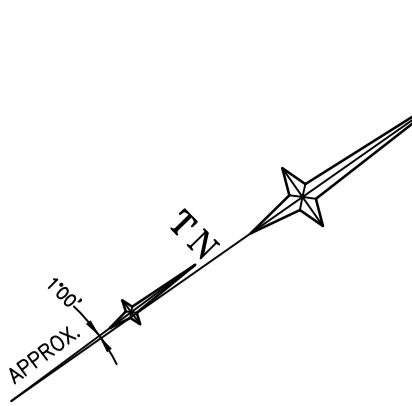
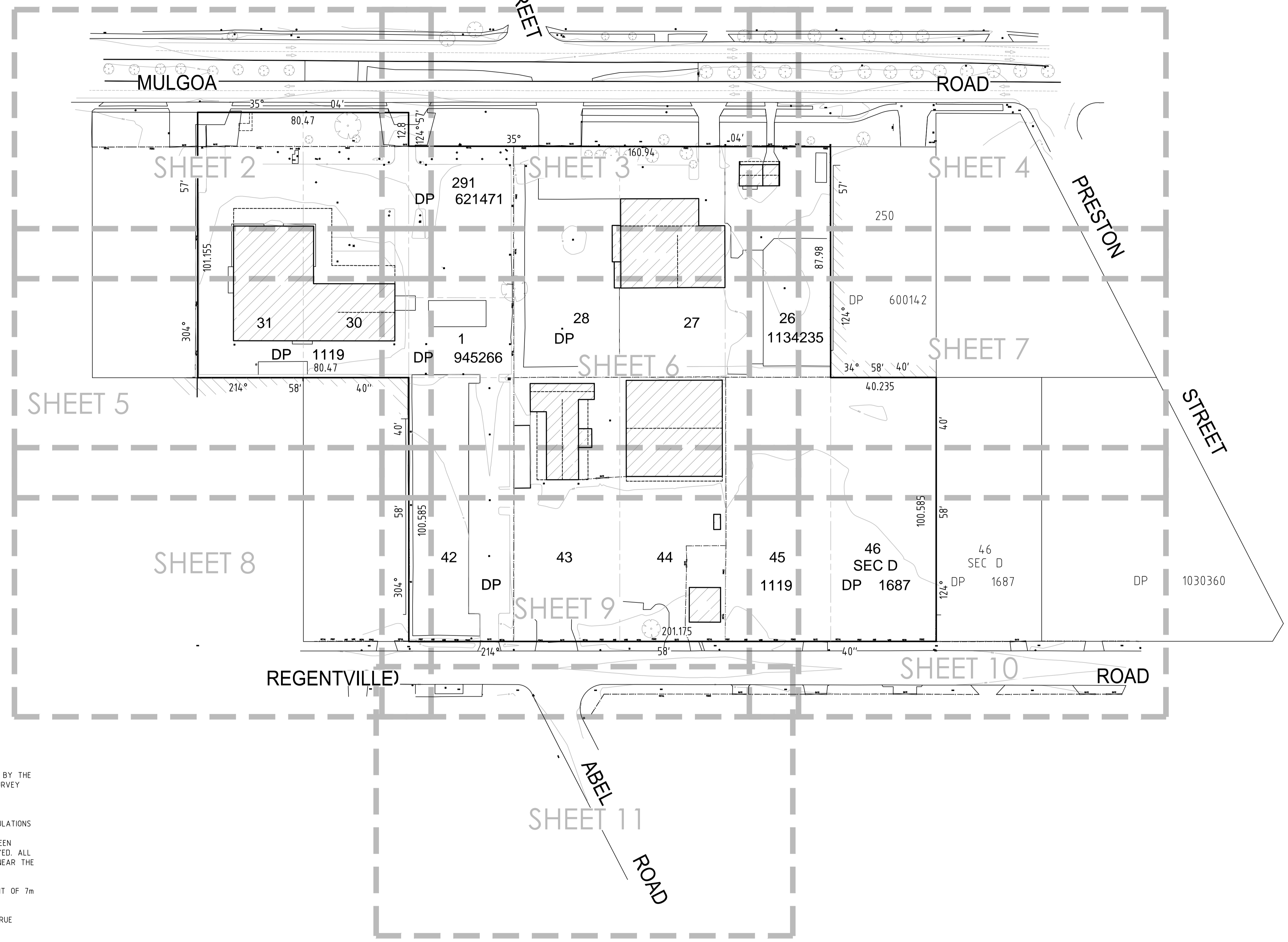


MGA



STUART STREET



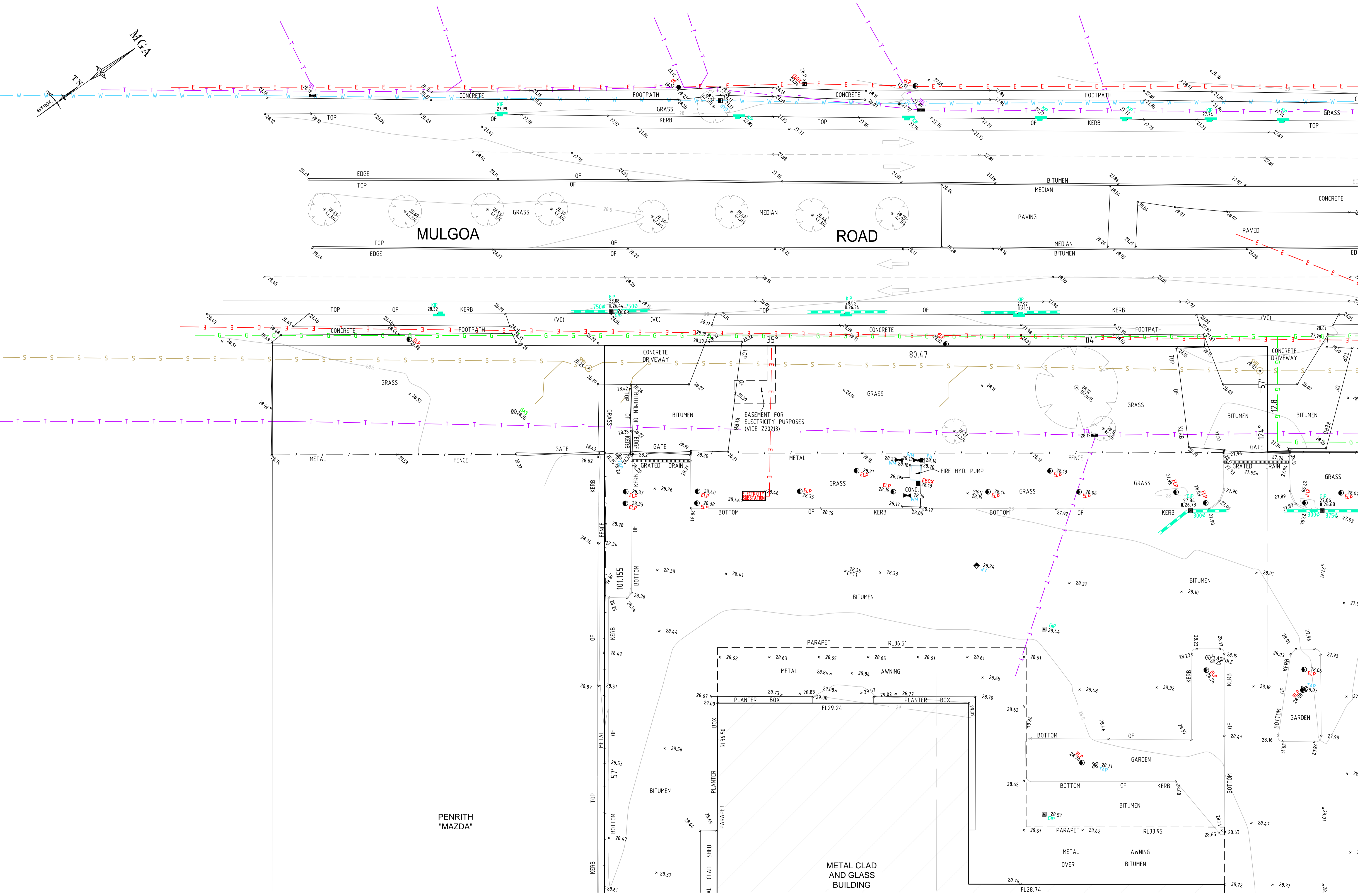
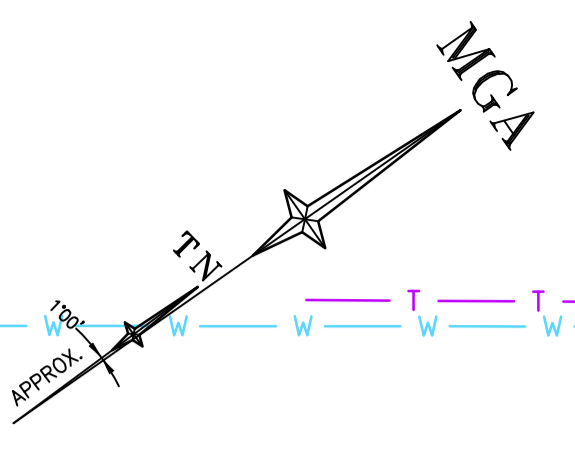
LEGEND

BENCH MARK	▲	WATER TANK	○ WTANK
COMMS PIT	■ COM	GAS VALVE	⊗ GAS
TELSTRA PIT	■ TEL	MONITOR WELL	○ MW
TELSTRA PILLAR	⊗ TP	WINDOW	W
ELECTRIC LIGHT POLE	● ELP	DOOR	D
ELECTRICITY PIT	■ EPIT	BOTTOM OF WALL	BW
ELECTRICITY BOX	■ EL	TOP OF WALL	TW
POWER POLE	● PP	BOTTOM OF KERB	BKB
POWER POLE WITH LIGHT	● PPL	TOP OF KERB	TKB
SERVICE PIT	□ PIT	VEHICLE CROSSING	(VC)
PIT WITH CONCRETE LID	□ CLID	PRAM CROSSING	(PC)
PIT WITH METAL LID	□ MLID	GAS	G
TRAFFIC LIGHT	■ TL	TELSTRA	T
PARKING METER	⊗ PM	COMMUNICATION	C
STREET SIGN	⊗ SS	WATER	W
ROAD TRAFFIC AUTHORITY	⊗ RTA	STORMWATER	SW
GRATED INLET PIT	■ GIP	STORMWATER	150
KERB INLET PIT	■ KIP	SEWER	S
SEWER INSPECTION POINT	○ SIP	ELECTRICITY (OVERHEAD)	P
SEWER VENT	⊗ SEV	ELECTRICITY (U'GROUND)	E
SEWER MANHOLE	□ SMH		
SEWER MANHOLE	○ SMH		
STOP VALVE	⊗ SV		
HYDRANT	■ HYD		
WATER METER	▶ WM		
WATER TAP	⊗ TAP		
WATER VALVE	◆ WV		
POST	○ P		
FLAGPOLE	○ FP		
CORE PENETRATION TEST (SEE NOTE 10)	× CPT		
FUEL DIPPING POINT	× DIP		

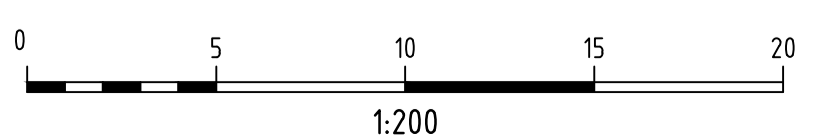
NOTES

1. THE BOUNDARIES HAVE NOT BEEN MARKED
2. ALL AREAS AND DIMENSIONS HAVE BEEN COMPILED FROM PLANS MADE AVAILABLE BY THE OFFICE OF LAND & PROPERTY INFORMATION (NSW) AND ARE SUBJECT TO FINAL SURVEY
3. ORIGIN OF LEVELS ON A.H.D. IS TAKEN FROM SSM32986 R.L. 28.09 (A.H.D.) IN MULGOA ROAD.
4. CONTOUR INTERVAL 0.5 m
5. CONTOURS ARE INDICATIVE ONLY. ONLY SPOT LEVELS SHOULD BE USED FOR CALCULATIONS OF QUANTITIES WITH CAUTION
6. NO INVESTIGATION OF UNDERGROUND SERVICES HAS BEEN MADE. SERVICES HAVE BEEN PLOTTED FROM RELEVANT AUTHORITIES INFORMATION AND HAVE NOT BEEN SURVEYED. ALL RELEVANT AUTHORITIES SHOULD BE NOTIFIED PRIOR TO ANY EXCAVATION ON OR NEAR THE SITE
7. 8/4/7 DENOTES TREE SPREAD OF 8m, TRUNK DIAMETER OF 0.4m & APPROX HEIGHT OF 7m
8. SHOWS APPROXIMATE POSITION OF ROAD LINEMARKING AND IS INDICATIVE ONLY
9. BEARINGS SHOWN ARE MGA (MAP GRID OF AUSTRALIA) ADD APPROX. 1°00' FOR TRUE NORTH
10. CPT DENOTES CORE PENETRATION TEST LOG (BY DOUGLAS PARTNERS)

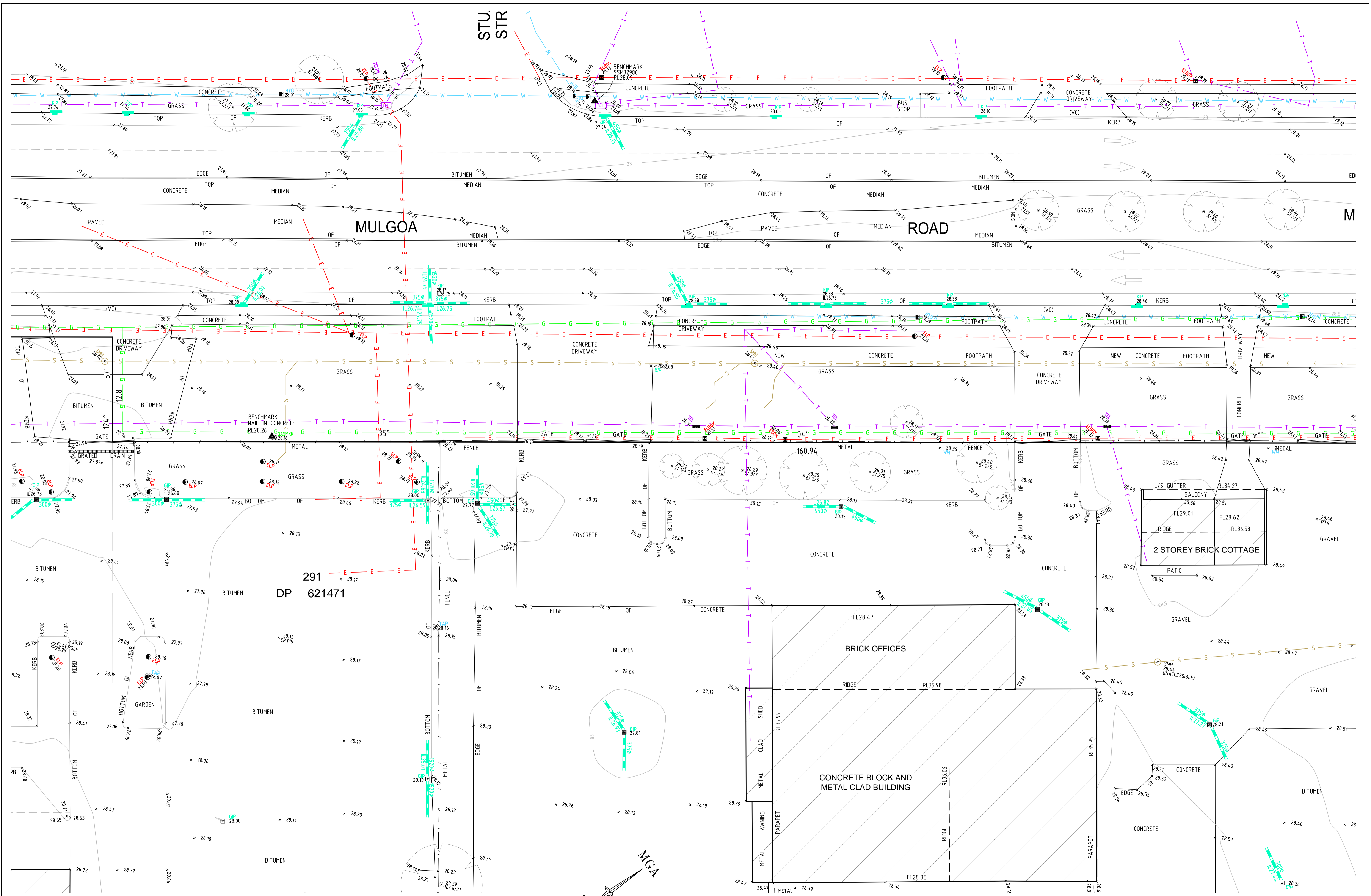
THIS IS THE PLAN REFERRED TO IN MY LETTER DATED:-	DATE OF SURVEY: MARCH 2012 & 15-6-2012	LOCKLEY LAND TITLE SOLUTIONS Registered Surveyors NSW 19 Mossey Street Gladesville NSW 2111 PO BOX 400 Gladesville NSW 1675 ph:(02) 9879 6077 fax:(02) 9879 7143	CLIENT: HYDROX NOMINEES	ORIGINAL PLAN SIZE: A1 1:1000
Registered Surveyor NSW	SITE AREA: 4.255ha		PLAN OF DETAIL AND LEVELS OF LOTS 30,31,42,43,44, 45 IN DP1119, LOTS 26,27,28 IN DP1134235, LOT 46 SEC D DP1687, LOT 291 DP621471, LOT 1 DP945266 AT MULGOA ROAD AND REGENTVILLE ROAD, PENRITH.	PROJECT NO: -
			LGA: PENRITH	JOB REFERENCE: 34728DT
				SHEET OF 11 SHEETS 1



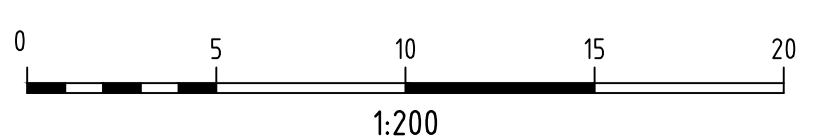
SEE SHEET 1 FOR LEGEND AND NOTES



THIS IS THE PLAN REFERRED TO IN MY LETTER DATED: - Registered Surveyor NSW	DATE OF SURVEY: MARCH 2012 & 15-6-2012	LOCKLEY LAND TITLE SOLUTIONS Registered Surveyors NSW 19 Massey Street Gladesville NSW 2111 PO BOX 400 Gladesville NSW 1675 ph:(02) 9879 6077 fax:(02) 9879 7143	CLIENT: HYDROX NOMINEES	ORIGINAL PLAN SIZE: A1 1:200
	DATUM: AHD SITE AREA: 4.255ha		PLAN OF DETAIL AND LEVELS OF LOTS 30.31, 42, 43, 44, 45 IN DP1119, LOTS 26, 27, 28 IN DP1134235, LOT 46 SEC D DP1687, LOT 291 DP621471, LOT 1 DP945266 AT MULGOA ROAD AND REGENTVILLE ROAD, PENRITH.	JOB REFERENCE: 34728BDT



SEE SHEET 1 FOR LEGEND AND NOTES



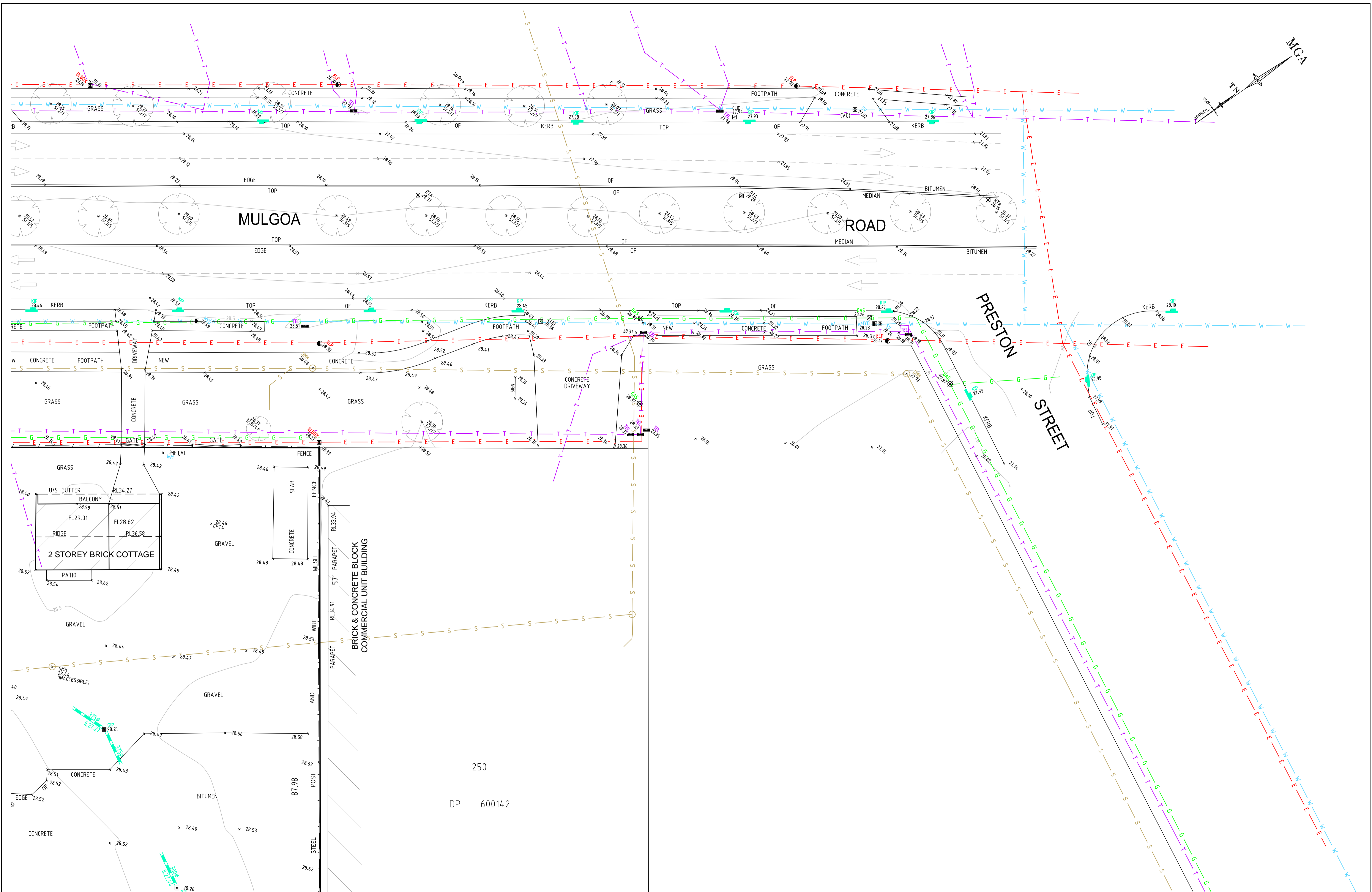
THIS IS THE PLAN REFERRED TO IN MY LETTER DATED: -
Registered Surveyor NSW

DATE OF SURVEY: MARCH 2012 & 15-6-2012
DATUM: AHD
SITE AREA: 4.255ha

LOCKLEY LAND TITLE SOLUTIONS
Registered Surveyors NSW
19 Massey Street
Gladesville NSW 2111
PO BOX 400
Gladesville NSW 1675
ph:(02) 9879 6077
fax:(02) 9879 7143

CLIENT: HYDROX NOMINEES
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LGA: PENRITH

ORIGINAL PLAN SIZE: A1 1:200
PROJECT NO: -
JOB REFERENCE: 34728DT
SHEET OF 11 SHEETS



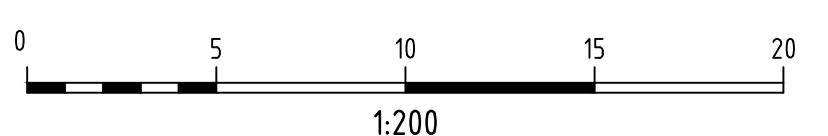
MULGOA ROAD

PRESTON STREET

2 STOREY BRICK COTTAGE

BRICK & CONCRETE BLOCK COMMERCIAL UNIT BUILDING

SEE SHEET 1 FOR LEGEND AND NOTES



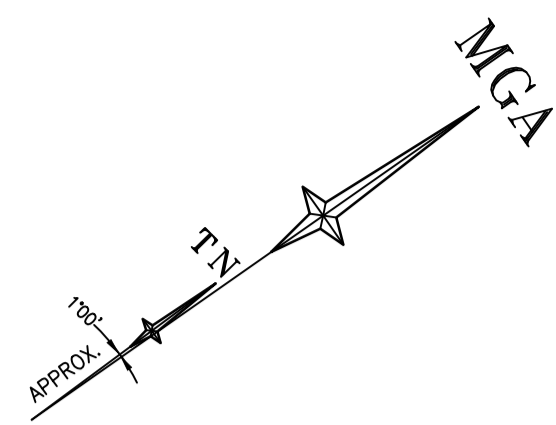
THIS IS THE PLAN REFERRED TO IN MY LETTER DATED: -
Registered Surveyor NSW

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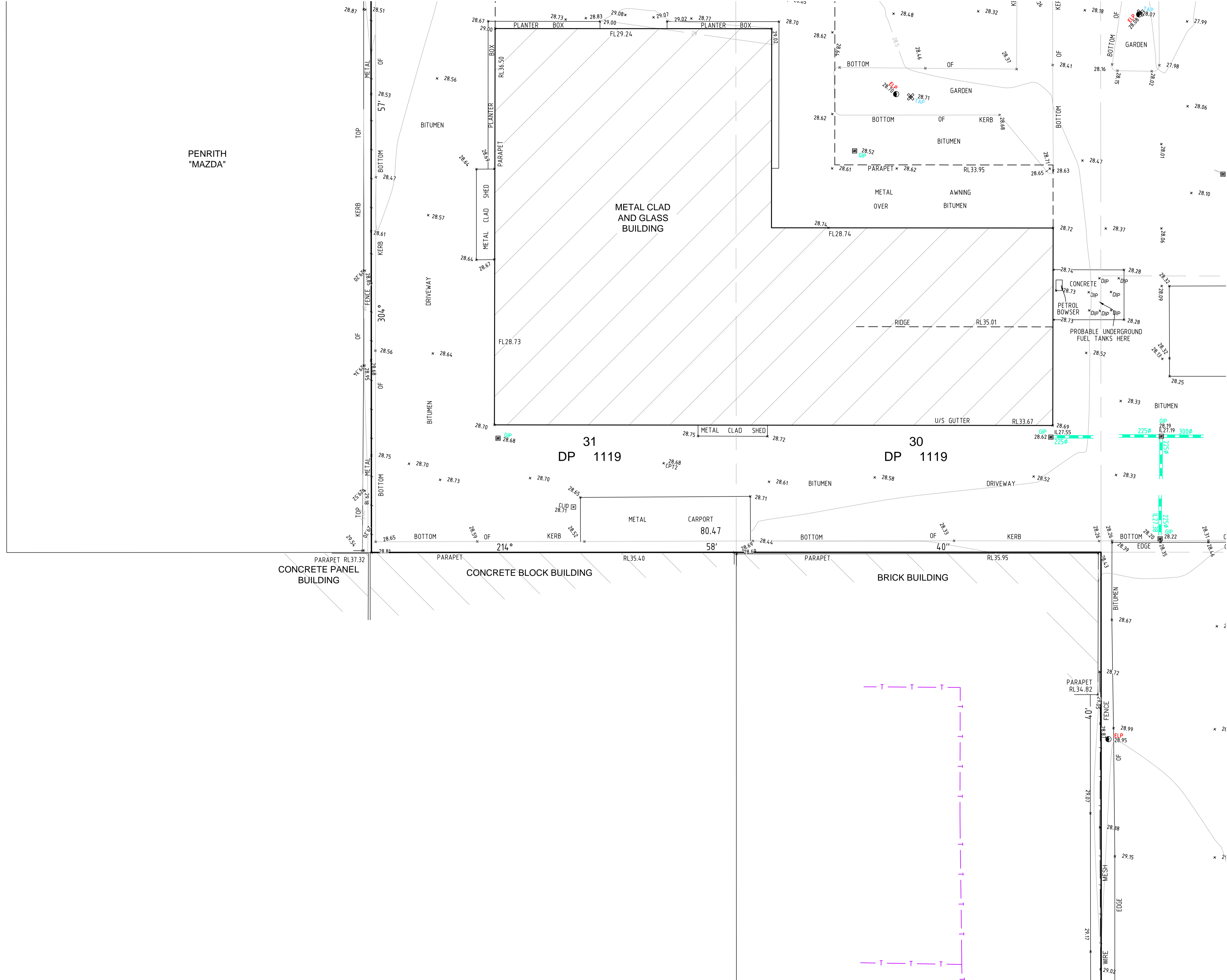
LOCKLEY LAND TITLE SOLUTIONS
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LGA: PENRITH

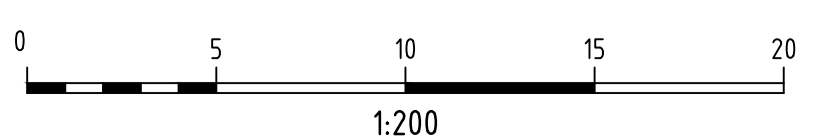
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PROJECT NO: -
JOB REFERENCE: 34728DT
SHEET OF: 11 SHEETS 4



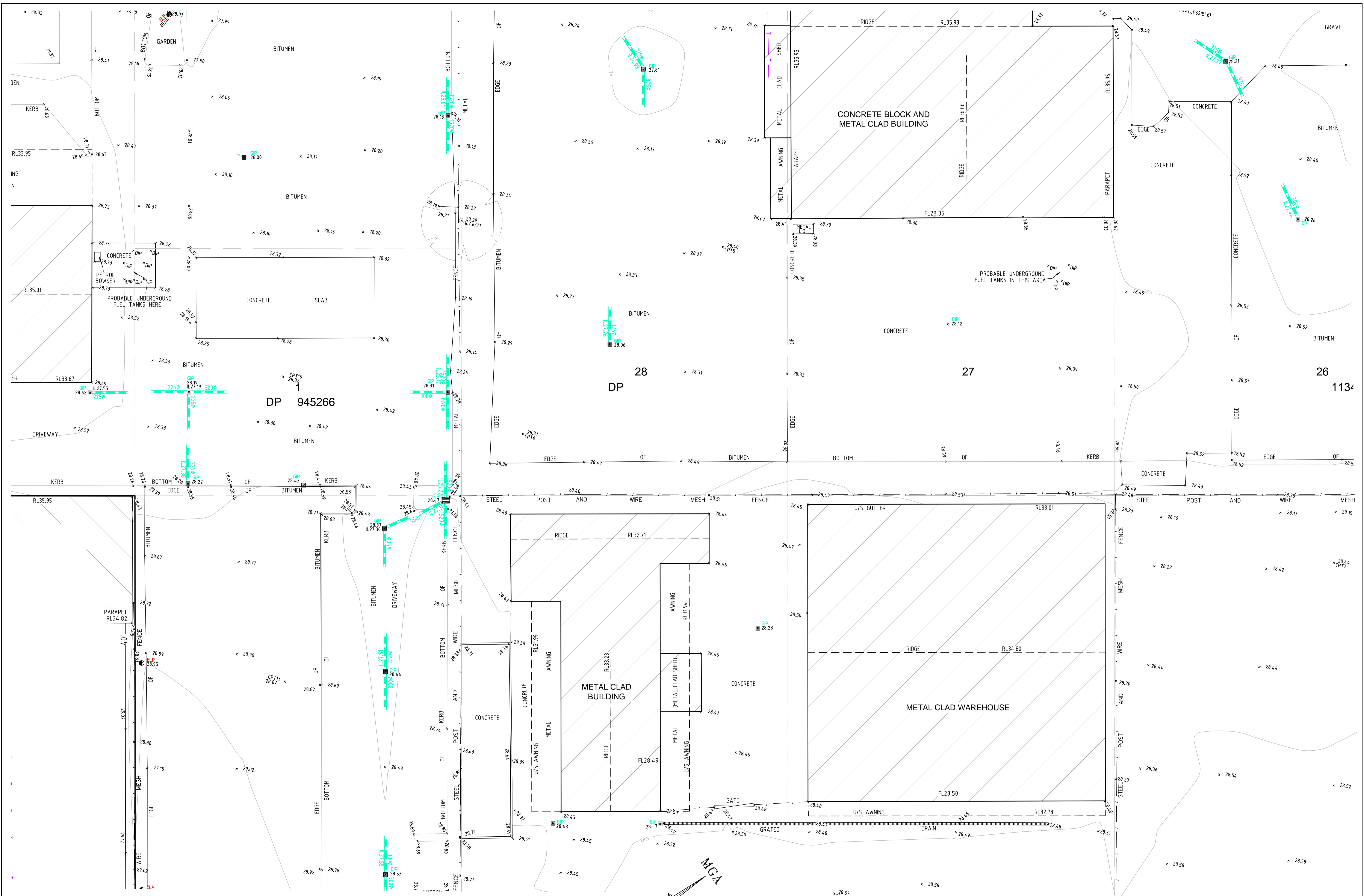
PENRITH
"MAZDA"



SEE SHEET 1 FOR LEGEND AND NOTES



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SITE AREA: 4.255ha				SHEET OF 11 SHEETS 5



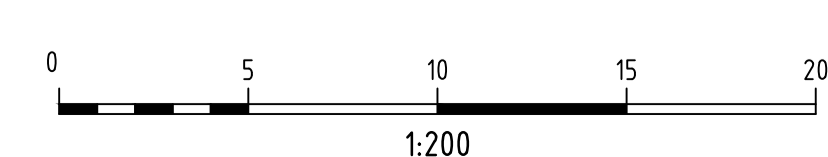
DP 945266

28 DP

27

26 1134

SEE SHEET 1 FOR LEGEND AND NOTES



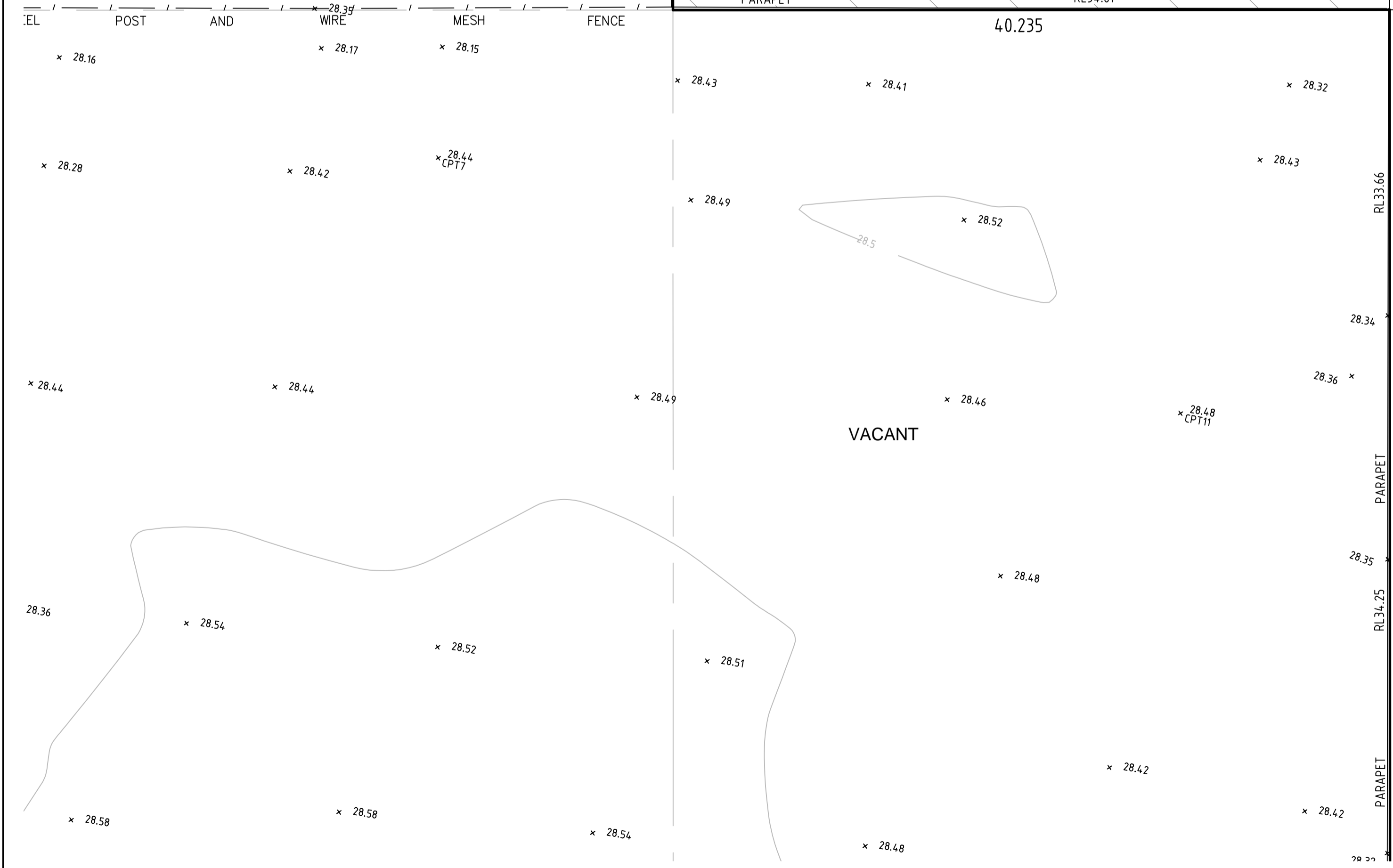
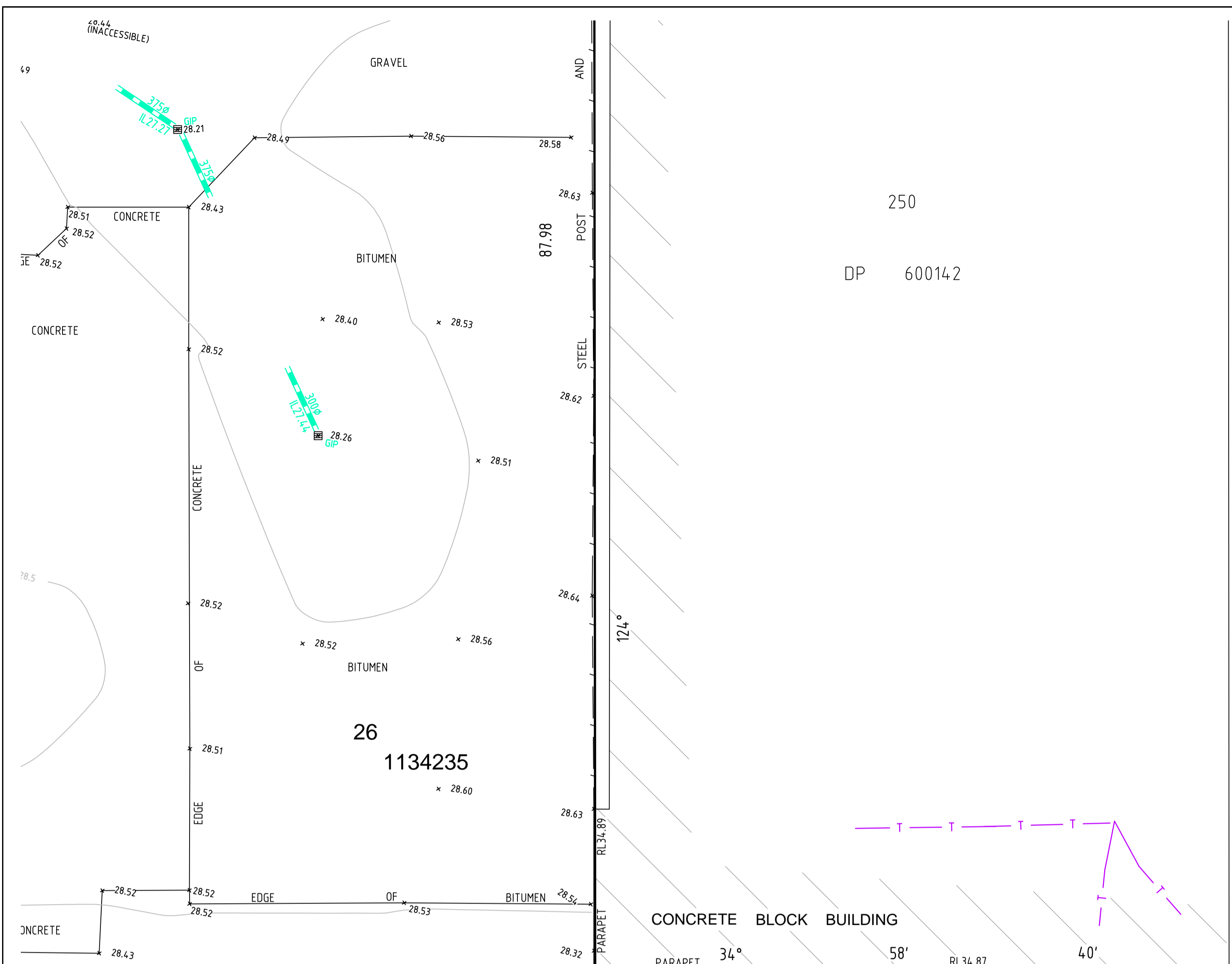
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DATE OF SURVEY: MARCH 2012 & 15-6-2012
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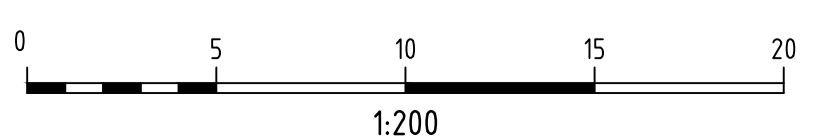
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LGA: PENRITH

ORIGINAL PLAN SIZE: A1 1:200
PROJECT NO: -
JOB REFERENCE: 34728DT
SHEET OF 11 SHEETS



SEE SHEET 1 FOR LEGEND AND NOTES



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Registered Surveyor NSW

DATE OF SURVEY: MARCH 2012 & 15-6-2012

DATUM: AHD

SITE AREA: 4.255ha

LOCKLEY LAND TITLE SOLUTIONS

Registered Surveyors NSW

19 Massey Street
Gladesville NSW 2111

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Gladesville NSW 1675

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CLIENT: HYDROX NOMINEES

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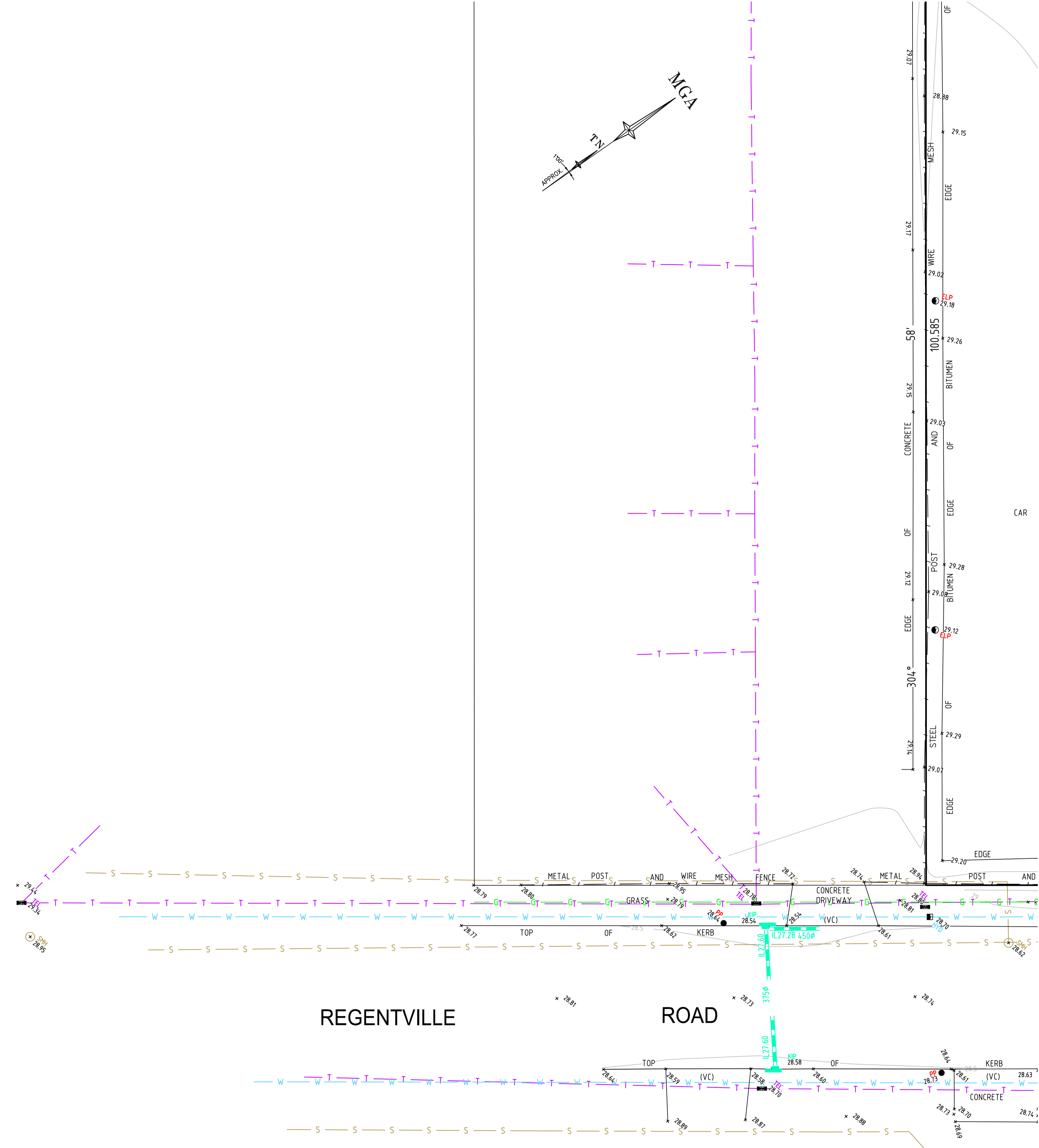
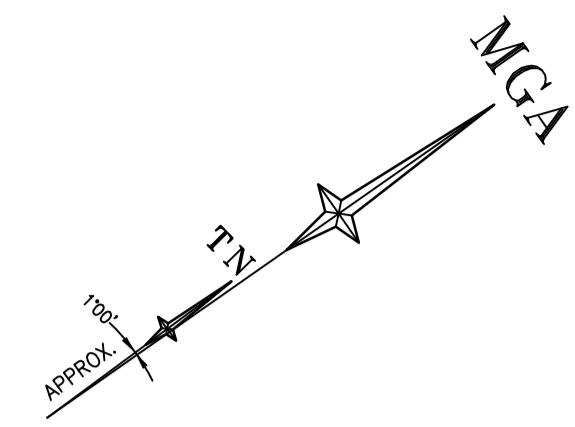
LGA: PENRITH

ORIGINAL PLAN SIZE: A1 1:200

PROJECT No: -

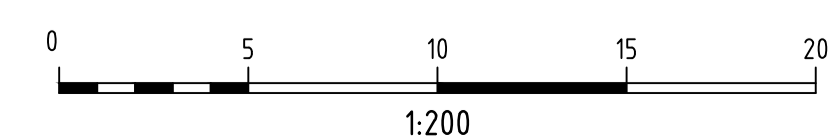
JOB REFERENCE: 34728DT

SHEET OF 11 SHEETS 7



REGENTVILLE ROAD

SEE SHEET 1 FOR LEGEND AND NOTES



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Registered Surveyor NSW

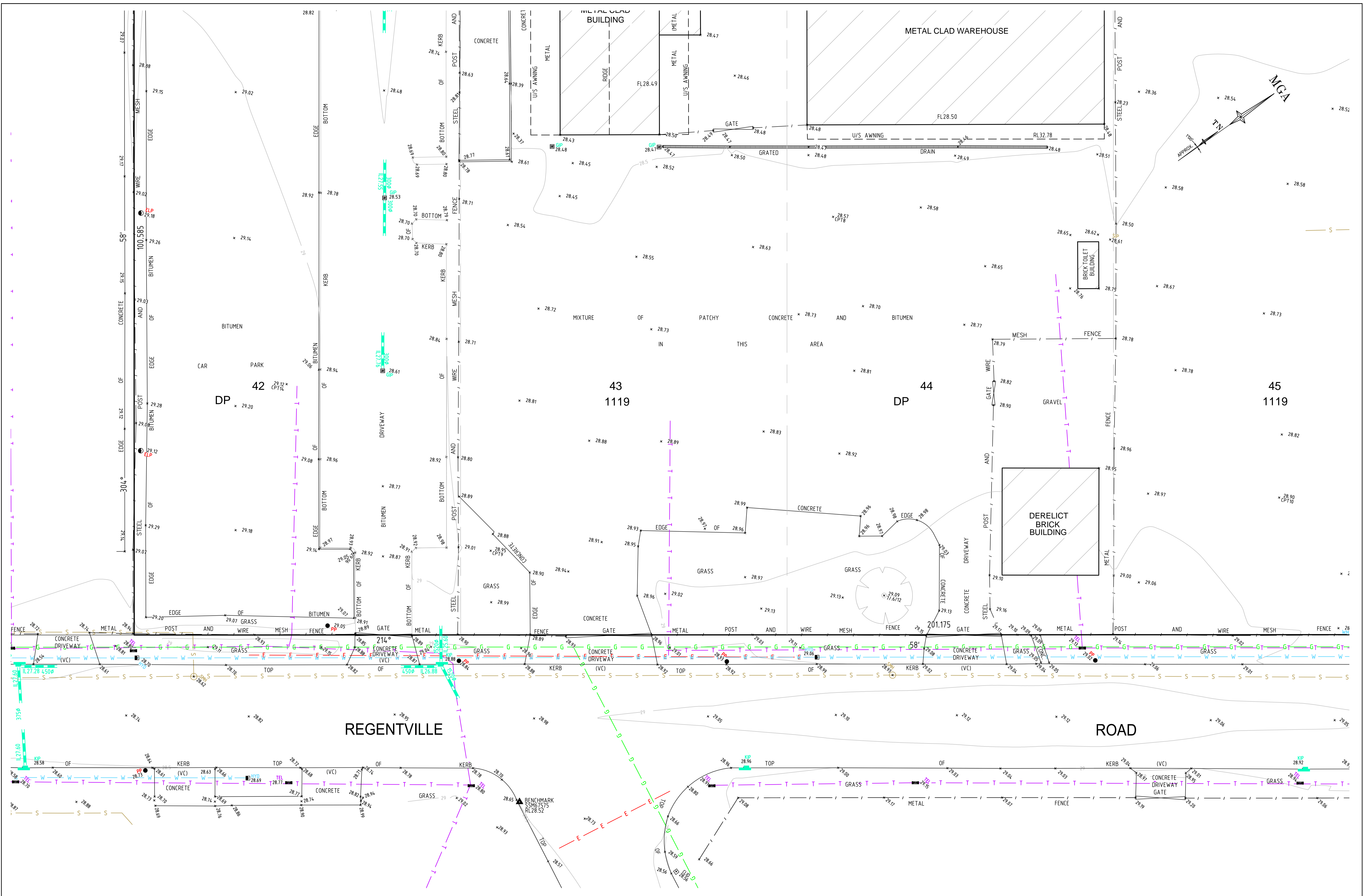
DATE OF SURVEY: MARCH 2012 & 15-6-2012
DATUM: AHD
SITE AREA: 4.255ha



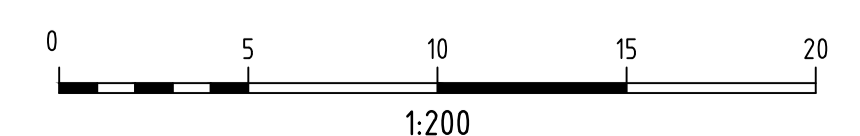
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LGA: PENRITH

ORIGINAL PLAN SIZE: A1 1:200
PROJECT No: -
JOB REFERENCE: 34728DT
SHEET OF 11 SHEETS 8



SEE SHEET 1 FOR LEGEND AND NOTES



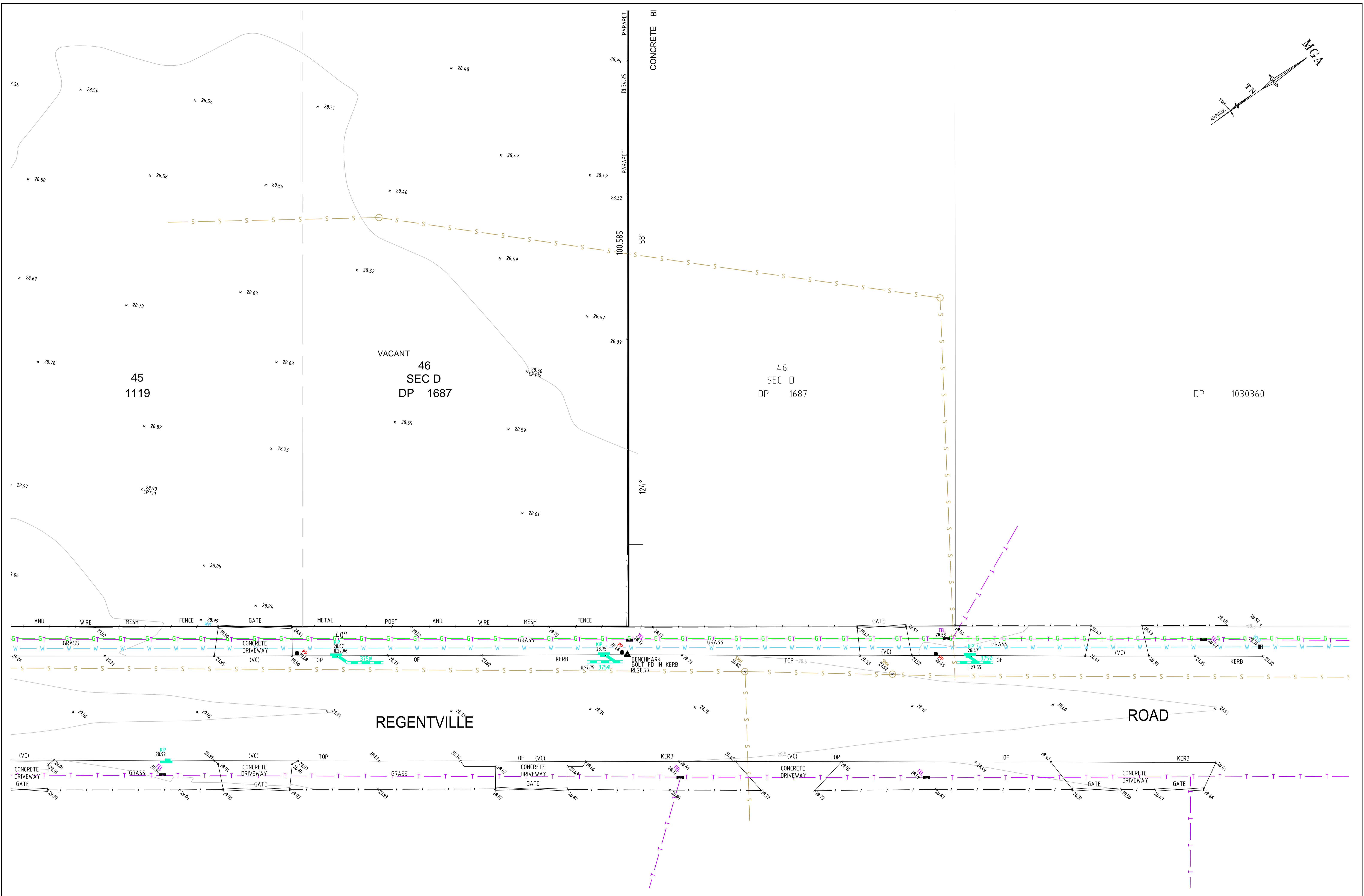
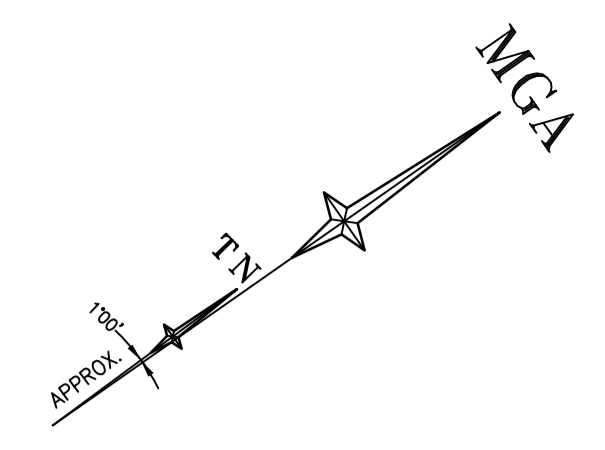
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DATUM: AHD
SITE AREA: 4.255ha

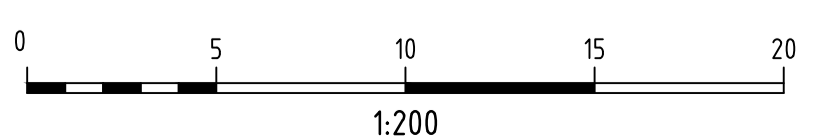
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LGA: PENRITH

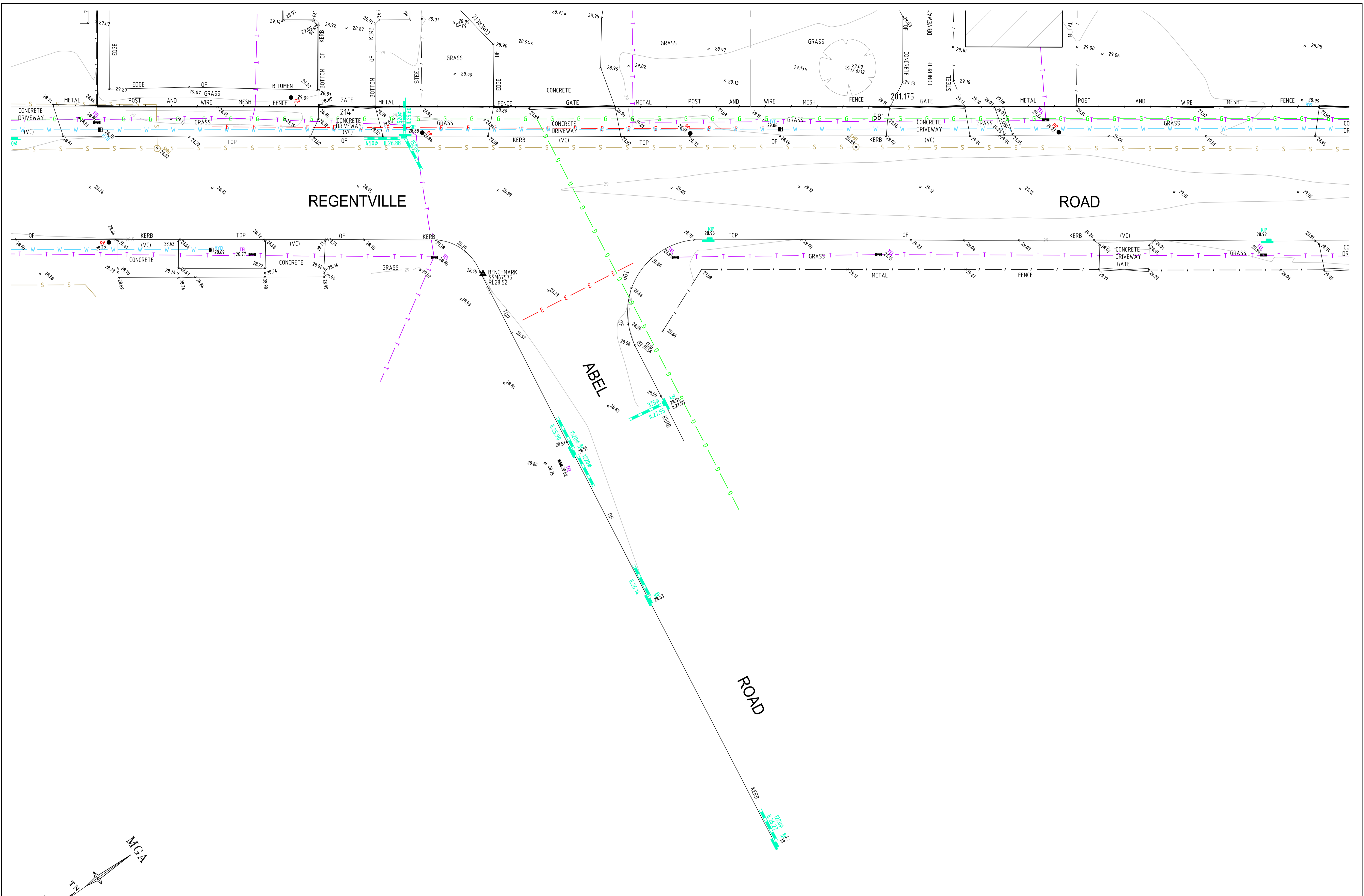
ORIGINAL PLAN SIZE: A1 1:200
PROJECT NO: -
JOB REFERENCE: 34728DT
SHEET OF 11 SHEETS



SEE SHEET 1 FOR LEGEND AND NOTES



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	PLAN OF DETAIL AND LEVELS OF LOTS 30,31,42,43,44, 45 IN DP1119, LOTS 26,27,28 IN DP1134235, LOT 46 SEC D DP1687, LOT 291 DP621471, LOT 1 DP945266 AT MULGOA ROAD AND REGENTVILLE ROAD, PENRITH. LGA: PENRITH			



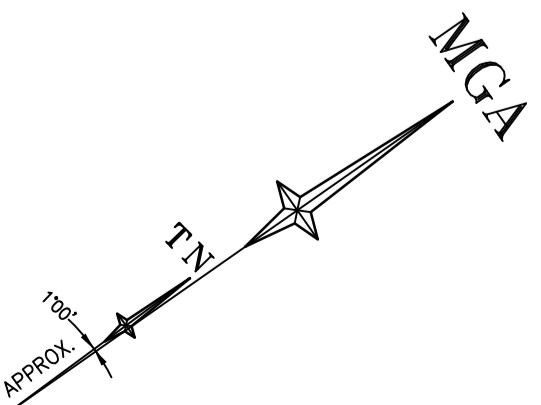
REGENTVILLE

ROAD

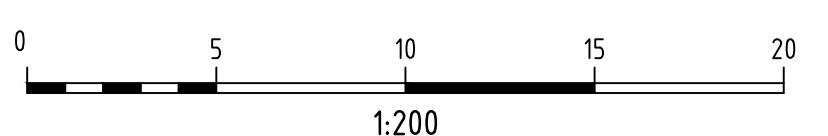
ABEL

ROAD

BENCHMARK
3546.7575
RL28.52



SEE SHEET 1 FOR LEGEND AND NOTES



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	DATUM: AHD SITE AREA: 4.255ha			JOB REFERENCE: 34728DT SHEET OF 11 SHEETS 11

43548
14 July 2016

TO: WOOLWORTHS LTD

RE: MASTERS – MULGOA ROAD, JAMISONTOWN

WE HAVE SURVEYED upon your instruction the land shown on the accompanying plan comprised in Certificate of Title registered Folio Identifiers 42/1119, 43/1119, 44/1119, 45/1119, 26/1134235, 27/1134235, 28/1134235, 291/621471 and 1/945266 being Lots 42-45 in Deposited Plan No. 1119, Lots 26-28 in Deposited Plan No. 1134235, Lot 291 in Deposited Plan No. 621471 and Lot 1 in Deposited Plan No. 945266 at Jamisontown in the Local Government Area of Penrith Parish of Mulgoa County of Cumberland having frontage to **MULGOA ROAD** and Regentville Road.

THIS LAND is subject to an approved subdivision currently awaiting re-lodgement for registration at Land and Property Information NSW as DP1197932 which will result in the consolidation of the abovementioned titles into one lot with various easements and right of ways to be created as shown on the accompanying plan.

WE REPORT that erected thereon is a concrete panel building with a metal roof **KNOWN AS 'MASTERS' 72-78 MULGOA ROAD** together with two metal tanks. The building and tanks stand wholly within the boundaries of the subject property and within the proposed subdivision boundaries.

OFFSETS OF WALLS FROM BOUNDARIES are shown on the accompanying plan.

WE FIND THAT THE BOUNDARIES of the subject property are fenced and occupied as shown. The position of the building and fencing is shown on the accompanying plan. Apart from irregularities in fencing there are no apparent encroachments of note by or upon the subject property.

UPON REGISTRATION OF DP1197932 the subject property will not contravene those conditions of the Restrictions as to User to be created in the registration of the Deposited Plan No. 1197932 that can be measured and observed by a Surveyor.

THE SURVEY OF THE SUBJECT LAND is for identification purposes only and is restricted to those parts of structures which are visible and accessible. Should further additions or improvements be erected upon the subject property after this date we would advise that the boundaries be marked on the ground prior to construction.

LTS LOCKLEY



REGISTERED SURVEYOR

LTS Lockley ABN 95 317 022 857

Member of the Institute of Surveyors NSW

Member of the Property Council of Australia

Member of the Association of Consulting Surveyors NSW

Member of the Urban Development Institute of Australia

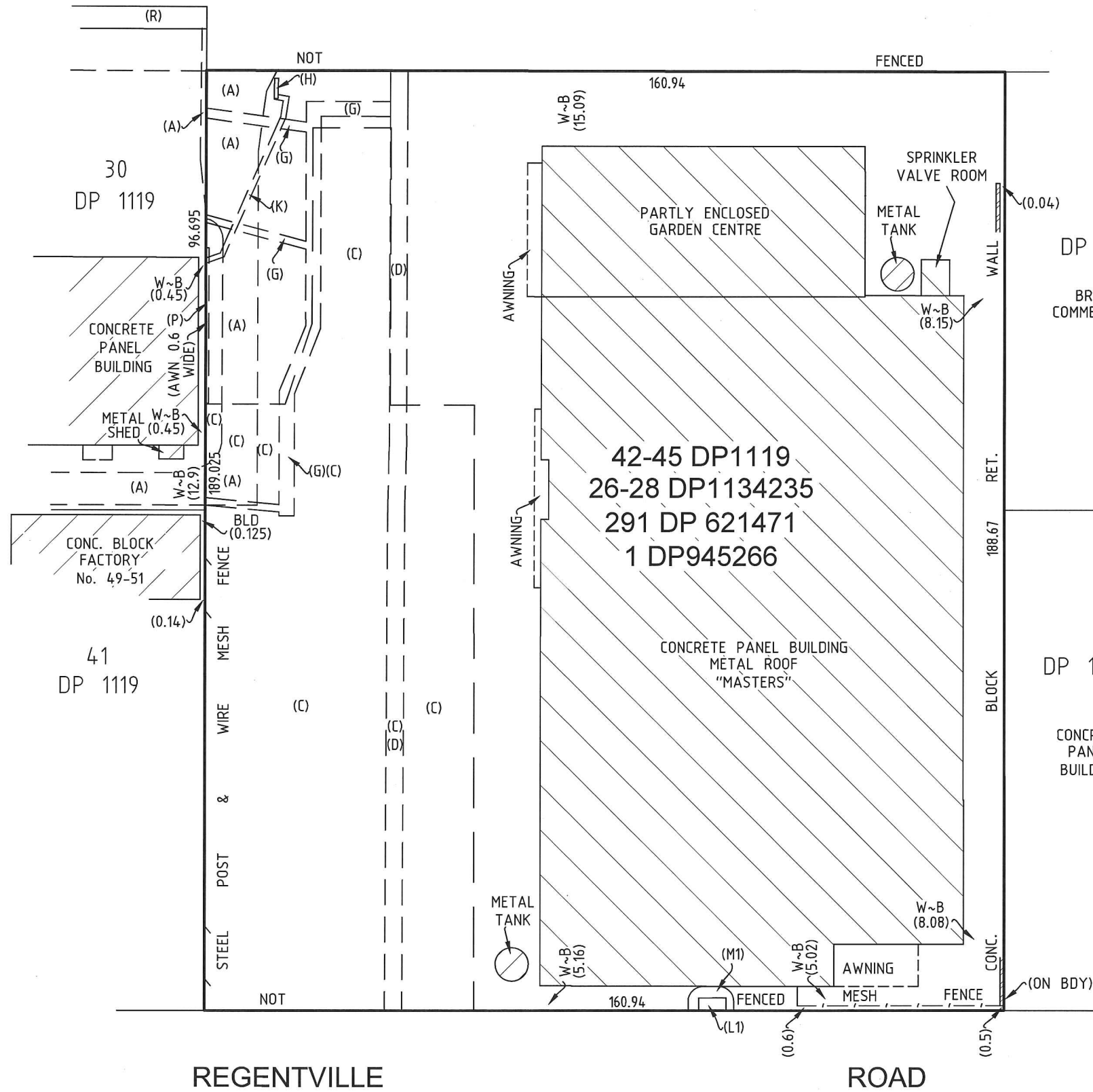
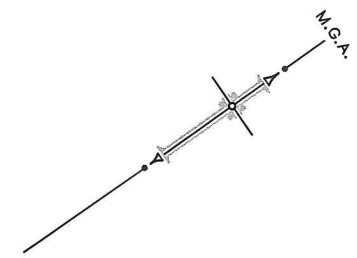
Registered Surveyors

Michael R. Lockley, B.App.Sc (Surv), M.I.S. (NSW)
Damian J. Maguire, B.Surv., M.I.S. (NSW)
Joseph Monardo, B.Surv., M.I.S. (NSW)
Glenn Cox, B.Surv. (Hons), M.I.S. (NSW)
Christopher J. Moyce, B.Surv., M.I.S. (NSW)
Matthew G. Smith, B.Surv., M.I.S. (NSW)
Ashley Jelley B.Surv., M.I.S. (NSW)
Jason Raic B.Surv., M.I.S. (NSW)

Land Titling and Surveying

MULGOA

ROAD



NOTE:
 THE PROPOSED LOT SHOWN IS ALSO KNOWN AS LOT 1 IN UNREGISTERED PLAN OF SUBDIVISION OF LOTS 42-46 IN DP 1119, LOTS 26-28 IN DP 1134235, LOT 291 IN DP 621471 AND LOT 1 IN DP 945266 BY DAMIAN MAGUIRE DATED 14-9-15 (DP 1197932)

PROPOSED EASEMENTS & RESTRICTIONS
 (SUBJECT TO REGISTRATION OF DP 1197932)

- (A) RIGHT OF CARRIAGEWAY VARIABLE WIDTH
- (C) RESTRICTION ON THE USE OF LAND
- (D) EASEMENT FOR DRAINAGE OF WATER 3.0 WIDE
- (F) EASEMENT FOR SERVICES 8.3 WIDE
- (G) EASEMENT TO DRAIN WATER 1.5, 2.0 & 3.0 WIDE
- (H) EASEMENT FOR PYLON SIGNAGE 0.7 WIDE LIMITED IN HEIGHT TO RL34.5 AHD AND IN DEPTH TO RL32.0 AHD
- (K) EASEMENT FOR SERVICES 1.0 WIDE
- (L1) EASEMENT FOR PADMOUNT SUBSTATION 2.72 WIDE
- (M1) RESTRICTION ON THE USE OF LAND
- (P) EASEMENT FOR OVERHANG 0.25 WIDE
- (R) ROAD WIDENING 4.5 WIDE



Revision	Date	Description	Reference
D	00/00/00	-	00
C	00/00/00	-	00
B	00/00/00	-	00
A	00/00/00	-	00

THIS IS THE PLAN REFERRED TO IN MY LETTER DATED: *[Signature]*
 Registered Surveyor NSW



Suite 1, Level 1
 810 Pacific Highway
 Gordon NSW 2072
 Locked Bag 5
 Gordon NSW 2072
 P 1300 587 000
 F 02 9499 7760

Client WOOLWORTHS LTD
 Drawing title
 PLAN OF IDENTIFICATION SURVEY REPORT OVER
 PROPOSED LOT 1, BEING "MASTERS", No. 72-78 MULGOA
 ROAD, JAMISONTOWN

datum	project number	reference number
AHD	34728	43548ID
site Area	scale	date of survey
3.037ha	1:1000 @A3	14-07-2016
LGA	SHEET	
PENRITH	OF 1 SHEETS	