR THE PCS'S, THE LENGTH OF THE PCS'S, THE TYPE OF CONNECTION USED, THE LENGTH OF THE IO AND THE INVERT LEVEL AT THE PCP (IF APPLICABLE) TO THE WSC FOR WORK AS CONSTRUCTED PURPOSES.
- MAINTENANCE STRUCTURE OPTIONS SHALL BE LIMITED TO CAST IN-SITU MAINTENANCE HOLES, PLASTIC MAINTENANCE SHAFTS AND PLASTIC TERMINAL MAINTENANCE SHAFTS.
IF THE CONSTRUCTOR WISHES TO USE PRE-CAST MH'S THEY MUST PROVIDE QALCHEK WITH A CONSTRUCTION DRAWING IN CAD/PDF FORMAT SHOWING ALL THE DETAILS AND MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS FOR INSTALLATION PRIOR TO CONSTRUCTION. ALL RESPONSIBILITY WILL BE WITH THE CONSTRUCTOR TO ENSURE THAT ALL DETAILS ARE FOLLOWED AND INSTALLED CORRECTLY TO PREVENT ANY LEAKING. IF A MH IS FOUND TO BE LEAKING OR FAULTY IT IS THE CONSTRUCTORS RESPONSIBILITY TO RECTIFY THE PROBLEM, QALCHEK ACCEPTS NO RESPONSIBILITY IN REGARDS TO PRE-CAST MH'S. ALL INLETS MUST BE CAST IN - NO BREAK OUTS OR BLOCKOUTS ALLOWED.
- THE TOTAL LENGTH OF THE DN100 PCS'S EXCLUDING RISERS IS APPROXIMATELY 136.00m. PCS'S TO HAVE MINIMUM STIFFNESS RATING OF SN10. JOINTING TO BE SOLVENT WELDED.
- CONSTRUCTOR TO ENSURE THAT WORKS ARE CONSTRUCTED IN ACCORDANCE WITH SYDNEY WATER'S DEEMED TO COMPLY DRAWINGS:
FOR ALL MH'S REFER TO DTC-2000, DTC-2203, DTC-2220, DTC-2221, DTC-2222
- ALL PROPERTIES BEING DRAINED BY LINES 11, 12 AND 13 REQUIRE BOUNDARY TRAPS.
- PCS'S LONGER THAN 1.0m TO THE IO TO BE CCTV'D AS PER LI SPECIFICATION
- AREAS HATCHED THUS NOT DRAINED:
- 9.55m OF EXISTING DN450 PP SEWER MAIN TO BE CONCRETE ENCASED BETWEEN 'A' AND 'B' AS SHOWN ON PLAN. 'A' SHOULD BE A MINIMUM OF 2m AWAY FROM THE RETAINING WALL AND 'B' A MINIMUM OF 2m AWAY FROM THE SWD EASEMENT. CONCRETE ENCASEMENT TO BE TYPE 12U (ON SHEETS).

Qalchek Pty Ltd
FOR CONSTRUCTION
IN ACCORDANCE WITH
PLAN 132748WW ISSUE 6
DATE 10/03/14

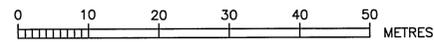
NUMBER	AMENDMENT	INITIAL	DATE
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E	INTERNAL LOT BOUNDARIES OF LOT 2390 AMENDED - JOINTION LOCATION AMENDED ACCORDINGLY	F.J.	10.03.14

PLAN TO BE READ IN CONJUNCTION WITH CURRENT SYDNEY WATER STANDARDS SYDNEY WATER CORPORATION PRIOR TO COMMENCEMENT OF EXCAVATION FOR PROPOSED AND EXISTING SERVICES CONTACT:- DIAL BEFORE YOU DIG Ph. 1100 ELECTRICITY Ph. GAS Ph. TELECOMMUNICATIONS Ph. SWC Ph. 132 092 GIVING AT LEAST 48 HOURS NOTICE.	UTILITIES <table border="1"> <thead> <tr> <th>TYPE</th> <th>DATE</th> <th>REF.</th> <th>TYPE</th> <th>DATE</th> <th>REF.</th> </tr> </thead> <tbody> <tr> <td>PROP. WATER: DN100 Water</td> <td>21.07.11</td> <td>DESIGN</td> <td></td> <td></td> <td></td> </tr> <tr> <td>PROP. STORMWATER: SWD</td> <td>19.07.11</td> <td>ENG.PLAN</td> <td></td> <td></td> <td></td> </tr> <tr> <td>PM 40865 (ORIGIN)</td> <td>01.03.11</td> <td>SURVEY</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>			TYPE	DATE	REF.	TYPE	DATE	REF.	PROP. WATER: DN100 Water	21.07.11	DESIGN				PROP. STORMWATER: SWD	19.07.11	ENG.PLAN				PM 40865 (ORIGIN)	01.03.11	SURVEY				WORK AS CONSTRUCTED CERTIFICATION DEVELOPER WATER SERVICE CO-ORDINATOR CONSTRUCTOR COMPLETED DESIGNER I CERTIFY THAT THE WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE WORK AS CONSTRUCTED DRAWINGS.			PIPE SCHEDULE <table border="1"> <thead> <tr> <th>SIZE ON</th> <th>TYPE</th> <th>CLASS</th> <th>LENGTH</th> <th>PIPE JOINING METHOD / NOTES</th> </tr> </thead> <tbody> <tr> <td>150</td> <td>U.P.V.C.</td> <td>SN8</td> <td>1061.08</td> <td rowspan="2">SOLVENT WELDED</td> </tr> <tr> <td>100</td> <td>U.P.V.C.</td> <td>SN10</td> <td>124.70</td> </tr> </tbody> </table> NO BOUNDARY TRAPS REQUIRED - SEE NOTE 21.			SIZE ON	TYPE	CLASS	LENGTH	PIPE JOINING METHOD / NOTES	150	U.P.V.C.	SN8	1061.08	SOLVENT WELDED	100	U.P.V.C.	SN10	124.70	AUSTRALIAN HEIGHT DATUM SCALES PLAN : 1:500 . SECTION { HOR. : 1:500 . VERT. : 1:125 . CROSS SECTIONS NATURAL LENGTHS, DEPTHS & LEVELS ARE IN METRES.			NO AMENDMENTS ARE TO BE MADE TO THIS PLAN WITHOUT REFERENCE TO SYDNEY WATER. THIS PLAN IS NOT NECESSARILY UP TO DATE OR CORRECT AND SYDNEY WATER ACCEPTS NO RESPONSIBILITY. U.B. DIRECTORY 163 : H687 (45th Ed.) SHEET . 1 . OF . 6 . File No. N/A		
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PLAN DRAWN DATE: 10.03.14 VERSION: E SHEET 1 OF 6 SHEETS



EXISTING COMMONWEALTH LINE WILL BE DISUSED ONCE SEWER PUMPING STATION CURRENTLY BEING BUILT UNDER CN 124631WW IS COMPLETED AND COMMISSIONED



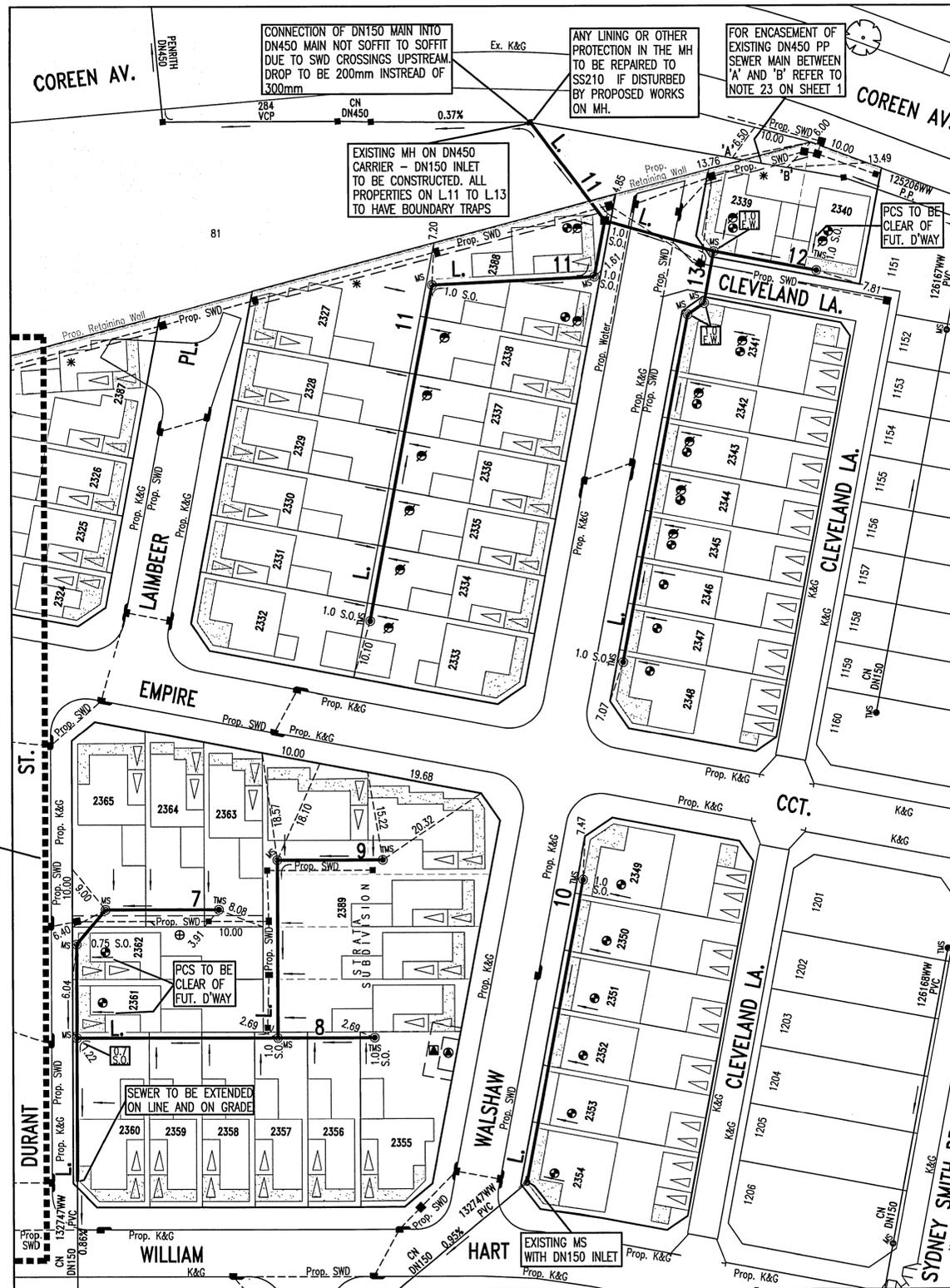
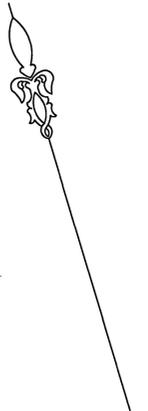
- PROPOSED BUILDING RESTRICTION ZONE 3 FROM SUBSTATION PLINTH
- PROPOSED PADMONT SUBSTATION 5.5 x 2.75
- ⊕ PROPOSED DRAINAGE EASEMENT 2.0 WIDE
- * PROPOSED DRAINAGE EASEMENT 2.35 WIDE
- ⊗ PROPOSED DRAINAGE EASEMENT 2.85 WIDE

Continued on Sheet 3

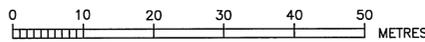
Gaichek Pty Ltd
IN ACCORDANCE WITH
PLAN 132748 WW S
DATE 10.03.14

NUMBER	AMENDMENT	INITIAL	DATE
A	FIRST ISSUE	F.J.	20.04.13
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WORK AS CONSTRUCTED CERTIFICATION		Sydney WATER	
DEVELOPER	Case No. 132748WW	SHT 2 OF 6 SHTS.
W.S.C.		
CONSTRUCTOR		
COMPLETED		
W.A.C. PREPARED		
DESIGNER		
I CERTIFY THAT THE WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE WORK AS CONSTRUCTED DRAWINGS		SYDNEY WATER CORPORATION FOR DETAILS OF SERVICES SEE SHEET 1	



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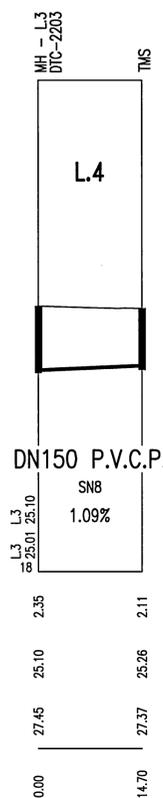
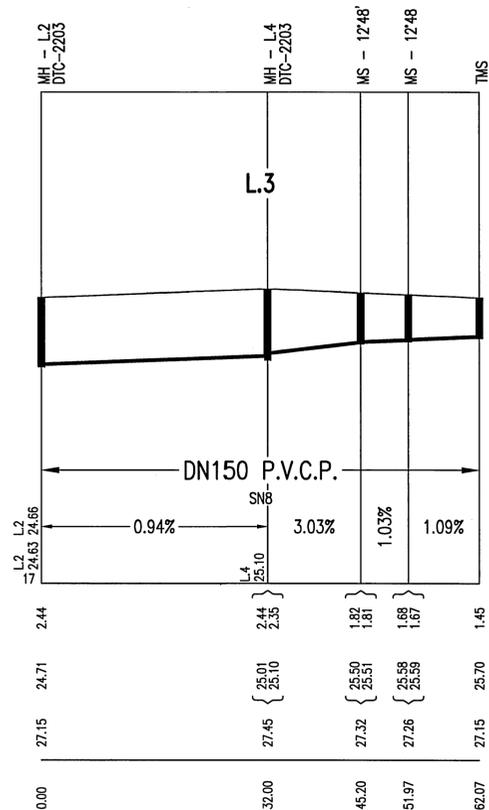
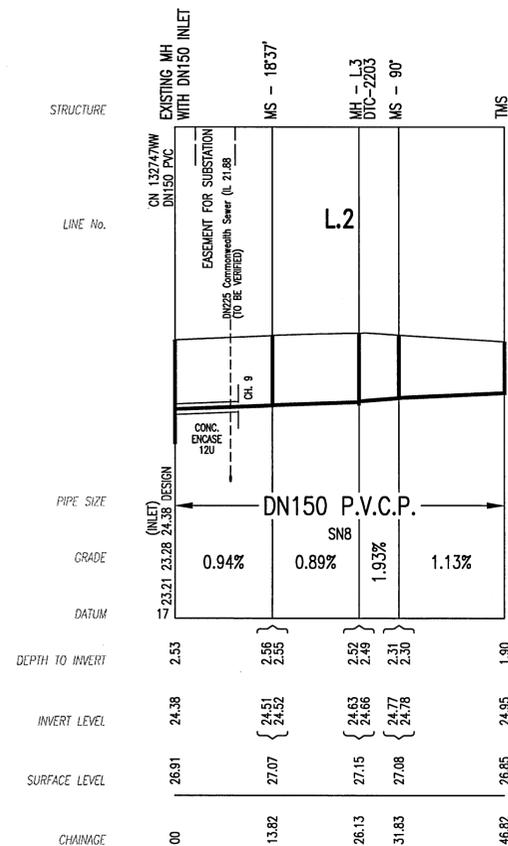
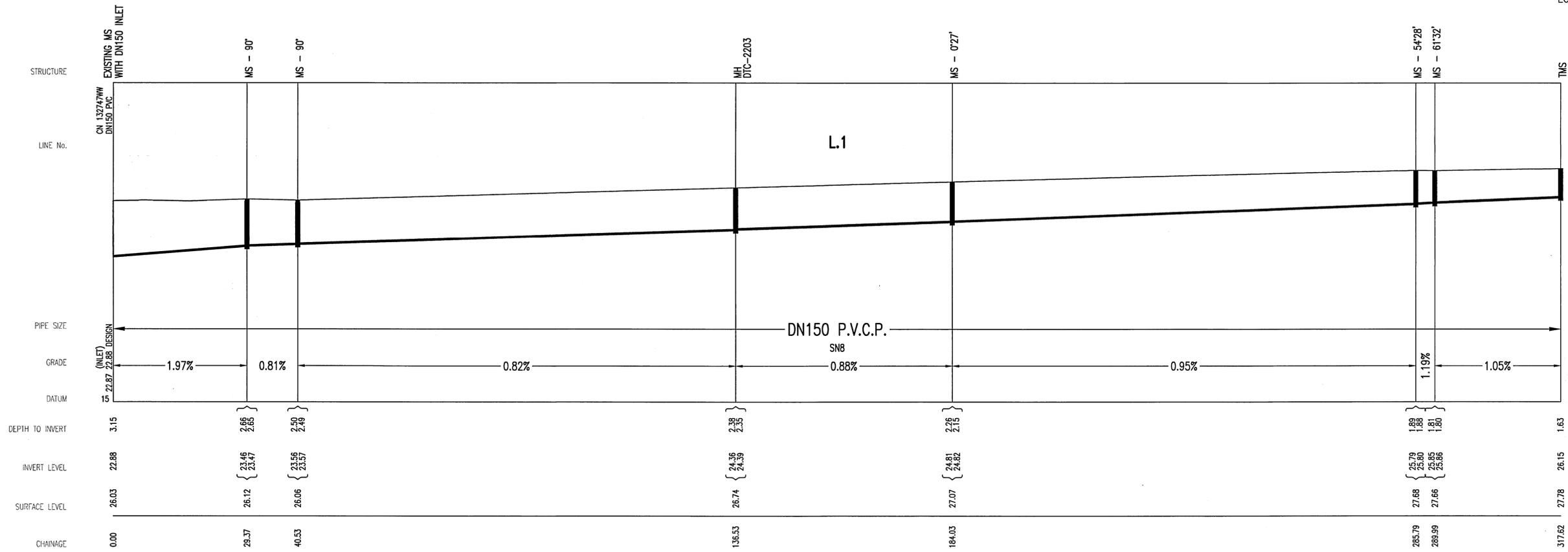
Continuation from sheet 2

Qaichek Pty Ltd
FOR CONSTRUCTION
 IN ACCORDANCE WITH
 PLAN 132748WW ISSUE 3
 DATE 18/3/14

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WORK AS CONSTRUCTED CERTIFICATION		Sydney WATER SYDNEY WATER CORPORATION	
DEVELOPER	Case No. 132748WW	SHT 3 OF 6 SHTS.
W.S.C.		
CONSTRUCTOR		
COMPLETED		
W.A.C. PREPARED		
DESIGNER	SYDNEY WATER CORPORATION	
I CERTIFY THAT THE WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE WORK AS CONSTRUCTED DRAWINGS		FOR DETAILS OF SERVICES SEE SHEET 1	

PLAN DRAWN DATE: 10.03.14 VERSION: E SHEET 3 OF 6 SHEETS



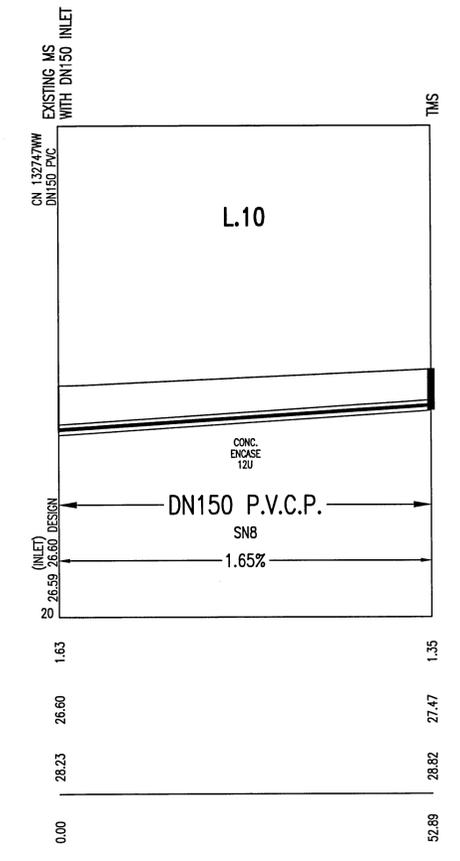
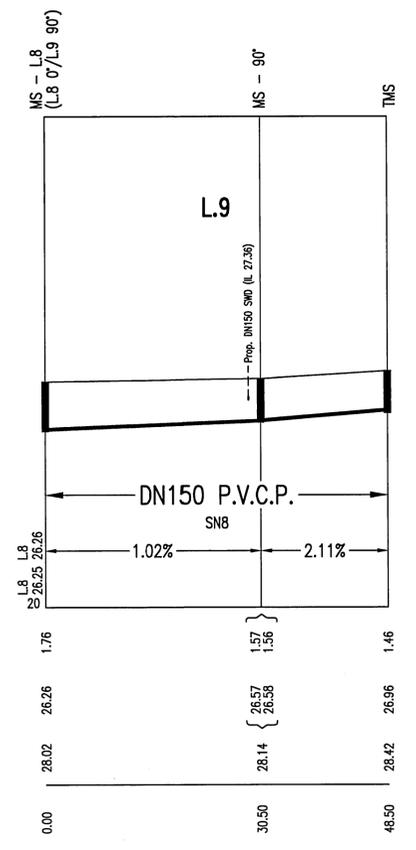
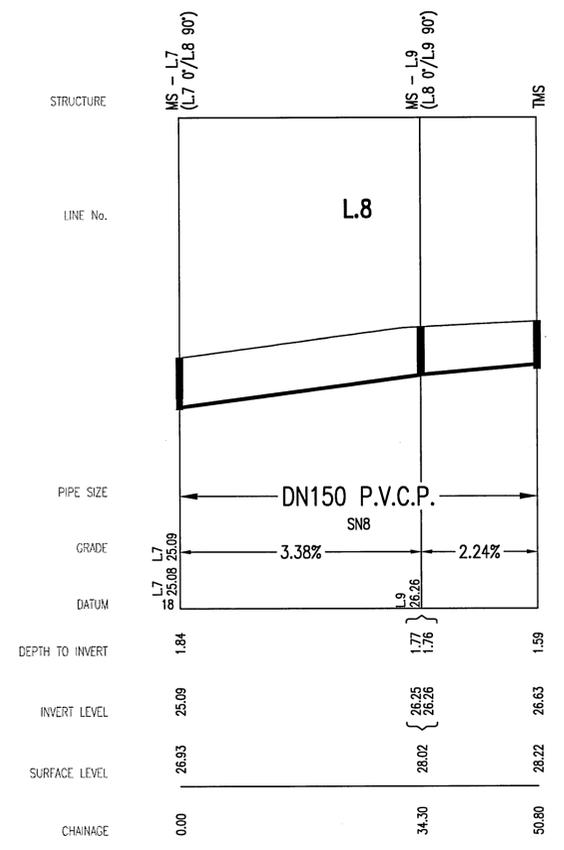
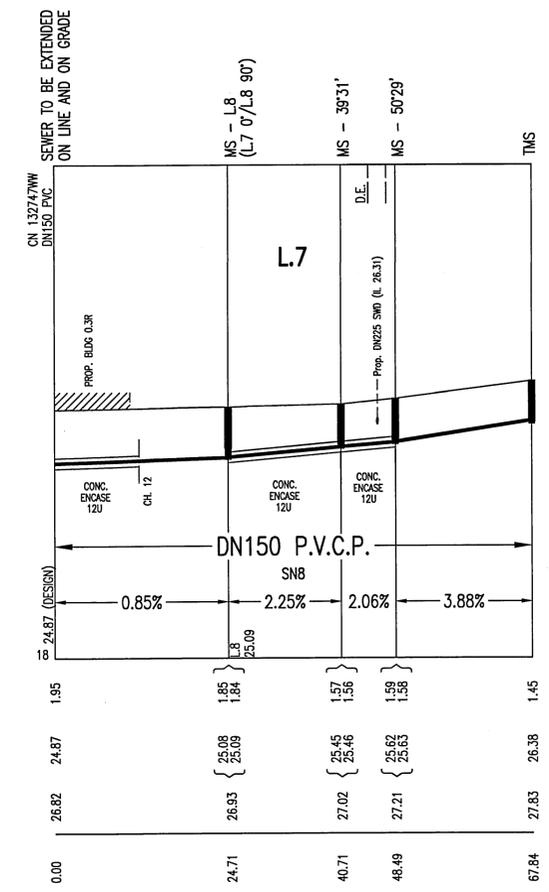
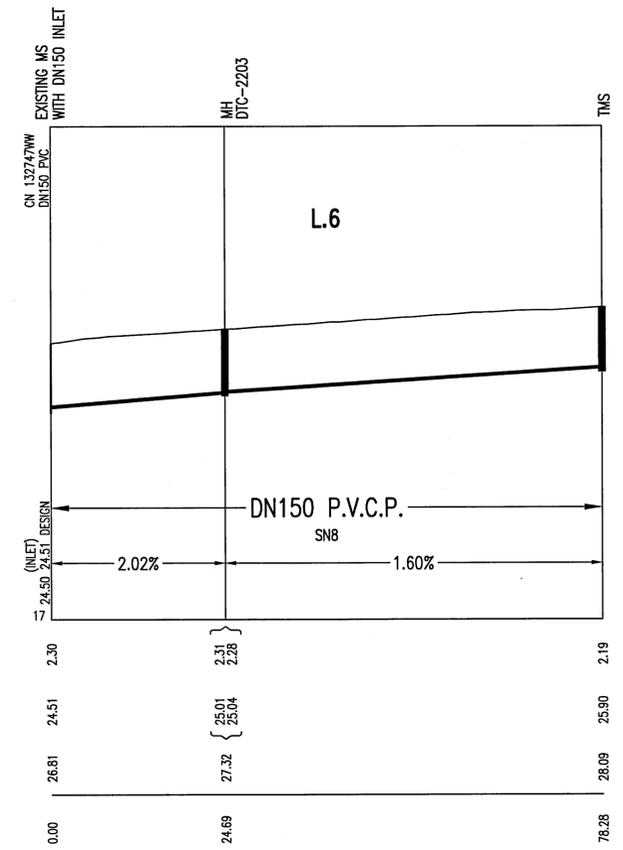
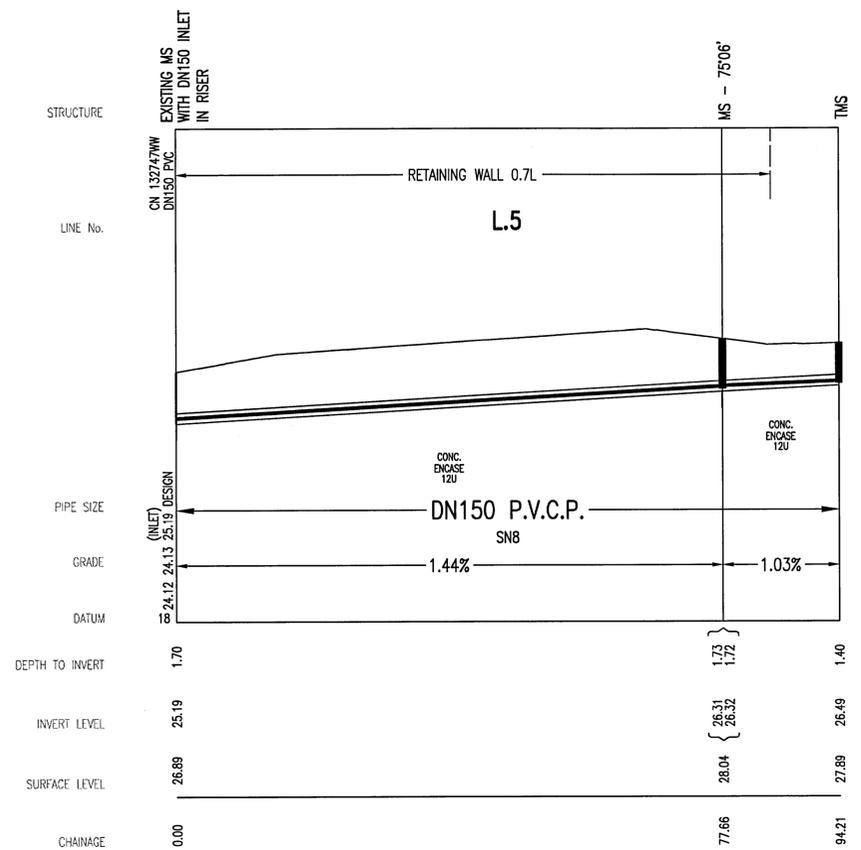
NOTE:
FOR PROPOSED SURFACE LEVELS REFER TO NOTE 3 ON SHEET 1

Galchek Pty Ltd
FOR CONSTRUCTION
IN ACCORDANCE WITH
PLAN 132748WW SHEET 6
DATE 18/3/14

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WORK AS CONSTRUCTED CERTIFICATION		Sydney WATER SYDNEY WATER CORPORATION	
DEVELOPER	Case No. 132748WW	SHT 4 OF 6 SHTS.
W.S.C.		
CONSTRUCTOR		
COMPLETED		
W.A.C. PREPARED		
DESIGNER	SYDNEY WATER CORPORATION	
I CERTIFY THAT THE WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE WORK AS CONSTRUCTED DRAWINGS		FOR DETAILS OF SERVICES SEE SHEET 1	

PLAN DRAWN DATE: 10.03.14 VERSION: E SHEET 4 OF 6 SHEETS



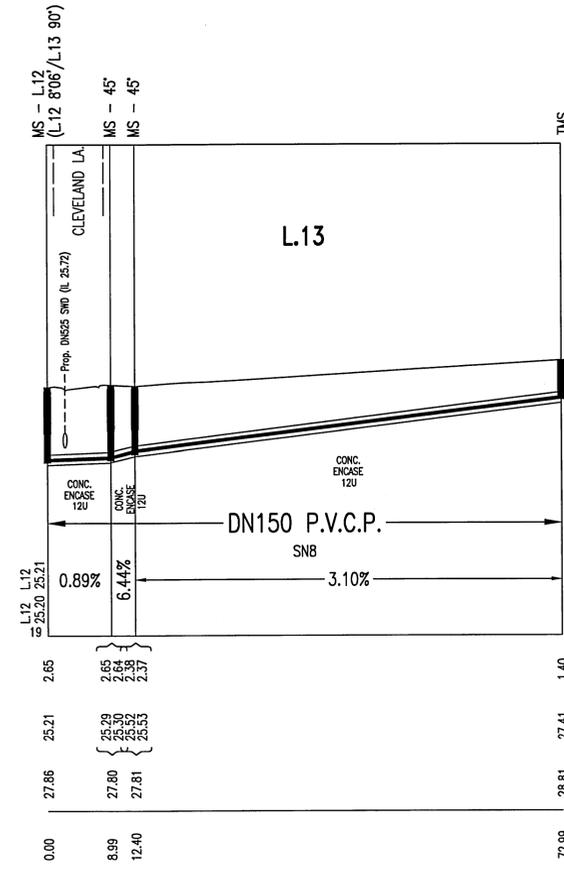
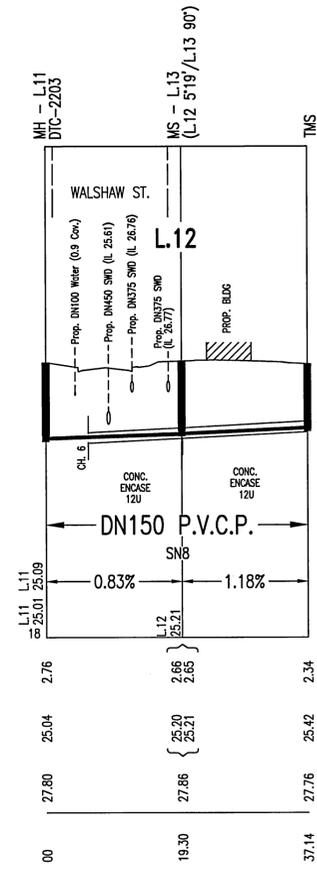
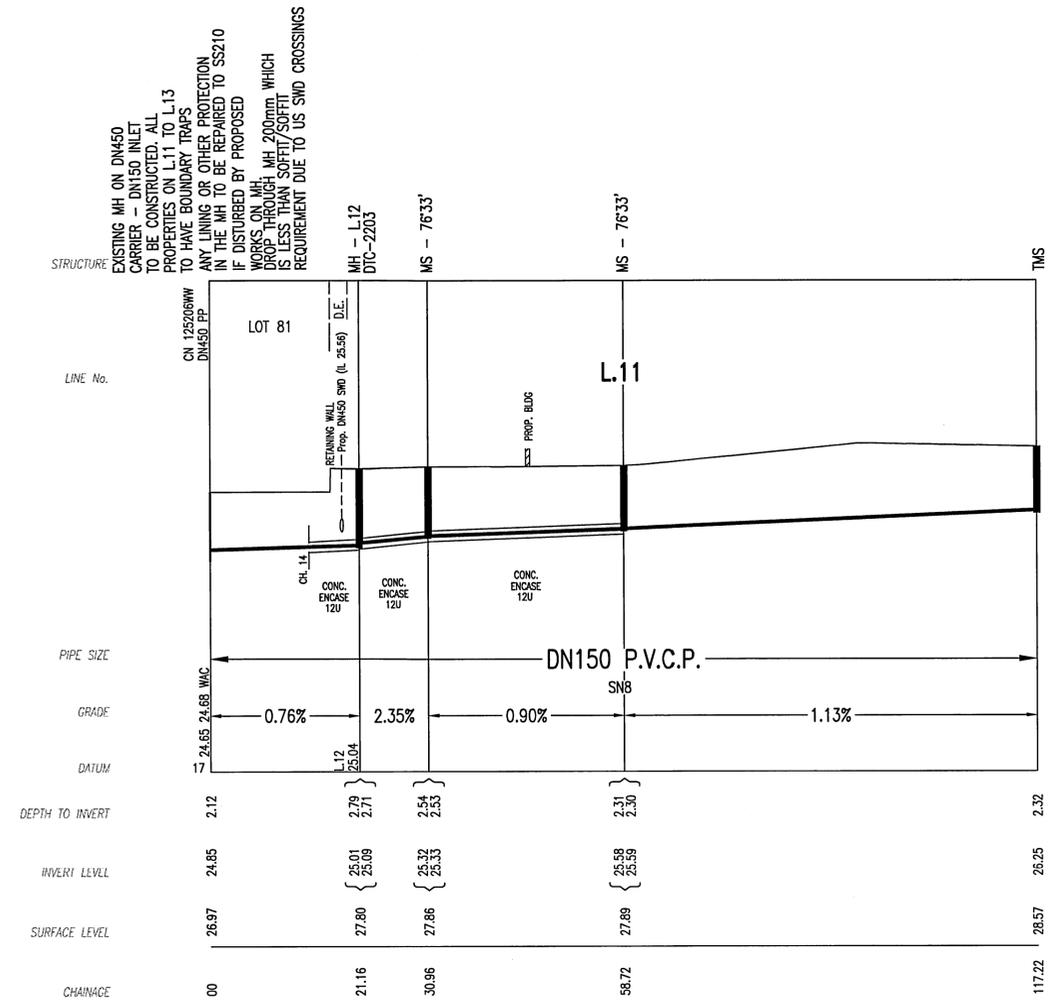
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IN ACCORDANCE WITH
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DEVELOPER	Case No. 132748WW	SHT 5 OF 6 SHTS.
W.S.C.		
CONSTRUCTOR		
COMPLETED		
W.A.C. PREPARED		
DESIGNER	SYDNEY WATER CORPORATION	
I CERTIFY THAT THE WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE WORK AS CONSTRUCTED DRAWINGS		FOR DETAILS OF SERVICES SEE SHEET 1	

PLAN DRAWN DATE: 10.03.14
VERSION: E
SHEET 1 OF 6 SHEETS

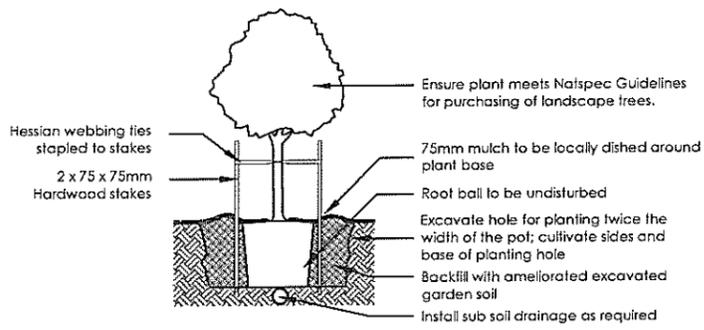


NOTE:
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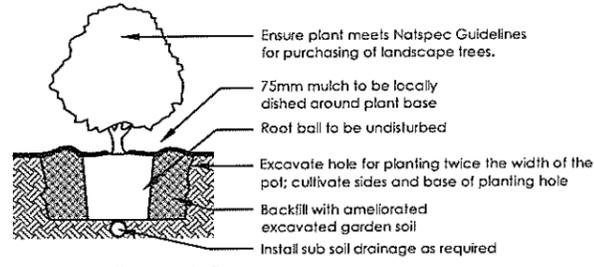
Galchek Pty Ltd
FOR CONSTRUCTION
IN ACCORDANCE WITH
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DATE 10/3/14

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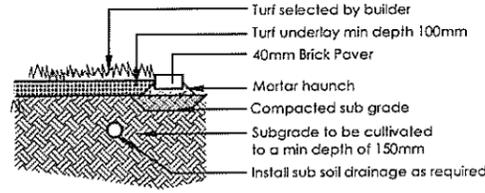
WORK AS CONSTRUCTED CERTIFICATION		SYDNEY WATER CORPORATION	
DEVELOPER	Sydney WATER	
W.S.C.	Case No. 132748WW SHT 6 OF 6 SHTS.	
CONSTRUCTOR		
COMPLETED		
W.A.C. PREPARED		
DESIGNER	SYDNEY WATER CORPORATION	
I CERTIFY THAT THE WORKS HAVE BEEN CONSTRUCTED IN ACCORDANCE WITH THE WORK AS CONSTRUCTED DRAWINGS		FOR DETAILS OF SERVICES SEE SHEET 1	



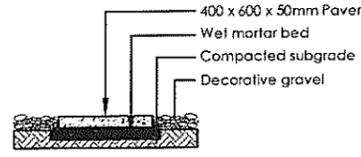
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NTS 25L - 100L Pot Size



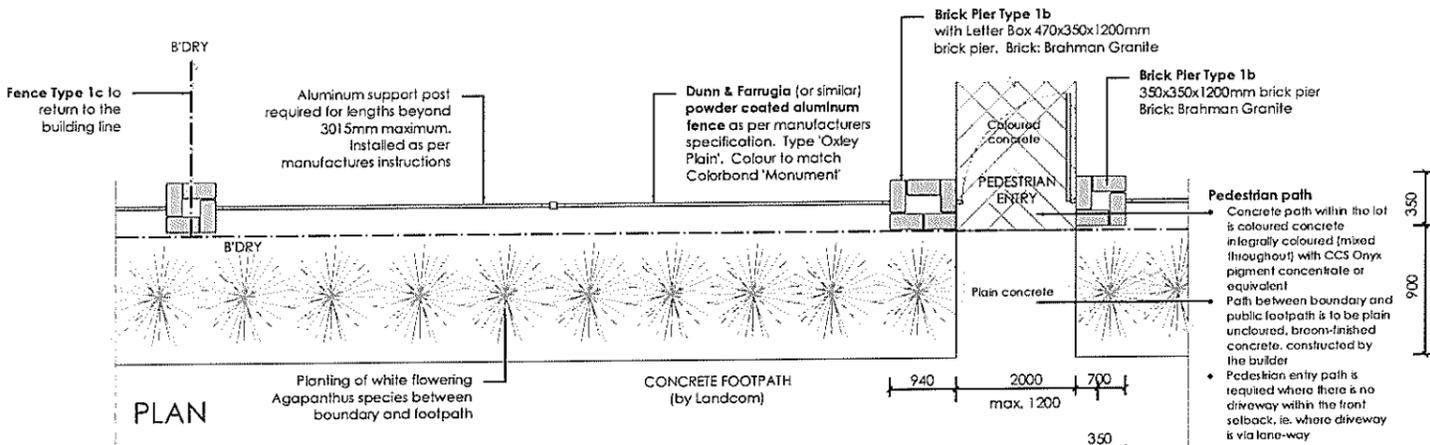
2 Planting Detail
NTS 150mm, 200mm Pot Size



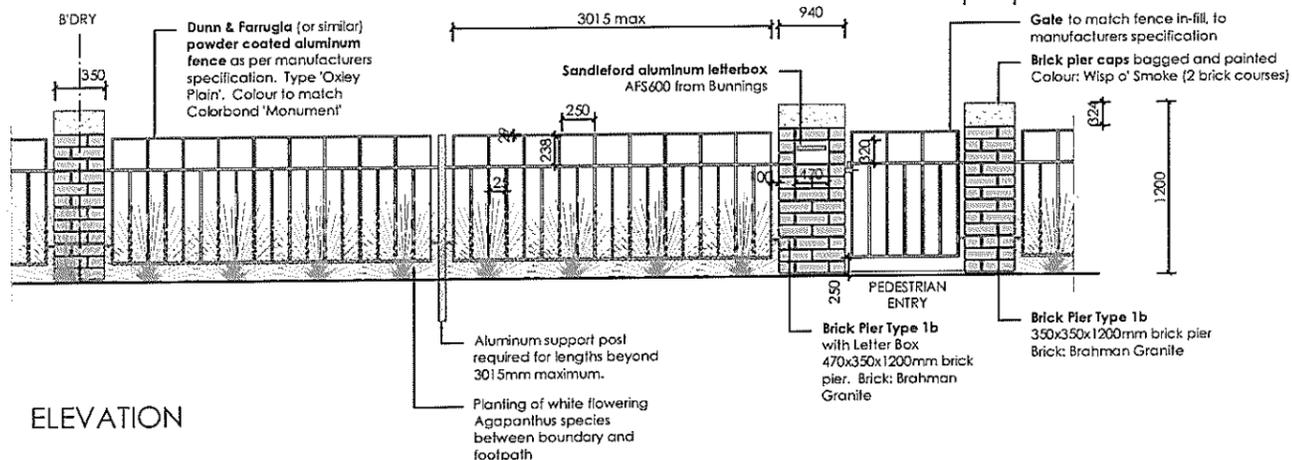
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone

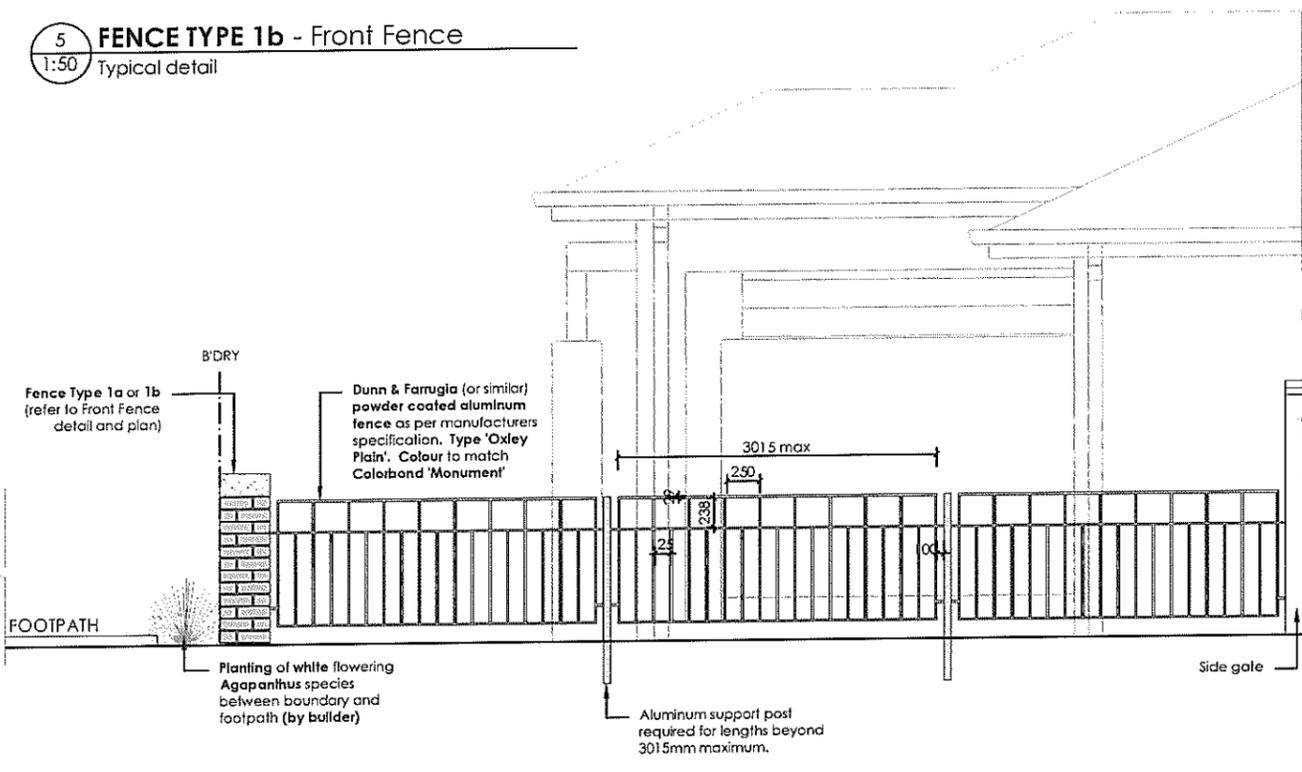


PLAN



ELEVATION

5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DATE	BY	CHECKED
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	22-09-14	RS	MD
B	AMENDMENTS TO CLIENT MARK UP	25-09-14	RS	RS
C	AMENDMENTS TO CLIENT MARK UP	31-09-14	RS	RS
D	AMENDMENTS TO LOTS 153 & 164 TO CLIENT MARK UP	01-09-14	RS	RS
E	CORRECT LOT NUMBER FOR LOT 153. ADD BED TO LOT 161 BED 2 AND RE-ISSUE	04-09-14	RS	RS
F	ISSUE DA PLANS FOR REVIEW	10-09-14	RS	RS

ecodesign
OUTDOOR KING ENTERTAINMENT

PO Box 8136, Bazilham Hill BC, NSW 2153
Ph: 02 9609 7712 Fax: 02 9609 7705
Email: info@ecodesign.com.au
Web: www.ecodesign.com.au

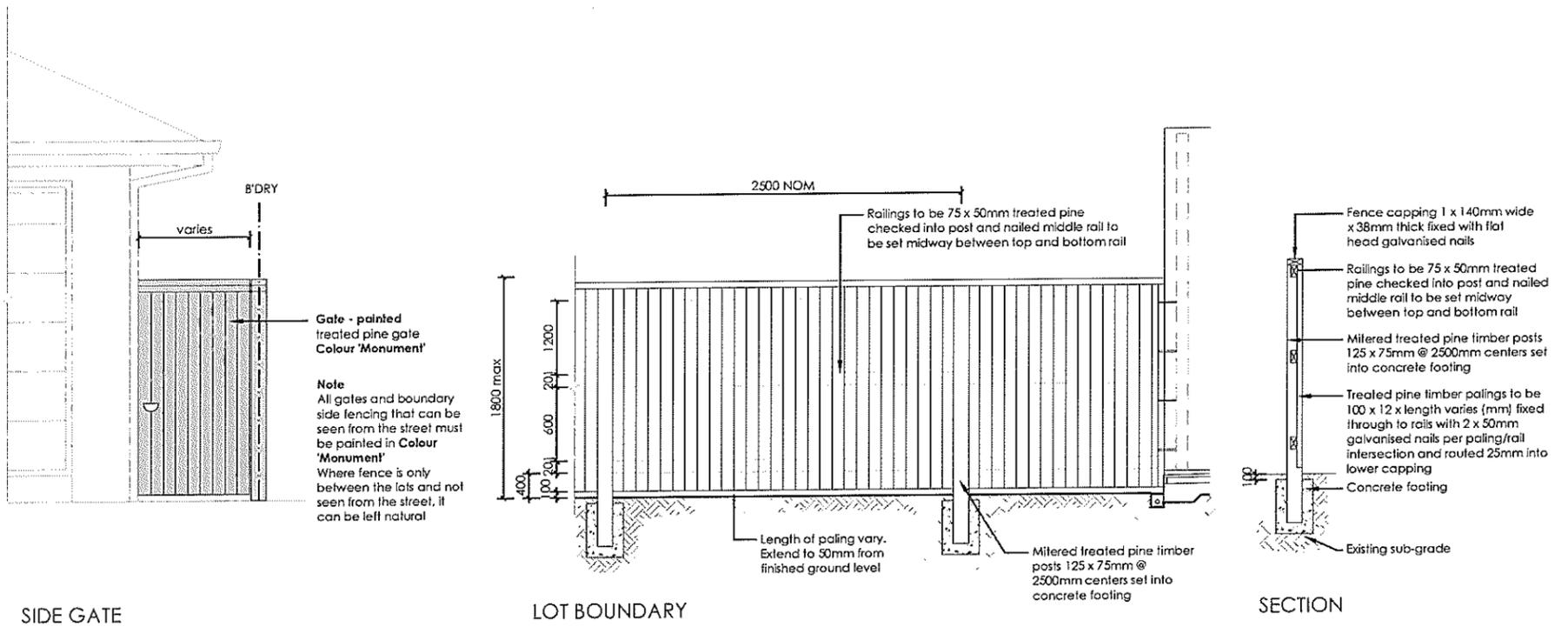
1. Do not scale from drawings
2. Verify all measurements on site
3. Verify ecode sign of any inconsistencies
4. Copyright © ecodesign. All rights reserved
5. Drawing remains the property of ecodesign

6. All work to comply with relevant Australian Standards or Building Code of Australia
7. All work to be performed by a suitably qualified tradesperson
8. For application purposes only - NOT FOR CONSTRUCTION

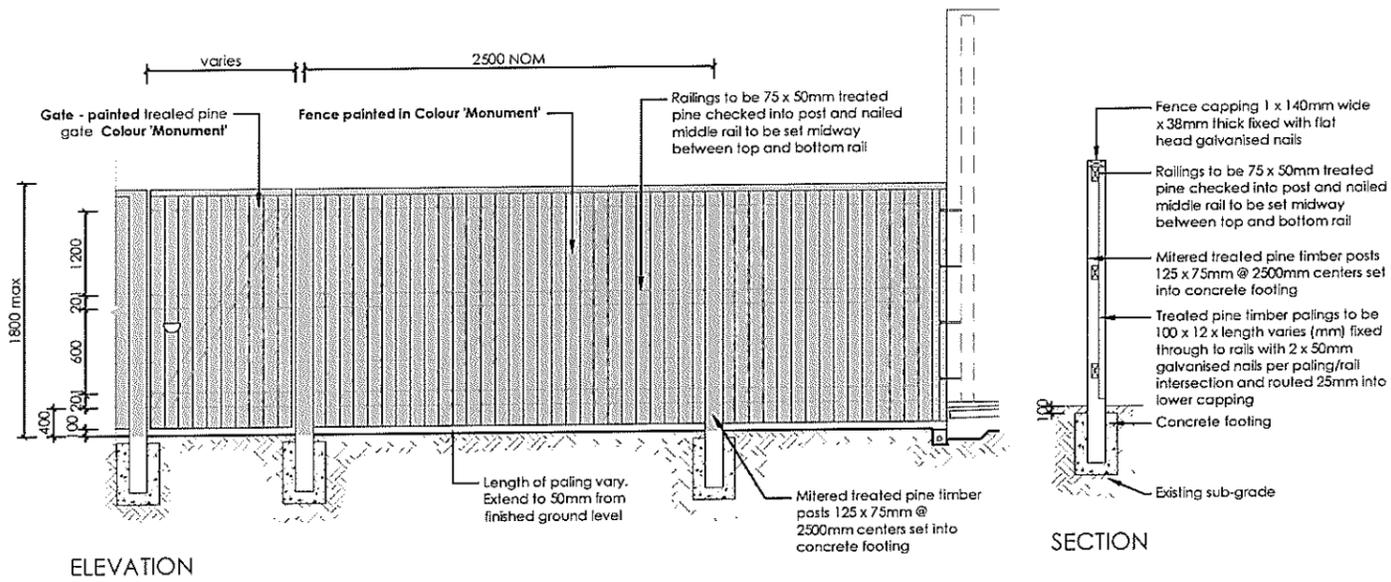
THORNTON FENCING + PLANTING DETAILS

FIRSTYLE HOMES

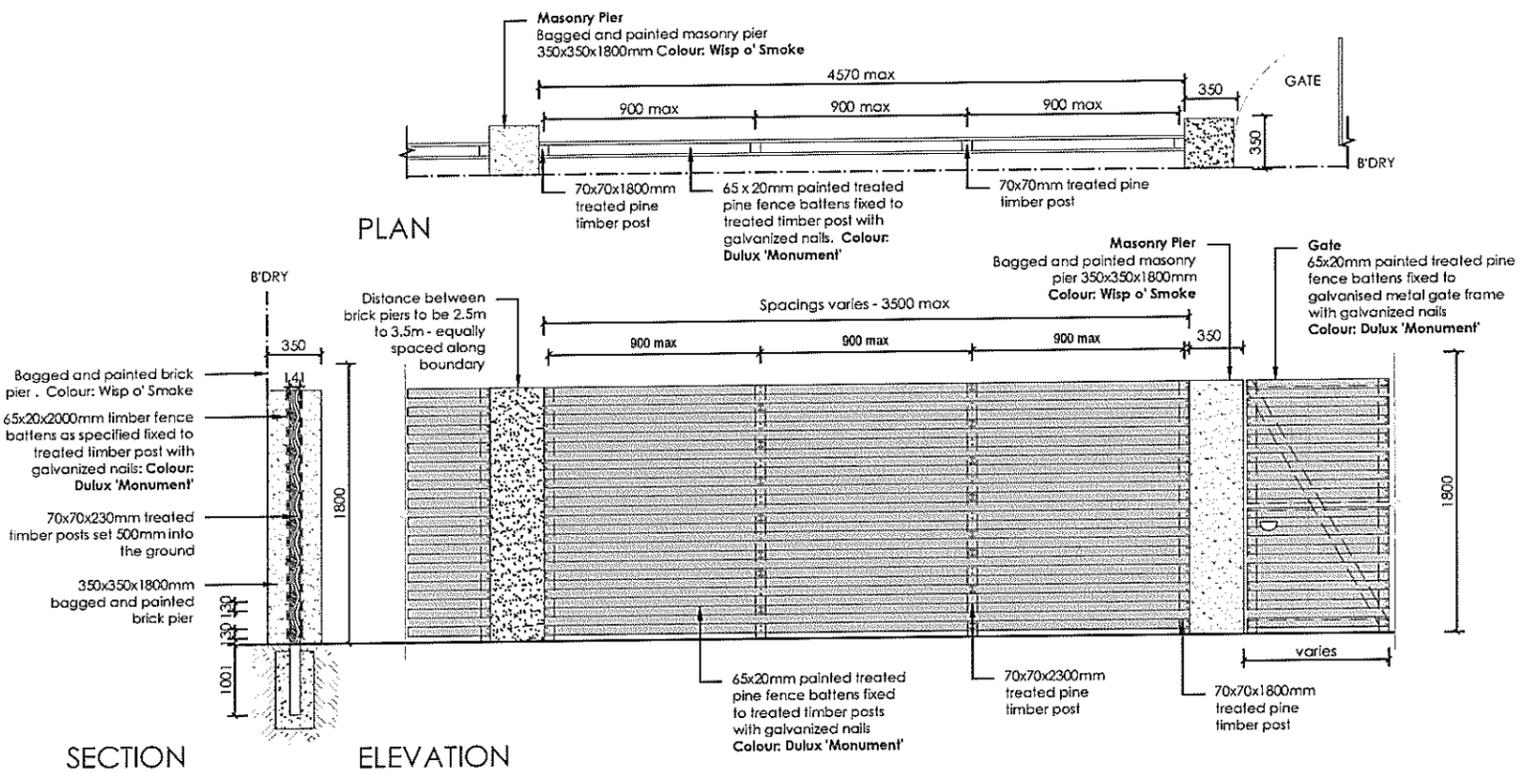
NEW RESIDENCE			
DETAILS			
SCALE	DATE	PROJECT	REVISION
1:100 @ A3	DA	L-02	
DATE	BY	DATE	REVISION
RS	RS	10-09-14	F



7 FENCE TYPE 4a - Side Boundaries
1:50 Typical detail

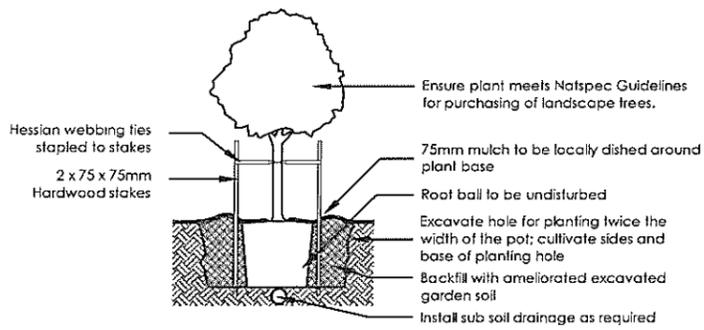


8 FENCE TYPE 4b - Rear Boundary
1:50 All Laneways (except Barlett Lane)
Typical detail

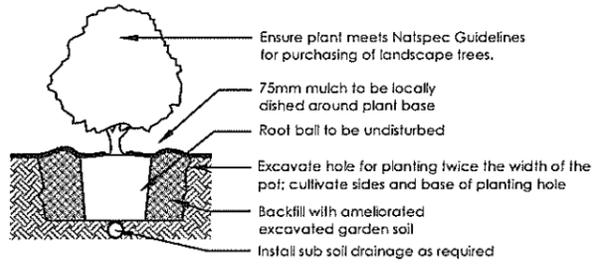


9 FENCE TYPE 2a - Secondary Street Fencing
1:50 Typical detail

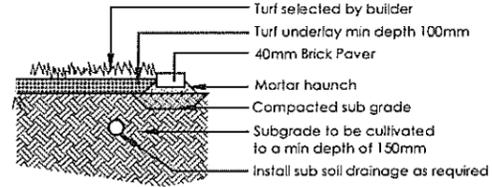
ecodesign outdoor living environments PO Box 8136, Baulkham Hills BC, NSW 2153 Ph: 623 9699 7712 Fax: 623 9699 7705 Email: info@ecodesign.com.au Web: www.ecodesign.com.au				THORNTON FENCING + PLANTING DETAILS				NEW RESIDENCE			
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FIRSTYLE HOMES				1:100 @ A3				L-03			
A ISSUE COLOUR PLANS FOR CLIENT REVIEW B AMENDMENTS TO CLIENT MARK UP C AMENDMENTS TO CLIENT MARK UP D AMENDMENTS TO LOTS 153 & 164 TO CLIENT MARK UP E CORRECT LOT NUMBER FOR LOT 153, ADD BED TO LOT 164 F BED 2 AND RE-ISSUE G ISSUE DA PLANS FOR REVIEW				RS MD 22-08-14 RS RS 25-08-14 RS RS 31-09-14 RS RS 01-09-14 RS RS 04-09-14				RS DA 10-09-14 RS RS 10-09-14			



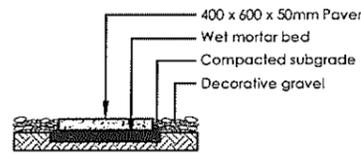
1 Tree Planting Detail
NTS 25L - 100L Pot Size



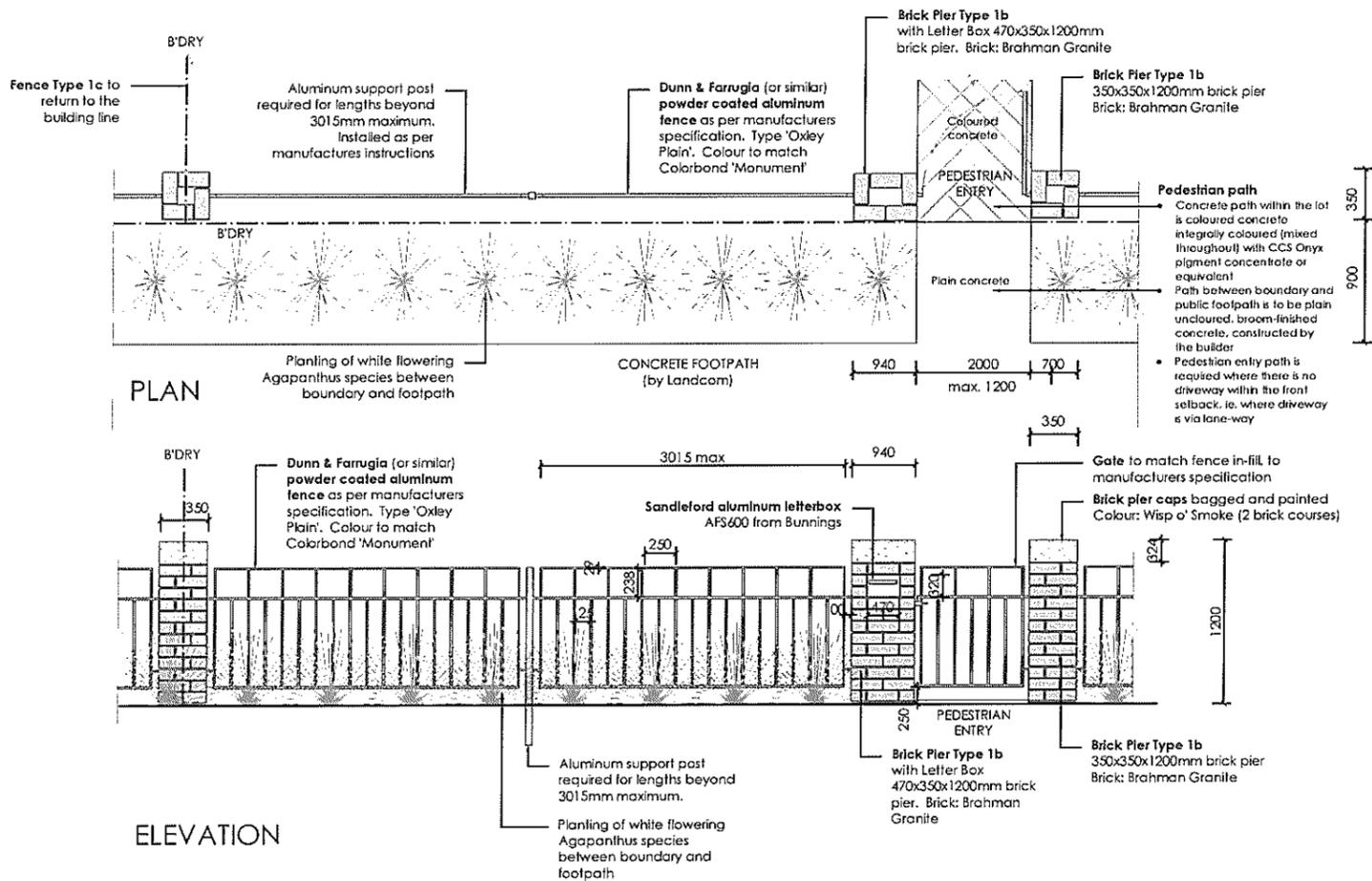
2 Planting Detail
NTS 150mm, 200mm Pot Size



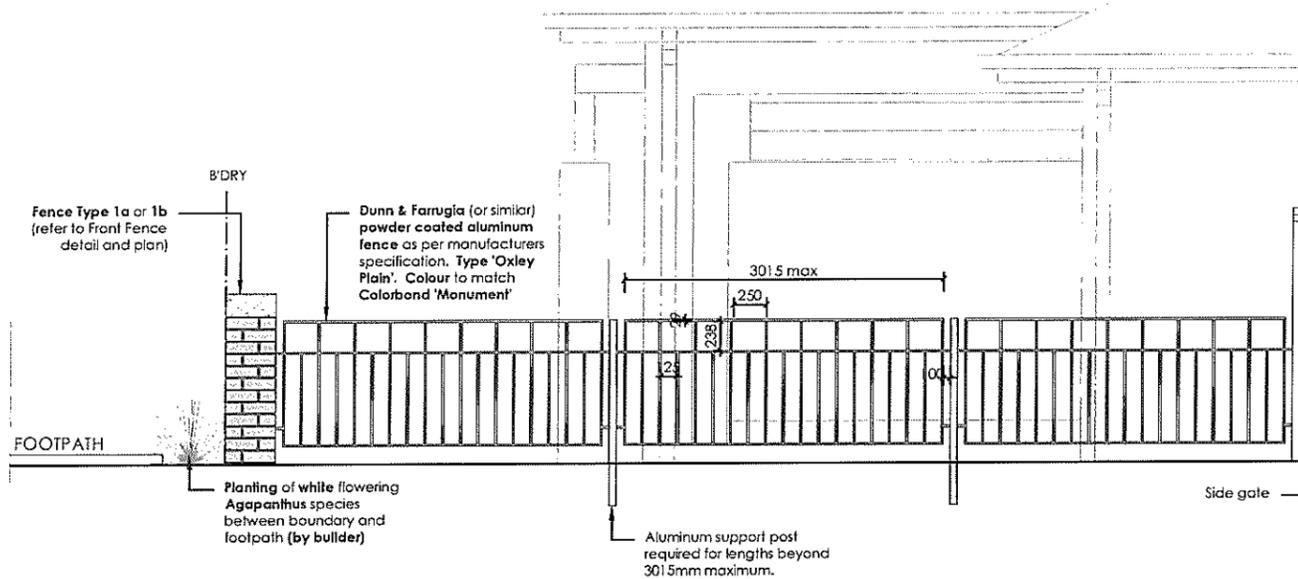
3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone



5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	ISSUE	DATE
A	ISSUE COLOUR PLANS FOR CLIENT REVIEW	22-09-14
B	AMENDMENTS TO CLIENT MARK UP	25-09-14
C	AMENDMENTS TO CLIENT MARK UP	31-09-14
D	AMENDMENTS TO LOTS 153 & 164 TO CLIENT MARK UP	01-09-14
E	CORRECT LOT NUMBER FOR LOT 153, ADD BED TO LOT 161	04-09-14
F	BED 2 AND RE-ISSUE	
	ISSUE DA PLANS FOR REVIEW	10-09-14

design
outdoor living environments

PO Box 8136, Southport QLD 4215
Ph: (07) 9600 7712 Fax: (07) 9600 7705
Email: info@ecdesign.com.au
Web: www.ecdesign.com.au

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THORNTON FENCING + PLANTING DETAILS

CLIENT: **FIRSTYLE HOMES**

NEW RESIDENCE

DETAILS

SCALE: 1:100 @ A3
DATE: 10-09-14
DRAWN: RS
CHECKED: RS
PROJECT: DA
SHEET: L-02
REVISION: F

- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A. RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
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- ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
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LOTS 152 - 165, HUDSON STREET NORTH PENRITH

NOTE:
 ALL COMPONENTS SUCH AS: APPLIANCES;
 PLUMBING FITTINGS & FIXTURES; DOORS;
 CABINETS; HANDLES; PC ITEMS; ARE SHOWN
 ON THE PLANS & ELEVATIONS FOR
 ILLUSTRATION PURPOSES ONLY & TO
 COMMUNICATE APPROX SIZES. PLEASE REFER
 TO YOUR SPECIFICATIONS FOR YOUR RELEVANT
 INCLUSIONS.

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
**PROPOSED LOTS 152- 165
 HUDSON STREET, PENRITH NSW 2750**

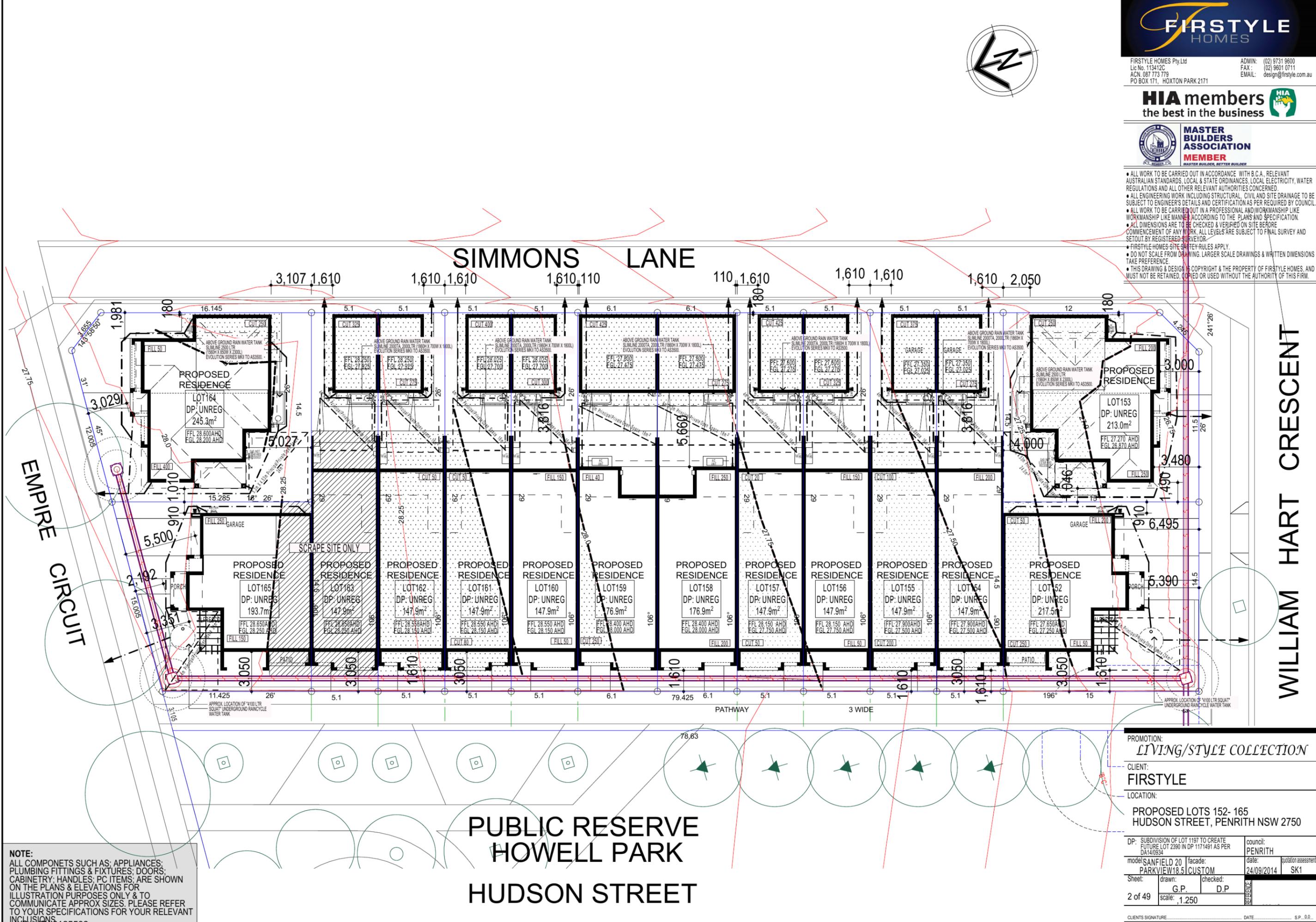
DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
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model: SANFIELD 20	facade: PARKVIEW18.5	date: 24/09/2014	quotation assessment: SK1
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Sheet: 1 of 49	drawn: G.P.	checked: D.P.	scale: N.T.S.
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CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

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PROMOTION: LIVING/STYLE COLLECTION	
CLIENT: FIRSTSTYLE	
LOCATION: PROPOSED LOTS 152- 165 HUDSON STREET, PENRITH NSW 2750	
DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: SANFIELD 20	facade: PARKVIEW18.5 CUSTOM
date: 24/09/2014	valuation assessment: SK1
Sheet: 2 of 49	drawn: G.P.
checked: D.P.	scale: 1:250
CLIENTS SIGNATURE:	DATE:
	S.P. 0.0.

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BASIX LOT 152	BASIX LOTS 154-155
= 95.89m ² of roof area to discharge to water tank. = stormwater and overflow to discharge to existing street channel. o/a= 95.89m ² of roof area.	= 77.75m ² of roof area to discharge to water tank. = stormwater and overflow to discharge to existing street channel. o/a= 99.47m ² of roof area.
LEGEND:	LEGEND:
○ = SURFACE INLETS AS REQUIRED ○ = SURFACE INLETS LINE — = STORMWATER LINE	○ = SURFACE INLETS AS REQUIRED ○ = SURFACE INLETS LINE — = STORMWATER LINE
LOT 152	LOTS 154 & 155
EARTHWORKS TO AHD	EARTHWORKS TO AHD
HOUSE: FFL: R.L: 27.650 (LIVING) FGL: R.L: 27.750 GARAGE: FFL: R.L: 27.480	HOUSE: FFL: R.L: 27.900 (LIVING) FGL: R.L: 27.500 GARAGE: FFL: R.L: 27.350 FGL: R.L: 27.025

NOTE:
REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

GENERAL DRAINAGE NOTES

1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
 2. Stormwater pipes to be 100mm DIA.(Min) at 1 deg. Grade (Min) to AS3500
 3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
 4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
 5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.
- note:
r.l. levels indicative to a building tolerance of +/- 90mm.
- NOTE:
EAVES O/H TO ENCROACH AS ALLOWED BY B.C.A:CL3.7.1.7 & FIGURE 3.7.1.9

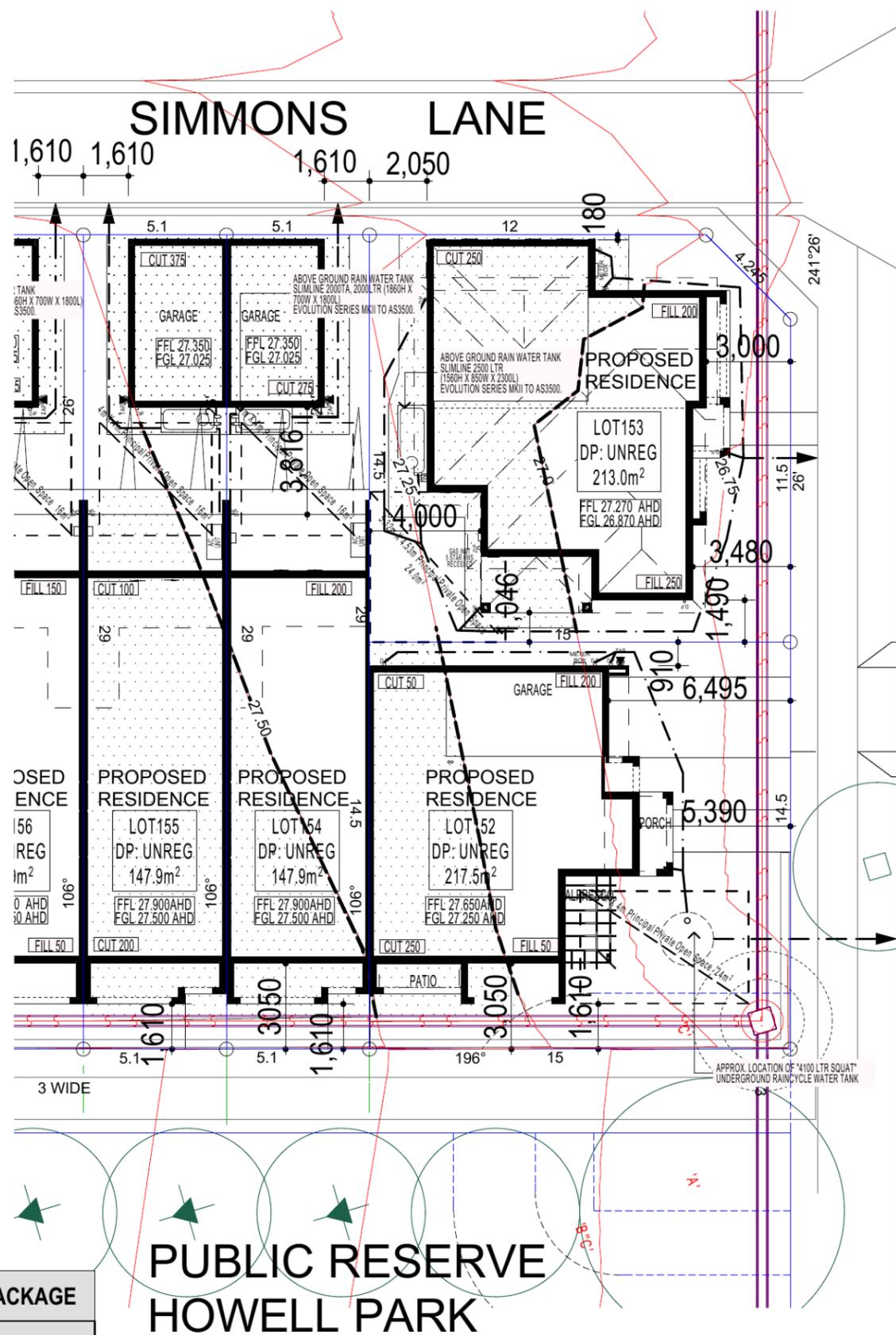
NOTE:
PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
PLEASE REFER TO "ECO DESIGN" LANDSCAPE PLANS ISSUE: 'F' DATED 10.09.14

NOTE:
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FIBRE OPTIC WIRING PACKAGE

NOTE
AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
3-PHASE POWER



SITE PLAN & STORMWATER CONCEPT PLAN

WILLIAM HART CRESCENT

DEVELOPMENT CALCULATIONS

LOT: 155 NO: 00 OF SITE AREA: 147.90m²

Itemised Floor Areas:	Totals:
living ground floor:	71.35m ²
first floor: (excl. void 52.68m ²)	56.09m ²
garage: (excess 00.000m ²)	20.79m ²
alfresco:	10.37m ²
porch:	6.75m ²
balcony:	5.74m ²
total floor area:	171.09m²

SITE AREA COVERAGE/LANDSCAPE:	
house ground floor:	71.35m ²
garage:	20.79m ²
porch/alfresco:	17.12m ²
driveway/paved area:	4.11m ²
site coverage Area:	109.26m ² (73.87%)
landscape area:	38.64m ² (26.13%)
pervious areas (soft)	34.53m ² (23.34%)
impervious areas (hard)	113.37m ² (80.46%)
private open space o/a:	29.69m ²
principal private open space:	16.0m ²
total car space incl. carstand:	1 carspace

DEVELOPMENT CALCULATIONS

LOT: 154 NO: 00 OF SITE AREA: 147.90m²

Itemised Floor Areas:	Totals:
living ground floor:	71.35m ²
first floor: (excl. void 52.68m ²)	56.09m ²
garage: (excess 00.000m ²)	20.79m ²
alfresco:	10.37m ²
porch:	6.75m ²
balcony:	5.74m ²
total floor area:	171.09m²

SITE AREA COVERAGE/LANDSCAPE:	
house ground floor:	71.35m ²
garage:	20.79m ²
porch/alfresco:	17.12m ²
driveway/paved area:	4.11m ²
site coverage Area:	109.26m ² (73.87%)
landscape area:	38.64m ² (26.13%)
pervious areas (soft)	34.53m ² (23.34%)
impervious areas (hard)	113.37m ² (80.46%)
private open space o/a:	29.69m ²
principal private open space:	16.0m ²
total car space incl. carstand:	1 carspace

DEVELOPMENT CALCULATIONS

LOT: 152 NO: 00 OF SITE AREA: 217.52m²

Itemised Floor Areas:	Totals:
living ground floor:	69.88m ²
first floor: (excl. void 3.31m ²)	84.42m ²
garage: (excess 00.000m ²)	18.73m ²
alfresco/patio:	4.83m ² /3.77m ²
porch:	3.59m ²
balcony:	5.30m ²
total floor area:	190.52m²

SITE AREA COVERAGE/LANDSCAPE:	
house ground floor:	69.88m ²
garage:	18.73m ²
porch/alfresco/patio:	12.19m ²
driveway/paved area:	24.83m ²
site coverage Area:	100.80m ² (46.3%)
landscape area:	117.44m ² (54.0%)
pervious areas (soft)	92.61m ² (42.57%)
impervious areas (hard)	124.91m ² (57.42%)
private open space o/a:	70.29m ²
principal private open space:	24.0m ²
total car space incl. carstand:	2 carspace

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOTS 152,154,155
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: SANITIFIED 2011 facade: PARKVIEW 855 CUSTOM	date: 24/09/2014 quotation assessment: SK1
Sheet: 4 of 49	drawn: G.P. checked: D.P. scale: 1:200
	802-14 804-14 805-15

LOTS 152,154,155

KEY

-  FACE BRICK (AS SELECTED)
-  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  CEMINTEL(ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED)- 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

FIRSTSTYLE HOMES Pty.Ltd
Lic No. 113412C
ACN. 087 773 779
PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 9731 9600
FAX: (02) 9601 0711
EMAIL: design@firststyle.com.au

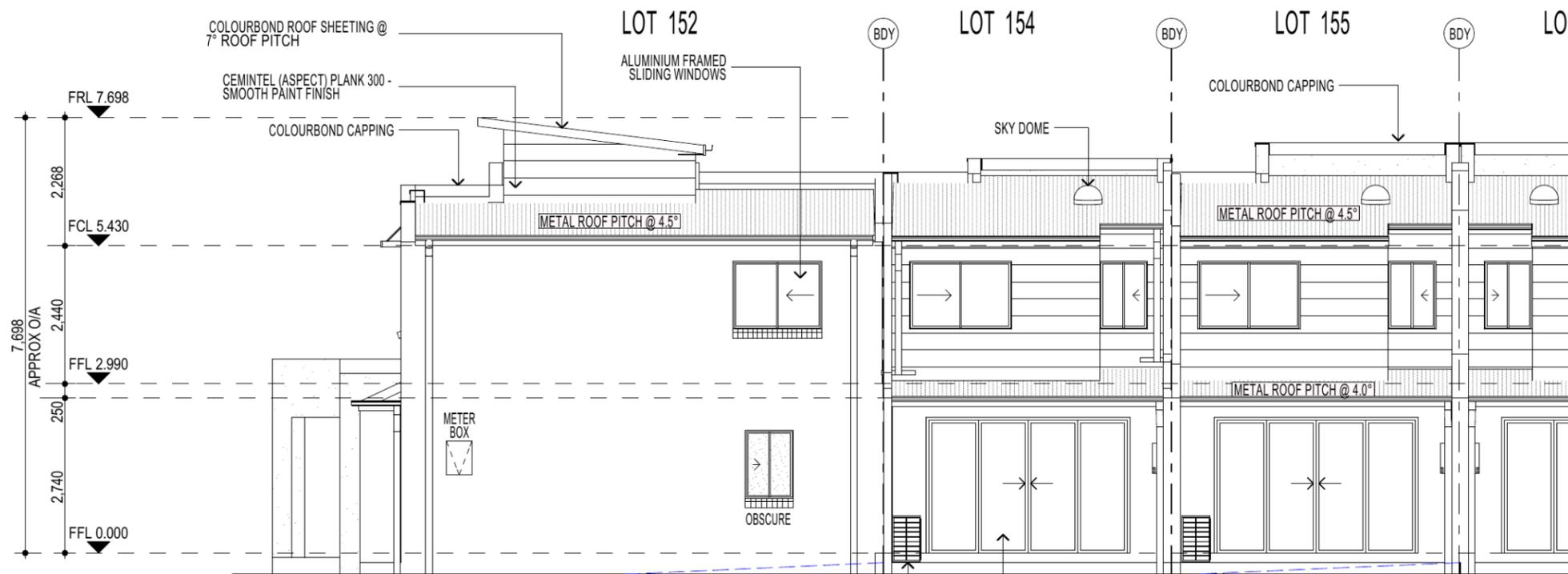
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ELEVATION A



ELEVATION C

NOTE
AIR CONDITIONING ONLY
(EER 2.5-3.0 OR GREATER)
3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD
TERMITE TREATMENT

NOTE:
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LANDSCAPE PLANS ISSUE: 'F' DATED
10.09.14

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INCLUSIONS.

LOTS 152,154,155

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOTS 152,154,155
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: SANFIELD 20	date: 24/09/2014
facade: PARKVIEW18.5	evaluation assessment: SK1
Sheet: 7 of 49	drawn: G.P.
checked: D.P.	scale: 1:100
	802-14
	804-14
	805-15

ELEVATIONS

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

KEY

	FACE BRICK (AS SELECTED)
	MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	CEMINTEL (ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED) - 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

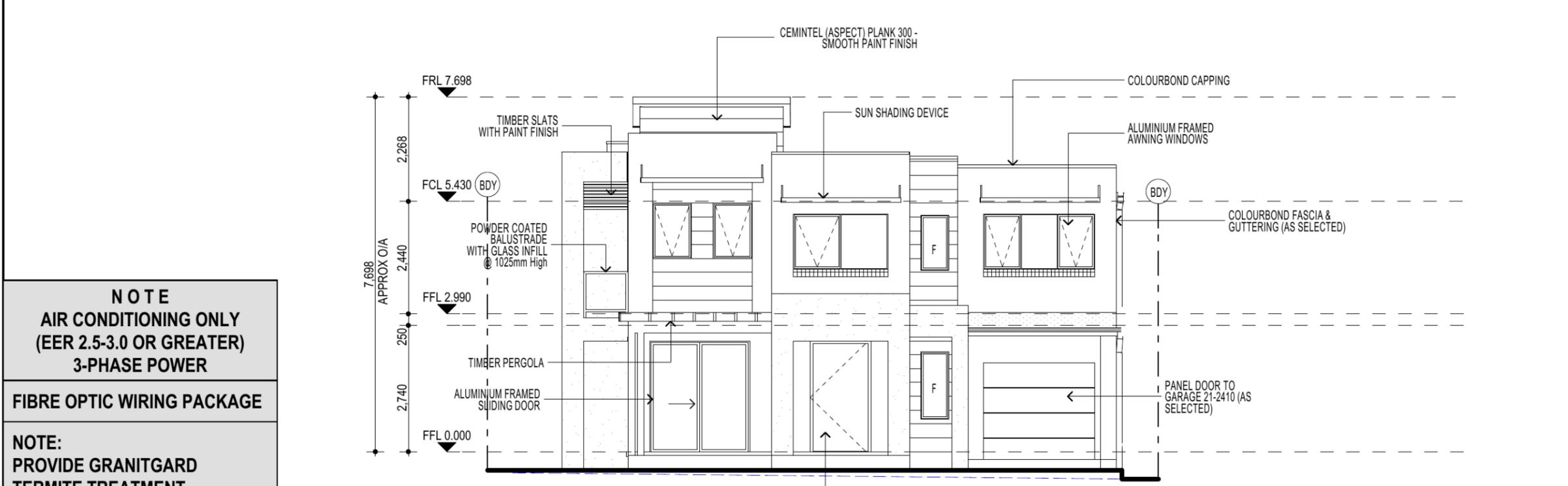
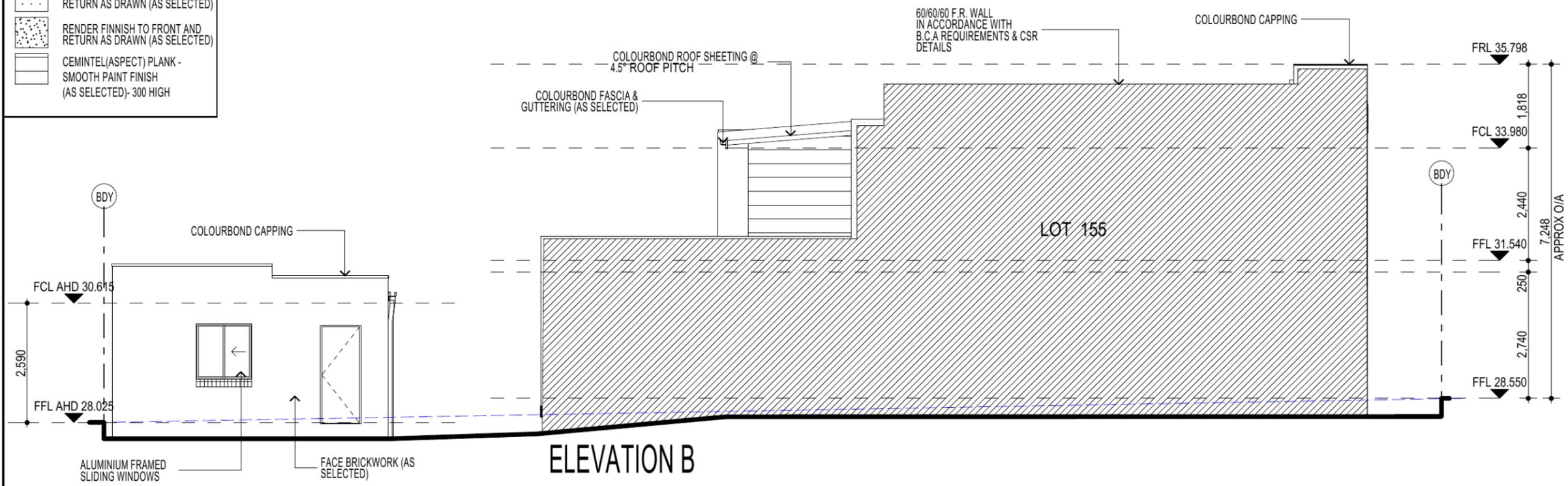
FIRSTSTYLE HOMES Pty.Ltd
Lic No. 113412C
ACN. 087 773 779
PO BOX 171, HOXTON PARK 2171

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- NOTE**
AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
3-PHASE POWER
- FIBRE OPTIC WIRING PACKAGE**
- NOTE:**
PROVIDE GRANITGARD TERMITE TREATMENT
- NOTE:**
PLEASE REFER TO "ECO DESIGN" LANDSCAPE PLANS ISSUE: 'F' DATED 10.09.14
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LOTS 152,154,155

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOTS 152,154,155
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: SANFIELD 20 facade: PARKVIEW18.5 custom	date: 24/09/2014 quotation assessment: SK1
Sheet: 8 of 49	drawn: G.P. checked: D.P. scale: 1.100
	802-14 804-14 805-15

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

ELEVATIONS



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BASIX

= 46.51m² of roof area to discharge to water tank.
 = stormwater and overflow to discharge to existing street channel.
 o/a= 131.64m² of roof area.

LEGEND:

- = SURFACE INLETS AS REQUIRED
- = SURFACE INLETS LINE
- = STORMWATER LINE

EARTHWORKS

HOUSE:	FFL: R.L: 27.270
(LIVING)	FGL: R.L: 26.870
GARAGE:	FFL: R.L: 27.100

NOTE:
 REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

GENERAL DRAINAGE NOTES

1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
 2. Stormwater pipes to be 100mm DIA. (Min) at 1 deg. Grade (Min) to AS3500
 3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
 4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
 5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.
- note:
 r.l. levels indicative to a building tolerance of +/- 90mm.
- NOTE:**
 EAVES O/H TO ENCROACH AS ALLOWED BY B.C.A:CL3.7.1.7 & FIGURE 3.7.1.9

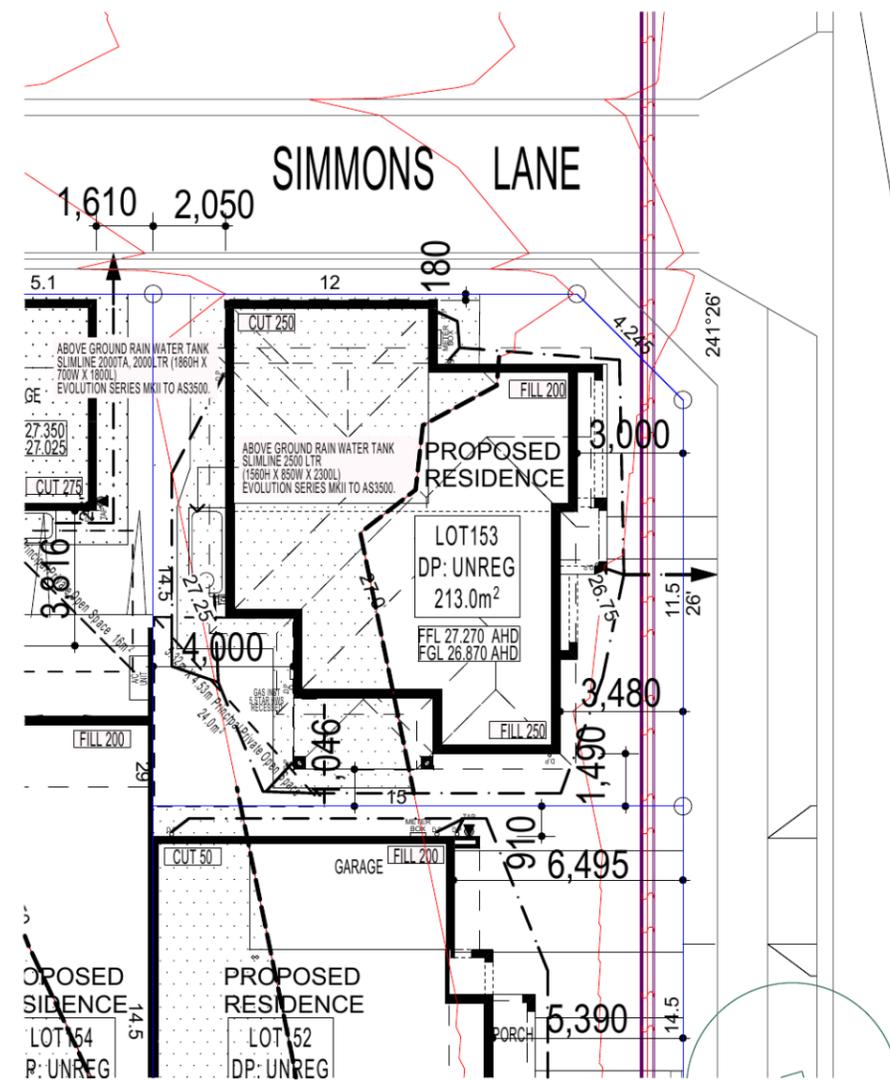
NOTE:
 PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
 PLEASE REFER TO " ECO DESIGN " LANDSCAPE PLANS ISSUE: 'F' DATED 10.09.14

NOTE:
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FIBRE OPTIC WIRING PACKAGE

NOTE
 AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
 3-PHASE POWER



WILLIAM HART CRESCENT

DEVELOPMENT CALCULATIONS

LOT: 153 NO: 00 OF SITE AREA: 213.0m²

Itemised Floor Areas:	Totals:
living ground floor:	70.30m ²
first floor: (excl. void 87.08m ²)	93.02m ²
garage: (excess 00.000m ²)	33.40m ²
alfresco:	8.03m ²
porch:	2.66m ²
balcony:	00.00m ²
total floor area:	207.41m²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	70.30m ²
garage:	33.40m ²
porch/alfresco:	10.69m ²
driveway/paved area:	1.94m ²
site coverage Area:	114.39m ² (53.70%)
landscape area:	98.61m ² (46.3%)
pervious areas (soft)	96.67m ² (45.3%)
impervious areas (hard)	116.33m ² (54.7%)
private open space o/a:	46.62m ²
principal private open space:	24.0m ²
total car space incl. carstand:	2 carspace

COUNCIL ZONE: R1

PROMOTION:
 LIVING/STYLE COLLECTION

CLIENT:
 FIRSTYLE

LOCATION:
 PROPOSED LOT 153
 WILLIAM HART CRES, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: WINSTON 22	facade: CUSTOM
date: 24/09/2014	evaluation assessment: SK1
Sheet: 11 of 49	drawn: G.P.
checked: D.P.	scale: 1:200
803-14	

SITE PLAN & STORMWATER CONCEPT PLAN

LOT153

KEY

-  FACE BRICK (AS SELECTED)
-  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  CEMINTEL (ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED) - 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

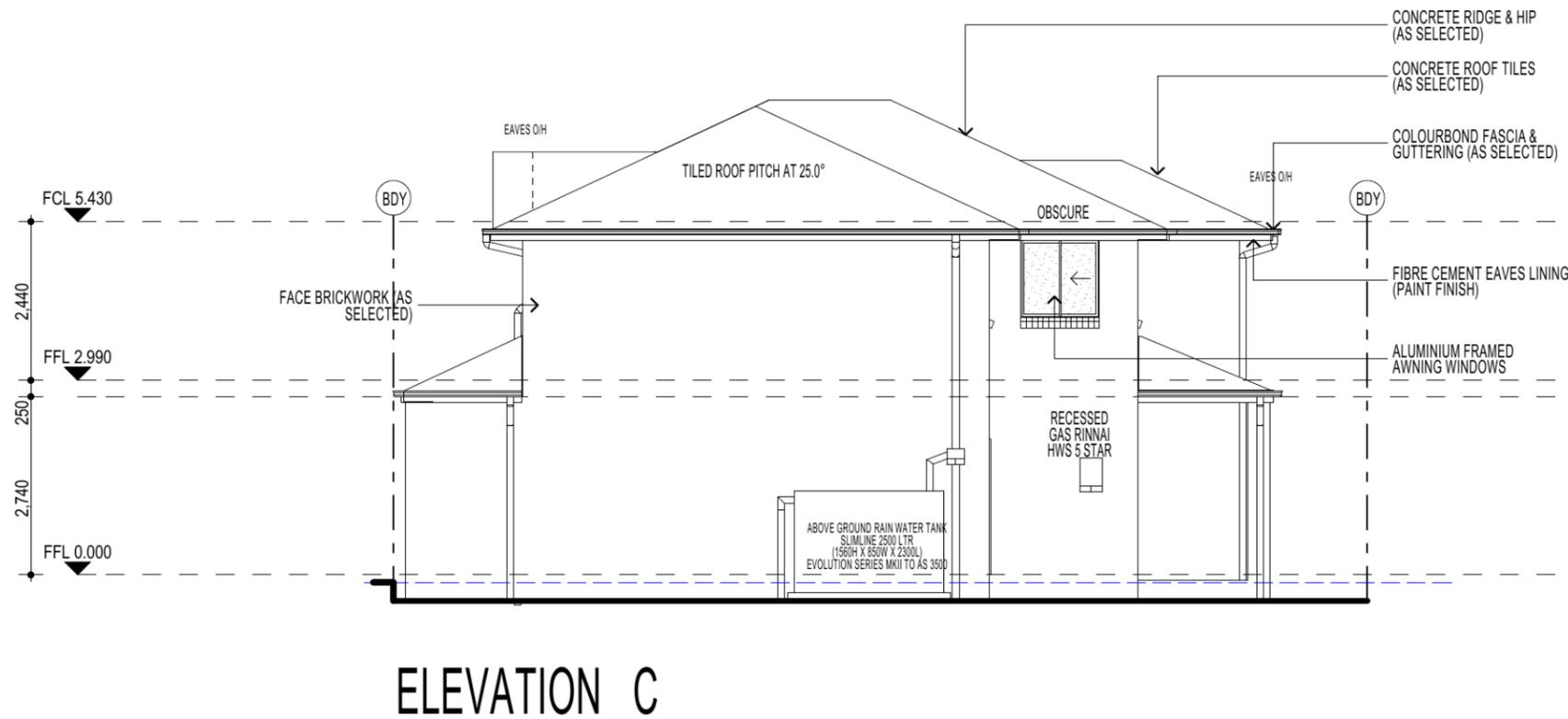
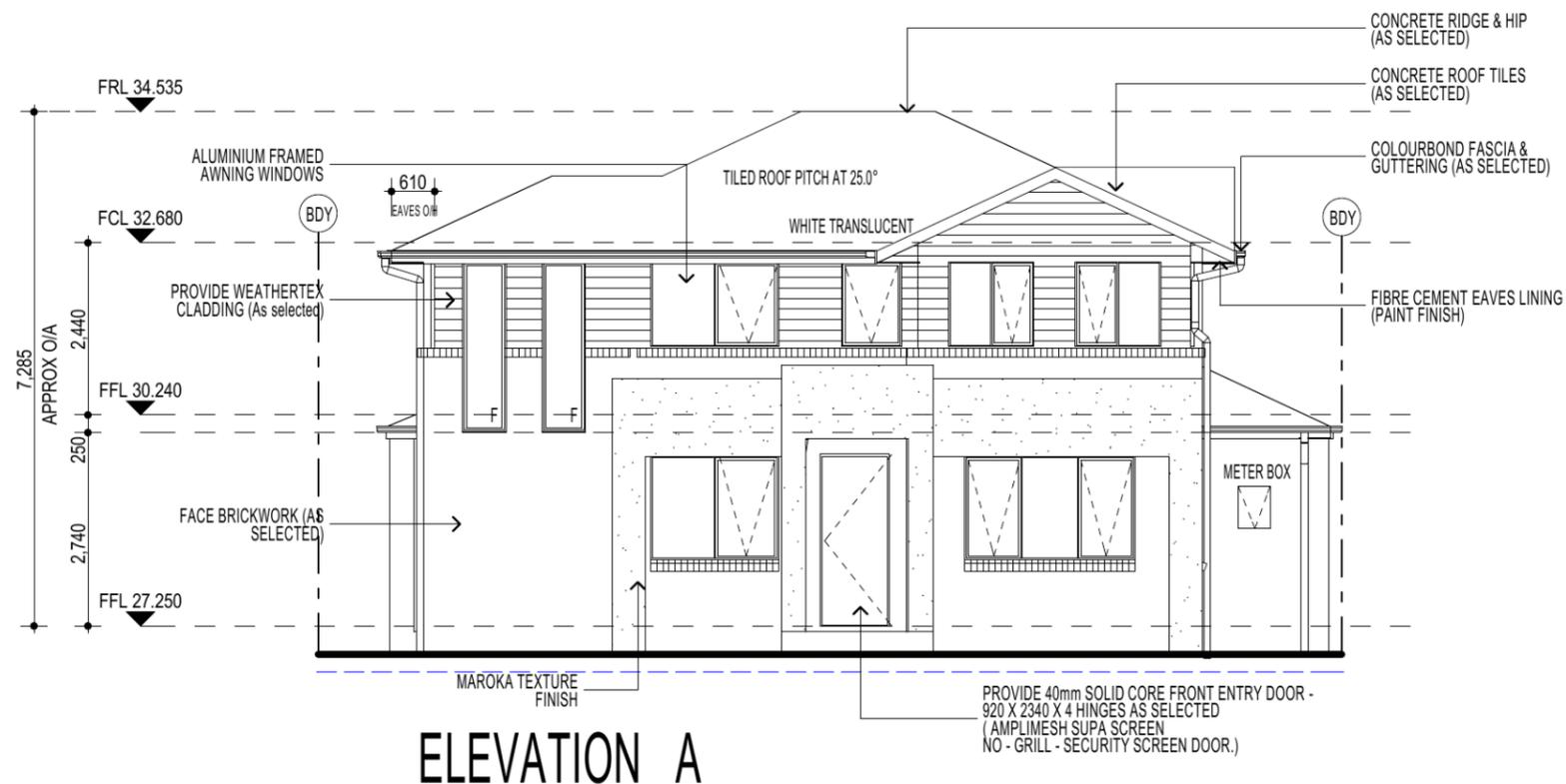
FIRSTSTYLE HOMES Pty.Ltd
Lic No. 113412C
ACN. 087 773 779
PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 9731 9600
FAX: (02) 9601 0711
EMAIL: design@firststyle.com.au

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- NOTE**
AIR CONDITIONING ONLY
(EER 2.5-3.0 OR GREATER)
3-PHASE POWER
- FIBRE OPTIC WIRING PACKAGE**
- NOTE:**
PROVIDE GRANITGARD
TERMITE TREATMENT
- NOTE:**
PLEASE REFER TO " ECO DESIGN "
LANDSCAPE PLANS ISSUE: 'F' DATED
10.09.14

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INCLUSIONS.

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOT 153
WILLIAM HART CRES, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: SANFIELD 20	date: 24/09/2014
facade: PARKVIEW18.5	evaluation assessment: SK1
Sheet: 14 of 49	drawn: G.P. checked: D.P. scale: 1:100
	803-14

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

ELEVATIONS

KEY

-  FACE BRICK (AS SELECTED)
-  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  CEMINTEL(ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED)- 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

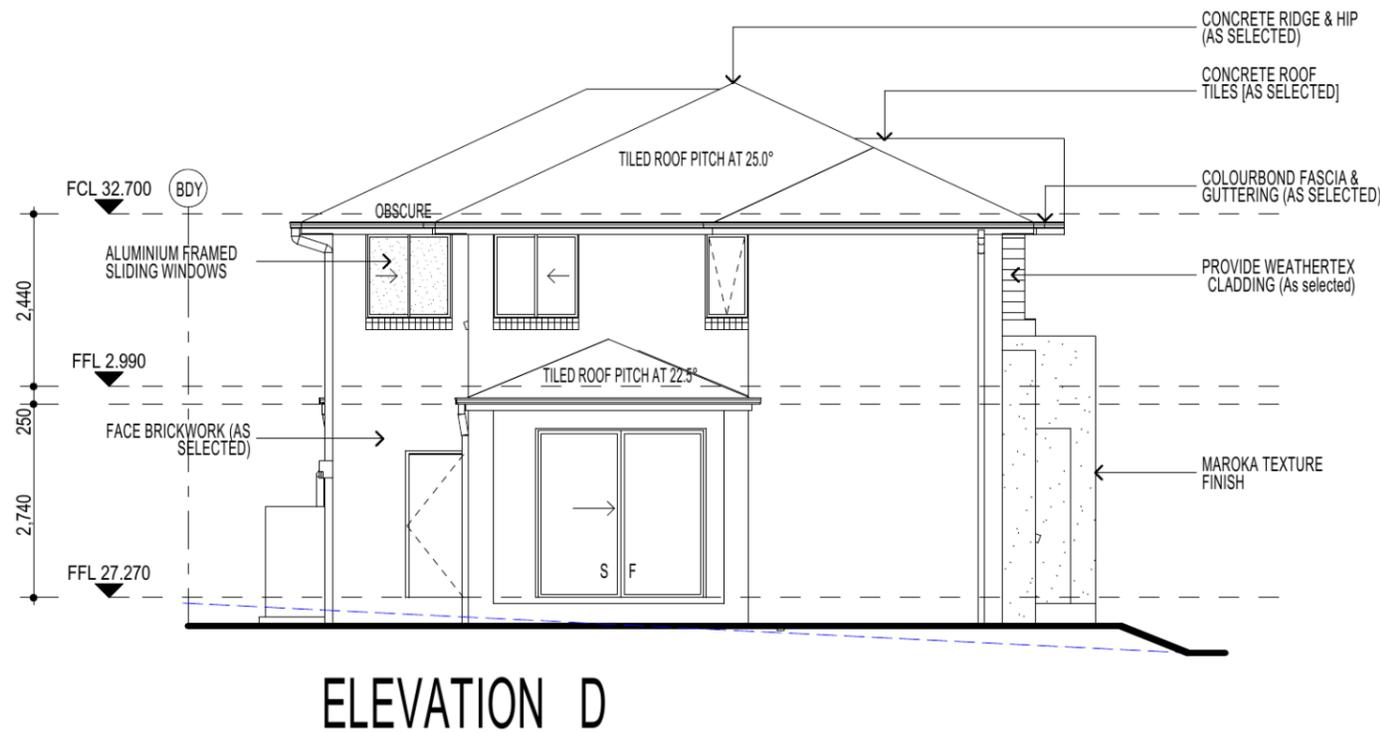
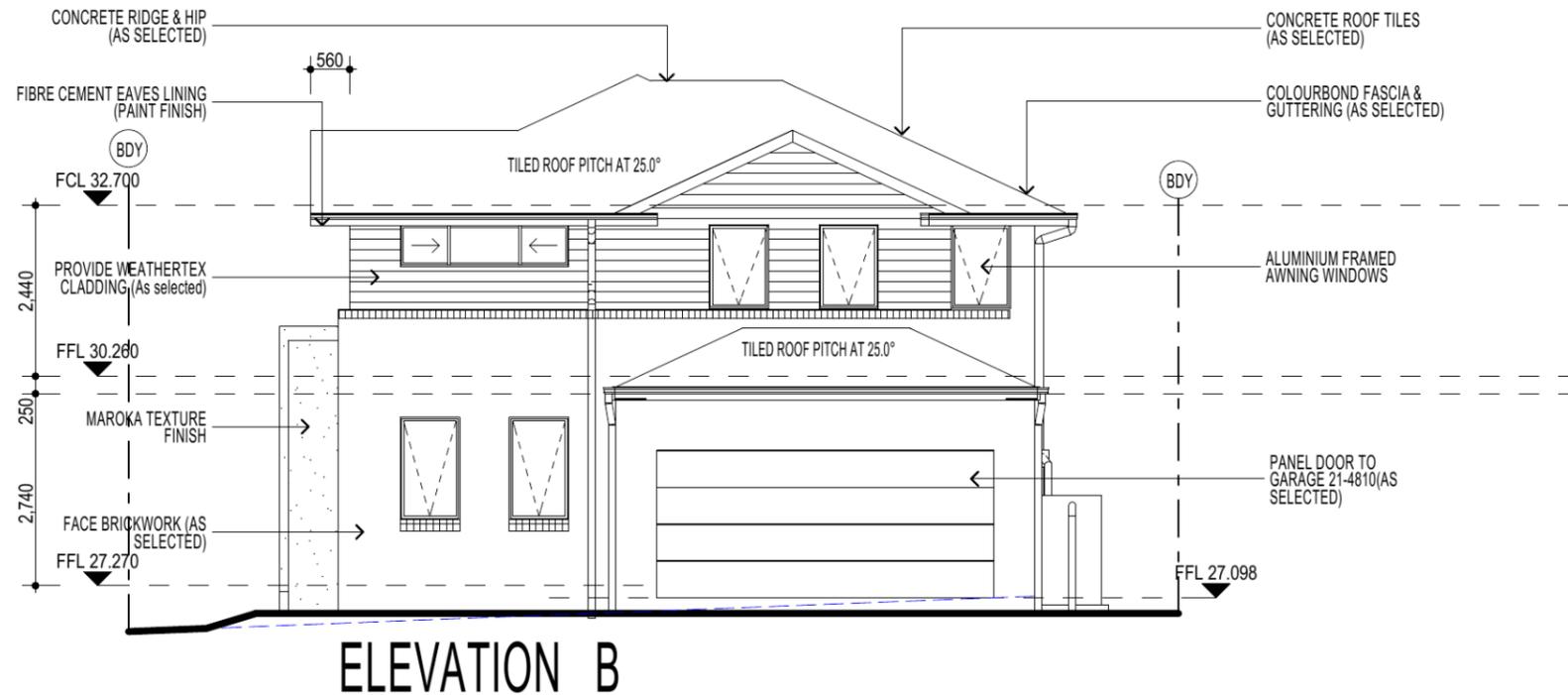
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NOTE
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3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD
TERMITE TREATMENT

NOTE:
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PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOT 153
WILLIAM HART CRES, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934 council: PENRITH
model: WINSTON 22 facade: CUSTOM date: 24/09/2014 quotation assessment: SK1

Sheet: 15 of 49 drawn: G.P. checked: D.P. scale: 1:100 803-14

ELEVATIONS

CLIENTS SIGNATURE: DATE: S.P. 0.0.

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BASIX LOTS 156-157	BASIX LOT 158
= 77.75m ² of roof area to discharge to water tank. = stormwater and overflow to discharge to existing street channel. o/a= 99.47m ² of roof area.	= 74.5m ² of roof area to discharge to water tank. = stormwater and overflow to discharge to existing street channel. o/a= 108.92m ² of roof area.
LEGEND:	LEGEND:
○ = SURFACE INLETS AS REQUIRED	○ = SURFACE INLETS AS REQUIRED
—○— = SURFACE INLETS LINE	—○— = SURFACE INLETS LINE
— = STORMWATER LINE	— = STORMWATER LINE
LOTS 156 & 157	LOT 158
EARTHWORKS TO AHD	EARTHWORKS TO AHD
HOUSE: FFL: R.L: 28.150 (LIVING) FGL: R.L: 27.750	HOUSE: FFL: R.L: 28.400 (LIVING) FGL: R.L: 28.000
GARAGE: FFL: R.L: 27.600 FGL: R.L: 27.275	GARAGE: FFL: R.L: 27.800 FGL: R.L: 27.475

NOTE:
 REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

GENERAL DRAINAGE NOTES

1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
 2. Stormwater pipes to be 100mm DIA.(Min) at 1 deg. Grade (Min) to AS3500
 3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
 4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
 5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.
- note:
 r.l. levels indicative to a building tolerance of +/- 90mm.
- NOTE:**
 EAVES O/H TO ENCROACH AS ALLOWED BY B.C.A:CL3.7.1.7 & FIGURE 3.7.1.9

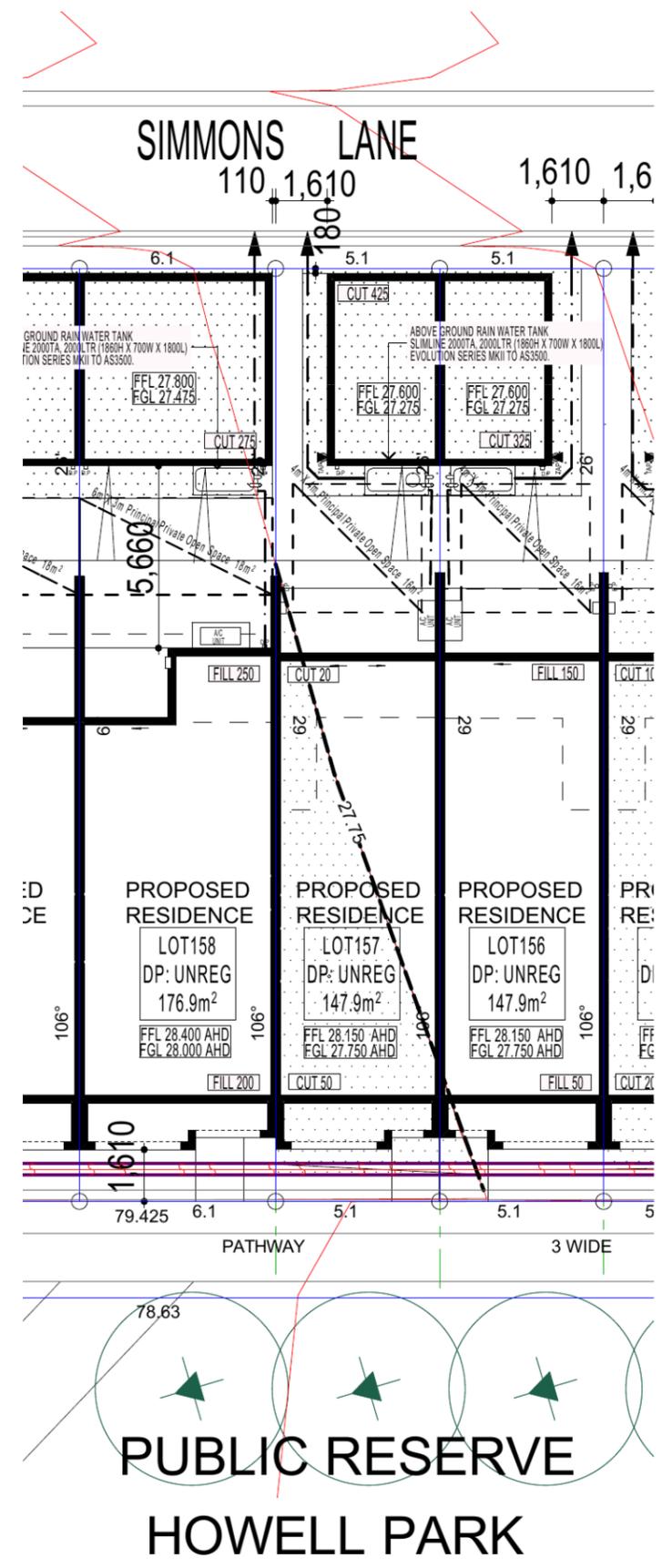
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NOTE:
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FIBRE OPTIC WIRING PACKAGE

NOTE
 AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
 3-PHASE POWER



SITE PLAN & STORMWATER CONCEPT PLAN

DEVELOPMENT CALCULATIONS

LOT: 158 NO: 00 OF SITE AREA: 176.90m²

Itemised Floor Areas:	Totals:
living ground floor:	80.68m ²
first floor: (excl. void 3.40m ²)	71.46m ²
garage: (excess 00.000m ²)	35.88m ²
alfresco:	6.12m ²
porch:	7.84m ²
balcony:	5.74m ²
total floor area:	207.72m²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	80.68m ²
garage:	35.88m ²
porch/alfresco:	13.96m ²
driveway/paved area:	3.84m ²
site coverage Area:	130.52m ² (73.78%)
landscape area:	46.38m ² (26.2%)
pervious areas (soft)	42.54m ² (24.10%)
impervious areas (hard)	134.36m ² (75.90%)
private open space o/a:	40.75m ²
principal private open space:	18.0m ²
total car space incl. carstand:	2 carspace

DEVELOPMENT CALCULATIONS

LOT: 157 NO: 00 OF SITE AREA: 147.90m²

Itemised Floor Areas:	Totals:
living ground floor:	71.35m ²
first floor: (excl. void 52.68m ²)	56.09m ²
garage: (excess 00.000m ²)	20.79m ²
alfresco:	10.37m ²
porch:	6.75m ²
balcony:	5.74m ²
total floor area:	171.09m²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	71.35m ²
garage:	20.79m ²
porch/alfresco:	17.12m ²
driveway/paved area:	4.11m ²
site coverage Area:	109.26m ² (73.87%)
landscape area:	38.64m ² (26.13%)
pervious areas (soft)	34.53m ² (23.34%)
impervious areas (hard)	113.37m ² (80.46%)
private open space o/a:	29.69m ²
principal private open space:	16.0m ²
total car space incl. carstand:	1 carspace

DEVELOPMENT CALCULATIONS

LOT: 156 NO: 00 OF SITE AREA: 147.90m²

Itemised Floor Areas:	Totals:
living ground floor:	71.35m ²
first floor: (excl. void 52.68m ²)	56.09m ²
garage: (excess 00.000m ²)	20.79m ²
alfresco:	10.37m ²
porch:	6.75m ²
balcony:	5.74m ²
total floor area:	171.09m²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	71.35m ²
garage:	20.79m ²
porch/alfresco:	17.12m ²
driveway/paved area:	4.11m ²
site coverage Area:	109.26m ² (73.87%)
landscape area:	38.64m ² (26.13%)
pervious areas (soft)	34.53m ² (23.34%)
impervious areas (hard)	113.37m ² (80.46%)
private open space o/a:	29.69m ²
principal private open space:	16.0m ²
total car space incl. carstand:	1 carspace

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
 PROPOSED LOTS 156,157,158
 HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934 council: PENRITH

model: OXFORD 6.1 facade: PARKVIEW 18.5 CUSTOM date: 24/09/2014 quotation assessment: SK1

Sheet: 17 of 49 drawn: G.P. checked: D.P. scale: 1:200

CUSTOMER SIGNATURE: DATE: S.P. 0.0.

LOTS 156,157,158

KEY

-  FACE BRICK (AS SELECTED)
-  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  CEMINTEL (ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED)- 300 HIGH

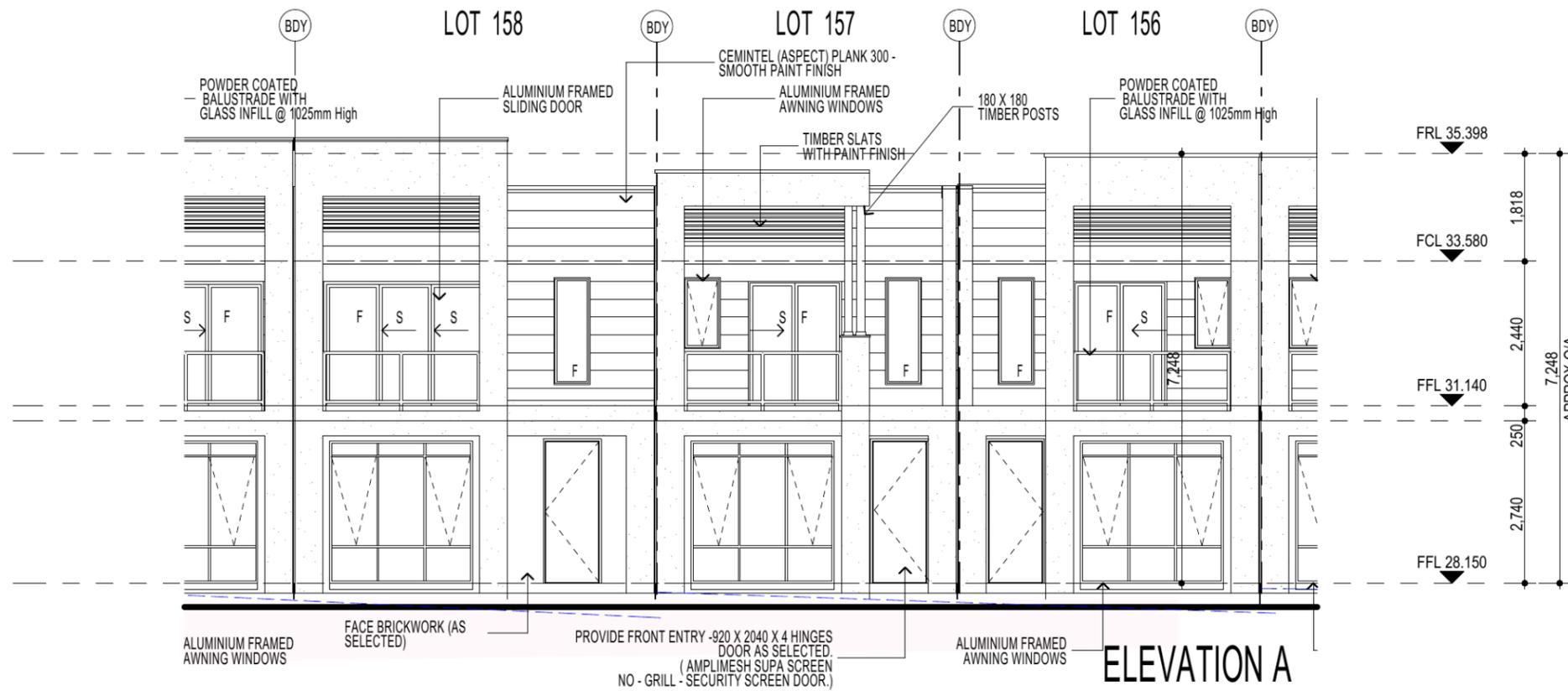
NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

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 PO BOX 171, HOXTON PARK 2171
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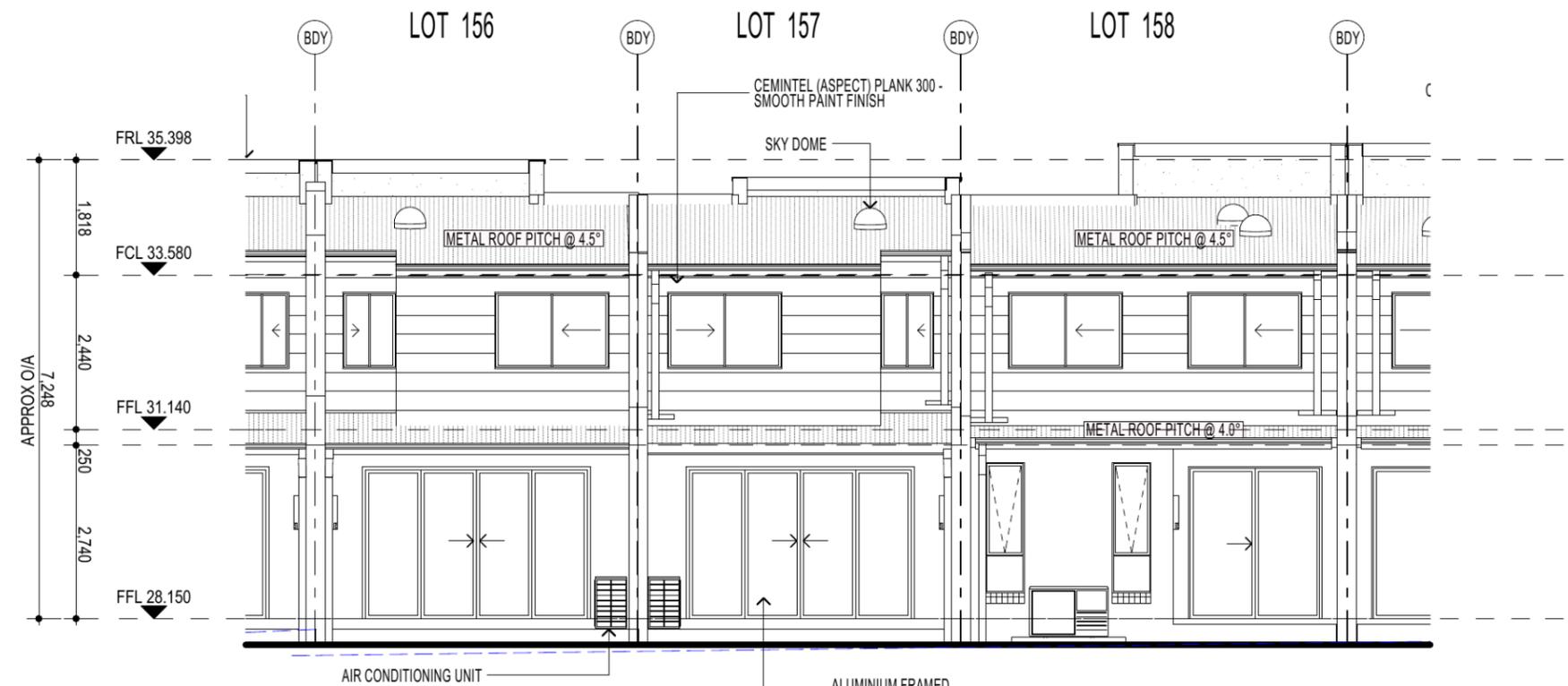
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MASTER BUILDER, BETTER BUILDER

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ELEVATION A



ELEVATION C

NOTE
AIR CONDITIONING ONLY
(EER 2.5-3.0 OR GREATER)
3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD
TERMITE TREATMENT

NOTE:
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LANDSCAPE PLANS ISSUE: 'F' DATED
10.09.14

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LOTS 156,157,158

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOTS 156,157,158
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: OXFORD 6.1 facade: PARKVIEW 18.5 CUSTOM	date: 24/09/2014 quotation assessment: SK1
Sheet: 20 of 49	drawn: G.P. checked: D.P. scale: 1.100
	806-14 807-15 808-15

ELEVATIONS

KEY

	FACE BRICK (AS SELECTED)
	MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	CEMINTEL (ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED) - 300 HIGH

NOTE:
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FIRSTSTYLE HOMES

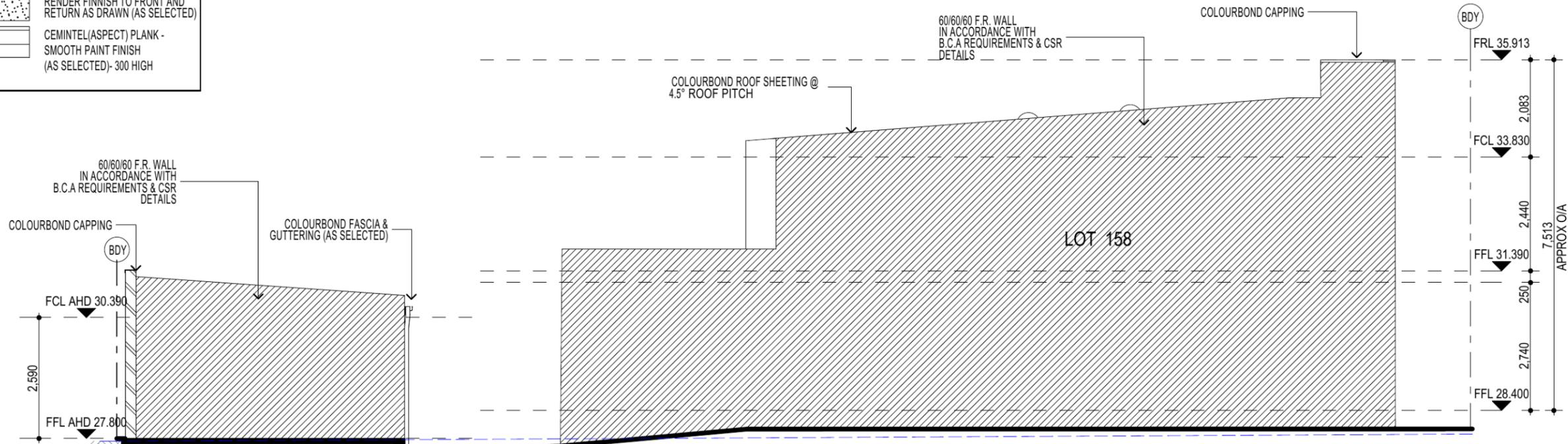
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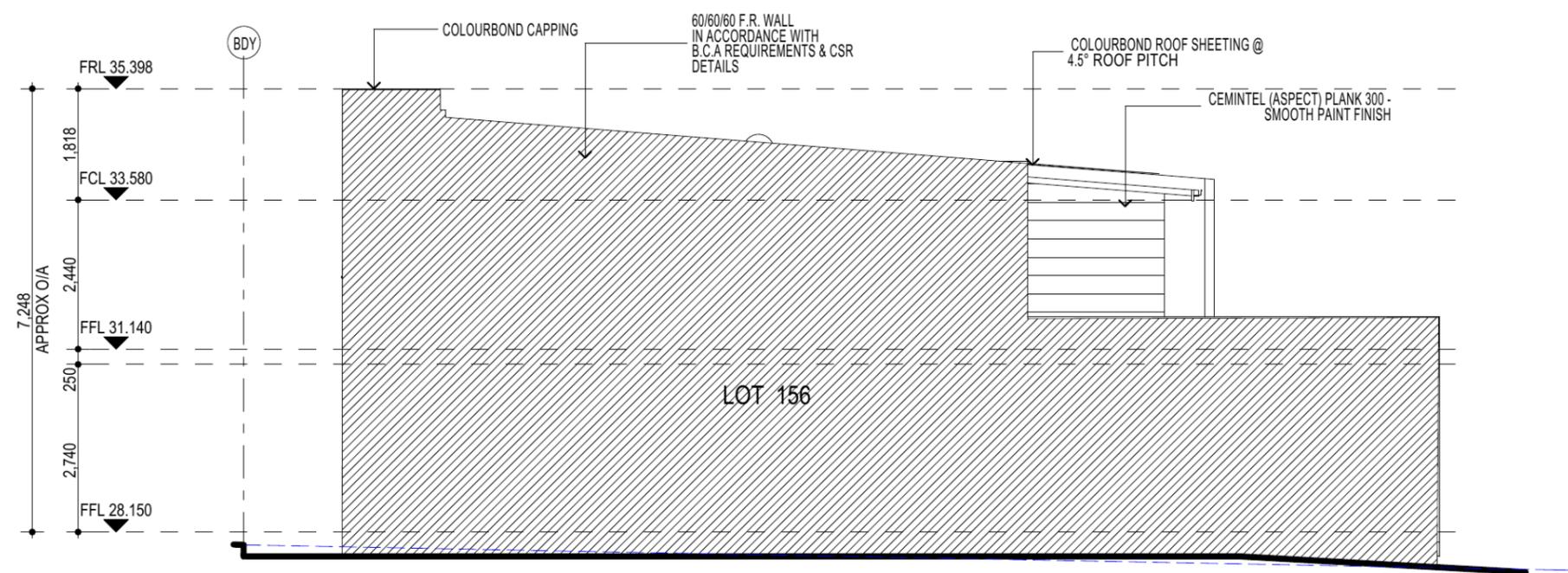
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ELEVATION B



ELEVATION D

- NOTE**
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3-PHASE POWER
- FIBRE OPTIC WIRING PACKAGE**
- NOTE:**
PROVIDE GRANITGARD
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- NOTE:**
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INCLUSIONS.

LOTS 156,157,158

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOTS 156,157,158
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: OXFORD 6.1 facade: PARKVIEW 18.5 CUSTOM	date: 24/09/2014 quotation assessment: SK1
Sheet: 21 of 49	drawn: G.P. checked: D.P. scale: 1.100
	806-14 807-15 808-15

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

ELEVATIONS

• ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A. RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATIONS AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
 • ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.
 • ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
 • ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK. ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SETOUT BY REGISTERED SURVEYOR.
 • FIRSTYLE HOMES SITE SAFETY RULES APPLY.
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BASIX LOT 159	BASIX LOTS 160-161
= 74.5m ² of roof area to discharge to water tank. = stormwater and overflow to discharge to existing street channel. o/a= 108.92m ² of roof area.	= 77.75m ² of roof area to discharge to water tank. = stormwater and overflow to discharge to existing street channel. o/a= 99.47m ² of roof area.
LEGEND:	LEGEND:
○ = SURFACE INLETS AS REQUIRED —○— = SURFACE INLETS LINE — = STORMWATER LINE	○ = SURFACE INLETS AS REQUIRED —○— = SURFACE INLETS LINE — = STORMWATER LINE
LOT 159	LOTS 160 & 161
EARTHWORKS TO AHD	EARTHWORKS TO AHD
HOUSE: FFL: R.L. 28.400 (LIVING) FGL: R.L. 28.000 GARAGE: FFL: R.L. 27.800 FGL: R.L. 27.475	HOUSE: FFL: R.L. 28.550 (LIVING) FGL: R.L. 28.150 GARAGE: FFL: R.L. 28.025 FGL: R.L. 27.700

NOTE:
REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

GENERAL DRAINAGE NOTES

1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
 2. Stormwater pipes to be 100mm DIA.(Min) at 1 deg. Grade (Min) to AS3500
 3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
 4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
 5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.
- note:
r.l. levels indicative to a building tolerance of +/- 90mm.
- NOTE:
EAVES O/H TO ENCROACH AS ALLOWED BY B.C.A:CL3.7.1.7 & FIGURE 3.7.1.9

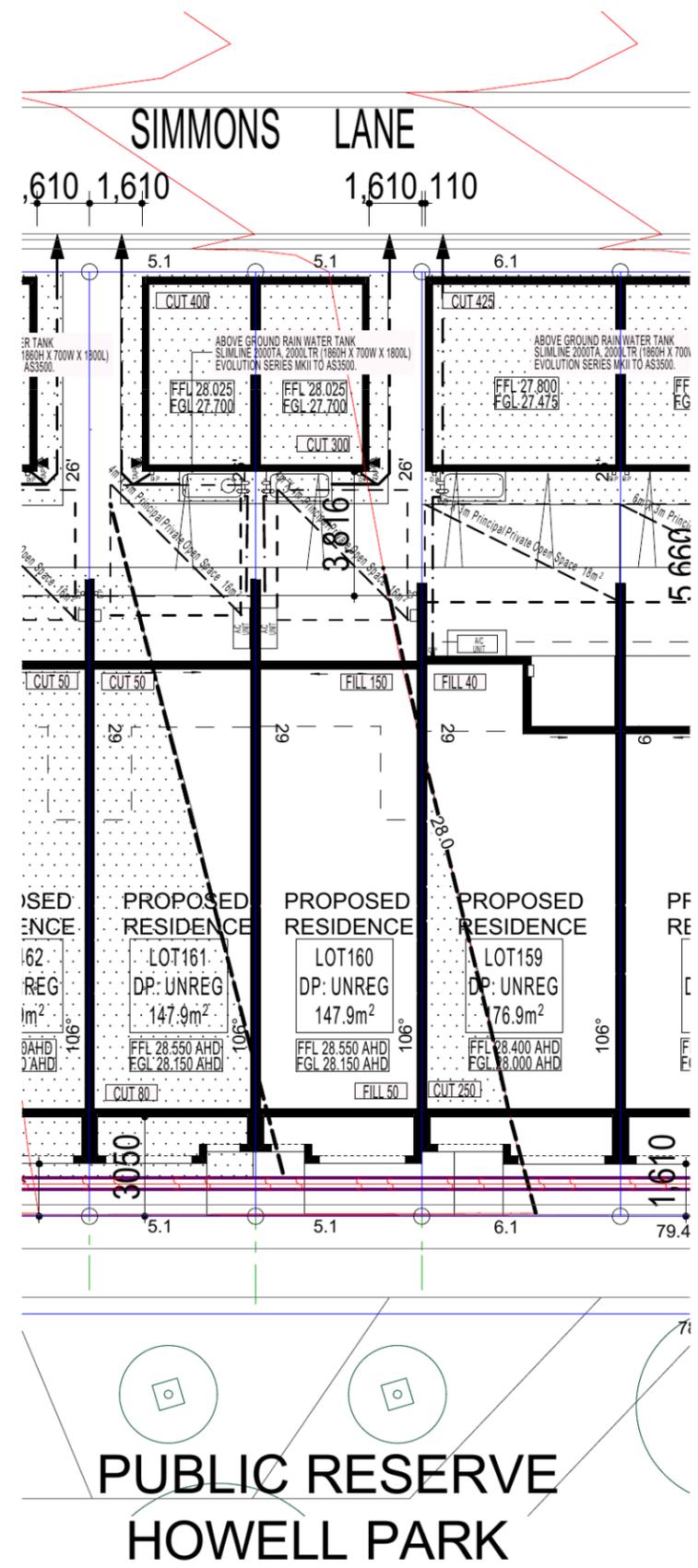
NOTE:
PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
PLEASE REFER TO "ECO DESIGN" LANDSCAPE PLANS ISSUE: 'F' DATED 10.09.14

NOTE:
ALL COMPONENTS SUCH AS: APPLIANCES; PLUMBING FITTINGS & FIXTURES; DOORS; CABINETS; HANDLES; PC ITEMS; ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS.

FIBRE OPTIC WIRING PACKAGE

NOTE
AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
3-PHASE POWER



SITE PLAN & STORMWATER CONCEPT PLAN

DEVELOPMENT CALCULATIONS

LOT: 159 NO: 00 OF SITE AREA: 176.90m²

Itemised Floor Areas:	Totals:
living ground floor:	80.68m ²
first floor: (excl. void 3.40m ²)	71.46m ²
garage: (excess 00.000m ²)	35.88m ²
alfresco:	6.12m ²
porch:	7.84m ²
balcony:	5.74m ²
total floor area:	207.72m ²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	80.68m ²
garage:	35.88m ²
porch/alfresco:	13.96m ²
driveway/paved area:	3.84m ²
site coverage Area:	130.52m ² (73.78%)
landscape area:	46.38m ² (26.2%)
pervious areas (soft)	42.54m ² (24.10%)
impervious areas (hard)	134.36m ² (75.90%)
private open space o/a:	40.75m ²
principal private open space:	18.0m ²
total car space incl. carstand:	2 carspace

DEVELOPMENT CALCULATIONS

LOT: 160 NO: 00 OF SITE AREA: 147.90m²

Itemised Floor Areas:	Totals:
living ground floor:	71.35m ²
first floor: (excl. void 52.68m ²)	56.09m ²
garage: (excess 00.000m ²)	20.79m ²
alfresco:	10.37m ²
porch:	6.75m ²
balcony:	5.74m ²
total floor area:	171.09m ²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	71.35m ²
garage:	20.79m ²
porch/alfresco:	17.12m ²
driveway/paved area:	4.11m ²
site coverage Area:	109.26m ² (73.87%)
landscape area:	38.64m ² (26.13%)
pervious areas (soft)	34.53m ² (23.34%)
impervious areas (hard)	113.37m ² (80.46%)
private open space o/a:	29.69m ²
principal private open space:	16.0m ²
total car space incl. carstand:	1 carspace

DEVELOPMENT CALCULATIONS

LOT: 161 NO: 00 OF SITE AREA: 147.90m²

Itemised Floor Areas:	Totals:
living ground floor:	71.35m ²
first floor: (excl. void 52.68m ²)	56.09m ²
garage: (excess 00.000m ²)	20.79m ²
alfresco:	10.37m ²
porch:	6.75m ²
balcony:	5.74m ²
total floor area:	171.09m ²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	71.35m ²
garage:	20.79m ²
porch/alfresco:	17.12m ²
driveway/paved area:	4.11m ²
site coverage Area:	109.26m ² (73.87%)
landscape area:	38.64m ² (26.13%)
pervious areas (soft)	34.53m ² (23.34%)
impervious areas (hard)	113.37m ² (80.46%)
private open space o/a:	29.69m ²
principal private open space:	16.0m ²
total car space incl. carstand:	1 carspace

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTYLE

LOCATION:
PROPOSED LOTS 159,160,161
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: OXFORD 6.1 facade: PARKVIEW 18.5 CUSTOM	date: 24/09/2014 quotation assessment: SK1
Sheet: 25 of 49	drawn: G.P. checked: D.P. scale: 1:200
	809-14 810-15 811-15

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

LOTS 159,160,161

	FACE BRICK (AS SELECTED)
	MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	RENDER FINNISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	CEMINTEL (ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED)- 300 HIGH

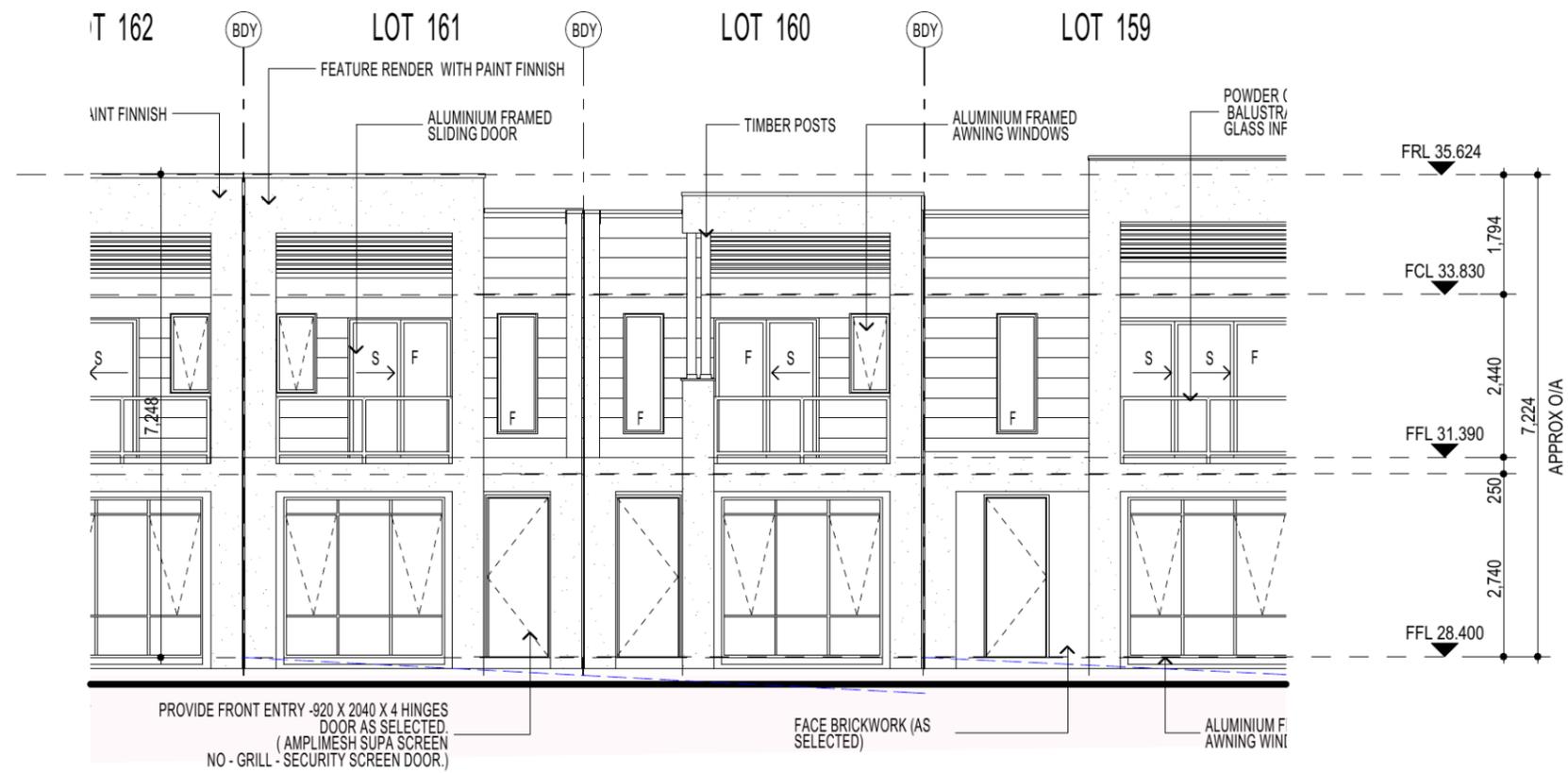
NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

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 FIRSTSTYLE HOMES Pty.Ltd
 Lic No. 113412C
 ACN. 087 773 779
 PO BOX 171, HOXTON PARK 2171
 ADMIN: (02) 9731 9600
 FAX: (02) 9601 0711
 EMAIL: design@firststyle.com.au

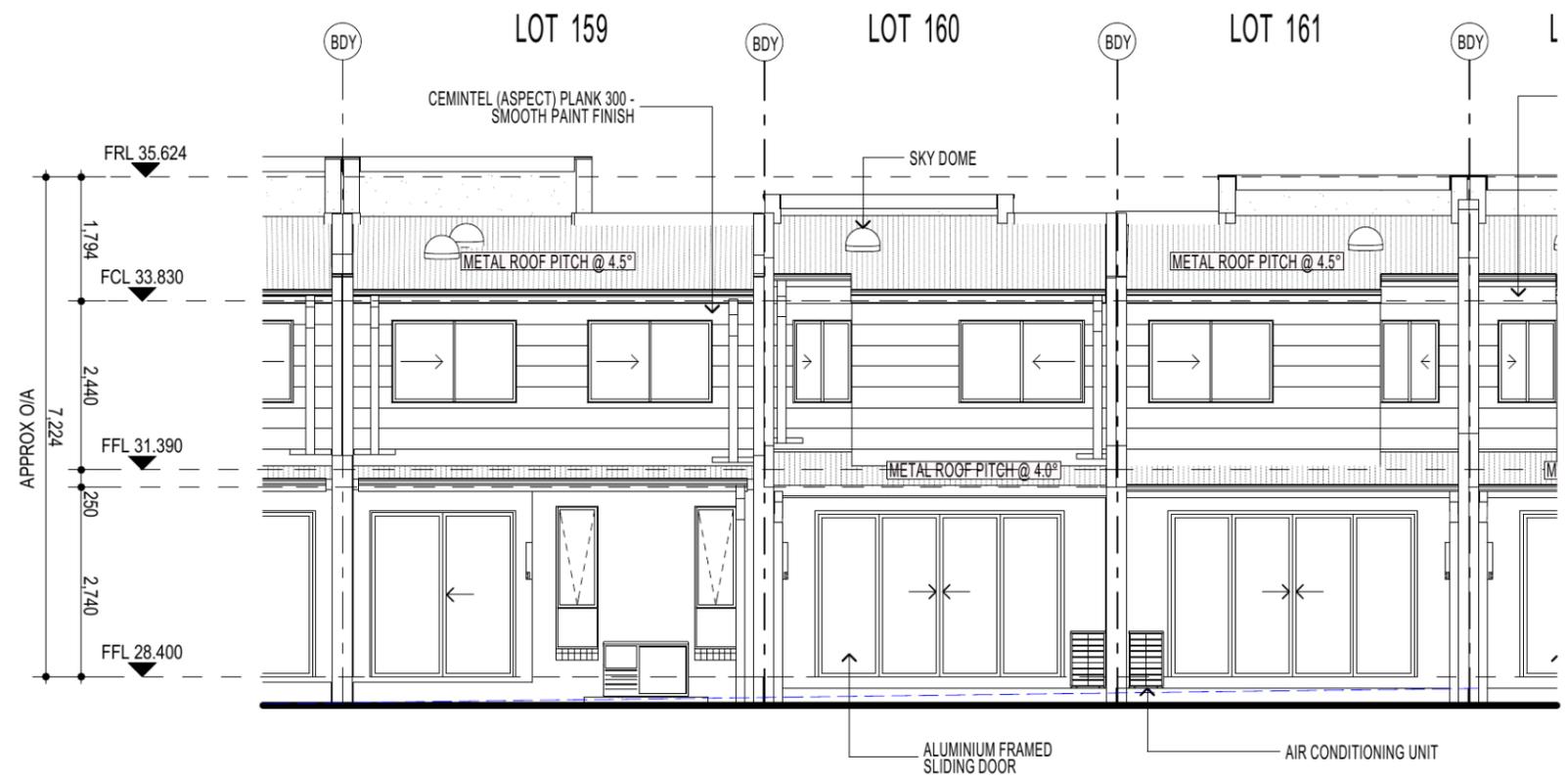
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 MEMBER
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ELEVATION A



ELEVATION C

NOTE
 AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
 3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
 PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
 PLEASE REFER TO "ECO DESIGN" LANDSCAPE PLANS ISSUE: 'F' DATED 10.09.14

NOTE:
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LOTS 159,160,161

PROMOTION: <i>LIVING/STYLE COLLECTION</i>	
CLIENT: FIRSTSTYLE	
LOCATION: PROPOSED LOTS 159,160,161 HUDSON STREET, PENRITH NSW 2750	
DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: OXFORD 6.1 facade: PARKVIEW 18.5 CUSTOM	date: 24/09/2014 quotation assessment: SK1
Sheet: 28 of 49	drawn: G.P. checked: D.P. scale: 1.100
	802-14 804-14 805-15
CLIENTS SIGNATURE:	DATE: S.P. 0.0.

ELEVATIONS

KEY

	FACE BRICK (AS SELECTED)
	MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
	CEMINTEL (ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED) - 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

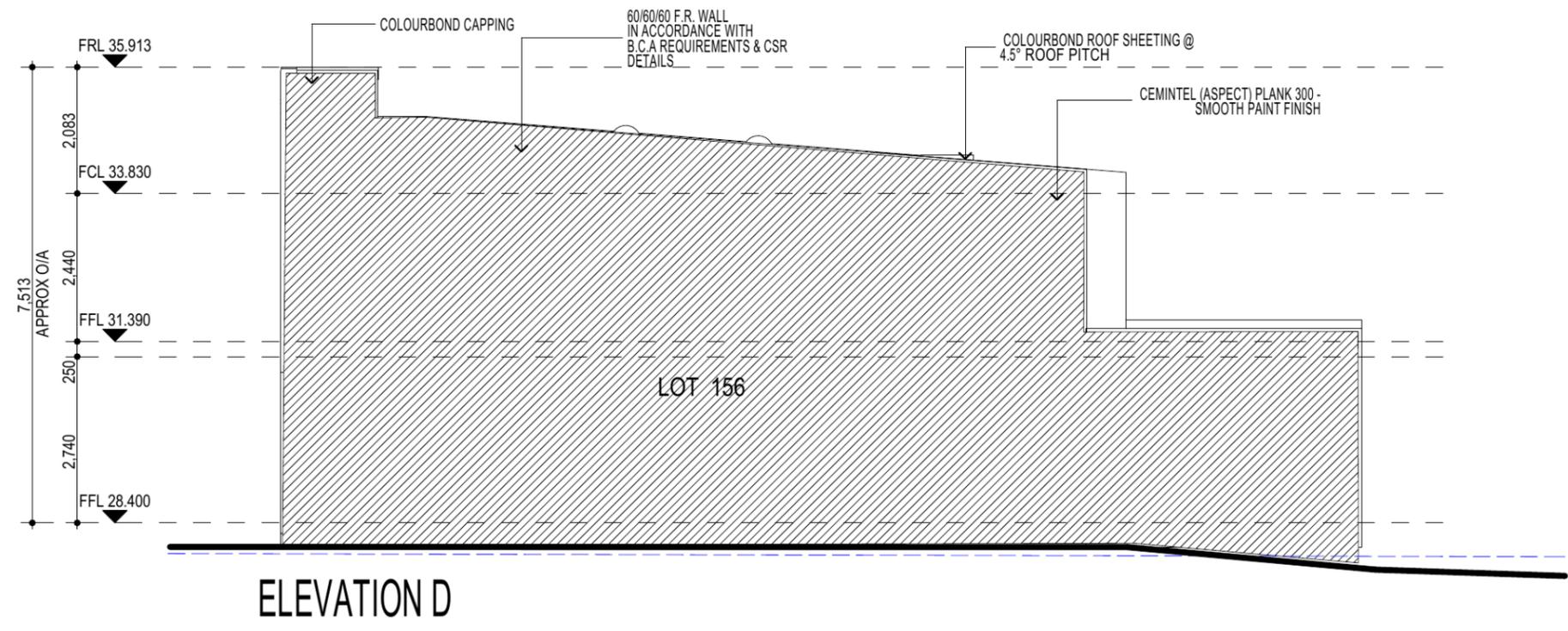
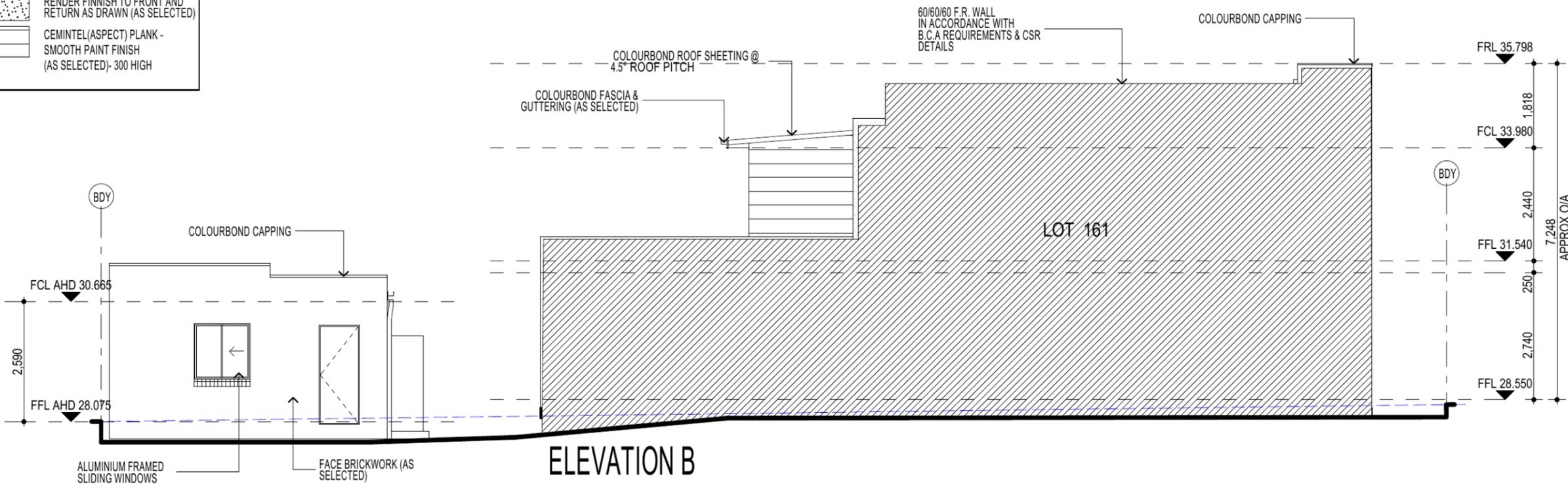
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MEMBER

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- NOTE**
AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
3-PHASE POWER
- FIBRE OPTIC WIRING PACKAGE**
- NOTE:**
PROVIDE GRANITGARD TERMITE TREATMENT
- NOTE:**
PLEASE REFER TO "ECO DESIGN" LANDSCAPE PLANS ISSUE: 'F' DATED 10.09.14
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LOTS 159,160,161

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOTS 159,160,161
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: OXFORD 6.1 facade: PARKVIEW 18.5 CUSTOM	date: 24/09/2014 quotation assessment: SK1
Sheet: 29 of 49	drawn: G.P. checked: D.P. scale: 1:100
	809-14 810-15 811-15

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

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BASIX LOT 165	BASIX LOTS 162, 163
= 95.89m ² of roof area to discharge to water tank. = stormwater and overflow to discharge to existing street channel. o/a= 95.89m ² of roof area.	= 77.75m ² of roof area to discharge to water tank. = stormwater and overflow to discharge to existing street channel. o/a= 99.47m ² of roof area.

LEGEND:	LEGEND:
○ = SURFACE INLETS AS REQUIRED	○ = SURFACE INLETS AS REQUIRED
—○— = SURFACE INLETS LINE	—○— = SURFACE INLETS LINE
— = STORMWATER LINE	— = STORMWATER LINE

LOT 165 & 163	LOTS 162
EARTHWORKS TO AHD	EARTHWORKS TO AHD
HOUSE: FFL: R.L: 28.650 (LIVING) FGL: R.L: 28.250	HOUSE: FFL: R.L: 28.550 (LIVING) FGL: R.L: 28.150
GARAGE: FFL: R.L: 28.250 FFL: R.L: 28.480 (LOT 165) FGL: R.L: 27.925	GARAGE: FFL: R.L: 28.250 FFL: R.L: 28.250 FGL: R.L: 27.925

NOTE:
REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

GENERAL DRAINAGE NOTES

1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
 2. Stormwater pipes to be 100mm DIA. (Min) at 1 deg. Grade (Min) to AS3500
 3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
 4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
 5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.
- note:
r.l. levels indicative to a building tolerance of +/- 90mm.
- NOTE:
EAVES O/H TO ENCROACH AS ALLOWED BY B.C.A:CL3.7.1.7 & FIGURE 3.7.1.9

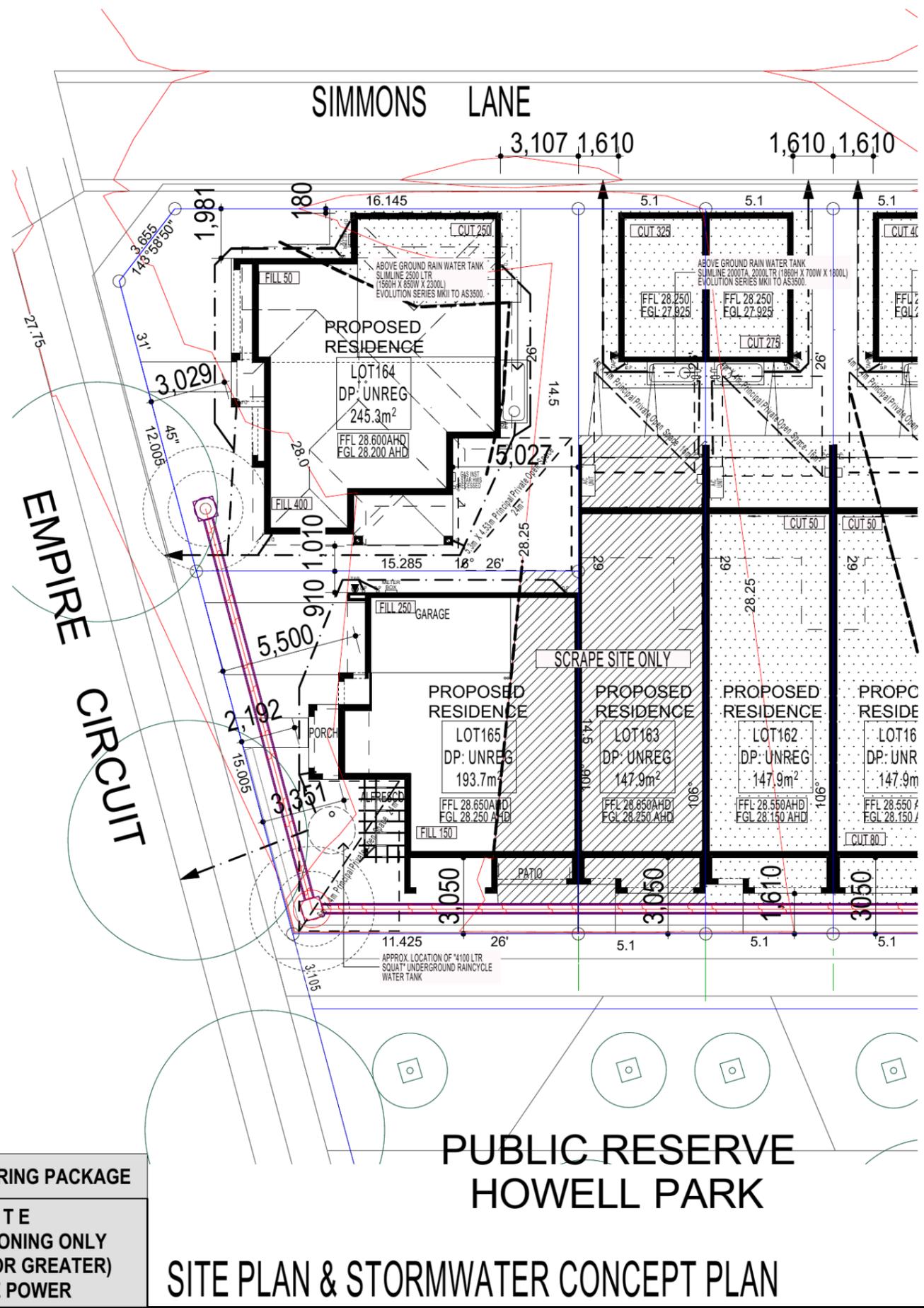
NOTE:
PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
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FIBRE OPTIC WIRING PACKAGE

NOTE
AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
3-PHASE POWER



DEVELOPMENT CALCULATIONS

LOT: 162 NO: 00 OF SITE AREA: 147.90m²

Itemised Floor Areas:	Totals:
living ground floor:	71.35m ²
first floor: (excl. void 52.68m ²)	56.09m ²
garage: (excess 00.000m ²)	20.79m ²
alfresco:	10.37m ²
porch:	6.75m ²
balcony:	5.74m ²
total floor area:	171.09m²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	71.35m ²
garage:	20.79m ²
porch/alfresco:	17.12m ²
driveway/paved area:	4.11m ²
site coverage Area:	109.26m ² (73.87%)
landscape area:	38.64m ² (26.13%)
pervious areas (soft)	34.53m ² (23.34%)
impervious areas (hard)	113.37m ² (80.46%)
private open space o/a:	29.69m ²
principal private open space:	16.0m ²
total car space incl. carstand:	1 carspace

DEVELOPMENT CALCULATIONS

LOT: 163 NO: 00 OF SITE AREA: 147.90m²

Itemised Floor Areas:	Totals:
living ground floor:	71.35m ²
first floor: (excl. void 52.68m ²)	56.09m ²
garage: (excess 00.000m ²)	20.79m ²
alfresco:	10.37m ²
porch:	6.75m ²
balcony:	5.74m ²
total floor area:	171.09m²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	71.35m ²
garage:	20.79m ²
porch/alfresco:	17.12m ²
driveway/paved area:	4.11m ²
site coverage Area:	109.26m ² (73.87%)
landscape area:	38.64m ² (26.13%)
pervious areas (soft)	34.53m ² (23.34%)
impervious areas (hard)	113.37m ² (80.46%)
private open space o/a:	29.69m ²
principal private open space:	16.0m ²
total car space incl. carstand:	1 carspace

DEVELOPMENT CALCULATIONS

LOT: 165 NO: 00 OF SITE AREA: 193.7m²

Itemised Floor Areas:	Totals:
living ground floor:	69.88m ²
first floor: (excl. void 3.31m ²)	84.42m ²
garage: (excess 00.000m ²)	18.73m ²
alfresco/patio:	4.83m ² /3.77m ²
porch:	3.59m ²
balcony:	5.30m ²
total floor area:	190.52m²

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	69.88m ²
garage:	18.73m ²
porch/alfresco/patio:	12.19m ²
driveway/paved area:	24.83m ²
site coverage Area:	100.80m ² (51.6%)
landscape area:	93.62m ² (48.33%)
pervious areas (soft)	68.79m ² (35.55%)
impervious areas (hard)	124.91m ² (64.44%)
private open space o/a:	53.53m ²
principal private open space:	24.0m ²
total car space incl. carstand:	2 carspace

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTYLE

LOCATION:
PROPOSED LOTS 162,163,165
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: SANFIELD 20	date: 24/09/2014
facade: PARKVIEW18.5	evaluation assessment: SK1
Sheet: 33 of 49	drawn: G.P. checked: D.P. scale: 1:200
	812-14 813-14 815-14

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

LOTS 162,163,165

SITE PLAN & STORMWATER CONCEPT PLAN

- KEY**
-  FACE BRICK (AS SELECTED)
 -  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
 -  RENDER FINNISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
 -  CEMINTEL (ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED)- 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

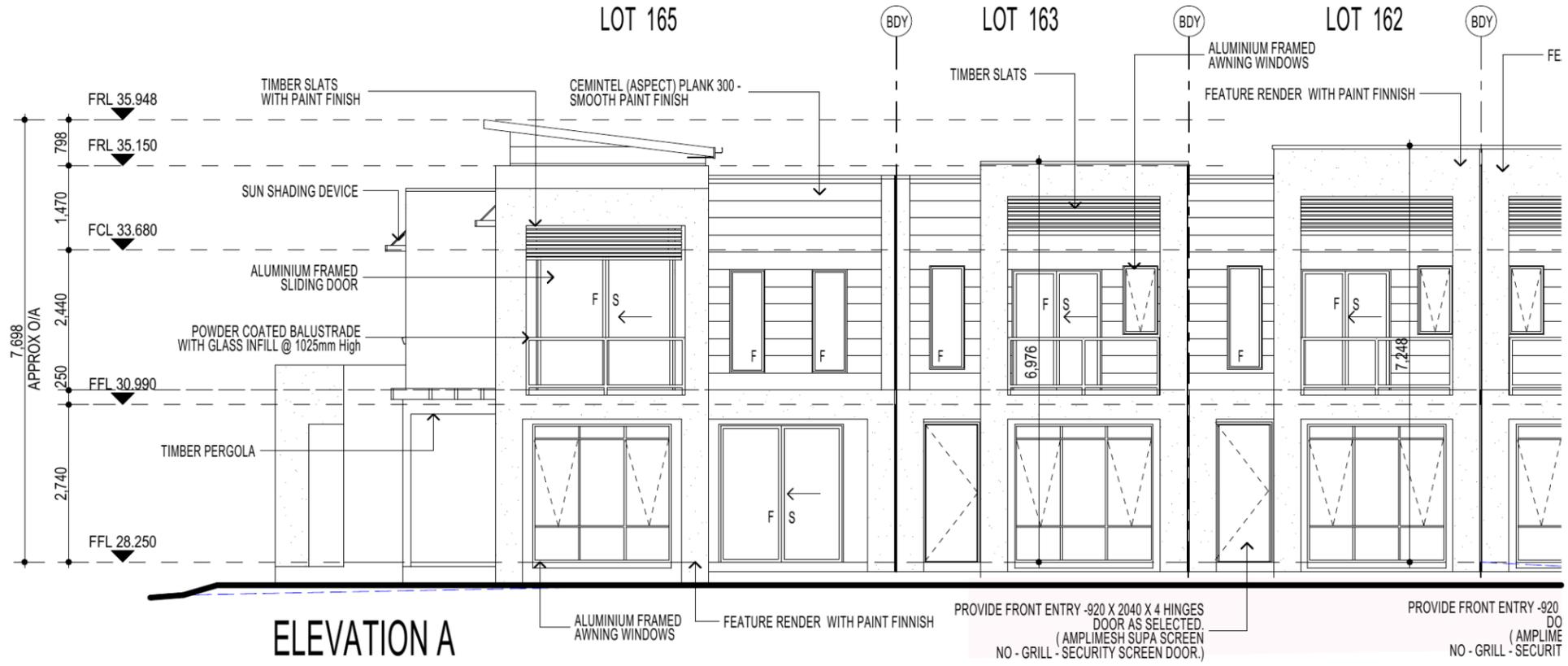
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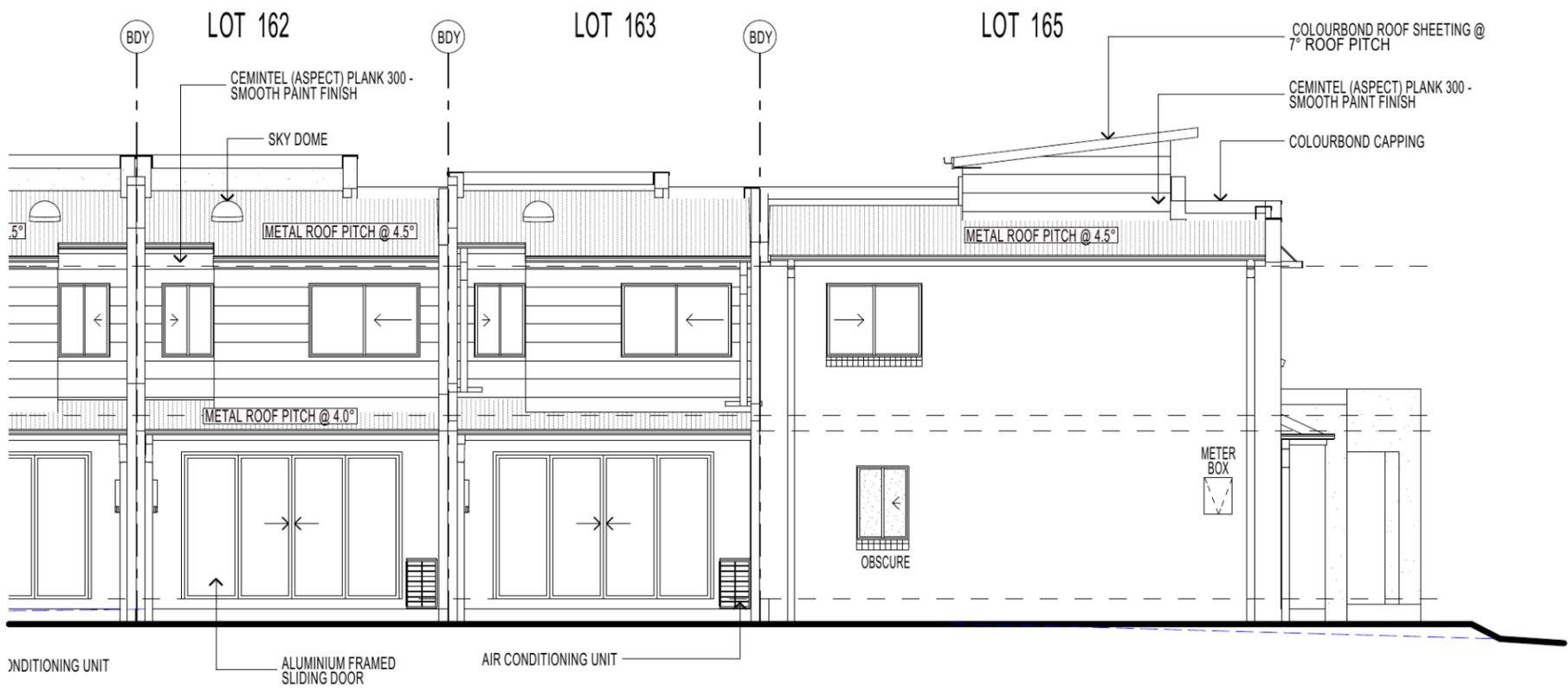
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MEMBER
MASTER BUILDER, BETTER BUILDER

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ELEVATION A



ELEVATION C

ELEVATIONS

- NOTE**
AIR CONDITIONING ONLY
(EER 2.5-3.0 OR GREATER)
3-PHASE POWER
- FIBRE OPTIC WIRING PACKAGE**
- NOTE:**
PROVIDE GRANITGARD
TERMITE TREATMENT
- NOTE:**
PLEASE REFER TO "ECO DESIGN"
LANDSCAPE PLANS ISSUE: 'F' DATED
10.09.14
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INCLUSIONS.

LOTS 162,163,165

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOTS 162,163,165
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934

model: WINSTON 22 facade: CUSTOM date: 24/09/2014 quotation assessment: SK1

Sheet: 36 of 49 drawn: G.P. checked: D.P. scale: 1:100

812-14
813-14
815-14

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

KEY

-  FACE BRICK (AS SELECTED)
-  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  CEMINTEL (ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED)- 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

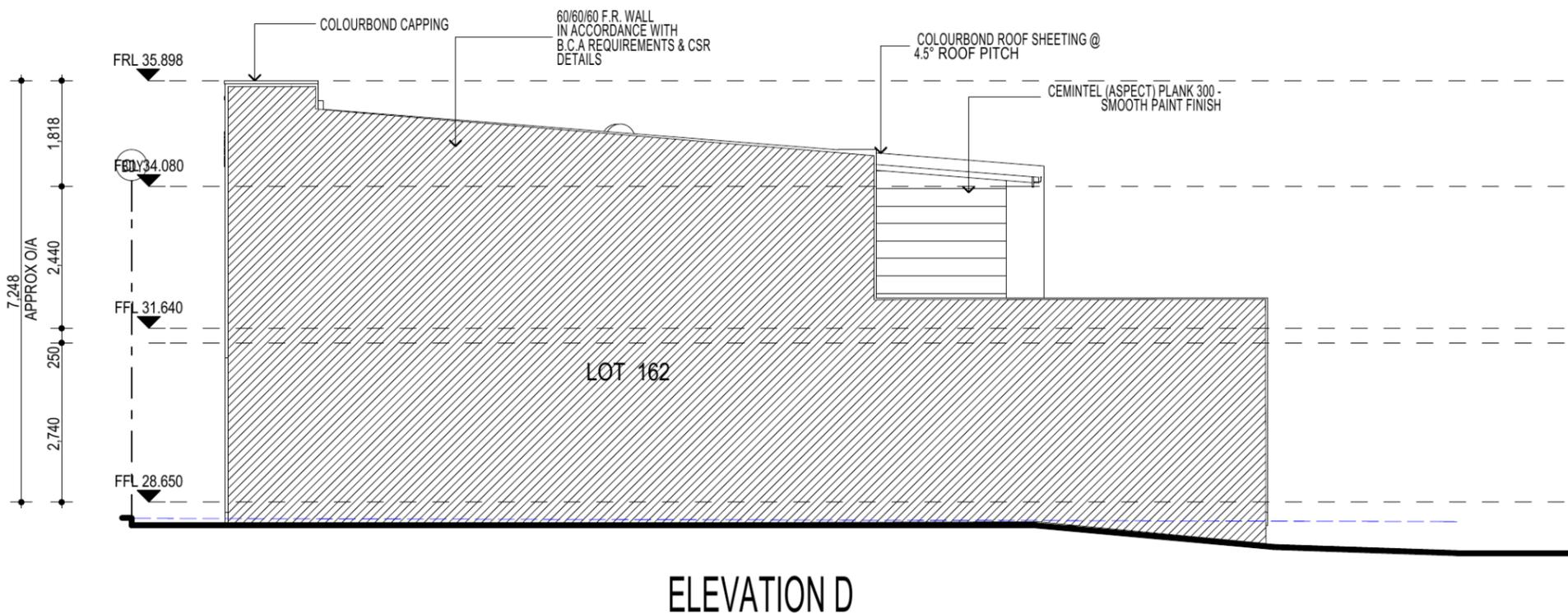
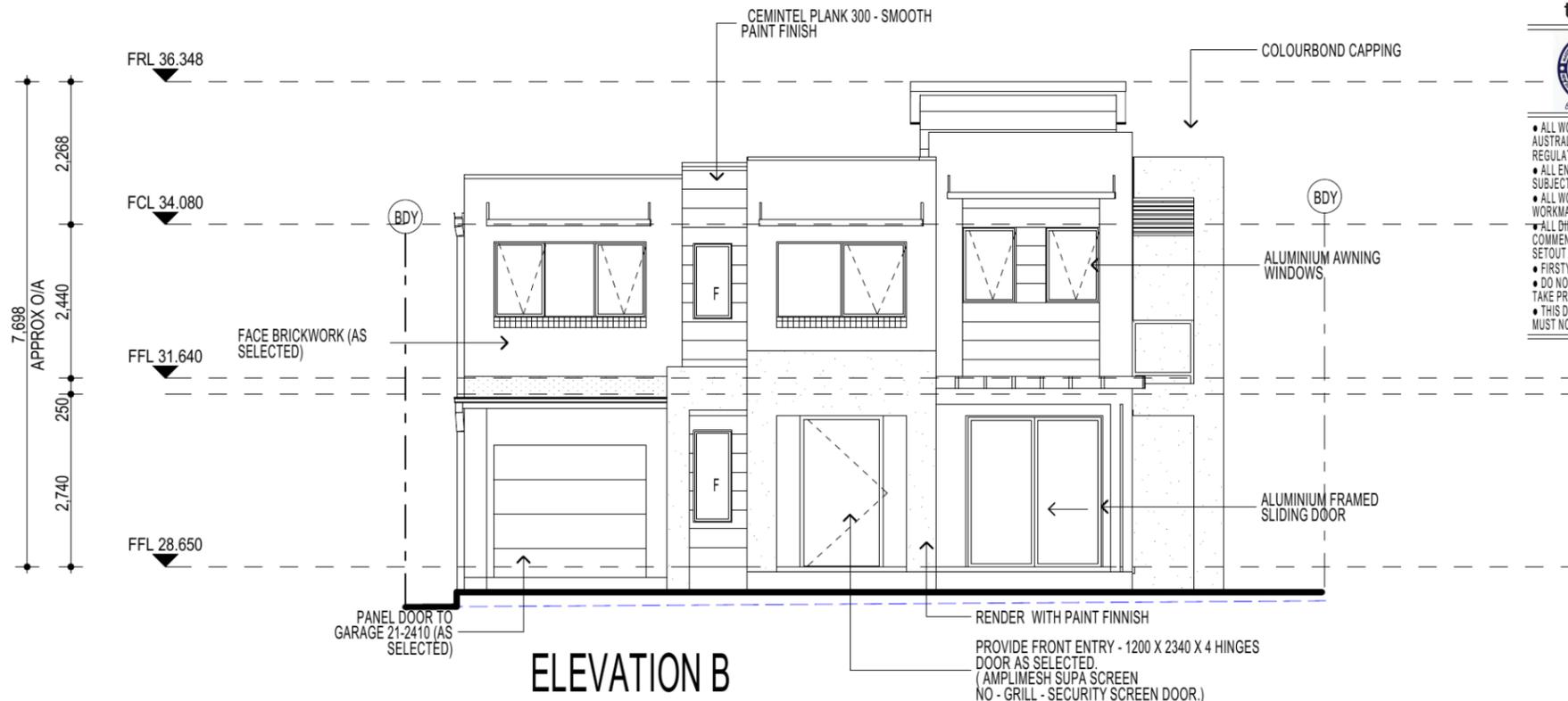
FIRSTSTYLE HOMES Pty.Ltd
Lic No. 113412C
ACN. 087 773 779
PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 9731 9600
FAX: (02) 9601 0711
EMAIL: design@firststyle.com.au

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NOTE
AIR CONDITIONING ONLY
(EER 2.5-3.0 OR GREATER)
3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD
TERMITE TREATMENT

NOTE:
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10.09.14

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LOTS 162,163,165

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOTS 162,163,165
HUDSON STREET, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: SANFIELD 20 PARKVIEW18.5 CUSTOM	date: 24/09/2014
Sheet: 37 of 49	scale: 1:100
drawn: G.P.	checked: D.P.
	812-14
	813-14
	815-14

ELEVATIONS

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

KEY

-  FACE BRICK (AS SELECTED)
-  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
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-  CEMINTEL(ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED)- 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

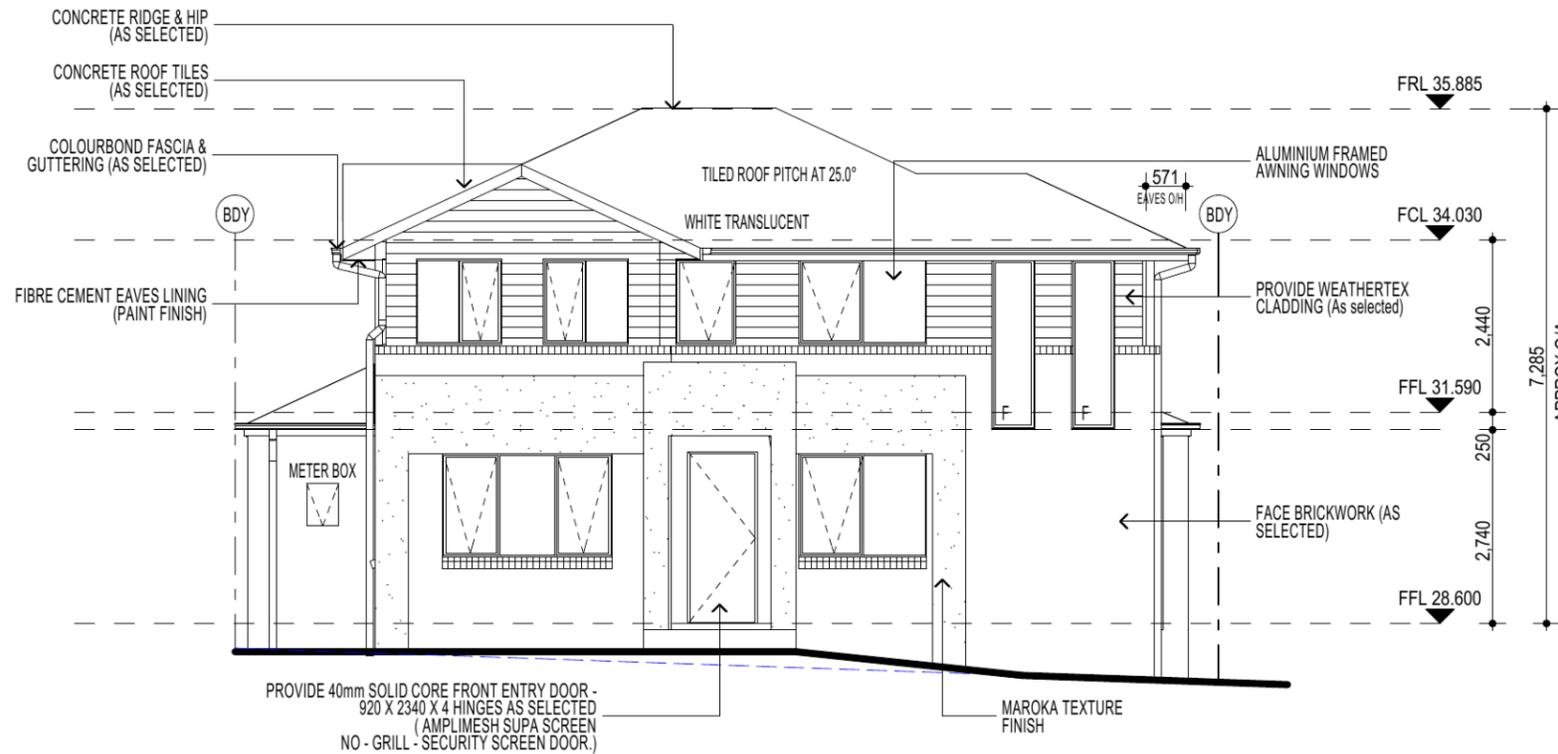
FIRSTSTYLE HOMES Pty.Ltd
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FAX: (02) 9601 0711
EMAIL: design@firststyle.com.au

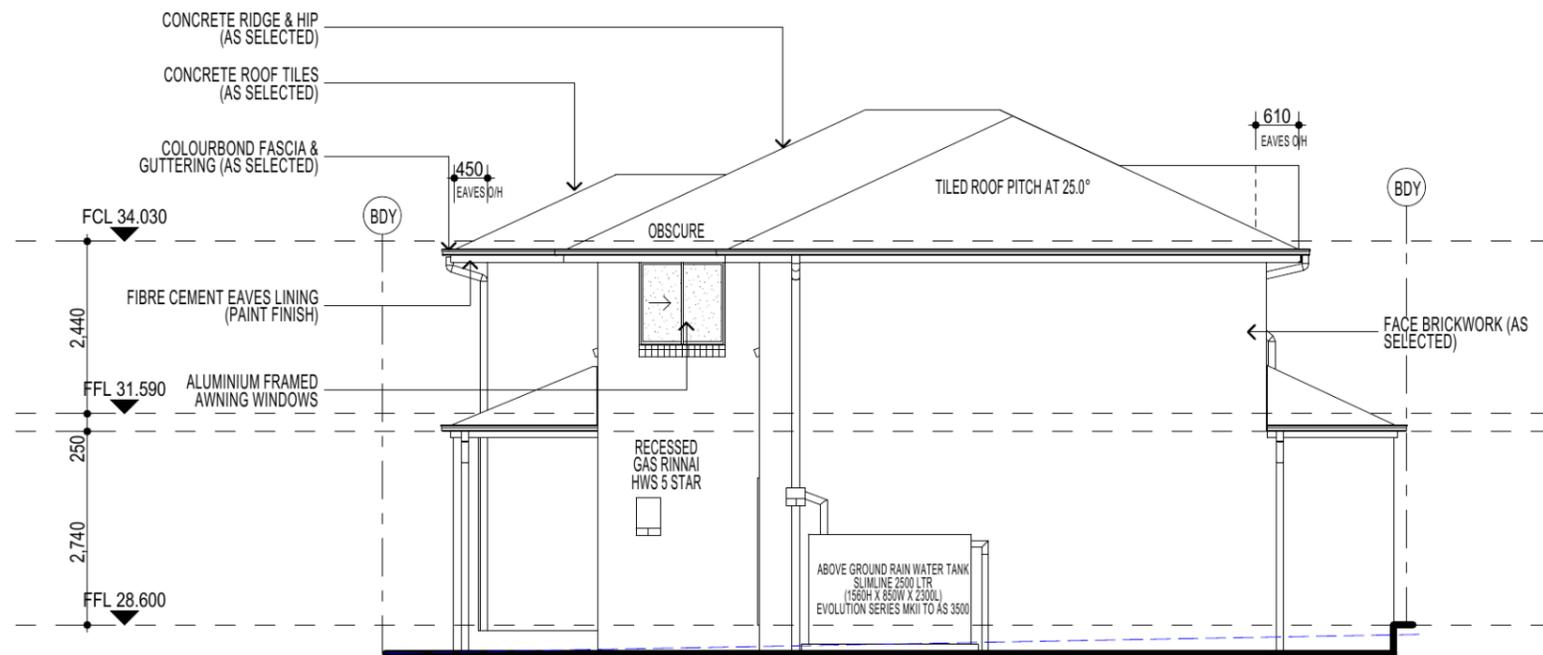
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ELEVATION A



ELEVATION C

NOTE
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(EER 2.5-3.0 OR GREATER)
3-PHASE POWER

FIBRE OPTIC WIRING PACKAGE

NOTE:
PROVIDE GRANITGARD
TERMITE TREATMENT

NOTE:
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PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOT 164
EMPIRE CIRCUIT, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE
FUTURE LOT 2390 IN DP 1171491 AS PER
DA14/0934 council: PENRITH

model: WINSTON 22 facade: CUSTOM date: 24/09/2014 quotation assessment: SK1

Sheet: 43 of 49 drawn: G.P. checked: D.P. scale: 1:100 804-14

ELEVATIONS

CLIENTS SIGNATURE: DATE: S.P. 0.0.

KEY

-  FACE BRICK (AS SELECTED)
-  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  RENDER FINISH TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  CEMINTEL (ASPECT) PLANK - SMOOTH PAINT FINISH (AS SELECTED) - 300 HIGH

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRSTSTYLE HOMES

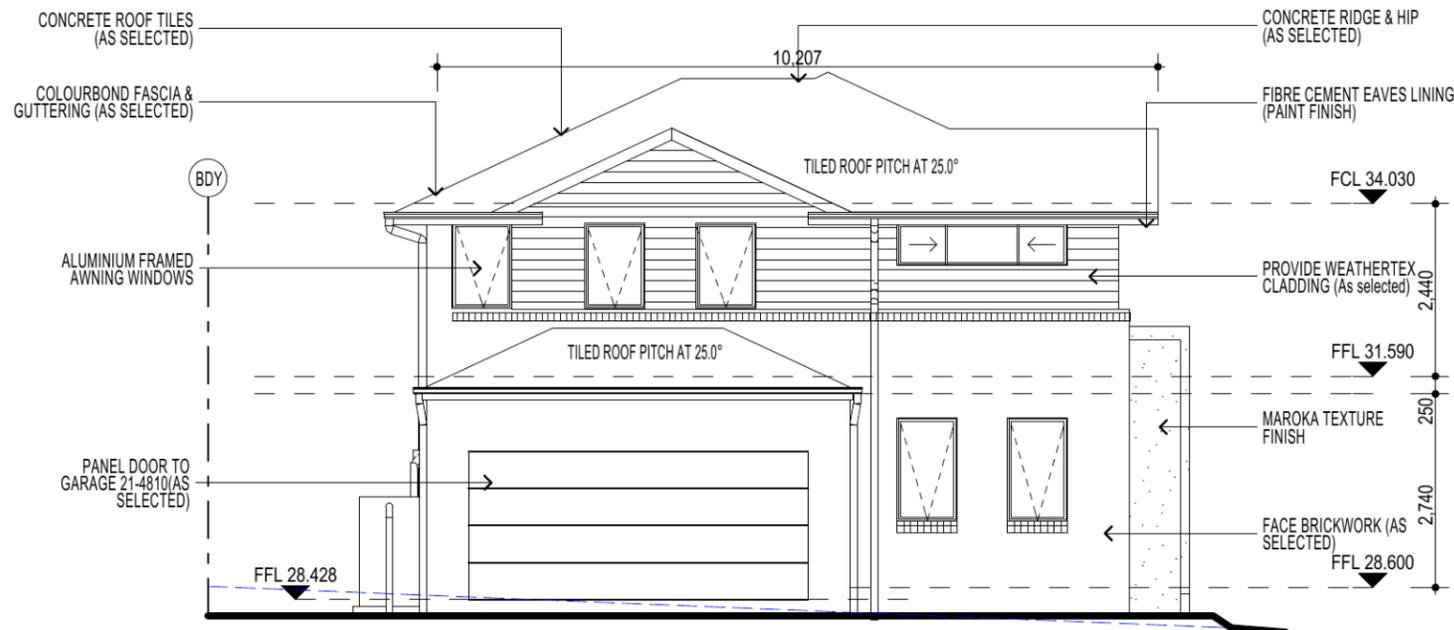
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ADMIN: (02) 9731 9600
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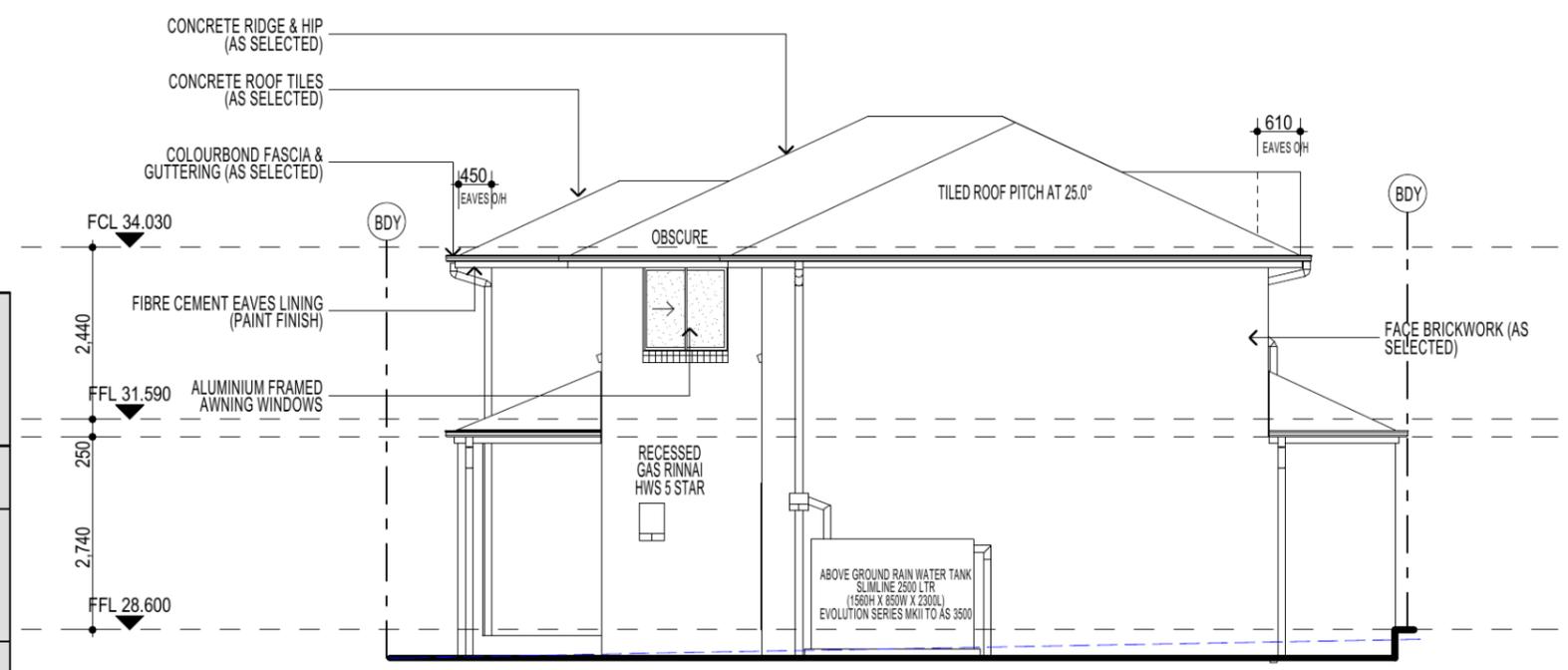
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MEMBER

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ELEVATION B



ELEVATION D

- NOTE**
AIR CONDITIONING ONLY
(EER 2.5-3.0 OR GREATER)
3-PHASE POWER
- FIBRE OPTIC WIRING PACKAGE**
- NOTE:**
PROVIDE GRANITGARD
TERMITE TREATMENT
- NOTE:**
PLEASE REFER TO "ECO DESIGN"
LANDSCAPE PLANS ISSUE: 'F' DATED
10.09.14
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INCLUSIONS.

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
PROPOSED LOT 164
EMPIRE CIRCUIT, PENRITH NSW 2750

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: WINSTON 22	facade: CUSTOM
date: 24/09/2014	quotation assessment: SK1
Sheet: 44 of 49	drawn: G.P.
scale: 1:100	checked: D.P.
	804-14

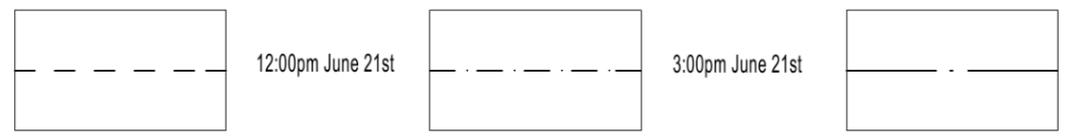
CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.

ELEVATIONS

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SHADOW DIAGRAM

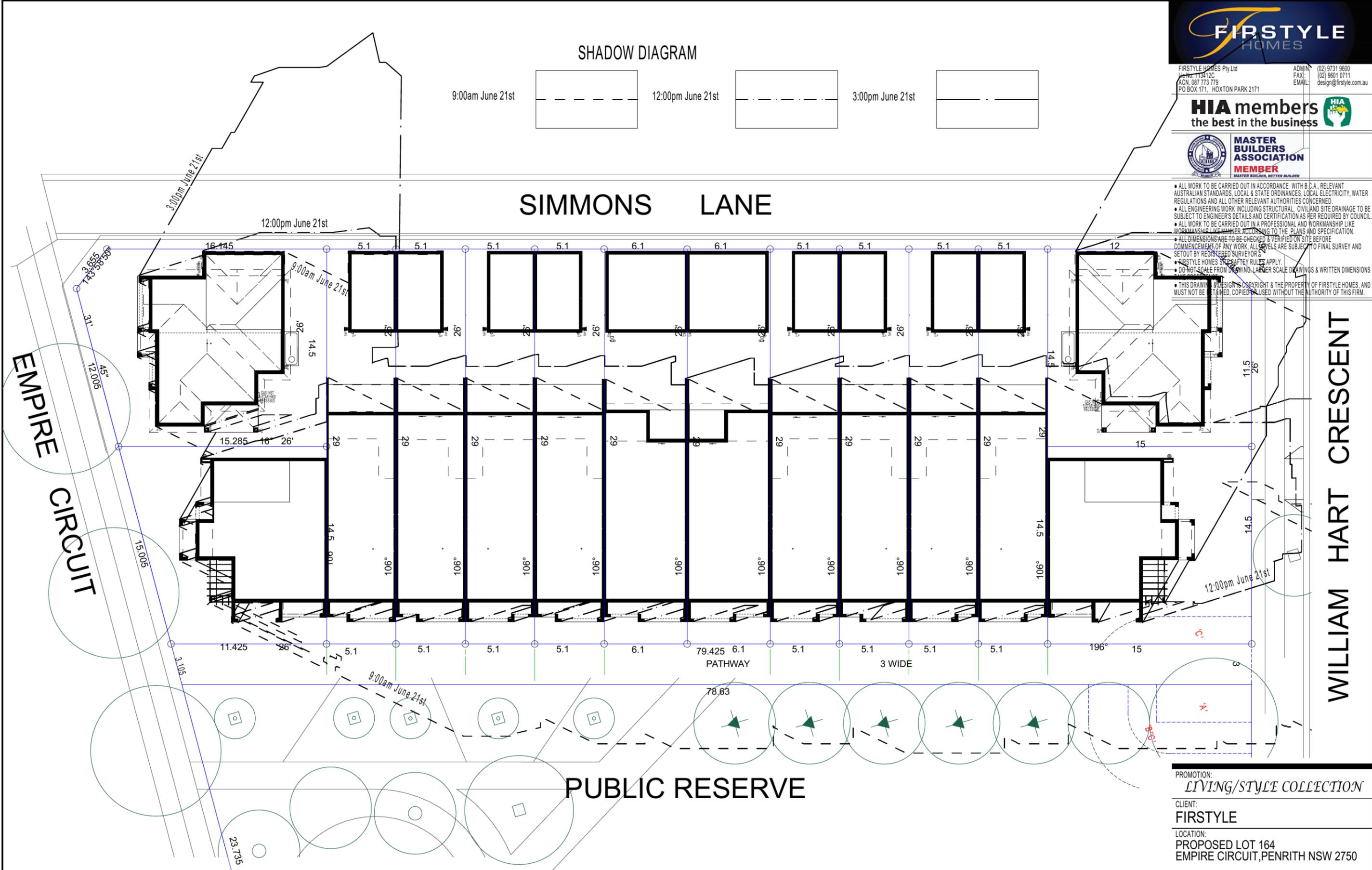
9:00am June 21st 12:00pm June 21st 3:00pm June 21st



SIMMONS LANE

EMPIRE
CIRCUIT

WILLIAM HART CRESCENT



NOTE:
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PROMOTION:
LIVING/STYLE COLLECTION

CLIENT:
FIRSTSTYLE

LOCATION:
**PROPOSED LOT 164
 EMPIRE CIRCUIT, PENRITH NSW 2750**

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934 council: **PENRITH**

model: facade: date: 24/09/2014 quotation assessment: **SK1**

Sheet: 46 of 49 drawn: G.P. checked: D.P. scale: 1:250

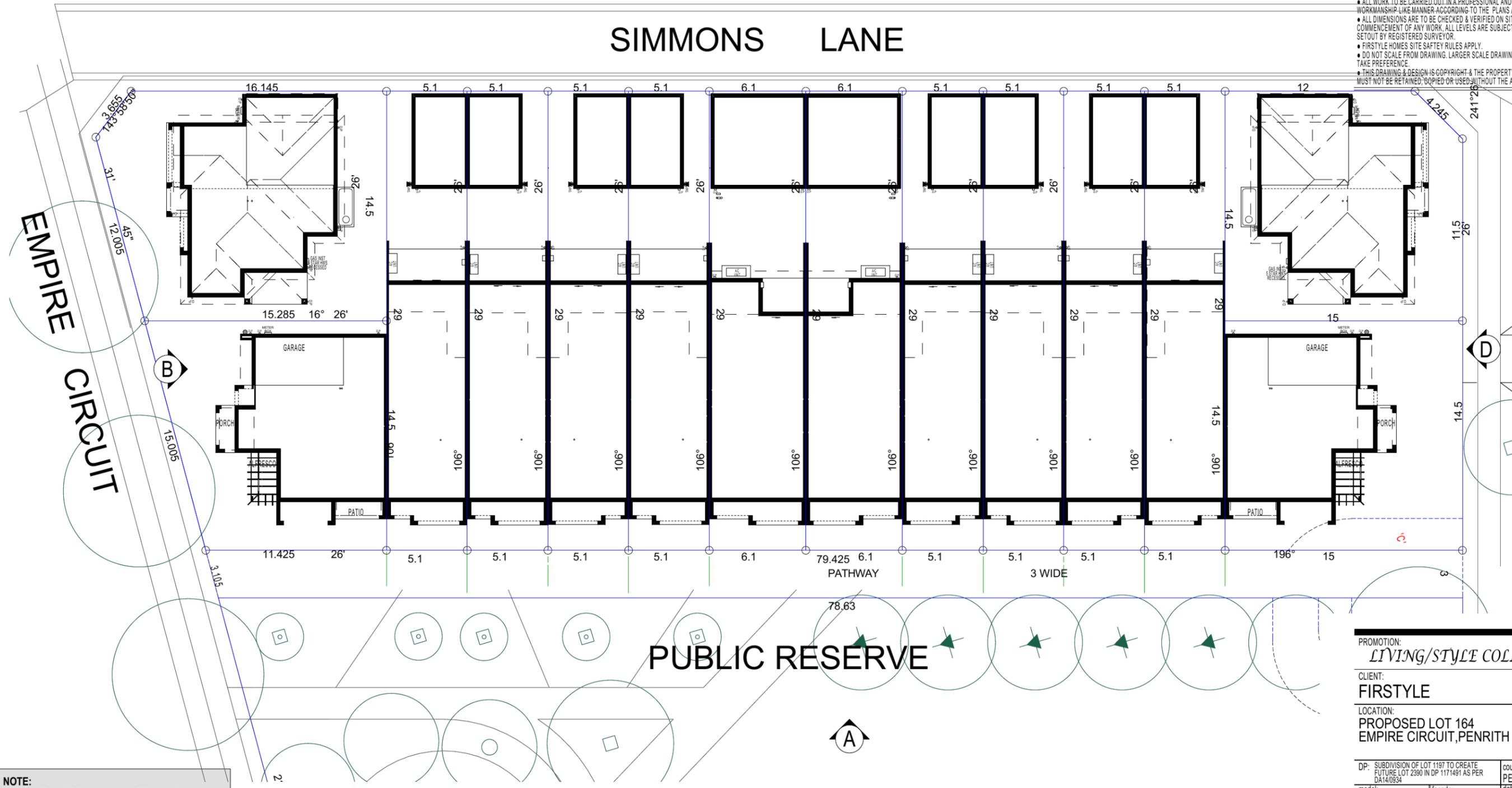
SHADOW DIAGRAM

CLIENTS SIGNATURE: DATE: S.P. 0.0.

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SIMMONS LANE

WILLIAM HART CRESCENT



EMPIRE CIRCUIT

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PROMOTION: LIVING/STYLE COLLECTION			
CLIENT: FIRSTSTYLE			
LOCATION: PROPOSED LOT 164 EMPIRE CIRCUIT, PENRITH NSW 2750			
DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH	date: 24/09/2014	valuation assessment: SK1
model: A	facade: G.P.	checked: D.P.	scale: 1:250
CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.			

NOTIFICATION PLAN

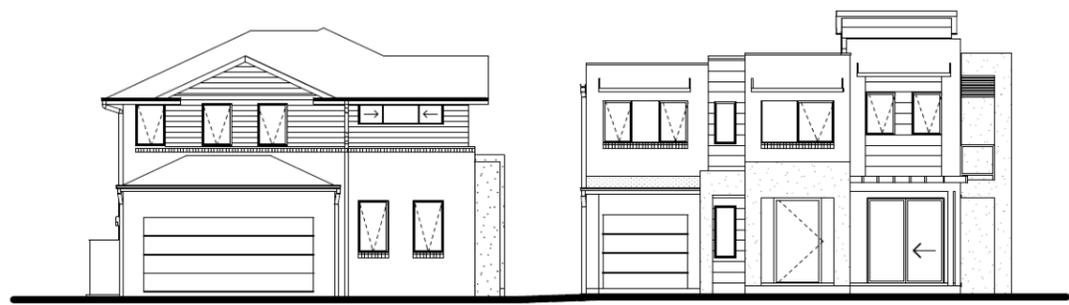
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HUDSON STREET ELEVATION



SIMMONS LANE ELEVATION



EMPIRE CIRCUIT ELEVATION



WILLIAM HART ELEVATION

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PROMOTION:
LIVING/STYLE COLLECTION

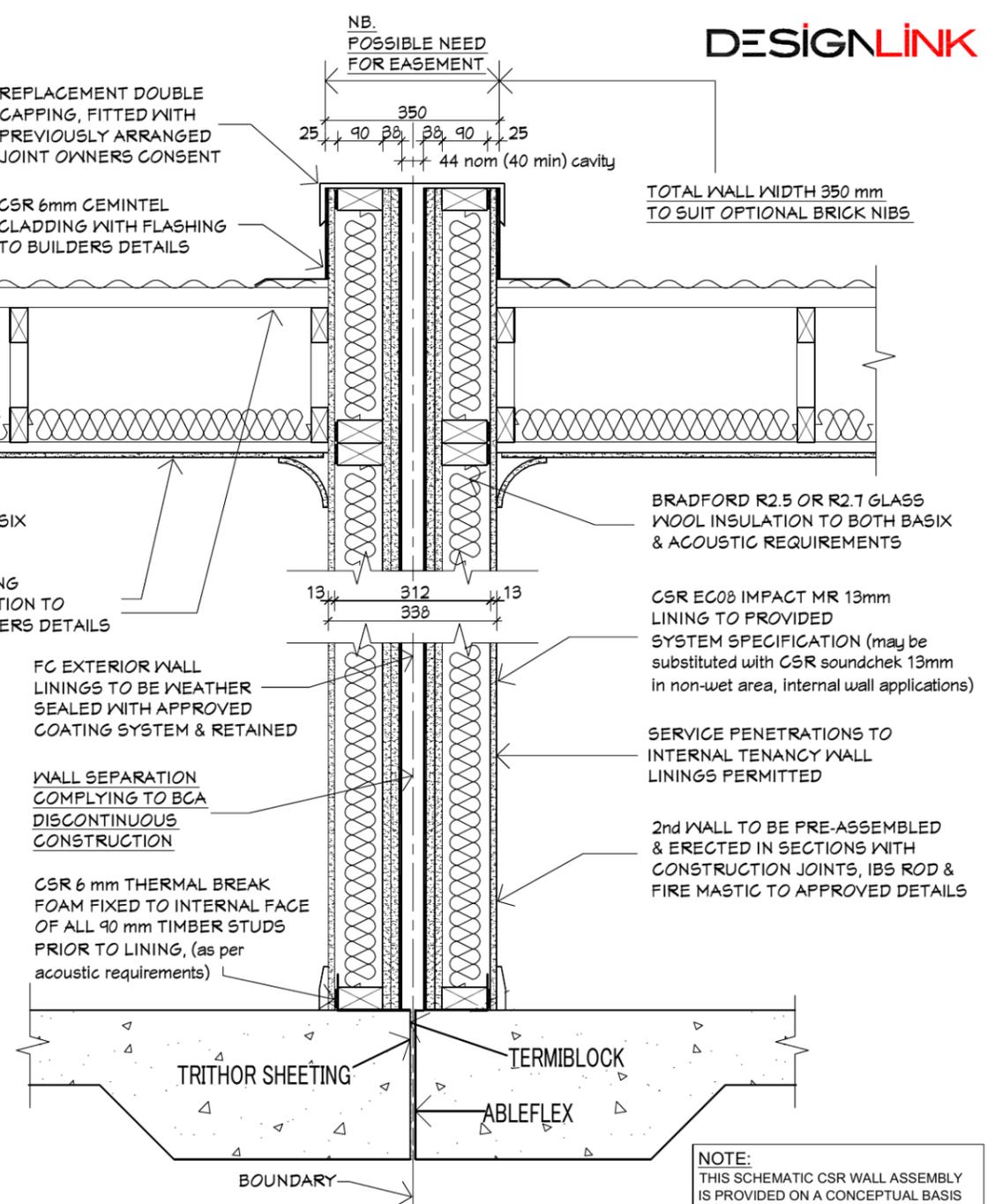
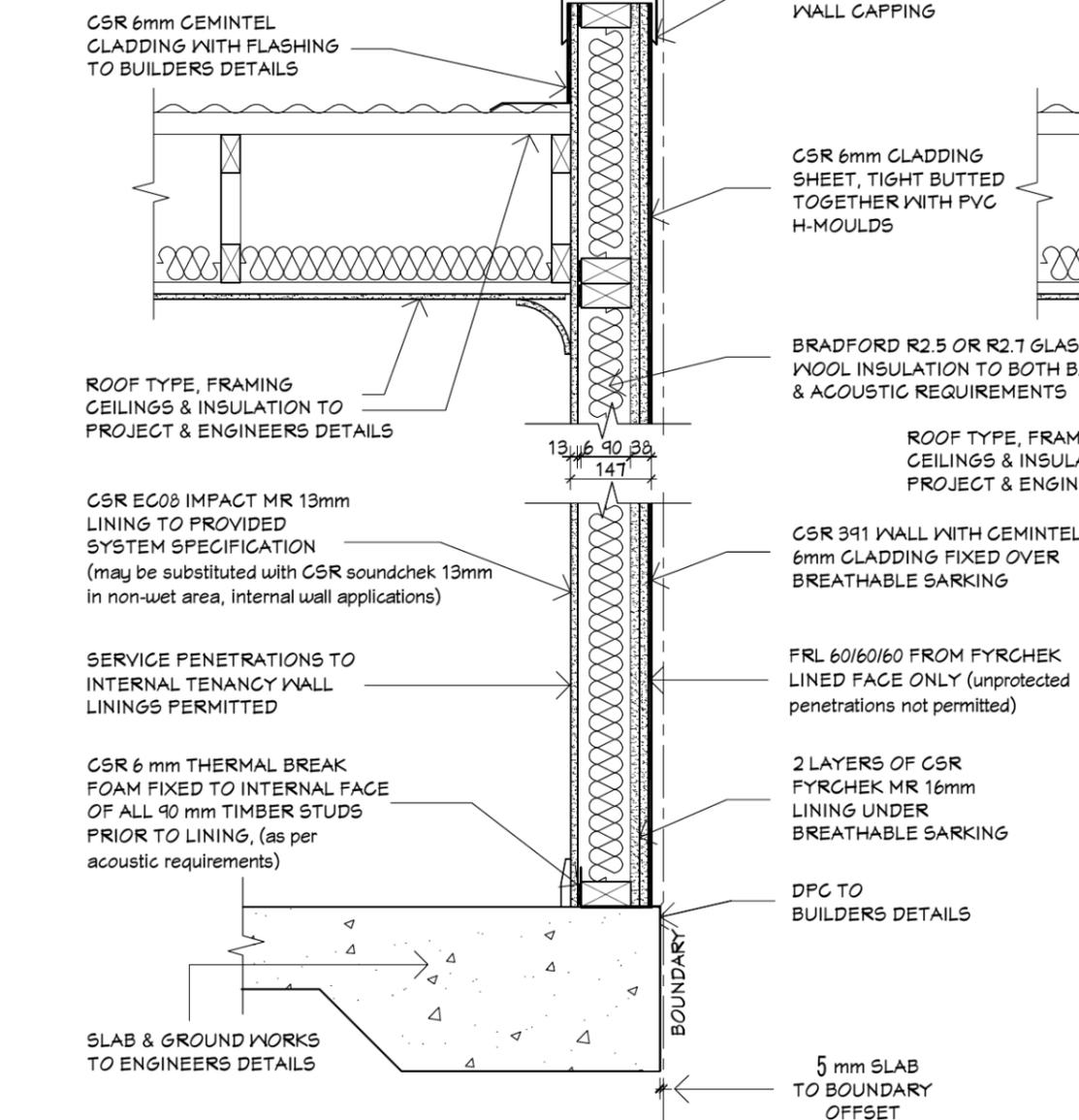
CLIENT:
FIRSTSTYLE

LOCATION:
**PROPOSED LOT 164
 EMPIRE CIRCUIT, PENRITH NSW 2750**

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model:	facade: CUSTOM
date: 24/09/2014	quotation assessment: SK1
Sheet: 48 of 49	drawn: G.P.
checked: D.P.	scale: 1:250

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GYPROCK™
 Everything else is just plasterboard
TWO STAGE SEPARATING WALL
 FRL 60/60/60 FROM FYRCHEK LINED
 FACES ONLY FOR ACOUSTIC
 Rw+Ctr 52 OR LESS APPLICATIONS



NOTE:
 THIS SCHEMATIC CSR WALL ASSEMBLY IS PROVIDED ON A CONCEPTUAL BASIS & MUST BE APPROVED BY THE PROJECT CERTIFIER OR FIRE CONSULTANT PRIOR TO INSTALLATION

CSR BUILDING PRODUCTS LTD
 Head Office: Trinitil 3, 39 DELHI RD, NORTH RYDE NSW 2113
 LOCKED BAG 1345, NORTH RYDE BC NSW 1670
 A.B.N. 55 008 631 356 Ph: 1300 306 556 www.gyprock.com.au

TITLE: SCHEMATIC SEPARATING WALL ASSEMBLY				CSR
SCALE: 1:10 @ A3	SHEET SIZE: A3	DRAWN: RF	DATE: 15.12.13	
FIGURE:	SHEET NO.: 1 of 1	CHECKED: AK	REVISION: D	

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FIRE RATED WALL SYSTEM

PROMOTION: **LIVING/STYLE COLLECTION**

CLIENT: **FIRSTSTYLE**

LOCATION: **PROPOSED LOTS 152- 165 HUDSON STREET, PENRITH NSW 2750**

DP: SUBDIVISION OF LOT 1197 TO CREATE FUTURE LOT 2390 IN DP 1171491 AS PER DA14/0934	council: PENRITH
model: SANFIELD 20 PARKVIEW18.5	facade: CUSTOM
date: 24/09/2014	evaluation assessment: SK1
Sheet: 49 of 49	drawn: G.P.
scale: 1:100	checked: D.P.

CLIENTS SIGNATURE: _____ DATE: _____ S.P. 0.0.