

DEVELOPMENT APPLICATION - DA 28-32 EVAN STREET, PENRITH

DRAWING LIST			
NO.	TITLE	SCALE	REV
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DA8.00 VIEWS AND MATERIAL BOARD			
DA8.01	DEMOLITION PLAN	1:200@A1	P1

	3 Bed	2 Bed	1 Bed	Studio		
Ground	0	2	5	1	8	
Level 1	0	4	6	0	10	
Level 2	0	4	6	0	10	
Level 3	0	4	6	0	10	
Level 4	0	4	6	0	10	
Level 5	4	2	0	0	6	
Totals (Units)	4	20	29	1	54	

Mix (%)	7,4%	37,0%	53,7%	1,9%	100,0%
No: of Bedrooms	12	40	29	1	82

SITE AREA	1.633
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GROSS FLOOR AREA	
	TOTAL (m ²)
Ground Floor	732
Level 1	812
Level 2	812
Level 3	812
Level 4	812
Level 5	714
SUB TOTAL	4.694
	2,9

NET SALEABLE AREA	
	TOTAL (m ²)
Ground Floor	531
Level 1	656
Level 2	656
Level 3	656
Level 4	656
Level 5	582
SUB TOTAL	3.737

GROSS BUILDING AREA	
	TOTAL (m ²)
Ground Floor	817
Level 1	929
Level 2	929
Level 3	929
Level 4	929
Level 5	929
SUB TOTAL	5.462

Car Parking Rate	
0.5 Car Spaces per Bedroom	

Type of Parking	Total	%
Residential Car Parking	65	91,5%
Residential Accesable Parking	6	8,5%
Total Car Parking	71	

ADG COMPLIANCE TABLE

	Studio	1 Bed	2 Bed	3 Bed	GBA (m ²)	P.O.S.	Storage (m ³) in Unit	Storage (m ³) External	Solar Access (3H) (9-15)	Solar Access (h)	Cross Vent	Aspect Views
Ground Floor					817							
G.01		68				17,8	3,1	2,9	✓	3	✓	NW
G.02	39					16,9	2,5	1,5	✓	3	✓	NW
G.03		76				15,3	3,1	2,9	✓	3	✓	NW
G.04		68				10,5	3,1	2,9	✓	4	✓	NW
G.05		56				34,0	3,3	2,7	✓	2	✓	SW
G.06			84			71,0	5,1	2,9	✓	2	✓	SW
G.07			84			80,0	5,1	2,9	✓	2	✓	SW
G.08		56				48,0	3,3	2,7	✓	3	✓	SW
Level 1					929							
1.01		68				6,0	3,1	2,9	✓	3	✓	NW
1.02			76			15,4	4,2	3,8	✓	3	✓	NW
1.03			81			14,0	5,4	2,6	✓	4	✓	NW
1.04			81			14,0	5,4	2,6	✓	4	✓	NW
1.05			76			15,4	4,2	3,8	✓	3	✓	NW
1.06		68				10,5	3,1	2,9	✓	4	✓	NW
1.07		50				8,0	3,1	2,9	✓	2	✓	SW
1.08		53				8,0	4,7	1,3	✓	2	✓	SW
1.09		53				8,0	3,1	2,9	✓	2	✓	SW
1.10		50				8,0	3,1	2,9	✓	3	✓	SW
Level 2					929							
2.01		68				6,0	3,1	2,9	✓	3	✓	NW
2.02			76			15,4	4,2	3,8	✓	3	✓	NW
2.03			81			14,0	5,4	2,6	✓	4	✓	NW
2.04			81			14,0	5,4	2,6	✓	4	✓	NW
2.05			76			15,4	4,2	3,8	✓	3	✓	NW
2.06		68				10,5	3,1	2,9	✓	4	✓	NW
2.07		50				8,0	3,1	2,9	✓	2	✓	SW
2.08		53				8,0	4,7	1,3	✓	2	✓	SW
2.09		53				8,0	3,1	2,9	✓	2	✓	SW
2.10		50				8,0	3,1	2,9	✓	3	✓	SW
Level 3					929							
3.01		68				6,0	3,1	2,9	✓	3	✓	NW
3.02			76			15,4	4,2	3,8	✓	3	✓	NW
3.03			81			14,0	5,4	2,6	✓	4	✓	NW
3.04			81			14,0	5,4	2,6	✓	4	✓	NW
3.05			76			15,4	4,2	3,8	✓	3	✓	NW
3.06		68				10,5	3,1	2,9	✓	4	✓	NW
3.07		50				8,0	3,1	2,9	✓	2	✓	SW
3.08		53				8,0	4,7	1,3	✓	2	✓	SW
3.09		53				8,0	3,1	2,9	✓	2	✓	SW
3.10		50				8,0	3,1	2,9	✓	3	✓	SW
Level 4					929							
4.01		68				6,0	3,1	2,9	✓	3	✓	NW
4.02			76			15,4	4,2	3,8	✓	3	✓	NW
4.03			81			14,0	5,4	2,6	✓	4	✓	NW
4.04			81			14,0	5,4	2,6	✓	4	✓	NW
4.05			76			15,4	4,2	3,8	✓	3	✓	NW
4.06		68				10,5	3,1	2,9	✓	4	✓	NW
4.07		50				8,0	3,1	2,9	✓	2	✓	SW
4.08		53				8,0	4,7	1,3	✓	2	✓	SW
4.09		53				8,0	3,1	2,9	✓	2	✓	SW
4.10		50				8,0	3,1	2,9	✓	3	✓	SW
Level 5					929							
5.01				99		20,0	5,3	4,7	✓	4	✓	NW
5.02				105		17,0	6,0	4,0	✓	5	✓	NW
5.03				105		17,0	6,0	4,0	✓	5	✓	NW
5.04				99		20,0	5,3	4,7	✓	6	✓	NW
5.05			87			19,0	4,9	3,1	✓	2	✓	SW
5.06			87			19,0	4,9	3,1	✓	3	✓	SW
Apartments	1,0	29,0	20,0	4,0								
Apartment Mx	1,85%	53,70%	37,04%	7,41%								
Total Apartments	54,0											
Total NSA (m ²)	3,737											
Total GBA (m ²)					5462,0							
TOTAL P.O.S.						834,7						
Solar Access (required 70%)									38,00	167,00		
% Total									70,37%	Total hrs.		
Cross Vent. (Required 60%)											34,0	
% Total											63,00%	
Storage Totals (min 50% internal)							218,60	159,40				
%Total							57,83%	42,17%				

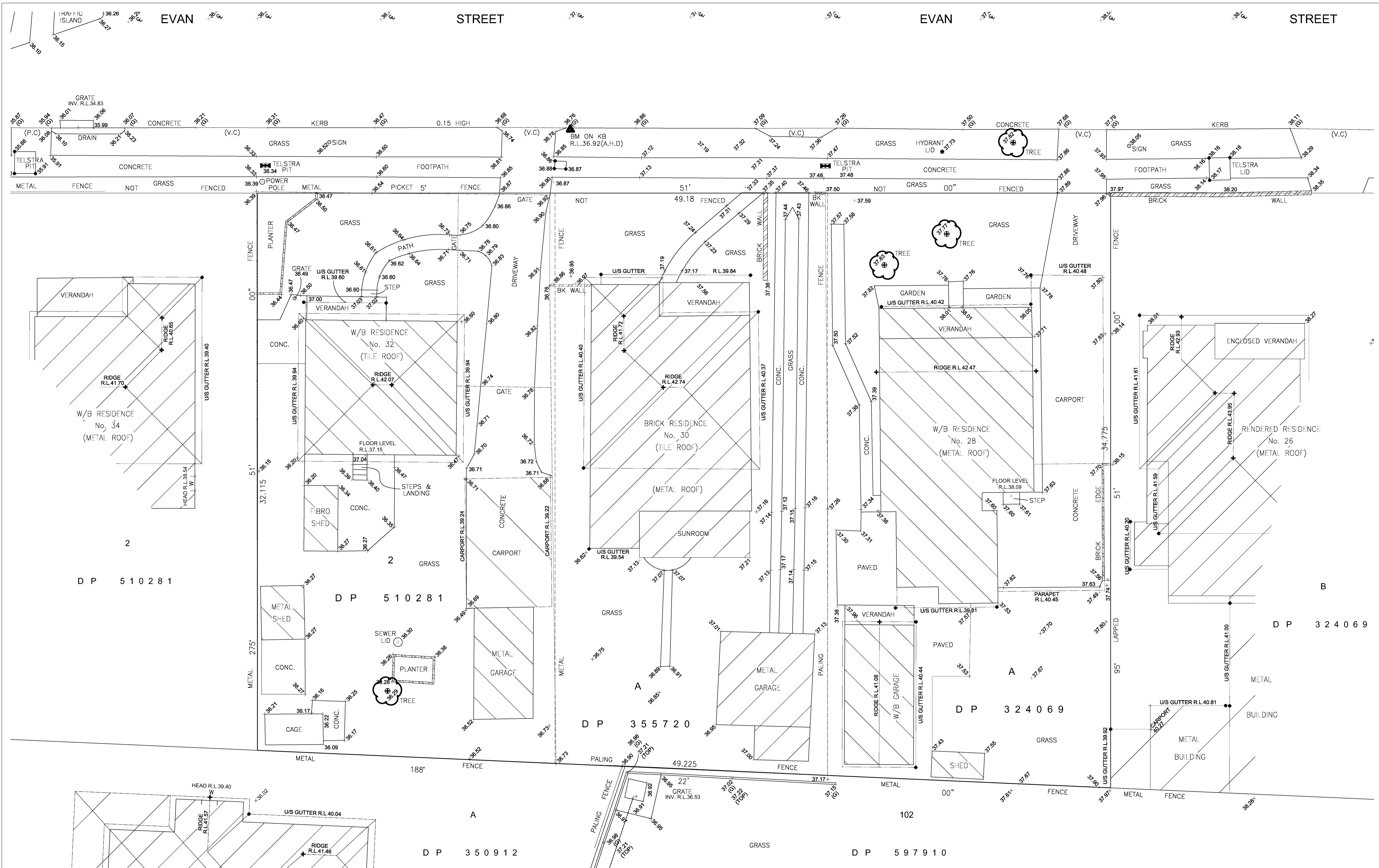
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P1	2017.12.15	ISSUED FOR REVIEW	SC
P2	2017.12.15	ISSUED FOR DA	WX

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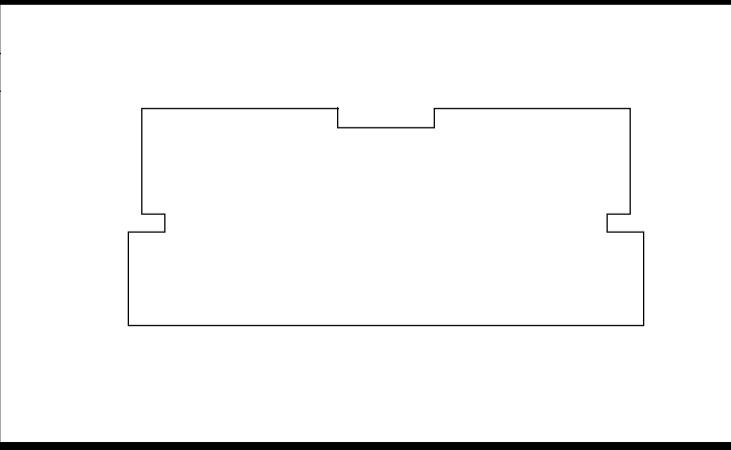
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PROJECT 28-32 Evan St, Penrith	SCALE NA	DATE 2017.12.19	DRAWN WX
	JOB 17007	DRAWING DA0.00	CHECKED AK
			REVISION P2



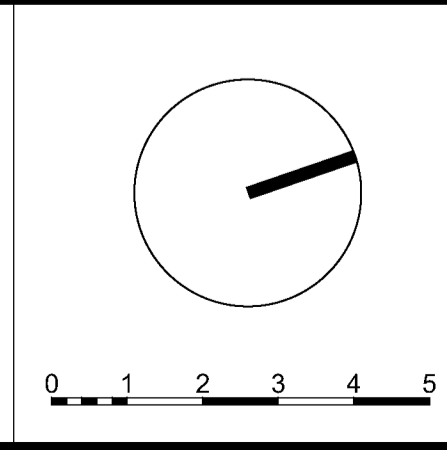
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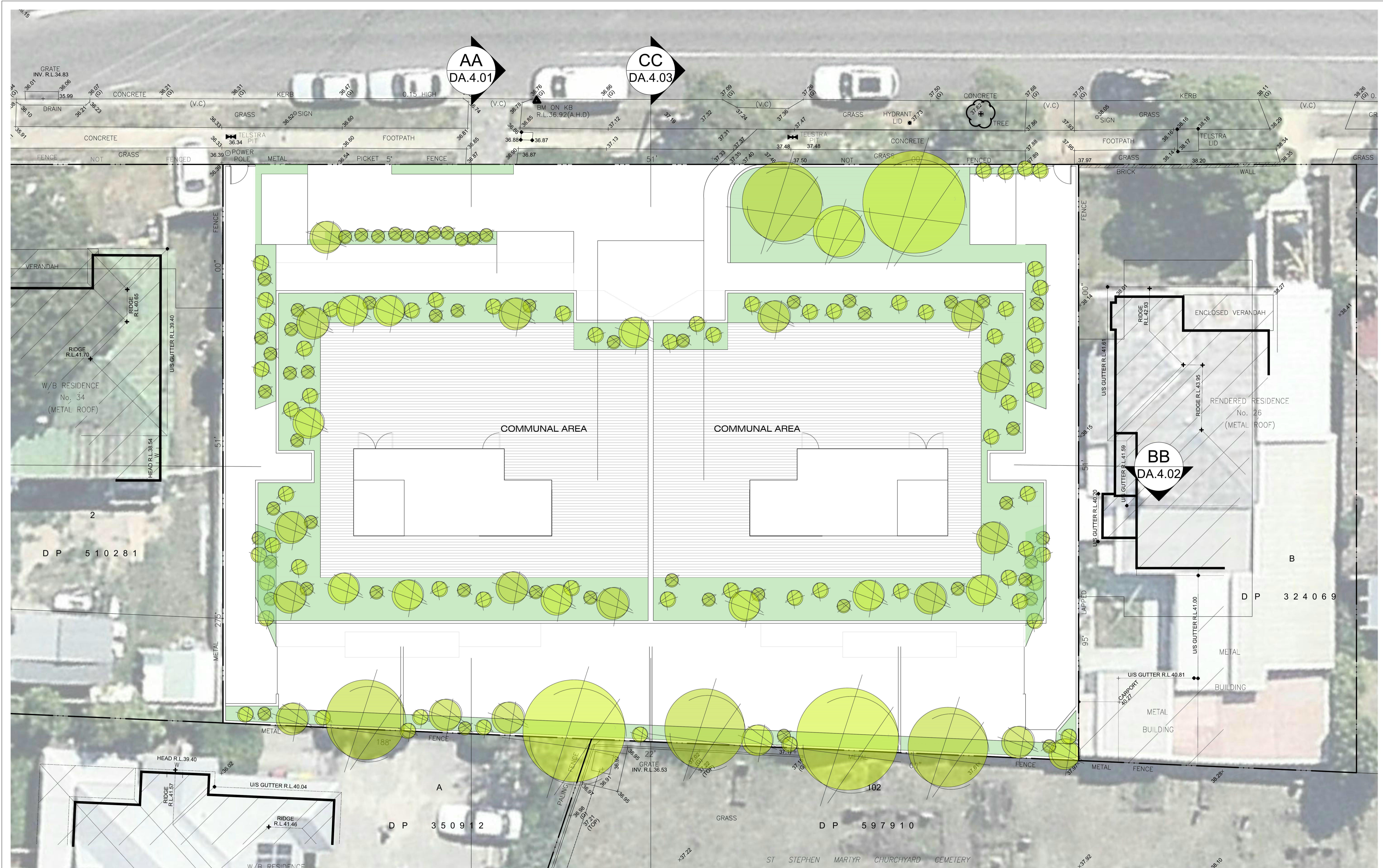
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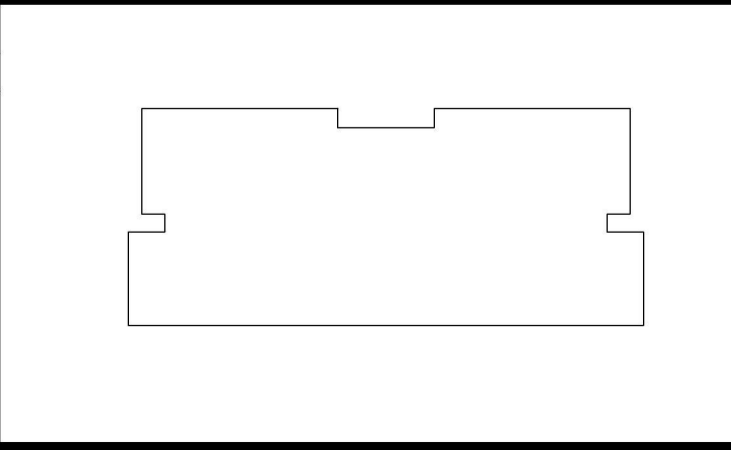
DRAWING TITLE			
SURVEY PLAN			
SCALE 1:100@A1 1:200@A3	DATE 2017-12-15	DRAWN SC	CHECKED AK
JOB 17007	DRAWING DA1.04	REVISION P1	



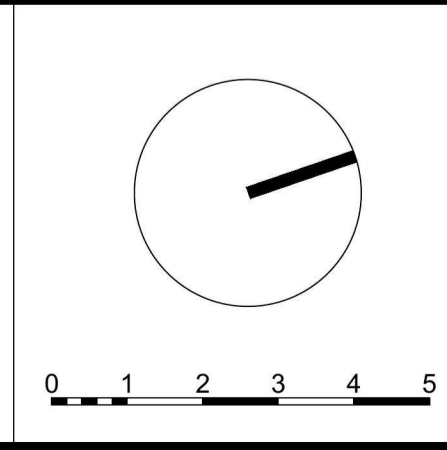
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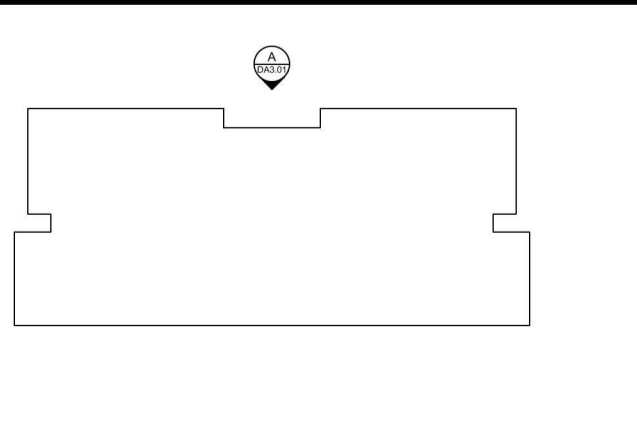
DRAWING TITLE			
ROOF FLOOR PLAN			
SCALE 1:100@A1 1:200@A3	DATE 2017-12-15	DRAWN SC	CHECKED AK
JOB 17007	DRAWING DA2.04	REVISION P1	



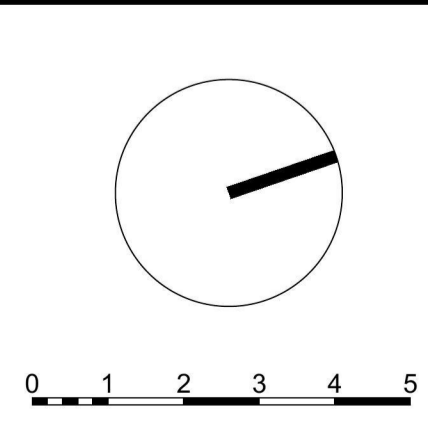
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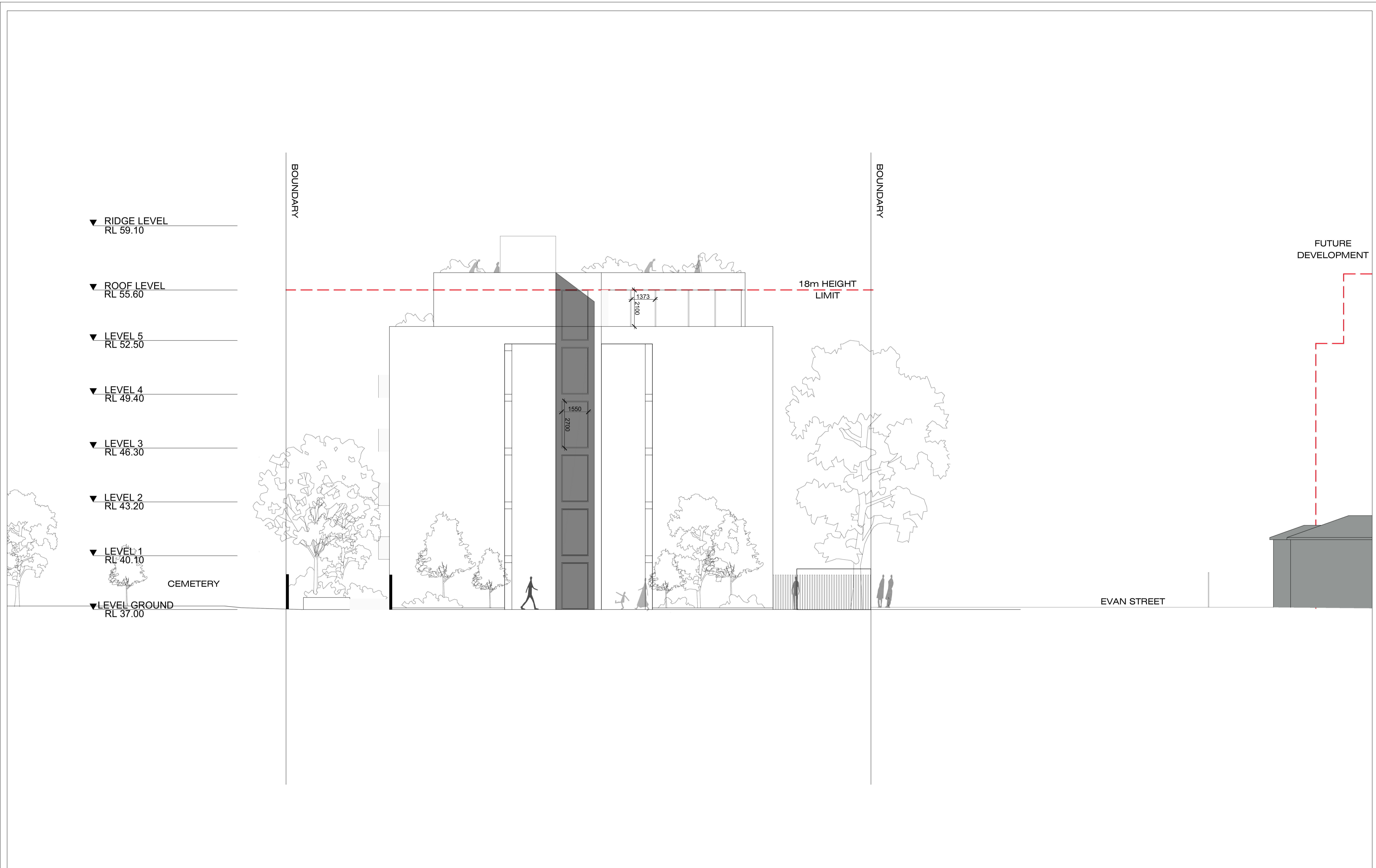
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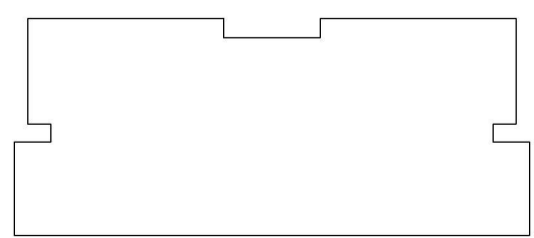
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WEST (EVAN STREET) ELEVATION			
SCALE 1:100@A1 1:200@A3	DATE 2017-12-15	DRAWN SC	CHECKED AK
JOB 17007	DRAWING DA3.01	REVISION P1	



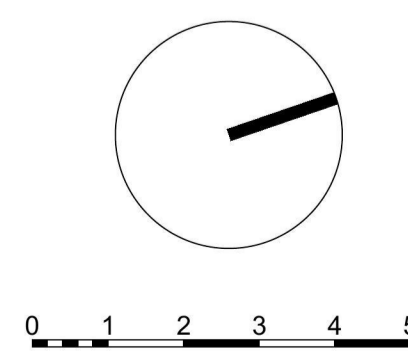
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DRAWING TITLE
NORTH ELEVATION

SCALE	DATE	DRAWN	CHECKED
1:100@A1 1:200@A3	2017-12-15	SC	AK
JOB	DRAWING	REVISION	
17007	DA3.02	P1	



▼ RIDGE LEVEL
RL 58.70

▼ ROOF LEVEL
RL 55.00

▼ LEVEL 5
RL 51.90

▼ LEVEL 4
RL 48.80

▼ LEVEL 3
RL 45.70

▼ LEVEL 2
RL 42.60

RL 36.40

18m HEIGHT
LIMIT

18m HEIGHT
LIMIT

▼ RIDGE LEVEL
RL 59.10

▼ ROOF LEVEL
RL 55.60

▼ LEVEL 5
RL 52.50

▼ LEVEL 4
RL 49.40

▼ LEVEL 3
RL 46.30

▼ LEVEL 2
RL 43.20

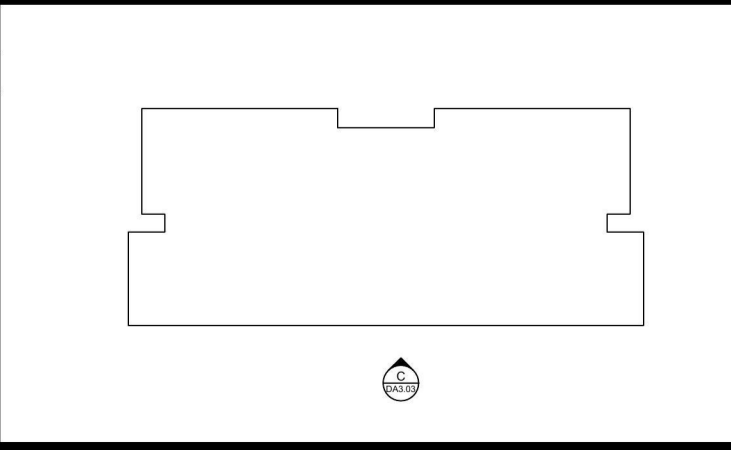
▼ LEVEL 1
RL 40.10

▼ LEVEL GROUND
RL 37.00

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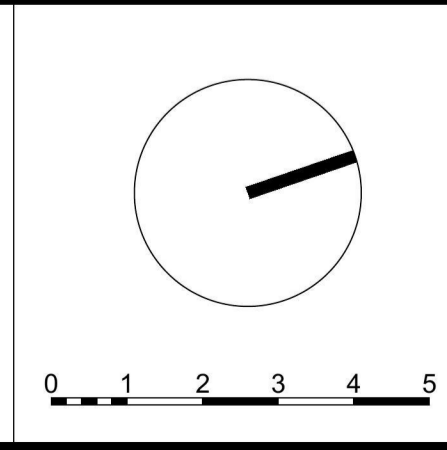
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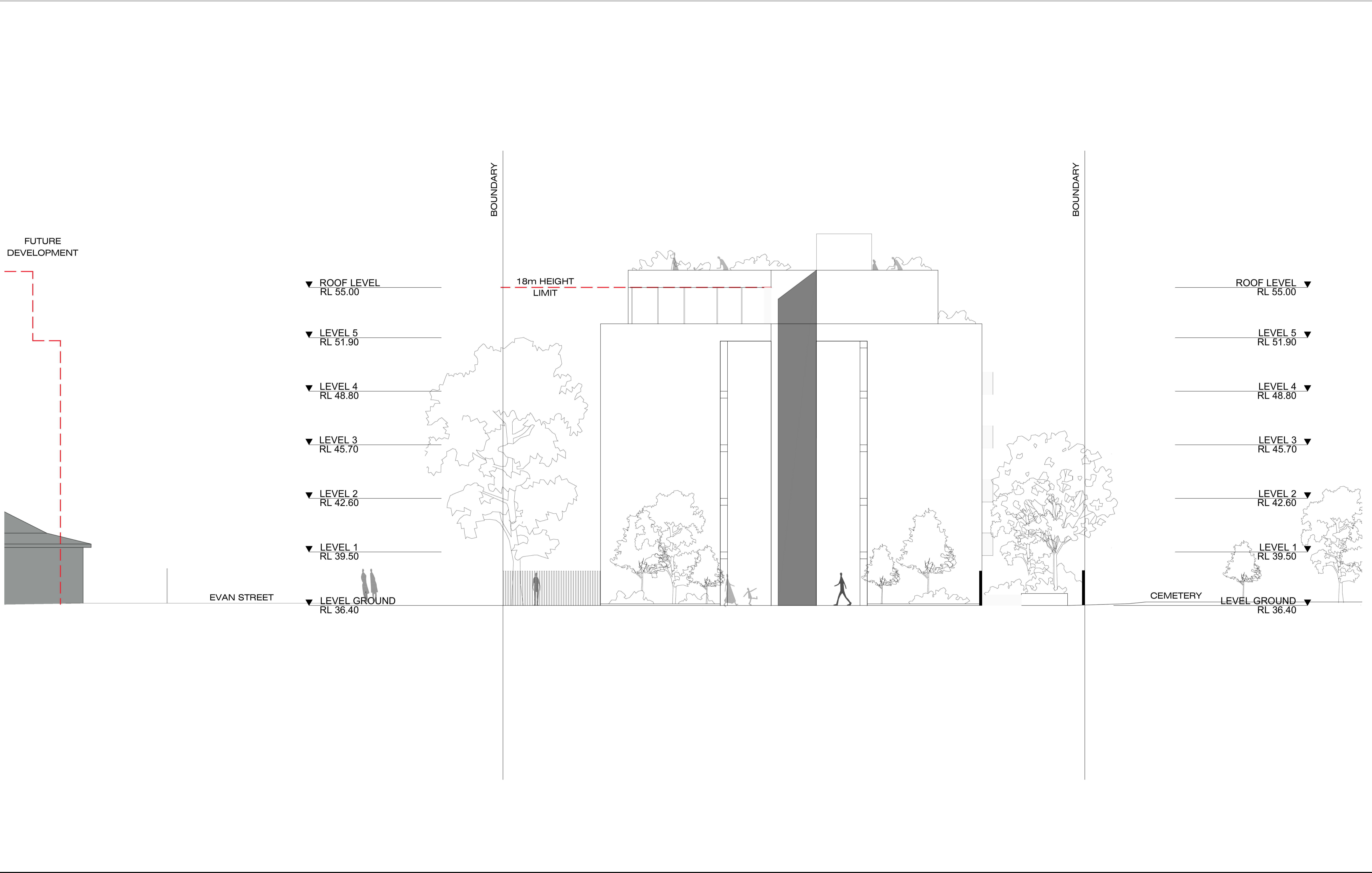
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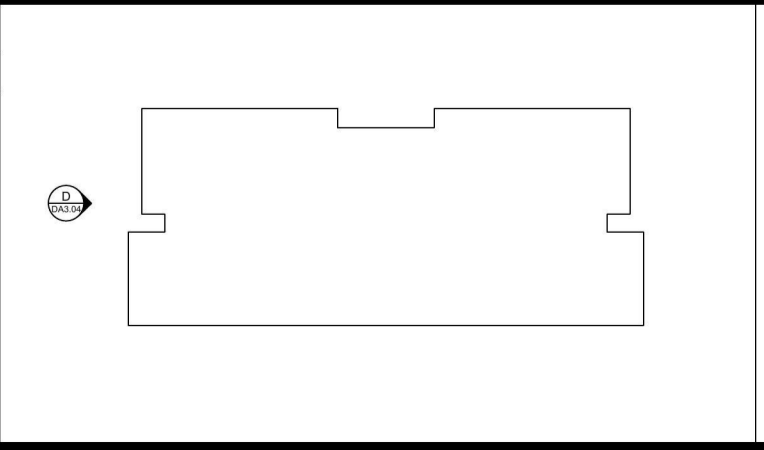
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EAST ELEVATION			
SCALE 1:100@A1 1:200@A3	DATE 2017-12-15	DRAWN SC	CHECKED AK
JOB 17007	DRAWING DA3.03	REVISION P1	



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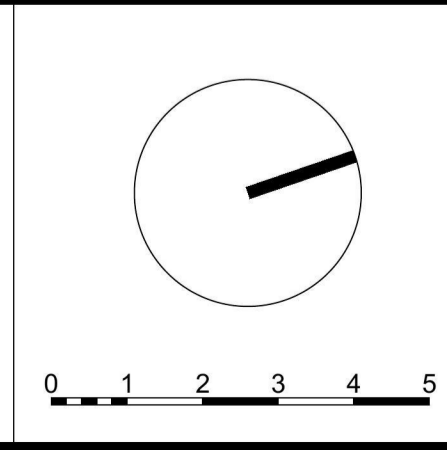
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DRAWING TITLE			
SOUTH ELEVATION			
SCALE 1:100@A1 1:200@A3	DATE 2017-12-15	DRAWN SC	CHECKED AK
JOB 17007	DRAWING DA3.04	REVISION P1	



9:00 am



12:00 pm

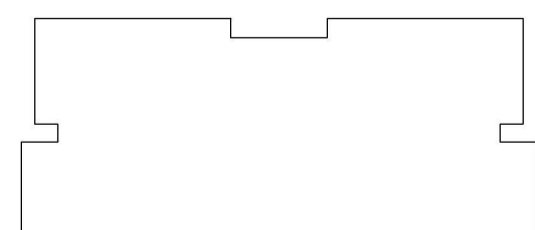


3:00 pm

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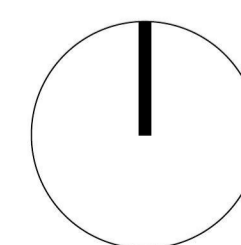
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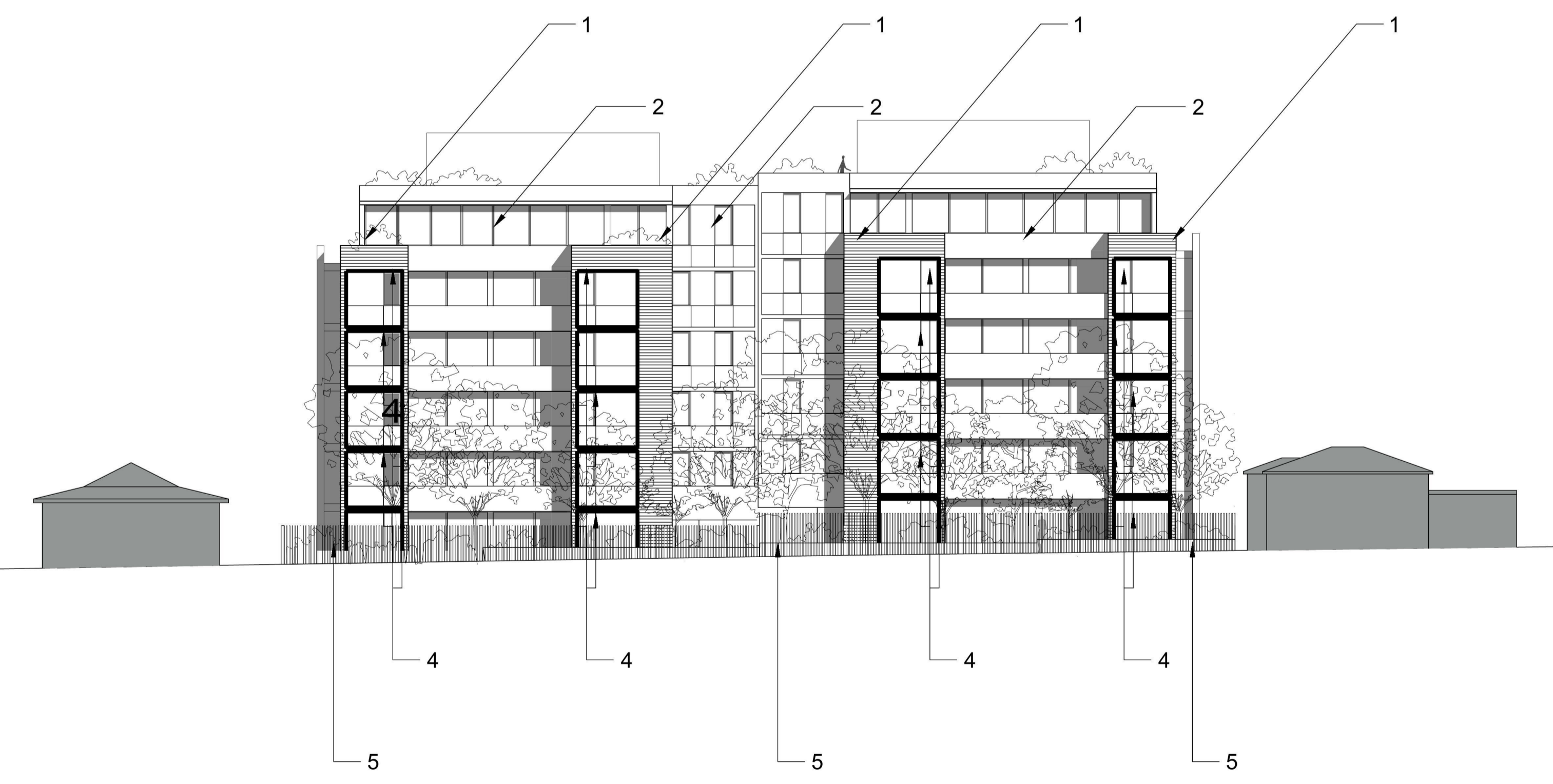
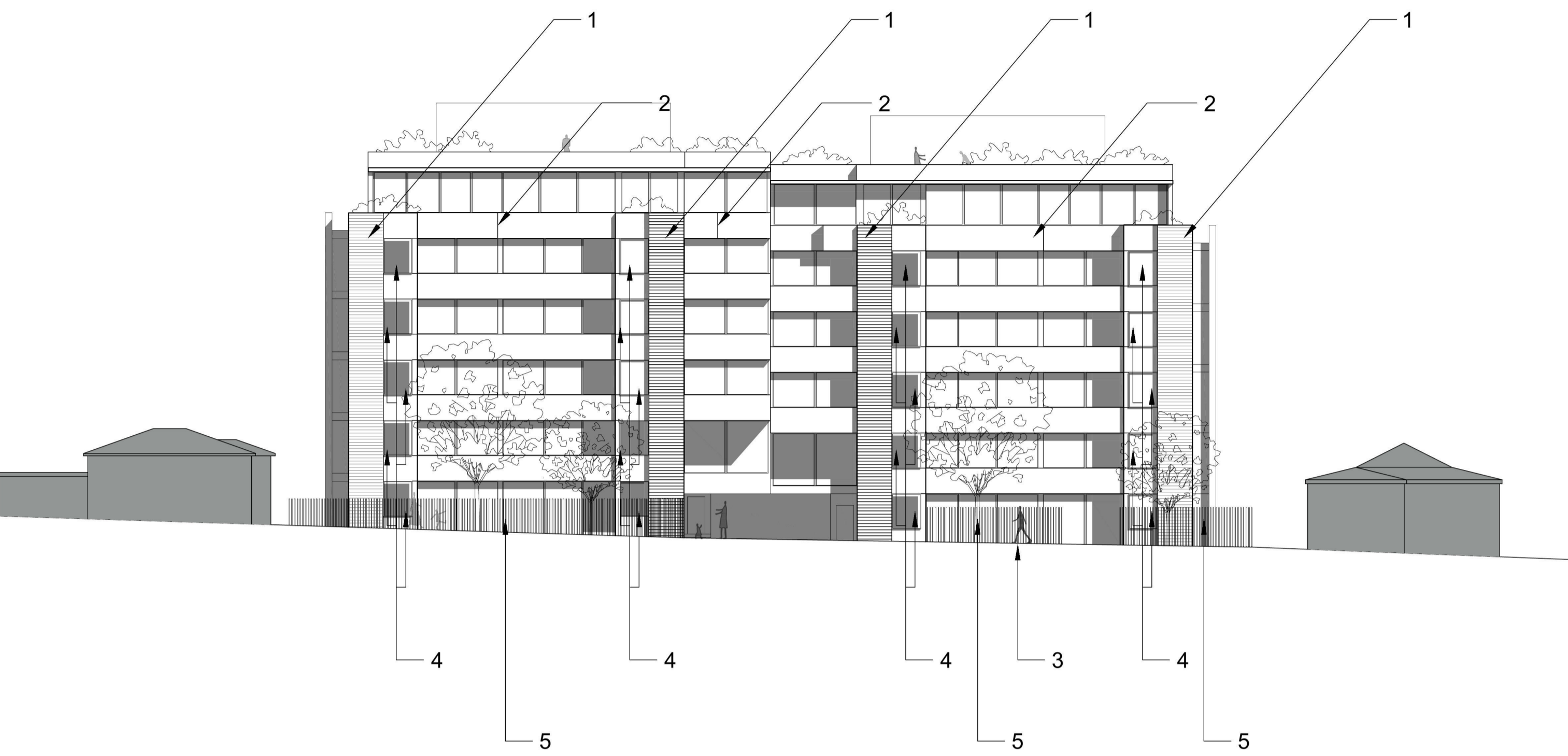


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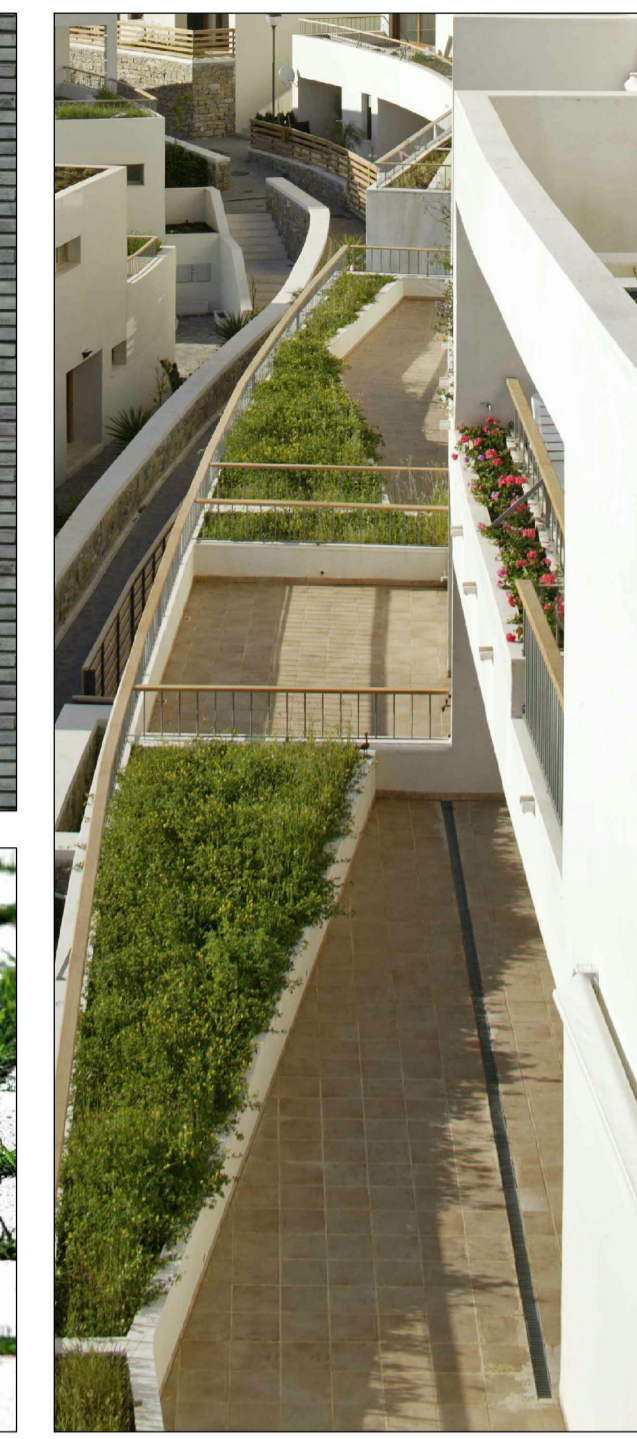
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DRAWING TITLE
 SHADOW ANALYSIS (21ST JUNE)

SCALE NA	DATE	DRAWN SC	CHECKED AK
	2017-12-15	SC	AK
JOB	DRAWING	REVISION	
17007	DA5.04	P1	



1. EXTERNAL WALLS
LARGE FORMAT BRICK,
ROMAN PRPORTION,
GREY COLOUR



2. WHITE PAINTED
RENDER BALCONIES,
IN CONTRAST WITH
THE BRICK WALL
BREAKING UP THE
FACADE

3. PERMEABLE ECO
GRASS PAVERS

4. METAL WINDOWS
AWNINGS



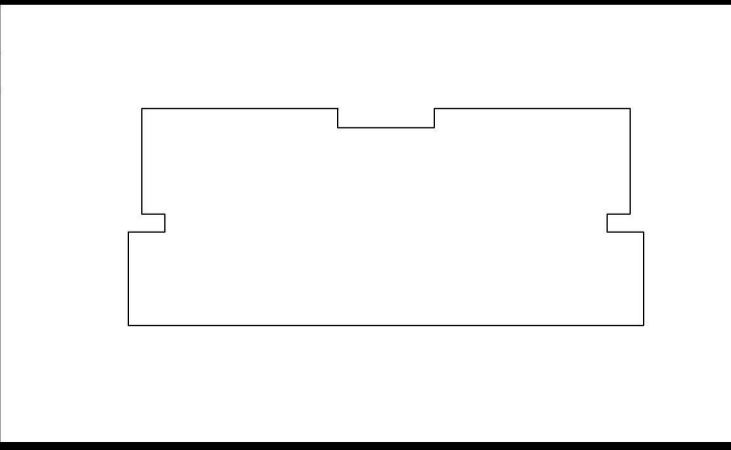
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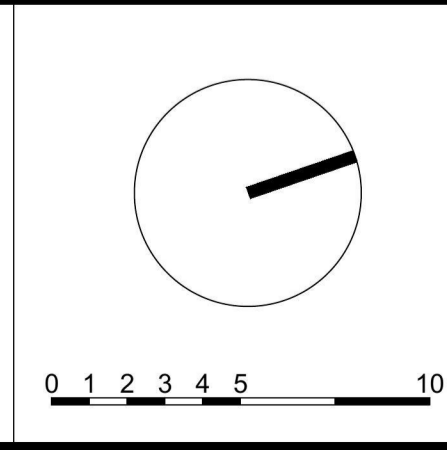
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P1	2017.12.15	ISSUED FOR REVIEW	SC



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Marchese Partners International Pty Ltd
Level 1, 53 Walker Street, North Sydney, NSW 2060, Australia
P +61 2 9922 4375 F +61 2 9929 5786 E info@marchesepartners.com
www.marchesepartners.com
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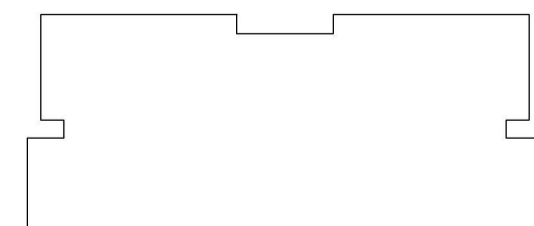
PROJECT
28-32 Evan St, Penrith

DRAWING TITLE			
FINISHES SCHEDULE			
SCALE 1:200@A1 1:400@A3	DATE 2017-12-15	DRAWN SC	CHECKED AK
JOB 17007	DRAWING DA7.01	REVISION P1	



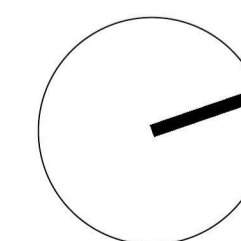
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marchesepartners

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 Level 1, 53 Walker Street, North Sydney, NSW 2060, Australia
 P +61 2 9922 4375 F +61 2 9929 5786 E info@marchesepartners.com
 www.marchesepartners.com
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PROJECT
28-32 Evan St, Penrith

DRAWING TITLE
CGI SHOT 'EVAN STREET'

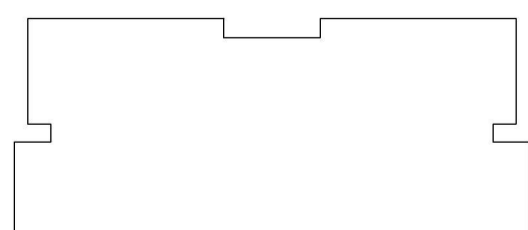
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JOB	DRAWING	REVISION	
17007	DA7.02	P1	

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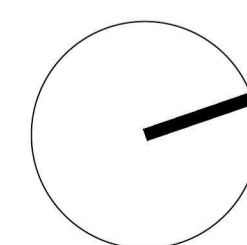
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marchesepartners

Marchese Partners International Pty Ltd
 Level 1, 53 Walker Street, North Sydney, NSW 2060, Australia
 P +61 2 9922 4375 F +61 2 9929 5786 E info@marchesepartners.com
 www.marchesepartners.com
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PROJECT
28-32 Evan St, Penrith

DRAWING TITLE
CGI SHOT 'CEMENTERY'

SCALE	DATE	DRAWN	CHECKED
	2017-12-15	SC	AK
JOB	DRAWING	REVISION	
17007	DA7.03	P1	

PRELIMINARY
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RESIDENTIAL DEVELOPMENT 28-38 EVAN STREET, PENRITH

Landscape Development Application

DRAWINGS

DWG NO.	DRAWING TITLE	SCALE
000	COVER SHEET	
101	LANDSCAPE PLAN - GROUND FLOOR	1:100
102	LANDSCAPE PLAN - LEVEL 5	1:100
103	LANDSCAPE PLAN - ROOF TOP	1:100
501	LANDSCAPE DETAILS	AS SHOWN
502	LANDSCAPE SPECIFICATION	AS SHOWN

NOT FOR CONSTRUCTION

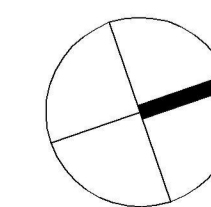
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A	For Review
Issue	Revision Description

JM	NM	30.11.2017
Drawn	Check	Date

LEGEND



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Landscape Architects

Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia

Tel: (61 2) 8332 5800
Fax: (61 2) 9698 2977
www.siteimage.com.au

Client:

Client Name

Project:

38-32 Evan Street

Penrith

Drawing Name:

Cover Sheet

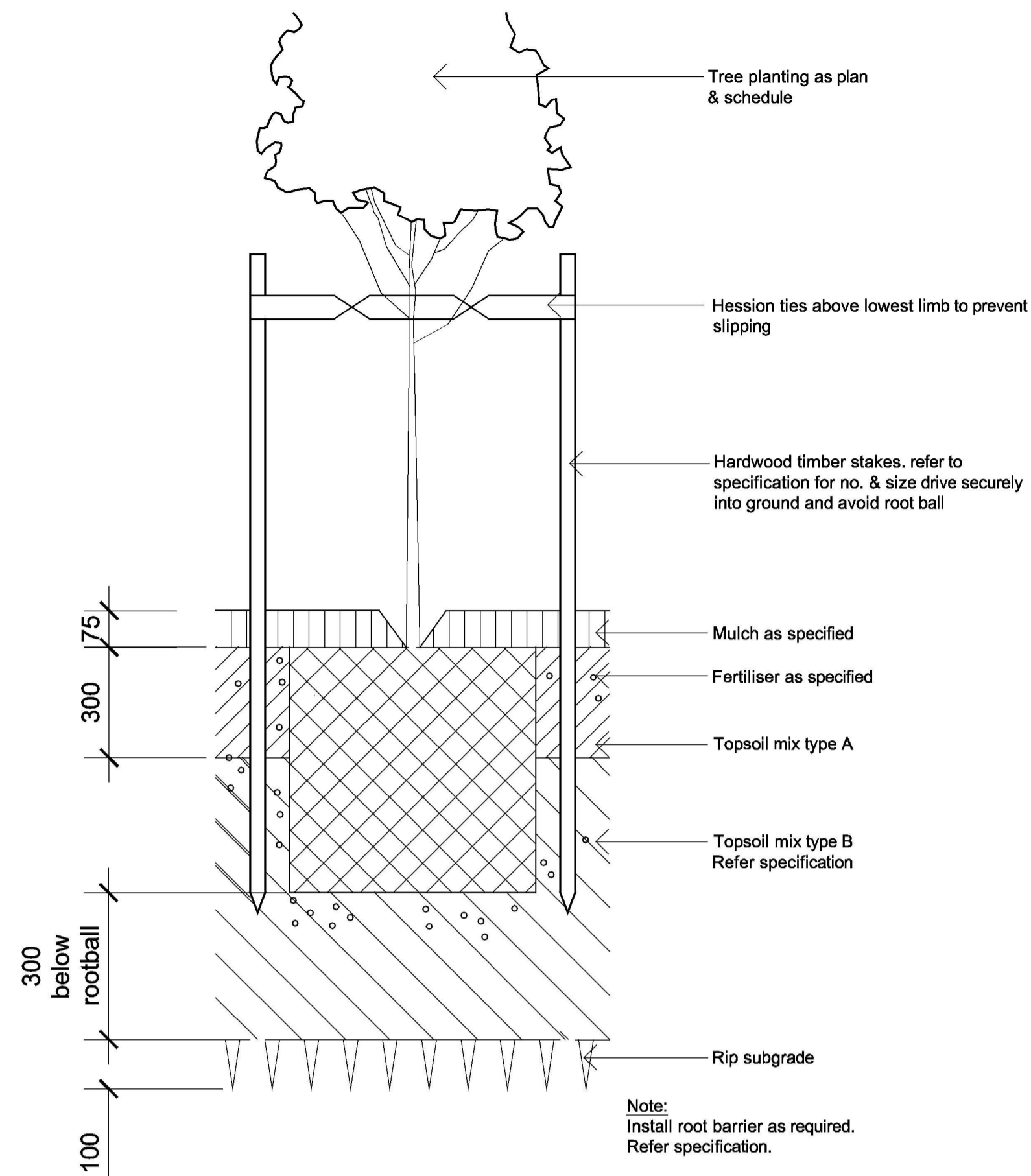
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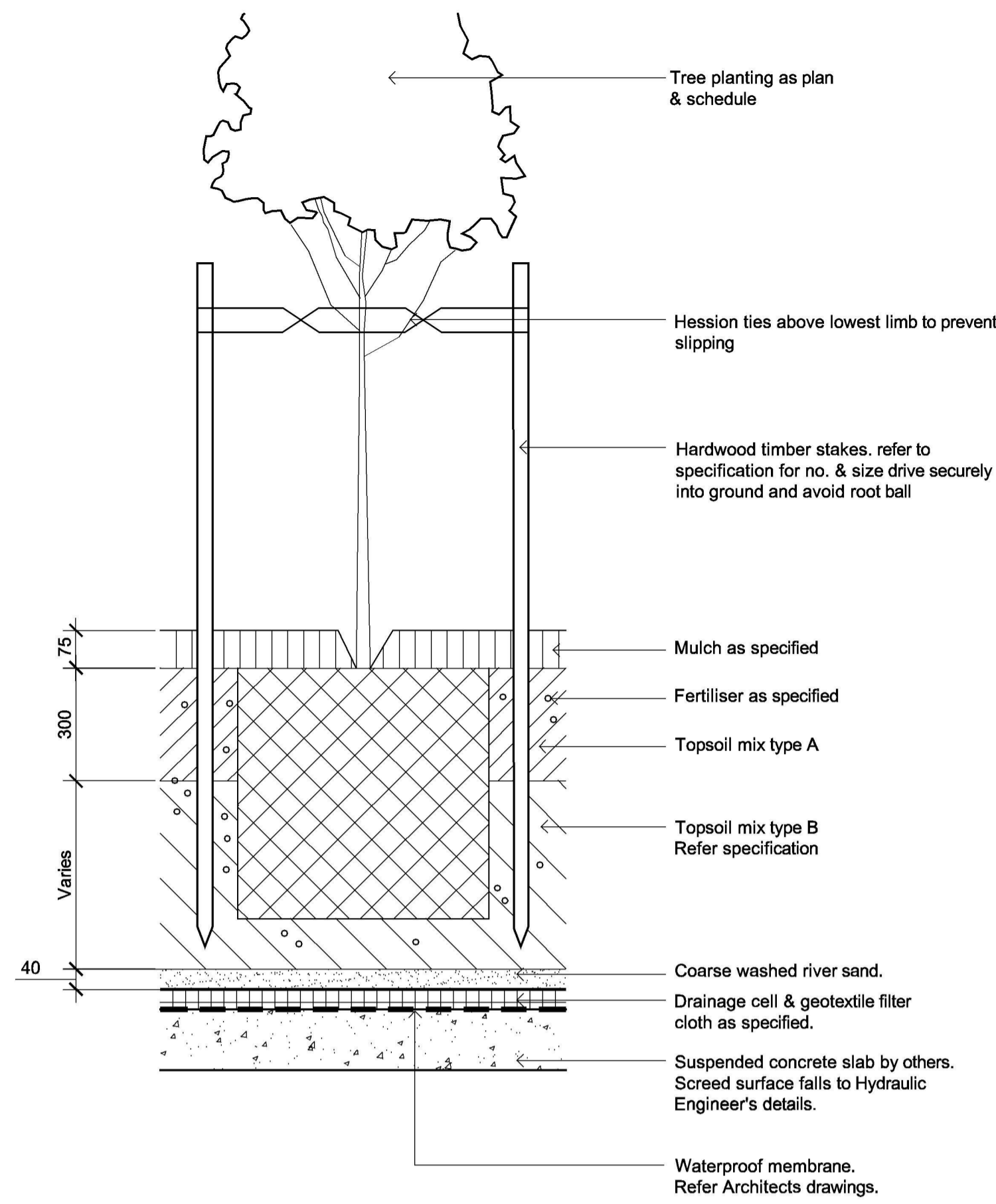
Job Number:
SS17-3705

Drawing Number:

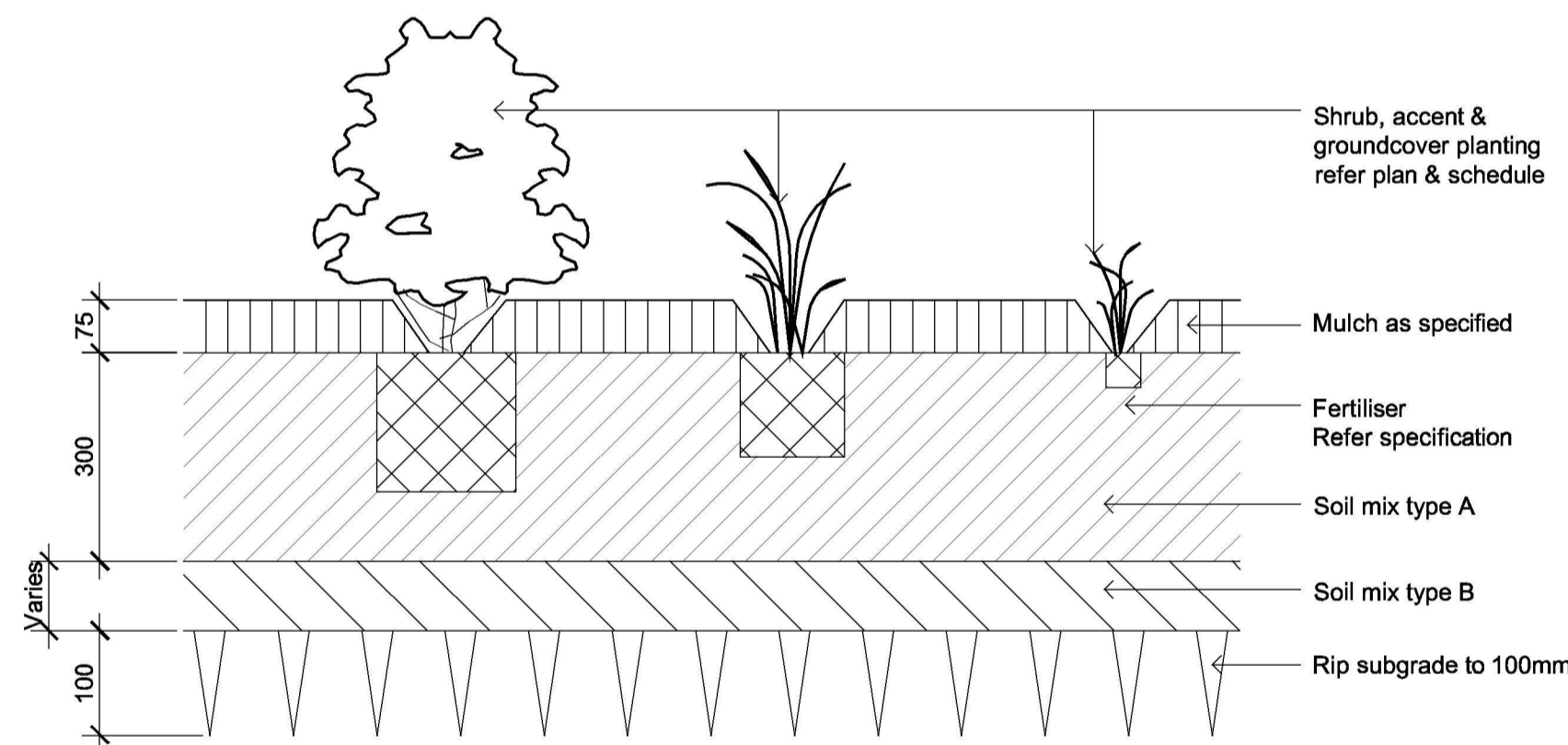
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000 A



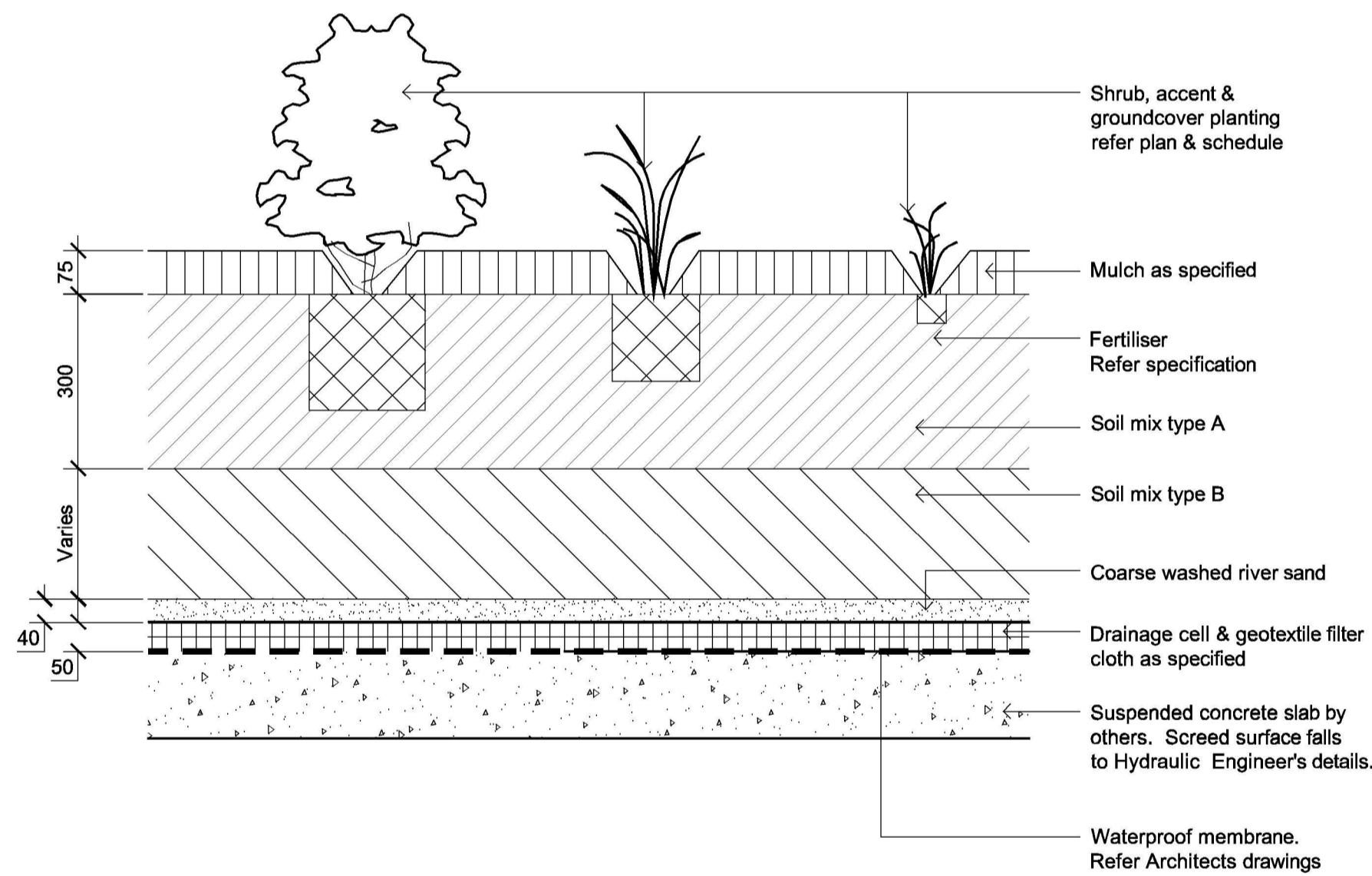
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1:10



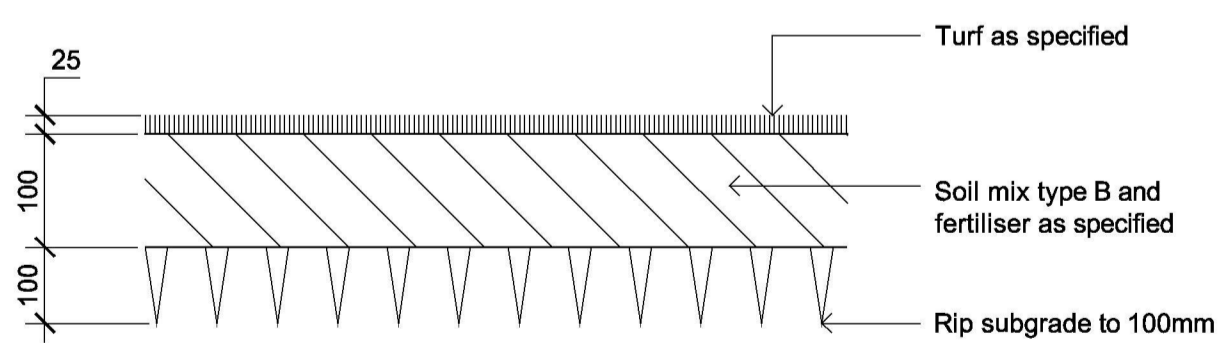
DETAIL - 75-200L TREE PLANTING ON SLAB
1:10



DETAIL - SHRUB, ACCENT & GROUNDCOVER PLANTING ON GRADE
1:10

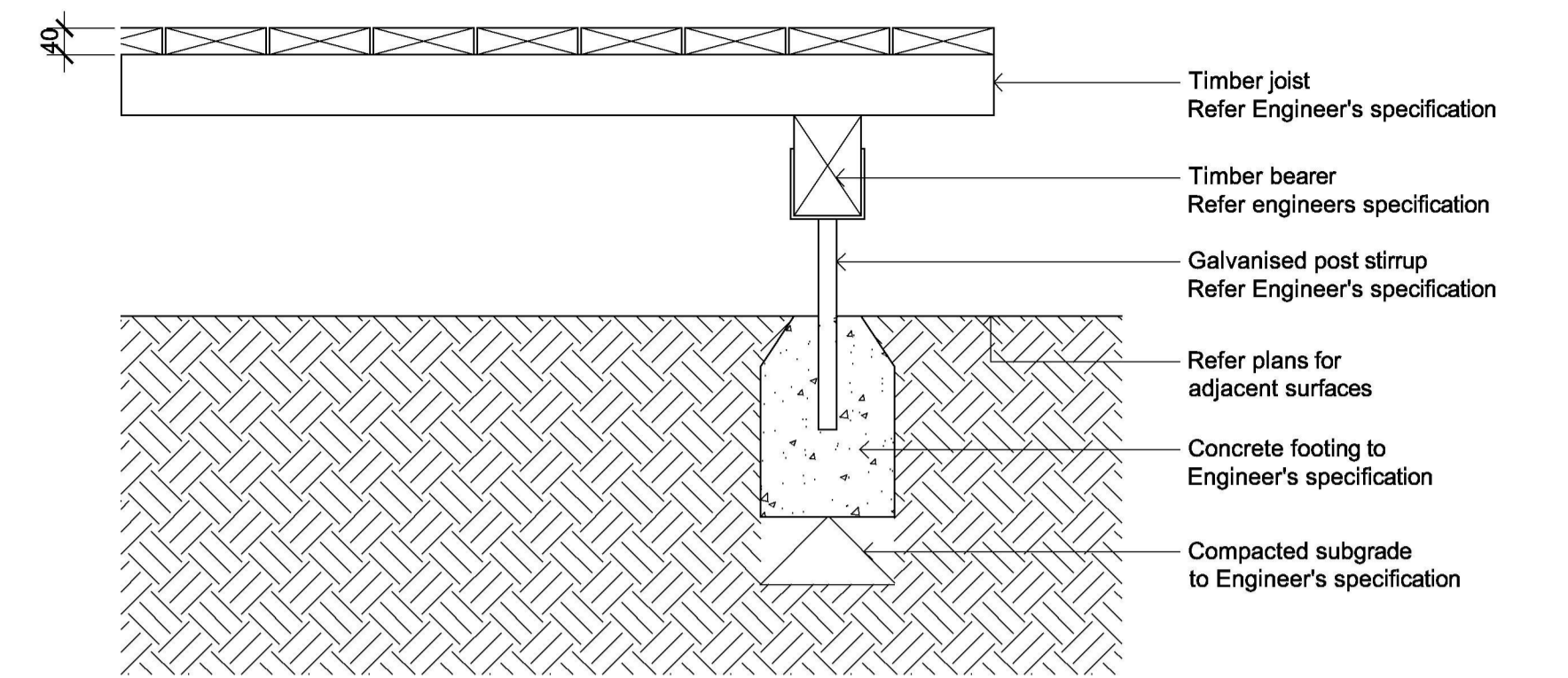


DETAIL - SHRUB, ACCENT & GROUNDCOVER PLANTING ON SLAB
1:10

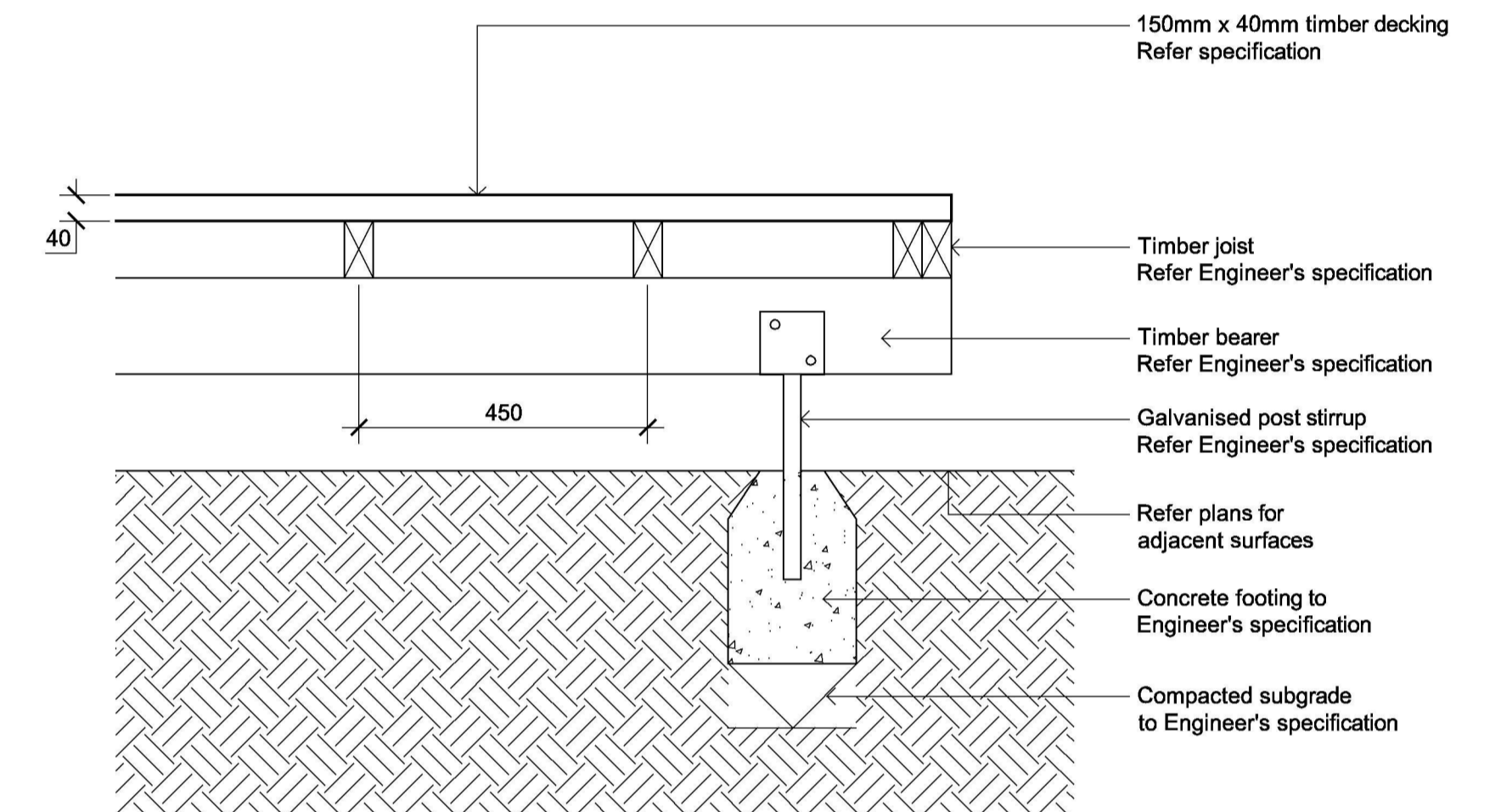


DETAIL - TURF ON EVEN GRADE
1:10

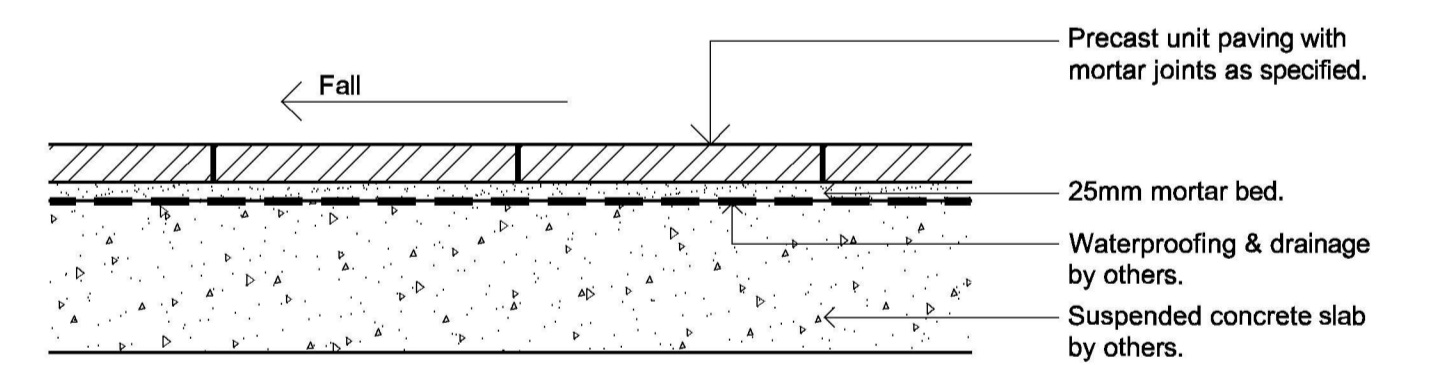
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RAISED TIMBER DECK - SECTION AA
SCALE 1:10



RAISED TIMBER DECK - SECTION BB
SCALE 1:10



PRECAST UNIT PAVERS ON SUSPENDED SLAB
SCALE 1:10

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Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia
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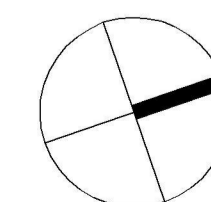
Client:
Client Name
Project:
38-32 Evan Street
Penrith

Drawing Name:
Landscape Details

DEVELOPMENT APPLICATION

Scale: As Shown
Job Number:
SS17-3705

Drawing Number:
501
Issue:
A



SPECIFICATION

GENERAL NOTES

References

All plans and details included in the project documents shall be read in conjunction with this specification. All structural and civil works components of the landscape design shall be referenced to engineers' details and specifications. Read this specification in conjunction with the plant and materials schedule on this drawing. If in doubt about any detail or if conflicts are found in the documents, seek advice.

Workmanship and Materials

The whole of the landscape works shall be carried out by a competent, trained and qualified landscape contractor who is experienced in horticultural practices, landscape construction and planting techniques. The landscape contractor shall hold a current Building Contractors License and/or be a financial member of LNA Landscape Association NSW & ACT or equivalent organisations in other states.

EXISTING TREES

Trees to be Retained and Protected

Identify and mark trees and shrubs to be retained using a suitable non-injurious, easily visible and removable means of identification. Protect from damage the trees and shrubs to be retained, including those beyond the site area, both above and below the ground. If a tree becomes damaged during the works or it is proposed to perform work on a tree, give written notice immediately and obtain instructions.

Work near Trees

Keep the area of the drip-line free from construction material and debris. Do not place bulk materials and harmful materials under or near trees. Do not place spoil from excavations against tree trunks. Prevent wind-blown materials such as cement from harming trees and plants. Do not remove topsoil from, or add topsoil to, the area within the drip-line of trees.

EARTHWORKS

Excavation, Trimming and Filling

Except as otherwise noted in the contract, bulk excavation is excluded from the landscape works. Trim and fill the excavated ground surfaces to achieve design levels to accommodate finish materials as detailed. Compact the finished surface as required for the finished ground treatment.

Sub-soil Drainage

Keep the excavated works drained and free of standing water. Allow to supply and install sub-soil drainage pipes as required for the new works to ensure that all gardens are well drained. Connect the sub-soil drainage pipes to the nearest downstream stormwater pits. Include pipe filter socks.

HARDWORKS

Furniture, Handrails, Balustrades

Supply and install the scheduled items in accordance with the manufacturer's recommendations, as detailed and in the locations shown on plan. Provide all footings and fixings required for the items to be stable and in accordance with applicable codes and standards.

Garden Walls, Fences, Steps, TGS1 and Edging

Construct garden walls as shown on plan, as detailed and of the material scheduled. Provide footings, step nosings, tactile surfaces to comply with standards and applicable legislation.

Continuous, Unit and Loose Pavement

Install the scheduled material pavement to the locations shown on plan. Ensure that all subgrade/subsurface works are complete prior to commencing paving. Confer with the engineer to ensure the structural integrity of the installation.

SOFTWORKS

Soil Testing

Undertake at least two (2) soil tests, in locations as advised by Project Manager, and provide results and recommendations for the improvement of plant growth and to adjust the soil to achieve appropriate planting medium (including pH levels) for successful plant growth.

Subsoil

Excavate all garden beds to bring the subsoil to at least 300mm below finished design levels. Shape the subsoil to fall to subsoil drains where applicable. Do not excavate within the drip line of trees to be retained. Excavate all turf areas to bring the subsoil to at least 100mm below finished design levels. Shape the subsoil to fall to subsoil drains where applicable. Do not excavate within the drip line of trees to be retained. Cultivate the subsoil to a further depth of 100mm. Remove stones exceeding 25mm, clods of earth exceeding 50mm, and weeds, rubbish or other deleterious material brought to the surface during cultivation. Do not disturb services or tree roots. If necessary cultivate these areas by hand. During cultivation, thoroughly mix in materials required to be incorporated into the subsoil, as recommended in the soil testing results and to manufacturer's recommendations. Trim the surface to design levels after cultivation.

Topsoil

Import topsoil for the garden and turf areas, unless the topsoil can be provided from material recovered from the site, as recommended in the soil testing results. Spread the topsoil on the prepared subsoil and grade evenly, compact lightly and uniformly in 150mm layers. Avoid

differential subsidence and excess compaction and produce a finished topsoil surface which has the following characteristics:

- Finished to design levels, allowing for mulch or turf, which is to finish flush with adjoining hard surfaces such as paths and edge;
- Smooth and free from stones or lumps of soil;
- Graded to drain freely, without ponding, to catchment points;
- Graded evenly to adjoining surfaces; and
- Ready for planting.

Compost

Provide, in accordance with AS 4454, well rotted vegetative material or animal manure, free from harmful chemicals, grass and weed growth.

Fertiliser

Provide proprietary fertilisers, delivered to the site in sealed bags marked to show manufacturer or vendor, weight, fertiliser type, N:P:K ratio, recommended uses and application rates.

Plants

Supply plants in accordance with the landscape drawings and schedules, which have the following characteristics:

- Large healthy root systems, with no evidence of root curl, restriction or damage;
- Vigorous, well established, free from disease and pests, of good form consistent with the species or variety;
- Hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site, and in particular shade conditions;
- Grown in final containers for not less than twelve weeks;
- Trees, unless required to be multi-stemmed, shall have a single leading shoot; and
- Containers shall be free from weeds and of appropriate size in relation to their container.

Plant Installation

Following excavation of the planting hole place and spread 15gms of wetting agent pre-mixed with one (1) litre of water. Place the plant correctly orientated to north or for best presentation. Backfill the planting holes with specified topsoil mixture. Lightly tamp and water to eliminate air pockets. Ensure the topsoil is not placed over the top of the rootball. Keep the plant stem at the same height above the ground as it was above the soil in the container. Apply fertiliser, as recommended in the soil testing results or in accordance with the manufacturer's recommendations around the plants in the soil at the time of planting.

Embankment Stabilisation

Where necessary to prevent soil erosion or soil movement, stabilise embankments. As a minimum this should be on slopes >1:3. Stabilise embankments using biodegradable fibre reinforced with heavy weight polymer mesh. Lay mesh from top to bottom of slope. Install in accordance with manufacturer's specification, including 300 x 300 mm anchor trenches at top and bottom, backfilled with soil over the mesh and compacted, and U-shaped galvanised steel pegs at 1000 mm centres and 250mm centres at edge overlaps. Plant after matting is installed.

Root Barrier

Supply and install root control barriers to all new tree plantings adjacent to walls, paths and all trunk service trenches, where their proximity poses a threat to the stability of the infrastructure. Install in accordance with manufacturer's recommendations.

Mulch

Mulch shall be approved recycled wood fibre or pine bark mulch. Place mulch in all garden beds to a depth of 75mm, after all specified plants are installed. Keep mulch clear of all plant stems and rake to an even surface flush with the surrounding surfaces evenly graded between design surface levels. Over fill to allow mulch to settle to the specified depth.

Stakes and Ties

Stakes shall be durable hardwood, straight, free of knots and twists, pointed at one end, in the following quantities and sizes for each of the various plant pot sizes:

- Plants (>25 lt): 1 off 38 x 38 x 1200mm;
- Semi-advanced plants (>75 lt): 2 off 50x50x 1800mm;
- Advanced (>100 lt): 3 off 50 x 50 x 2400mm.

Turf

Turf shall be delivered to site as 25mm minimum thick cut rolls. Obtain turf from a specialist grower of cultivated turf. Provide turf of even thickness, free from weeds and other foreign matter. Deliver turf to the site within 24 hours of being out, and lay it within 24 hours of delivery. Prevent it from drying out between cutting and laying. Lay the turf in the following manner:

- In stretcher pattern, joints staggered and close butted;
- Parallel long sides of level areas, with contours on slopes; &
- To finish flush, after tamping, with adjacent finished surfaces of ground.

IRRIGATION

All proposed landscape areas shall be irrigated.

The irrigation system shall be an automatic fixed drip system, with an Irrigation controller self operated via a soil moisture sensor. The system shall be compatible to the type of plant material and rates of water required. Where appropriate adjustable and fully serviceable. The layout of the entire irrigation is to ensure that each individual plant receives the required amount of water to maintain healthy and vigorous

growth. The irrigation system shall be such that, component theft, vandalism, over-spray and wetting of paths shall be reduced to a minimum or completely eliminated by the use of drip, pop-up sprinklers and judiciously placed fixed spray emitters. Do not use fine mist type emitters that provide a drifting mist that may wet paths and the buildings.

LANDSCAPE MAINTENANCE

The Landscape Contractor shall rectify defects during installation and that become apparent in the works under normal use for the duration of the contract Defects Liability Period. The Landscape Contractor shall maintain the contract areas by the implementation of industry accepted horticultural practices for 52 weeks. The landscape maintenance works shall include, but not be limited to, the following:

- Replacing failed plants;
- Pruning;
- Insect and pest control;
- Fertilising;
- Stakes and ties;
- Maintaining mulch;
- Mowing and top dressing;
- Irrigation and watering;
- Erosion control; and
- Weeding and rubbish removal.

Maintenance Log Book

Implement and keep a maintenance log book recording when and what maintenance work has been undertaken and what materials, actions and decisions have been used, implemented and concluded to keep the landscape always looking its best.

Maintenance Activities

Schedule the following activities to occur on a timely basis.

- Plant replacement** - Replace plants that have failed to mature, die or are damaged. Replacement plants shall be in a similar size and quality and identical species or variety to the plant that has failed. Replacement of plants shall be at the cost of the landscape contractor unless advised otherwise. If the cause of the failure is due to a controllable situation then correct the situation prior to replacing plants.
- Pruning** - Prune dead wood, broken limbs, dead or infected foliage and as needed to develop strong, healthy plants to achieve the shape and form expected of the plant type.
- Insect and pest control** - Avoid spraying:
 - If ever possible;
 - In wet weather or if wet weather is imminent;
 - If target plants are still wet after rain;
 - In windy weather; and
 - If non-target species are too close.
 Immediately report to the Project Manager any evidence of intensive weed infestation, insect attack or disease amongst plant material. Submit all proposals to apply chemicals and obtain approval before starting this work. When approved, spray with herbicide, insecticide, fungicide as appropriate in accordance with the manufacturer's recommendations. Record in the logbook all relevant details of spraying activities including:
 - Product brand / manufacturer's name,
 - Chemical / product name,
 - Chemical contents,
 - Application quantity and rate,
 - Date of application and location,
 - Results of application, and
 - Use approval authority.
- Fertilising** - Fertilise gardens with a proprietary slow release fertiliser applied in accordance with the manufacturer's directions and recommendations. Record in the logbook all relevant details of fertilising including:
 - Product brand / manufacturer's name,
 - Fertiliser / product name,
 - Application quantity and rate, and
 - Date of application and location.
- Stakes and ties** - Adjust and replace as required to ensure plants remain correctly staked. Remove those not required at the end of the planting establishment period (Defects Liability Period).
- Maintaining mulch** - Maintain the surface in a clean, tidy and weed free condition and reinstatement the mulch as necessary to ensure correct depth as specified.
- Mowing and top dressing** - Mow the turf to maintain a grass height of between 30-50mm. Do not remove more than one third of the grass height at any one time. Remove grass clippings from the site after each mowing. Top dress to a maximum of 10mm to fill depressions and hollows in the surface.
- Irrigation and watering** - Maintain the irrigation system to sure that each individual plant receives the required amount of water to maintain healthy and vigorous growth, adjust and rectify as required. Provide additional watering, if necessary.
- Erosion control** - Where necessary, maintain the erosion control devices in a tidy and weed free condition and reinstatement as necessary to ensure control measures are effective where deemed necessary.
- Weeding and rubbish removal** - During the plant establishment period remove by hand, rubbish and weed growth that may occur or re-occur throughout all planted, mulched and paved areas. The contractor shall target weeds that are capable of producing a major infestation of unwanted plants by seed distribution. Whenever possible, time weed removal to precede flowering and seed set.

Maintenance Program

	Activity	Frequency						Action
		D	W	2W	3W	M	3M	
1	Logbook	+		+		+		Complete a logbook entry every day at site and at least every two weeks. All actions listed below require a logbook entry. Upon request, make the logbook available for inspection. Submit copies of new entries in the logbook to the Contract Administrator on a monthly basis. Please note that more frequent, short, occasional inspection should result in less maintenance work when problems are observed earlier than they might otherwise have been seen.
2	Plant Replacement			+		+		Inspect and replace failed plants within 2 weeks of observation of failure. Match species, size (original) and location of new with old.
3	Mulch			+		+		Inspect and replace mulch deficiencies within 2 weeks of observation. Prior to placing new mulch aerate the soil by fork turning to a depth of at least 100mm, roughly level the soil and then place mulch. Do not disturb major plant roots while aerating soil.
4	Erosion Control			+				Inspect every two weeks and repair ground, soil and mulch immediately. Maintain erosion control device as necessary.
5	Stakes and ties			+				Inspect every two weeks, adjust and/or replace as necessary but remove as plants mature and are able to support themselves.
6	Weed and Rubbish removal			+				Inspect and remove immediately upon observation. Leave no waste on site. Dispose of waste material at a designated waste disposal site
7	Pruning			+				Inspect every 2 weeks and prune as necessary to remove dead wood, improve plant shape and promote healthy vigorous new growth.
8	Spraying			+				Inspect every 2 weeks and action as necessary. Do not spray if other non-chemical methods will satisfy the need to remove insects. Spray for disease control only when absolutely necessary.
9	Urgent Works		+					Complete within 1 week (7 days) of notification. Inspect and clear drains.
10	Planting and fertilising		+			+		Inspect every 2 weeks and remove spent flowers and dead stalks as they become apparent. Fertilise gardens every 3 months or other frequency in accordance with fertiliser manufacturer's directions.
11	Watering	+		+				Water when and where necessary every day at site and at least every 2 weeks generally. Do not allow soil and plants to dehydrate. Allow for prolonged rain, windy and dry periods. Water in the early morning or late afternoon to avoid excessive evaporation during the heat of the day.
12	Mowing, top dressing and edging		+		+		+	Summer fortnightly. Winter monthly. Top-dress 6 monthly.

Indicative plant Schedule

Symbol	Botanic Name	Common Name	Mature H x W (m)	Pot Size	Spacing	Quantity
TREES						
Cua	<i>Cupaniopsis anacardioides</i>	Tuckeroo	10 x 8	100L	As Shown	
FR	<i>Fraxinus 'Raywood'</i>	Claret Ash	12 x 6	100L	As Shown	
Mc	<i>Melaleuca decora</i>	White Feather Honeymyrtle	6-20 x 5-10	100L	As Shown	
MLG	<i>Magnolia grandiflora 'Little Gem'</i>	Dwarf Magnolia	5 x 3	100L	As Shown	
TI	<i>Tristaniopsis laurina 'Luscious'</i>	Water Gum	9 x 5	100L	As Shown	
WI	<i>Waterhousia floribunda</i>	Weeping lily Pilly	15 x 8-10m	100L	As Shown	
SHRUBS AND ACCENTS						
De	<i>Doryanthes excelsa</i>	Gynea Lily	0.8 x 0.8	300mm	As Shown	
Vo	<i>Viburnum odoratissimum</i>	Sweet Viburnum	3 x 2	300mm	As Shown	
Wf	<i>Westringia fruticosa</i>	Coastal Rosemary	1.5 x 2	300mm	As Shown	
GROUNDCOVERS AND GRASSES						
DSS	<i>Dianella 'Silver Streak'</i>	Silver Streak Flax Lilly	0.5 x 0.4	150mm	5/m2	
LEG	<i>Liriope muscari 'Evergreen Giant'</i>	Giant Liriope	0.6 x 0.5	150mm	5/m2	
LI	<i>Lomandra longifolia</i>	Spiny Mat Rush	1 x 1.5m	150mm	5/m2	
Lm	<i>Liriope muscari</i>	Evergreen Giant	0.5 x 0.5	150mm	5/m2	
PN	<i>Pennisetum alopecuroides 'Nafray'</i>	Swamp Foxtail Grass	0.6 x 0.5	150mm	5/m2	
Pr	<i>Photinia robusta</i>	Red Leaf Photinia	1 - 1.3m	150mm	5/m2	
Ta	<i>Themeda australis</i>	Kangaroo Grass	0.5 x 0.5	150mm	5/m2	
TJ	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.15 x 1	150mm	5/m2	

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The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

LEGEND

A	For Review	JM	NM	30.11.2017
Issue	Revision Description	Drawn	Check	Date

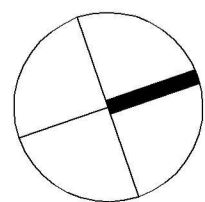
S I T E I M A G E



Landscape Architects

Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia

Tel: (61 2) 8332 5600
Fax: (61 2) 8696 2977
www.siteimage.com.au



Client:

Client Name



Project:

38-32 Evan Street

Penrith

Drawing Name:

Landscape Specification

DEVELOPMENT APPLICATION

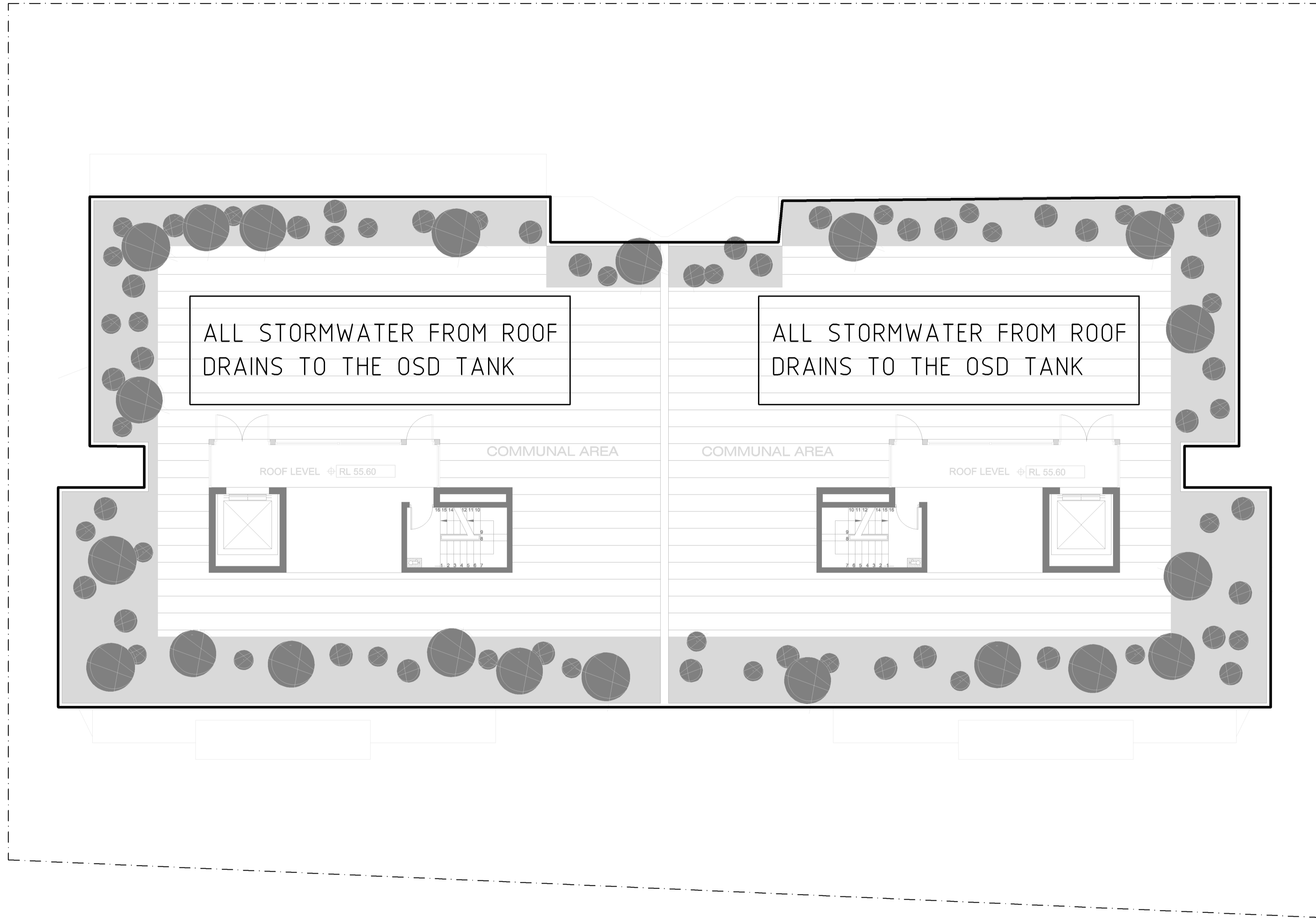
Scale:

Job Number:
SS17-3705

Drawing Number:

Issue:

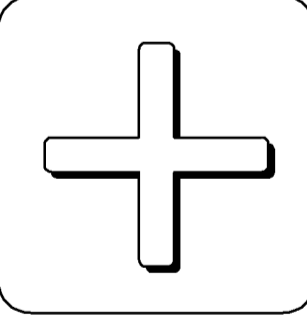
502 A



**DRAINAGE CONCEPT PROPOSAL
ROOF PLAN**

NOTES

- ALL ROOF STORMWATER DRAINS TO THE ON SITE DETENTION TANK,
- ALL PIPES TO CATER FOR THE 100 YEAR ARI.

REV	DATE	DESCRIPTION
A	14.12.17	FOR DA SUBMISSION
ARCHITECT		
 marchese + partners architects Level 1, 53 Walker Street north sydney nsw 2060 ph: (02) 9922 4375 fax: (02) 9929 5786 email: info@marchesepartners.com.au web: www.marchesepartners.com.au ABN 20 098 552 15		
PROJECT		
PROPOSED DEVELOPMENT 28-32 EVAN STREET PENRITH		
DRG		
STORMWATER DRAINAGE CONCEPT PROPOSAL		
BEKKER bekker engineering design buro pty ltd <small>suite 1 / 6-7 gurrigal street, mosman nsw 2088 abn 79 159 165 563 phone: (02) 9960 6944 fax: (02) 9960 6911 email: bekker@spn.net.au postal address: po box 591 northbridge, nsw 1560</small>		
DESIGNED		
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EXISTING PIT IN GUTTER

Ø 225 DISCHARGE PIPE WITH A MINIMUM 1% FALL DRAIN TO EXISTING PIT IN EVAN STREET

900x900 BOUNDARY GROSS POLLUTANT CONTROL PIT AT GROUND LEVEL INSTALL SILT TRAP

Ø 150 DISCHARGE PIPE WITH A MINIMUM 1% FALL DRAIN TO NEW BOUNDARY PIT Ø 100 ORIFICE PLATE OVER DISCHARGE PIPE

2/Ø 100 OVERFLOW PIPES WITH A MINIMUM 1% FALL

ON-SITE DETENTION TANK UNDER GROUND FLOOR SLAB, STORAGE VOLUME - 39.20m³ Ø 225 DISCHARGE PIPE AND 2/Ø 100 OVERFLOW PIPES DRAIN TO BOUNDARY POLLUTANT CONTROL PIT

NOTE:

THIS IS A COMPILATION ENGINEERING AND SURVEY DRAWING DEPICTING STRUCTURAL ELEMENTS OVERLAYED ON AN EXISTING SITE SURVEY. SITE SURVEY PREPARED BY: HIGGINS SURVEYORS P/L REF: 30307 DATE: 02/03/2017 Ph - (02) 9264 8044



**DRAINAGE CONCEPT PROPOSAL
GROUND FLOOR PLAN**

LEGEND

- DIRECTION OF FALLS FOR DRAINAGE LINES
- NEW Ø 150 U.P.V.C. SEWER CLASS DISCHARGE DRAINAGE LINE WITH A MINIMUM FALL OF 1.0 % UNLESS NOTED OTHERWISE

ON-SITE DETENTION CALCULATIONS

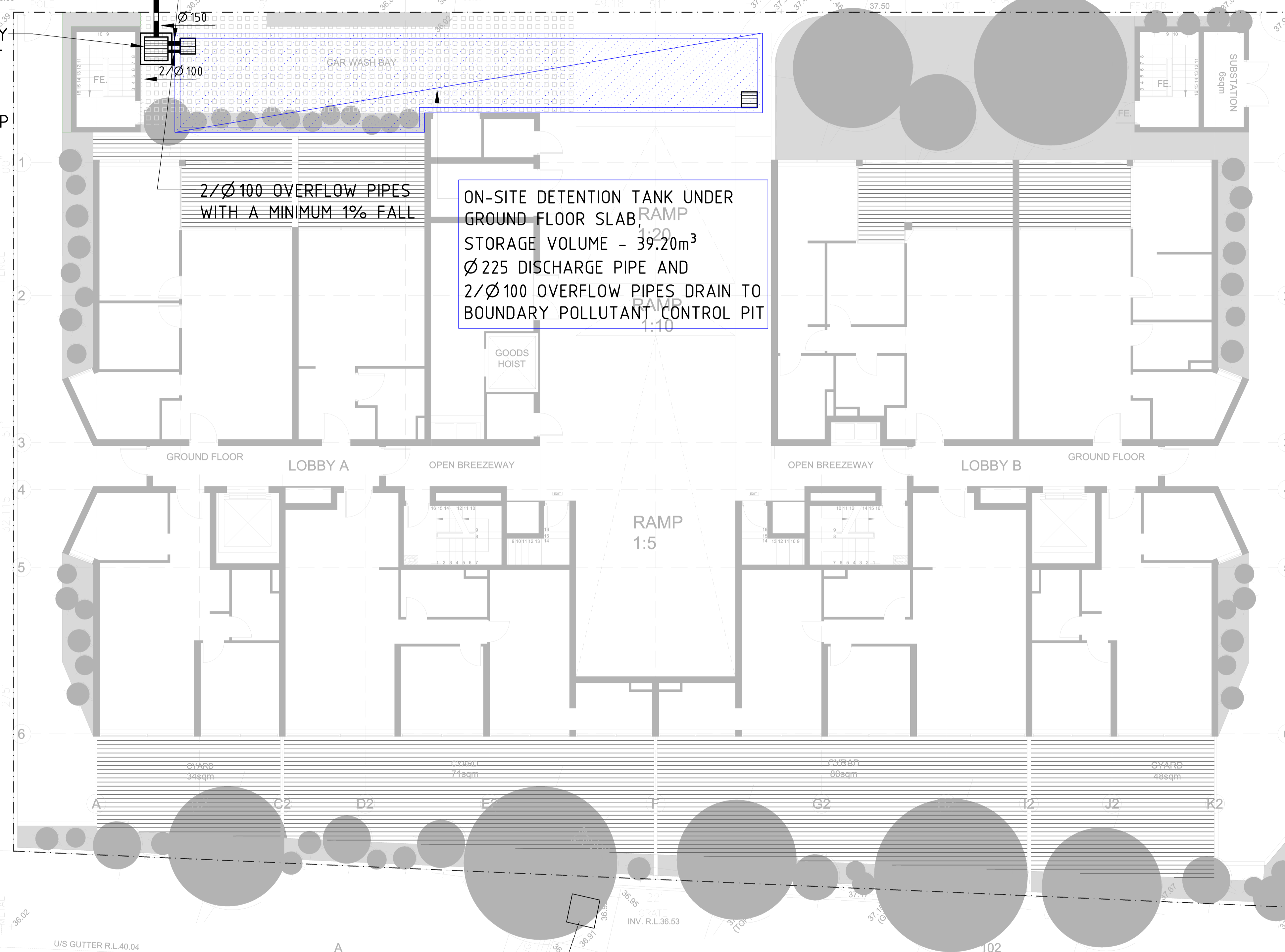
- TOTAL SITE AREA 1632.60m²
- AREA TO OSD 1513.90m²
- BYPASS AREA TO THE BOUNDARY PIT
- ALLOWABLE PSD 19.59 l/s
- CALCULATED STORAGE VOLUME REQUIRED 39.2 m³
- STORAGE VOLUME PROVIDED 39.2 m³
- OSD TANK ORIFICE PLATE DIAMETER 100 mm

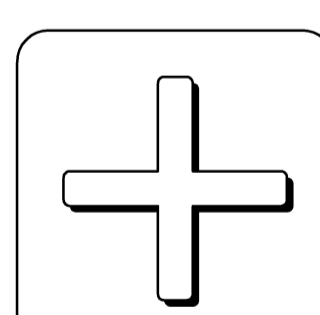
ALL DETAILS OF OSD TANKS ARE TO COMPLY WITH COUNCILS STANDARD, DETAILS & REQUIREMENTS

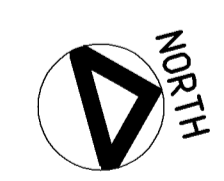
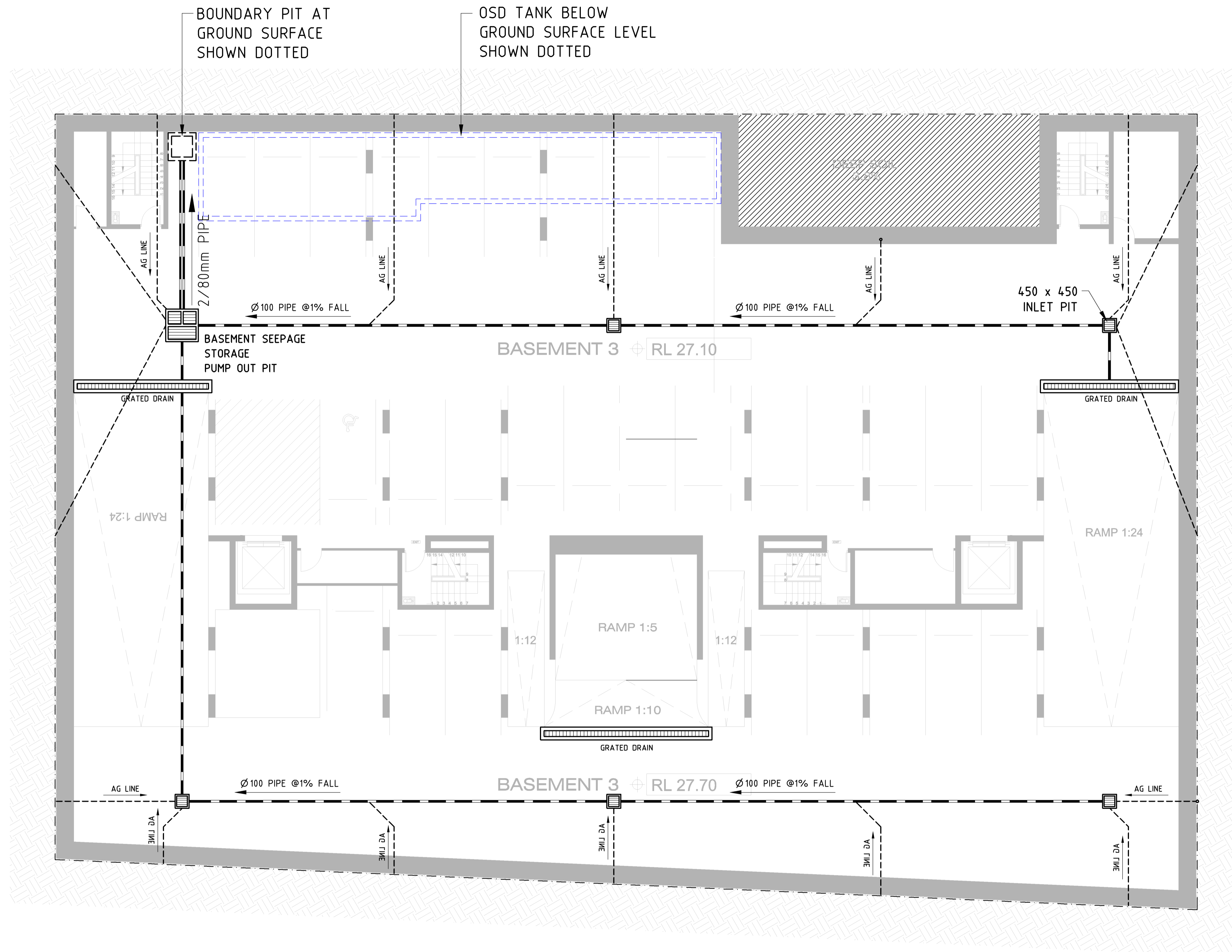
ALL ASPECTS OF DRAINAGE SYSTEMS TO BE INSTALLED TO AS3500 REQUIREMENTS

NOTES

ALL ROOF, PAVED & PERVIOUS STORMWATER DRAINS TO THE ON-SITE DETENTION TANK, AND DISCHARGES TO THE NEW BOUNDARY POLLUTANT CONTROL PIT. ALL OPEN BALCONIES & LANDSCAPE AREAS WATER FROM L1-L5 DRAINS TO THE BOUNDARY GROSS POLLUTANT CONTROL PIT. ALL WATER FROM THE GROUND FLOOR CAR PARK AND LANDSCAPING AREAS DRAINS TO THE BOUNDARY GROSS POLLUTANT CONTROL PIT. ALL PIPES TO CATER FOR THE 100 YEAR ARI. BUILDER TO PROVIDE ALL DRAINAGE REQUIREMENTS TO COMPLY WITH AS3500 & COUNCIL REQUIREMENTS.



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ARCHITECT		
 marchese + partners architects Level 1, 53 Walker Street north sydney nsw 2060 ph: (02) 9922 4375 fax: (02) 9929 5786 email: info@marchesepartners.com.au web: www.marchesepartners.com.au ABN 20 098 552 15		
PROJECT		
PROPOSED DEVELOPMENT 28-32 EVAN STREET PENRITH		
DRG		
STORMWATER DRAINAGE CONCEPT PROPOSAL		
BEKKER bekker engineering design buro pty ltd <small>suite 1 / 6-7 gurrigal street, mosman nsw 2088 abn 79 159 165 563 phone: (02) 9960 6944 fax: (02) 9960 6911 email: bekker@spin.net.au postal address: po box 591 northbridge, nsw 1560</small>		
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DRAINAGE CONCEPT PROPOSAL BASEMENT PLAN

LEGEND

- DIRECTION OF FALLS FOR DRAINAGE LINES
- NEW Ø 150 U.P.V.C. SEWER CLASS DISCHARGE DRAINAGE LINE WITH A MINIMUM FALL OF 1.0 % UNLESS NOTED OTHERWISE
- 90mm Ø AG PIPE IN BED OF SCREENINGS
- STORMWATER PIT

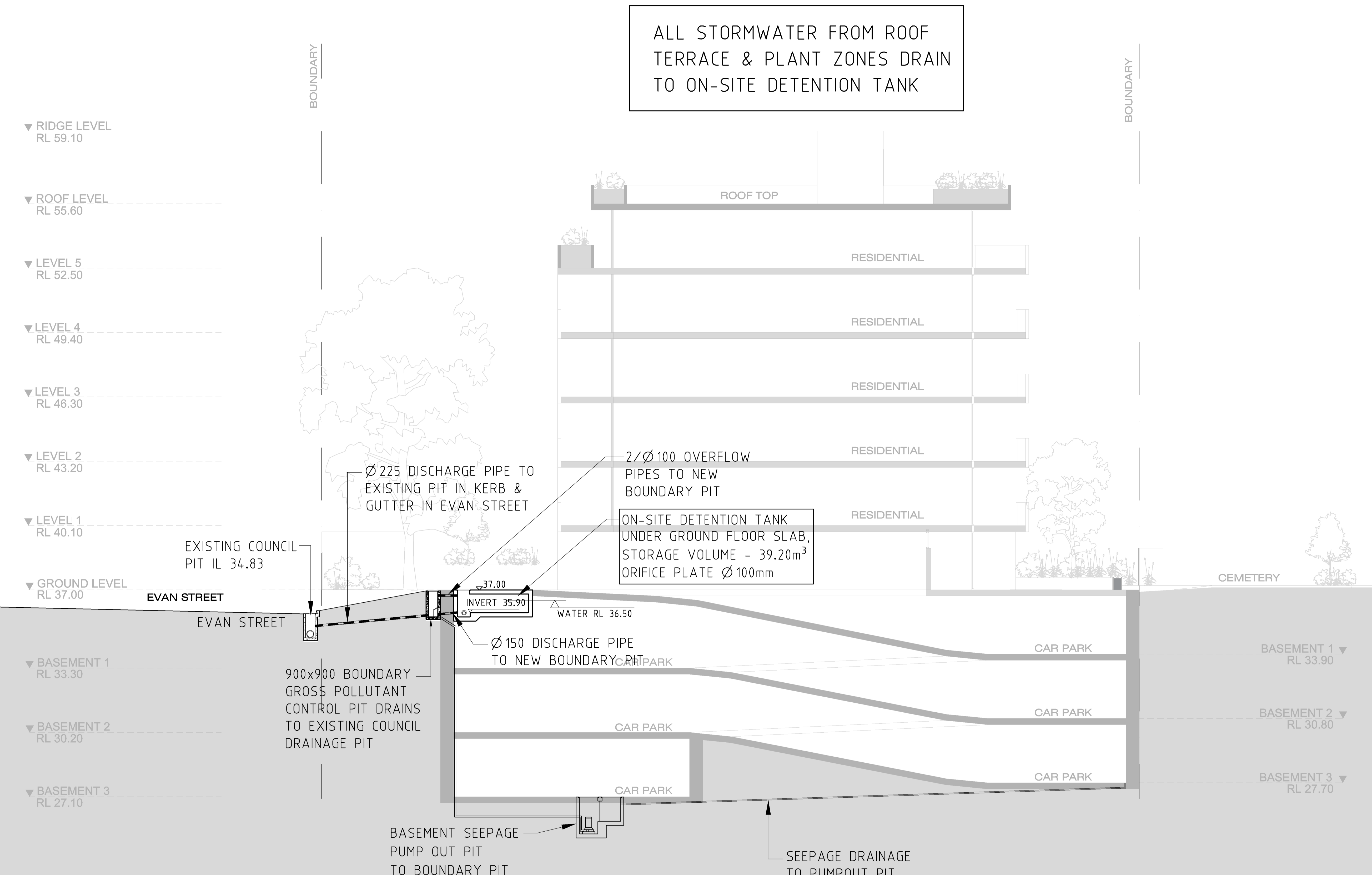
BASEMENT SEEPAGE STORAGE PIT AND PUMP DETAILS TO COUNCIL CONSTRUCTION REQUIREMENTS.

SEEPAGE STORAGE PIT VOLUME CALCULATIONS
 2.0m L x 2.0m W x 1.0m D
 = VOLUME OF 4.0M³ MINIMUM

PROVIDE 2/NP2200 SUBMERSIBLE PUMPS TO DISCHARGE INTO PIT AT GROUND LEVEL NEAR ENTRY DRIVEWAY BY NOSSITER PUMP SERVICES P/L
 Phone: (02) 9807 3077 Fax: (02) 9807 6945

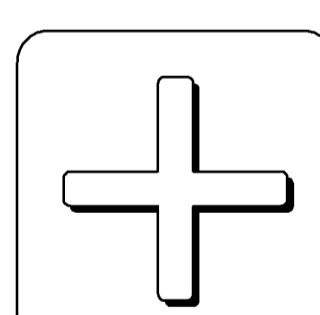

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ARCHITECT		
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DRG		
STORMWATER DRAINAGE CONCEPT PROPOSAL		
BEKKER bekker engineering design buro pty ltd		
<small> suite 1 / 6-7 gurrigal street, mosman nsw 2088 abn 79 159 165 563 phone: (02) 9960 6944 fax: (02) 9960 6911 email: bekker@spn.net.au postal address: po box 591 northbridge, nsw 1560 </small>		
DESIGNED		
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ALL STORMWATER FROM ROOF TERRACE & PLANT ZONES DRAIN TO ON-SITE DETENTION TANK



**DRAINAGE CONCEPT
TYPICAL SECTION B**

- LEGEND**
- ← DIRECTION OF FALLS FOR DRAINAGE LINES.
 - 150mm Ø U.P.V.C. SEWER CLASS DRAINAGE LINE WITH A MINIMUM FALL OF 1.0 % UNLESS NOTED OTHERWISE.

A	14.12.17	FOR DA SUBMISSION
REV	DATE	DESCRIPTION
ARCHITECT		
 marchese + partners architects Level 1, 53 Walker Street north sydney nsw 2060 ph: (02) 9922 4375 fax: (02) 9929 5786 email: info@marchesepartners.com.au web: www.marchesepartners.com.au ABN 20 098 552 15		
PROJECT		
PROPOSED DEVELOPMENT 28-32 EVAN STREET PENRITH		
DRG		
STORMWATER DRAINAGE CONCEPT PROPOSAL		
BEKKER bekker engineering design buro pty ltd		
 <small>MEMBER</small>		
<small>suite 1 / 6-7 gurrigal street, mosman nsw 2088 abn 79 159 165 563 phone: (02) 9960 6944 fax: (02) 9960 6911 email: bekker@spn.net.au postal address: po box 591 northbridge, nsw 1560</small>		
DESIGNED		
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