## STAGE 04 741-755 GREAT WESTERN HIGHWAY, WERRINGTON



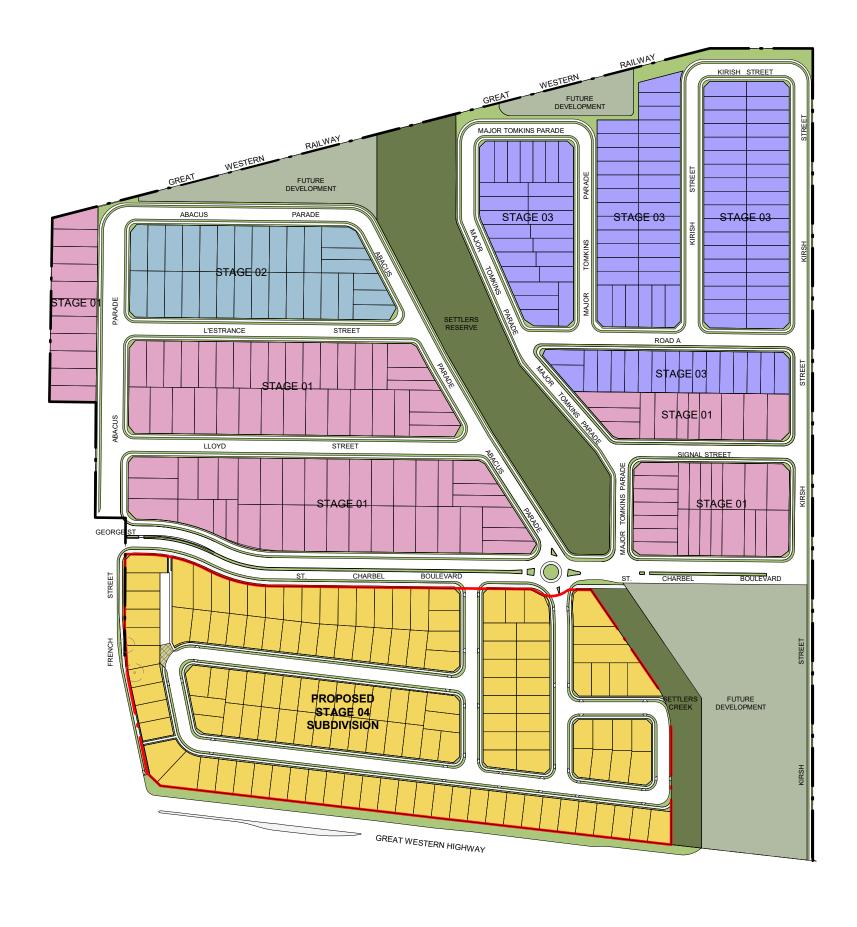
1 1. LOCATION PLAN

1:5000

DRAWING LIST  DWG NO. TITLE  DA 100 COVER SHEET DA 101 STAGING PLAN  DA 102 SITE PLAN  DA 103 SUBDIVISION  DA 104 PUBLIC DOMAIN PLAN - OVERALL  DA 105 PUBLIC DOMAIN PLAN - 1/4  DA 106 PUBLIC DOMAIN PLAN - 2/4  DA 107 PUBLIC DOMAIN PLAN - 3/4  DA 108 PUBLIC DOMAIN PLAN - 4/4  DA 109 LOT AREA SCHEDULE						
DA 100  DA 101  DA 101  STAGING PLAN  DA 102  SITE PLAN  DA 103  SUBDIVISION  DA 104  PUBLIC DOMAIN PLAN - OVERALL  DA 105  PUBLIC DOMAIN PLAN - 1/4  DA 106  PUBLIC DOMAIN PLAN - 2/4  DA 107  PUBLIC DOMAIN PLAN - 3/4  DA 108  PUBLIC DOMAIN PLAN - 4/4	DRAWING LIST					
DA 101 STAGING PLAN  DA 102 SITE PLAN  DA 103 SUBDIVISION  DA 104 PUBLIC DOMAIN PLAN - OVERALL  DA 105 PUBLIC DOMAIN PLAN - 1/4  DA 106 PUBLIC DOMAIN PLAN - 2/4  DA 107 PUBLIC DOMAIN PLAN - 3/4  DA 108 PUBLIC DOMAIN PLAN - 4/4	DWG NO.	TITLE				
DA 102  DA 103  SITE PLAN  SUBDIVISION  DA 104  PUBLIC DOMAIN PLAN - OVERALL  DA 105  PUBLIC DOMAIN PLAN - 1/4  DA 106  PUBLIC DOMAIN PLAN - 2/4  DA 107  PUBLIC DOMAIN PLAN - 3/4  DA 108  PUBLIC DOMAIN PLAN - 4/4	DA 100	COVER SHEET				
DA 103  DA 104  PUBLIC DOMAIN PLAN - OVERALL  DA 105  PUBLIC DOMAIN PLAN - 1/4  DA 106  PUBLIC DOMAIN PLAN - 2/4  DA 107  PUBLIC DOMAIN PLAN - 3/4  DA 108  PUBLIC DOMAIN PLAN - 4/4	DA 101	STAGING PLAN				
DA 104 PUBLIC DOMAIN PLAN - OVERALL  DA 105 PUBLIC DOMAIN PLAN - 1/4  DA 106 PUBLIC DOMAIN PLAN - 2/4  DA 107 PUBLIC DOMAIN PLAN - 3/4  DA 108 PUBLIC DOMAIN PLAN - 4/4	DA 102	SITE PLAN				
DA 105 PUBLIC DOMAIN PLAN - 1/4  DA 106 PUBLIC DOMAIN PLAN - 2/4  DA 107 PUBLIC DOMAIN PLAN - 3/4  DA 108 PUBLIC DOMAIN PLAN - 4/4	DA 103	SUBDIVISION				
DA 106 PUBLIC DOMAIN PLAN - 2/4 DA 107 PUBLIC DOMAIN PLAN - 3/4 DA 108 PUBLIC DOMAIN PLAN - 4/4	DA 104	PUBLIC DOMAIN PLAN - OVERALL				
DA 107 PUBLIC DOMAIN PLAN - 3/4 DA 108 PUBLIC DOMAIN PLAN - 4/4	DA 105	PUBLIC DOMAIN PLAN - 1/4				
DA 108 PUBLIC DOMAIN PLAN - 4/4	DA 106	PUBLIC DOMAIN PLAN - 2/4				
	DA 107	PUBLIC DOMAIN PLAN - 3/4				
DA 109 LOT AREA SCHEDULE	DA 108	PUBLIC DOMAIN PLAN - 4/4				
	DA 109	LOT AREA SCHEDULE				

SITE	
TOTAL SITE AREA:	52200 m <sup>2</sup>
TOTAL NO. OF LOTS:	134

					Disclaimer  "THESE DRAWINGS ARE PRELIMMARY DRAWINGS AND ARE SUBJECT TO CHANGE WITHOUT DRIVE DURING THE COURSE OF THE PERPORSED DEVICE OPERATION IN	Notes DRAWINGS MADE TO A LARGER SCALE AND THOSE SHOWING PARTICIDAR DETAIL OF WORKS SHALL TAKE PROFESSINGS ONER DRAWINGS MADE TO A SMAIL FRA	THE GENERAL CONTRACTORS SHALL REVIEW MLL DOCUMENTS AND VERFY ALL DIMENSIONS AND FELD CONSTRUCT AND SHALL CONFIRM THAT WORK BUILDINGLE AS SHOWN. ANY CONFLICTS OR ONESSING. FELD, SHALL BE MANEDWILETY PROPRIED TO THE ARCHITECT FOR	Consultants	Client	Architects	Project	Key plan	Scale 1:5000	Drawing no. DA100	Date	
	E	25/5/2021	Revision 5	JH	CONSULTATION WITH COUNCL. SUBMISSION OF THE DRAWINGS DOES NOT CONSTITUTE A REPRESENTATION OR WARRANTY BY THE DEVELOPER OR ITS SERVANTS, AGENTS OR CONTRACTORS THAT THE DRAWINGS ARE FINAL NOR	SCALE AND FOR MORE GENERAL PURPOSES. WHERE ANY DISCREPANCY EXISTS BETWEEN FIGURED AND SCALED DIMENSIONS, THE FIGURED DIMENSIONS SHALL PREVAIL.	ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION WILL CONSULTANTS AND CONTRACTOR			Level 2 12-16 Queen Street	STAGE 04		Drawing title	Project no. 01	25/05/21	
		30/11/2020 5/11/2020	AMENDMENTS SUBDIVISION  AMENDMENTS SUBDIVISION	CHD	THAT THE PROPOSED DEVELOPMENT WILL TAKE PLACE IN ACCORDANCE WITH THESE DRAWINGS.*  BEFORE CARRYING OUT ANY WORK ENSURE THAT THE	BUILDER TO CHECK ALL SITE DIMENSIONS PRIOR TO FABRICATION OF FITMENTS.	DRAWINGS, SCHEDULES AND SPECFICATIONS. IN CASE OF CONFLCT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIAL S/FOURPHENT THE ARCHITECTS AND LIFE.			Chippendale NSW 2008 P 6122 9698 2900 F 6122 9699 3018	Project address		COVER SHEET	Drawn JH	Rev.	
	В	15/09/2020	AMENDED AS PER PRE-DA	CHD	DRAWINGS USED CARRY THE LATEST AMENDMENT No.	ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRAL STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA)	AN NOTIFIED FOR CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.			E info@tonyowen.com.au	741-755 GREAT WESTERN HIGHWAY,		Drawing status		F	
	A	21/04/2020	ISSUED FOR REVIEW	CHD	THESE DOCUMENTS AND ANYWORKS EXECUTED AS A RESULT OF THESE DOCUMENTS SHALL BE SUBJECT TO THE COPYRIGHT CONDITIONS SET	ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWNGS, ALL ADDENDUMS, FINSHES, SCHEDULES A	DO NOT SCALE DRAWNOS. WRITTEN DIMENSIONS GOVERN PARTIDION LOCATIONS, DIMENSIONS AND TYPES. INCASE OF LOCATION OF THE PROPERTY			Tony Owen Partners Architects Reg. No 7080	WERRINGTON		_		_	
IS	SSUE	DATE	REVISION	BY	AS A RESULT OF THESE DOCUMENTS SHALL BE SUBJECT TO THE COPYRIGHT CONDITIONS SET OUT IN THE CONDITIONS OF ENGAGEMENT.	DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES, SCHEDULES A MODIFICATIONS ISSUED BY THE ARCHITECT.	PARTITION LOCATIONS, DIMENSIONS AND TYPES, INCASE OF CONFLICT, NOTIFY ARCHITECT OR WRITTEN CLARIFICATION PROCEEDING WITH CONSTRUCTION.			Tony Owen Partners Architects Reg. No 7080	WERRINGTON		Project Status			



			Disclaimer THESE DRAWNISS ARE PREMIUM AND THE PROPERTY OF ANALYSIS AND ARE	Notes  E DRAWING SHAPE TO A LARGER SCALE AND THOSE SHAPE THOSE SHA	THE GENERAL CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERPYALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN, ANY CONFLICTS OR OMISSIONS, ETC., SHALL BE	Legend	Consultants	Client	Architects	Project	Key plan		Scale	Drawing no. DA10	1	Date
			COURSE OF THE PROPOSED DEVELOPMENT AND IN CONSULTATION WITH COUNCIL. SUBMISSION OF THE	PRECEDENCE OVER DRAWINGS MADE TO A SMALLER SCALE AND FOR MORE GENERAL PURPOSES.	MMEDIATELYREPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANYWORK IN QUESTION.				Level 2	STAGE 04		(+)	1:2500			25/05/21
Е	25/5/2021	Revision 5	JH WARRANTY BY THE DEVELOPER OR ITS SERVANTS, AGE! OR CONTRACTORS THAT THE DRAWINGS ARE FINAL NOR	TS WHERE ANY DISCREPANCY EXISTS BETWEEN FIGURED AND SCALED DIMENSIONS, THE FIGURED DIMENSIONS SHALL PREVAIL	ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONLINCTION WHAT I CONSULTANTS AND CONTRACTOR				12-16 Queen Street				Drawing title	Project no.	01	20/00/21
D	30/11/2020	AMENDMENTS SUBDIVISION (	CHD THAT THE PROPOSED DEVELOPMENT WILL TAKE PLACE ACCORDANCE WITH THESE DRAWNGS."	N BUILDER TO CHECK ALL SITE DIMENSIONS PRIOR TO	DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS				Chippendale NSW 2008 P 6122 9698 2900	Project address			STAGING PLAN	Drawn		Davi
С			DHD BEFORE CARRYING OUT ANY WORK ENSURE THAT THE DRAWNINGS USED CARRY THE LATEST AMENDMENT No.	FABRICATION OF FITMENTS.	DRAWINGS IN LOCATING STRUCTURAL ELEMENTS, MATERIALS / EQUIPMENT, THE ARCHITECT SHALL BE				F 6122 9699 3018	Froject address			STAGING FLAN	Drawn	JH	Rev.
В	15/09/2020	AMENDED AS PER PRE-DA	CHD	STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA).	CONSTRUCTION.				E info@tonyowen.com.au	741-755 GREAT WESTERN HIGHWAY,			Drawing status			_
Α	21/04/2020	ISSUED FOR REVIEW	CHD THESE DOCUMENTS AND ANYWORKS EXECUTED AS A RESULT OF THESE DOCUMENTS SHALL BE	ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE	DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES. IN CASE OF				Tony Owen Partners Architects Reg. No 7080	WERRINGTON			_			<b>E</b>
ISSUE	DATE	REVISION	BY SUBJECT TO THE COPYRIGHT CONDITIONS SET OUT IN THE CONDITIONS OF ENGAGEMENT.	DRAWINGS, ALL ADDENDUMS, FINSHES, SCHEDULES AND MODIFICATIONS ISSUED BY THE ARCHITECT.	CONFLICT, NOTIFY ARCHITECT OR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.				Tony Owen Faithers Architects Reg. No 7000				Project Status			



Document Set ID: 9607357

ISSUE

Version: 1, Version Date: 31/05/2021

DATE

25/5/2021

D 30/11/2020 AMENDMENTS SUBDIVISION

21/04/2020 ISSUED FOR REVIEW

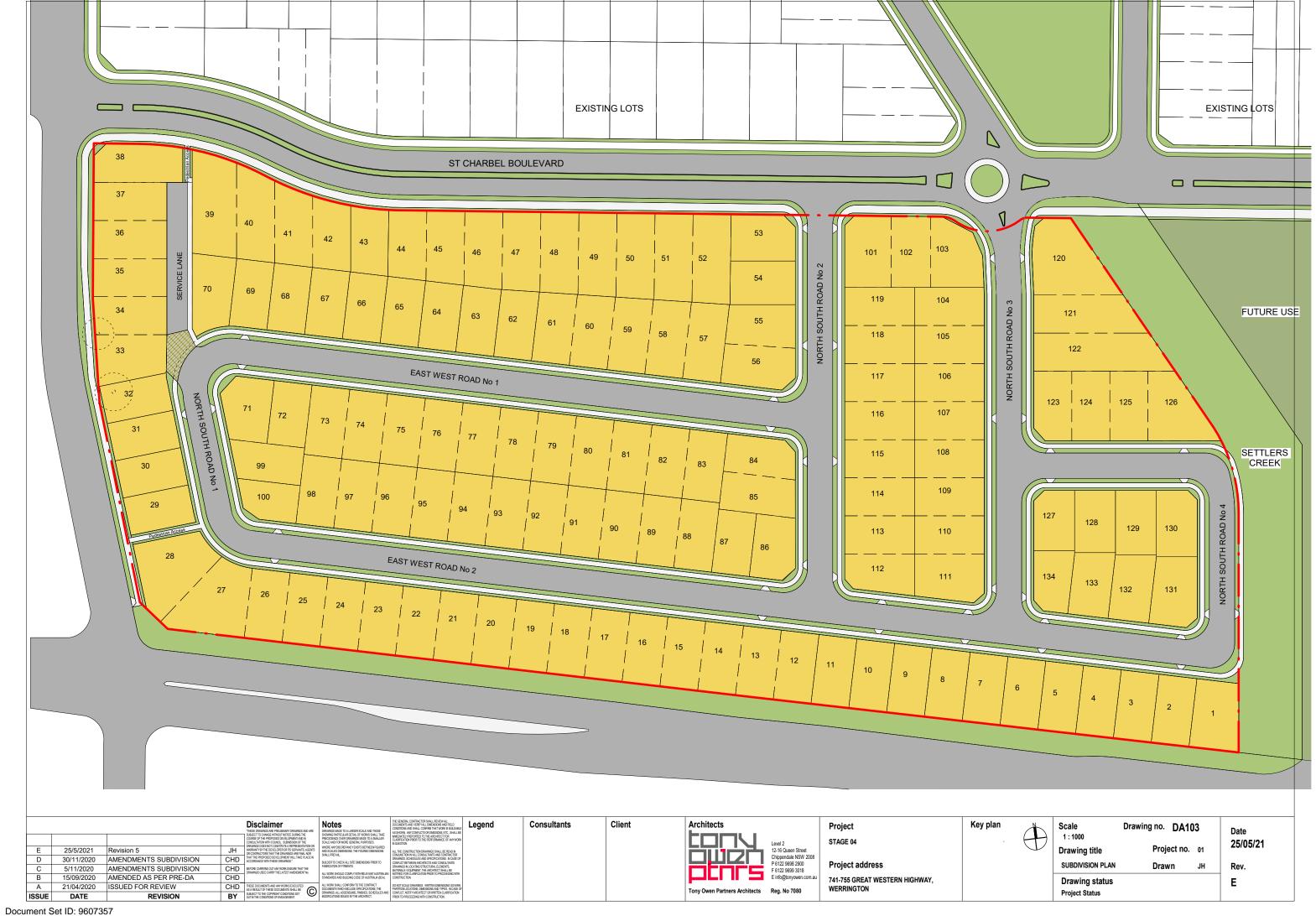
5/11/2020 AMENDMENTS SUBDIVISION

REVISION

15/09/2020 AMENDED AS PER PRE-DA

CHD

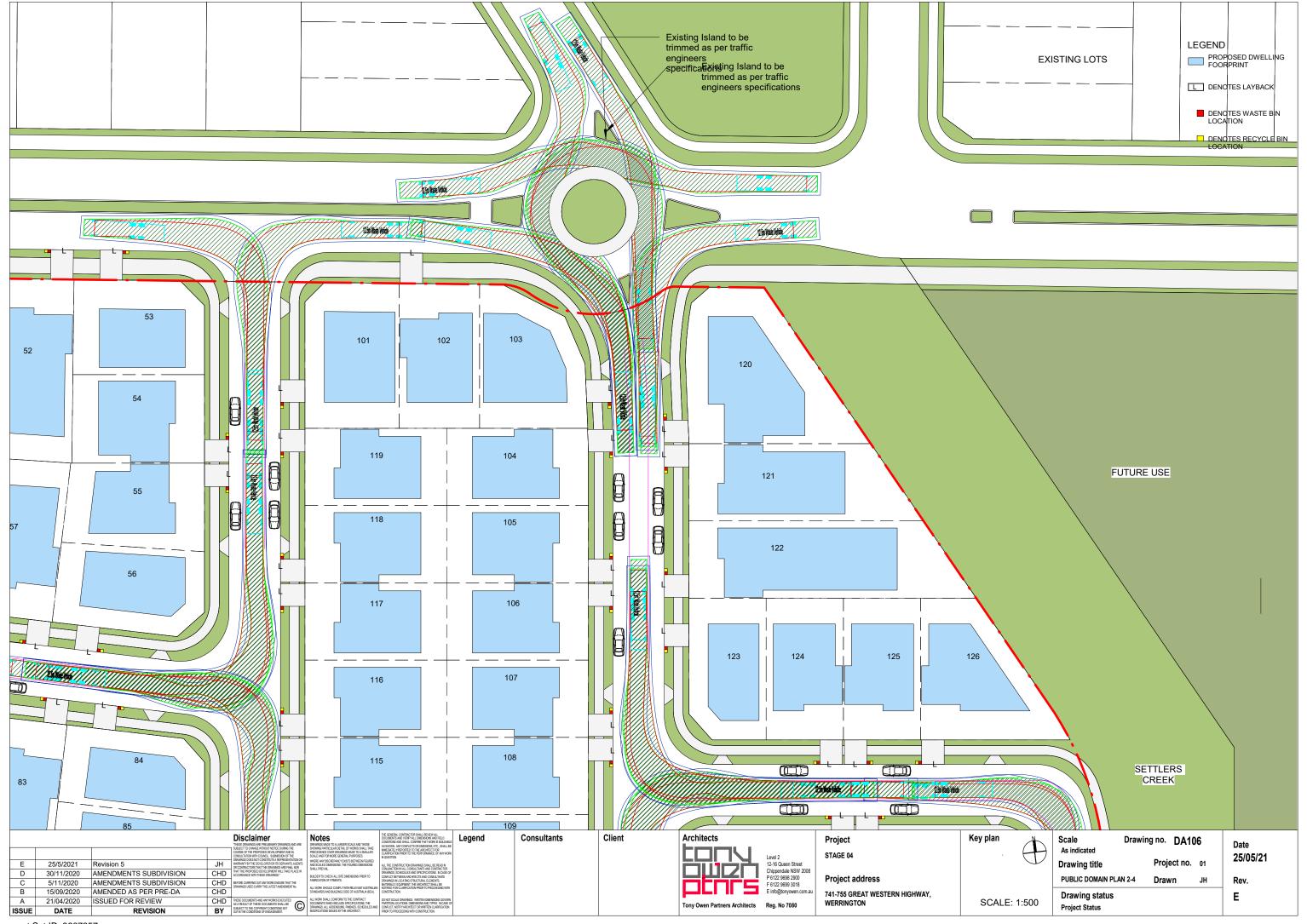
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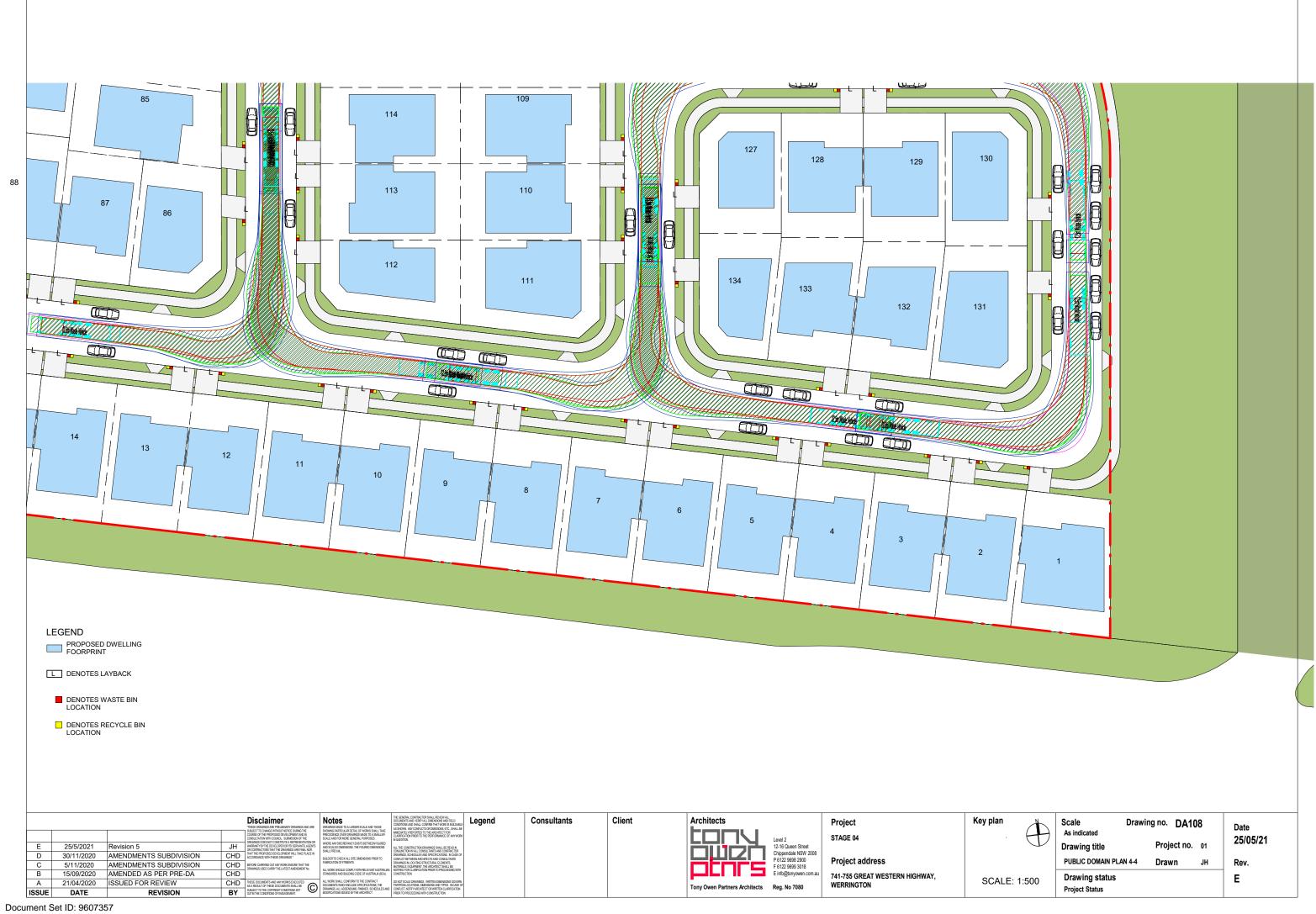




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Version: 1, Version Date: 31/05/2021





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Lot Area Schedule			
Lot	Area		

1	316 m²
2	260 m²
3	261 m²
4	261 m²
5	262 m²
6	262 m²
7	262 m²
8	263 m²
9	263 m²
10	263 m²
11	264 m²
12	264 m²
13	264 m²
14	265 m²
15	265 m²
16	265 m²
17	265 m²
18	265 m²
19	265 m²
20	265 m²
21	265 m²
22	265 m²
23	265 m²
24	265 m²
25	265 m²
26	265 m²
27	450 m²
28	456 m²
29	250 m²
30	252 m²
31	253 m²
32	255 m²
33	313 m²
34	276 m²

Lot Area	Schedule
Lot	Area

35	280 m²
36	279 m²
37	278 m²
38	329 m²
39	443 m²
40	338 m²
41	289 m²
42	259 m²
43	247 m²
44	259 m²
45	273 m²
46	288 m²
47	299 m²
48	307 m²
49	315 m²
50	323 m²
51	331 m²
52	338 m²
53	291 m²
54	282 m²
55	281 m²
56	291 m²
57	295 m²
58	287 m²
59	280 m²
60	273 m²
61	266 m²
62	259 m²
63	255 m²
64	254 m²
65	255 m²
66	255 m²
67	255 m²

Lot Area	Schedule
Lot	Area

68	255 m <sup>2</sup>
69	256 m <sup>2</sup>
70	299 m²
71	286 m²
72	240 m <sup>2</sup>
73	264 m²
74	264 m²
75	264 m²
76	264 m²
77	264 m²
78	264 m²
79	264 m²
80	264 m²
81	264 m²
82	264 m²
83	264 m²
84	262 m²
85	283 m²
86	260 m <sup>2</sup>
87	240 m <sup>2</sup>
88	264 m²
89	264 m²
90	264 m²
91	264 m²
92	264 m²
93	264 m²
94	264 m²
95	264 m²
96	264 m²
97	264 m²
98	264 m²
99	263 m²
100	211 m²
101	326 m²
	1

Lot Area	Schedule
Lot	Area

102	280 m²
103	317 m²
104	264 m²
105	264 m²
106	264 m²
107	264 m²
108	264 m²
109	264 m²
110	264 m²
111	314 m²
112	260 m <sup>2</sup>
113	264 m²
114	264 m²
115	264 m²
116	264 m²
117	264 m²
118	264 m²
119	264 m²
120	485 m²
121	388 m²
122	486 m²
123	257 m²
124	264 m²
125	264 m²
126	355 m²
127	239 m²
128	253 m²
129	262 m²
130	266 m²
131	304 m²
132	271 m²
133	258 m²
134	225 m²
TOTAL	37397 m²

ISSUE	DATE	REVISION	BY	SUBJECT TO THE COPYRIGHT CONDITIONS SET
Α	21/04/2020	ISSUED FOR REVIEW	CHD	THESE DOCUMENTS AND ANYWORKS EXECUTED AS A RESULT OF THESE DOCUMENTS SHALL BE SUBJECT TO THE COPYRIGHT CONDITIONS SET
В	15/09/2020	AMENDED AS PER PRE-DA	CHD	
С	5/11/2020	AMENDMENTS SUBDIVISION	CHD	BEFORE CARRYING OUT ANY WORK ENSURE THAT THE DRAWINGS LISED CARRY THE LATEST AMENDMENT No
D	30/11/2020	AMENDMENTS SUBDIVISION	CHD	THAT THE PROPOSED DEVELOPMENT WILL TAKE PLACE IN ACCORDANCE WITH THESE DRAWNGS."
Е	25/5/2021	Revision 5	JH	WARRANTY BY THE DEVELOPER OR ITS SERVANTS, AGENTS OR CONTRACTORS THAT THE DRAWINGS ARE FINAL NOR
				SUBJECT TO CHANGE WITHOUT NOTICE DURING THE COURSE OF THE PROPOSED DEVELOPMENT AND IN CONSULTATION WITH COUNCIL SUBMISSION OF THE DRAWNISS DOES NOT CONSTITUTE A REPRESENTATION OR
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	BULDER TO CHECK ALL SITE DIMENSIONS PRIOR TO FABRICATION OF FITMENTS.  ALL WORK SHOULD COMPLY WITH BELEVANT ALISTRALIAN.	CIDIM
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ע	DRAWINGS, ALL ADDENDUNS, FINISHES, SCHEDULES AND MODIFICATIONS ISSUED BY THE ARCHITECT.	CI

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ILL THE CONSTRUCTION DRAWNINGS SHALL BE READ IN CONJUNCTION WILL CONSULTANTS AND CONTRACTOR RAWNINGS, SCHOOLINGS AND SPECE PATIONS. IN CASE OF CORFLET ER WEEN ARCHITECTS AND CONSULTANTS RAWNINGS IN LOCATION STRUCTURAL ELEMENTS, AND THE PROPERTY OF THE PROCEEDING WITH CONSTRUCTION.	
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Project	
STAGE 04	
Project address	

741-755 GREAT WESTERN HIGHWAY, WERRINGTON

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Key plan

5	Scale
D	Drawing title
	LOT AREA SCHE
	Drawing state

Project Status

Drawing no. DA109 Date 25/05/21 Project no. 01 HEDULE Drawn JH Rev.

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