

DEVELOPMENT APPLICATION

STAGE 04

741-755 GREAT WESTERN HIGHWAY, WERRINGTON

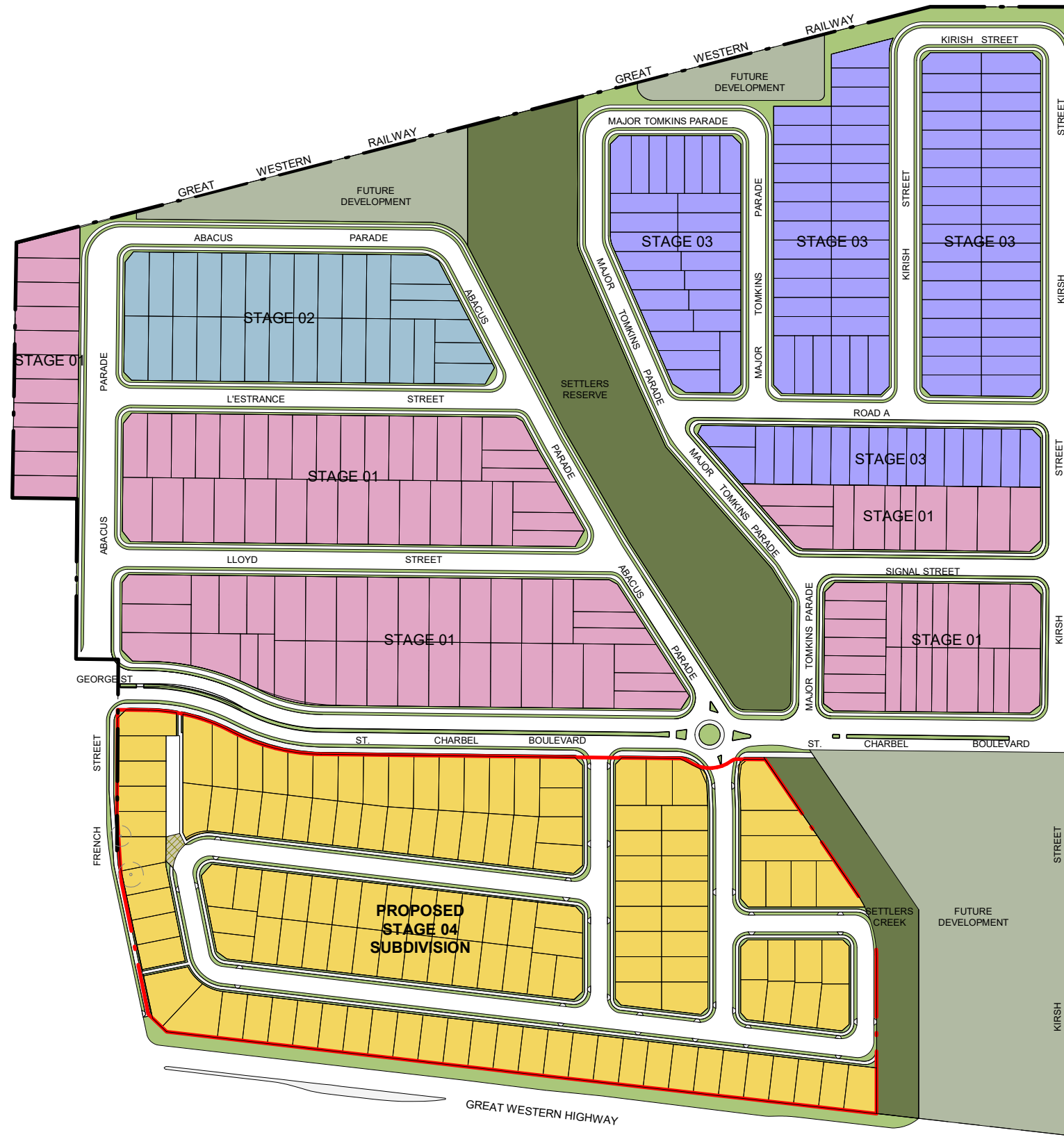


1 1. LOCATION PLAN
1 : 5000

DRAWING LIST	
DWG NO.	TITLE
DA 100	COVER SHEET
DA 101	STAGING PLAN
DA 102	SITE PLAN
DA 103	SUBDIVISION
DA 104	PUBLIC DOMAIN PLAN - OVERALL
DA 105	PUBLIC DOMAIN PLAN - 1/4
DA 106	PUBLIC DOMAIN PLAN - 2/4
DA 107	PUBLIC DOMAIN PLAN - 3/4
DA 108	PUBLIC DOMAIN PLAN - 4/4
DA 109	LOT AREA SCHEDULE

SITE	
TOTAL SITE AREA:	52200 m ²
TOTAL NO. OF LOTS:	134

<p>Disclaimer</p> <p>THESE DRAWINGS ARE PRELIMINARY DRAWINGS AND ARE SUBJECT TO CHANGE WITHOUT NOTICE DURING THE COURSE OF THE PROPOSED DEVELOPMENT AND IN CONSULTATION WITH COUNCIL. SUBMISSION OF THE DRAWINGS DOES NOT CONSTITUTE A REPRESENTATION OR WARRANTY BY THE DEVELOPER OR ITS SERVANTS, AGENTS OR CONTRACTORS THAT THE DRAWINGS ARE FINAL AND THAT THE PROPOSED DEVELOPMENT WILL TAKE PLACE IN ACCORDANCE WITH THESE DRAWINGS.</p> <p>BEFORE CARRYING OUT ANY WORK ENSURE THAT THE DRAWINGS USED CARRY THE LATEST AMENDMENT NO.</p> <p>THESE DOCUMENTS AND ANY WORKS EXECUTED AS A RESULT OF THESE DOCUMENTS SHALL BE SUBJECT TO THE COPYRIGHT CONDITIONS SET OUT IN THE CONDITIONS OF ENGAGEMENT.</p>				<p>Notes</p> <p>DRAWINGS MADE TO A LARGER SCALE AND THOSE SHOWING PARTICULAR DETAIL OF WORKS SHALL TAKE PRECEDENCE OVER DRAWINGS MADE TO A SMALLER SCALE AND FOR MORE GENERAL PURPOSES.</p> <p>WHERE ANY DISCREPANCY EXISTS BETWEEN FIGURED AND SCALED DIMENSIONS, THE FIGURED DIMENSIONS SHALL PREVAIL.</p> <p>BUILDERS TO CHECK ALL SITE DIMENSIONS PRIOR TO FABRICATION OF FITMENTS.</p> <p>ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA).</p> <p>ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES, SCHEDULES AND MODIFICATIONS ISSUED BY THE ARCHITECT.</p>				<p>Legend</p>				<p>Consultants</p>				<p>Client</p>				<p>Architects</p> <p>tony owen partners</p> <p>Level 2 12-16 Queen Street Chippendale NSW 2008 P 61 22 9698 2900 F 61 22 9699 3018 E info@tonyowen.com.au</p> <p>Reg. No 7080</p>				<p>Project</p> <p>STAGE 04</p> <p>Project address</p> <p>741-755 GREAT WESTERN HIGHWAY, WERRINGTON</p>				<p>Key plan</p>				<p>Scale</p> <p>1 : 5000</p> <p>Drawing title</p> <p>COVER SHEET</p> <p>Drawing status</p> <p>Project Status</p>				<p>Drawing no. DA100</p> <p>Project no. 01</p> <p>Drawn JH</p>				<p>Date</p> <p>25/05/21</p> <p>Rev.</p> <p>E</p>			
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ISSUE	DATE	REVISION	BY
E	25/5/2021	Revision 5	JH
D	30/11/2020	AMENDMENTS SUBDIVISION	CHD
C	5/11/2020	AMENDMENTS SUBDIVISION	CHD
B	15/09/2020	AMENDED AS PER PRE-DA	CHD
A	21/04/2020	ISSUED FOR REVIEW	CHD

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Consultants

Client

Architects
tony owen partners
 Tony Owen Partners Architects
 Reg. No 7080

Project
STAGE 04
Project address
 741-755 GREAT WESTERN HIGHWAY,
 WERRINGTON

Key plan

Scale
 1 : 2500
Drawing title
 STAGING PLAN
Drawing status
 Project Status

Drawing no. DA101
Project no. 01
Drawn JH
Date 25/05/21
Rev. E



LEGEND

- PROPOSED STAGE 04 SITE AREA
- PROPOSED LOTS
- EXISTING/ FUTURE LOTS

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Consultants

Client

Architects
tony owen partners
 Tony Owen Partners Architects
 Reg. No 7080

Project
STAGE 04
Project address
 741-755 GREAT WESTERN HIGHWAY,
 WERRINGTON

Key plan

Scale
 1 : 2500

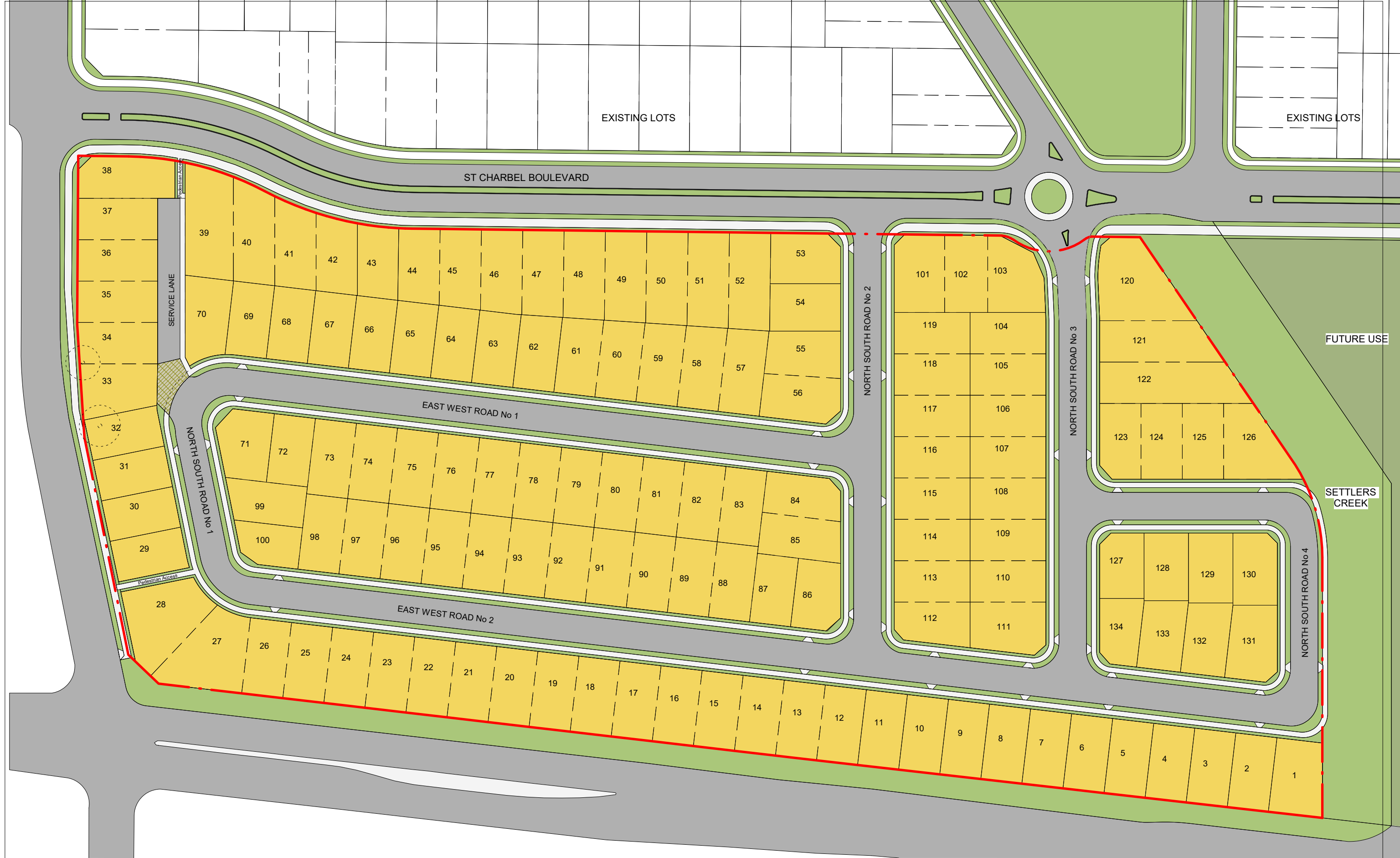
Drawing no. DA102
Project no. 01
Drawn JH

Date
 25/05/21

Rev.
 E

Drawing title
 SITE PLAN

Drawing status
 Project Status



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Consultants

Client

Architects
tony owen partners
 Tony Owen Partners Architects Reg. No 7080

Project
STAGE 04
Project address
 741-755 GREAT WESTERN HIGHWAY,
 WERRINGTON

Key plan

Scale
 1 : 1000

Drawing no. DA103
Project no. 01
Drawing title SUBDIVISION PLAN
Drawn JH
Drawing status Project Status

Date 25/05/21
Rev. E



- LEGEND**
- PROPOSED DWELLING FOOTPRINT
 - DENOTES LAYBACK
 - DENOTES WASTE BIN LOCATION
 - DENOTES RECYCLE BIN LOCATION

ISSUE	DATE	REVISION	BY
E	25/5/2021	Revision 5	JH
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Consultants

Client

Architects
TONY OWEN PARTNERS
 Tony Owen Partners Architects Reg. No 7080

Project
 STAGE 04
 Project address
 741-755 GREAT WESTERN HIGHWAY,
 WERRINGTON

Key plan
 SCALE: 1:1000

Scale
 As indicated

Drawing no. DA104
Project no. 01
Drawing title PUBLIC DOMAIN PLAN OVERALL
Drawing status Drawn
Project Status JH

Date 25/05/21
Rev. E

- LEGEND**
- PROPOSED DWELLING FOOTPRINT
 - DENOTES LAYBACK
 - DENOTES WASTE BIN LOCATION
 - DENOTES RECYCLE BIN LOCATION

EXISTING LOTS

ST CHARBEL BOULEVARD

SERVICE LANE



ISSUE	DATE	REVISION	BY
E	25/5/2021	Revision 5	JH
D	30/11/2020	AMENDMENTS SUBDIVISION	CHD
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Consultants
 [Empty]

Client
 [Empty]

Architects
TONY OWEN PARTNERS
 Tony Owen Partners Architects Reg. No 7080

Level 2
 12-16 Queen Street
 Chippendale NSW 2008
 P 6122 9698 2900
 F 6122 9699 3018
 E info@tonyowen.com.au

Project
 STAGE 04
Project address
 741-755 GREAT WESTERN HIGHWAY,
 WERRINGTON

Key plan

 SCALE: 1:500

Scale
 As indicated

Drawing no. DA105
Project no. 01
Drawn JH

Drawing title
 PUBLIC DOMAIN PLAN 1-4

Drawing status
 Project Status

Date
 25/05/21

Rev.
 E



- LEGEND**
- PROPOSED DWELLING FOOTPRINT
 - DENOTES LAYBACK
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tony owen partners
 Tony Owen Partners Architects Reg. No 7080

Project
 STAGE 04
Project address
 741-755 GREAT WESTERN HIGHWAY,
 WERRINGTON

Key plan

 SCALE: 1:500

Scale
 As indicated
Drawing title
 PUBLIC DOMAIN PLAN 3-4
Drawing status
 Project Status

Drawing no. DA107
Project no. 01
Drawn JH
Date 25/05/21
Rev. E



- LEGEND**
- PROPOSED DWELLING FOOTPRINT
 - DENOTES LAYBACK
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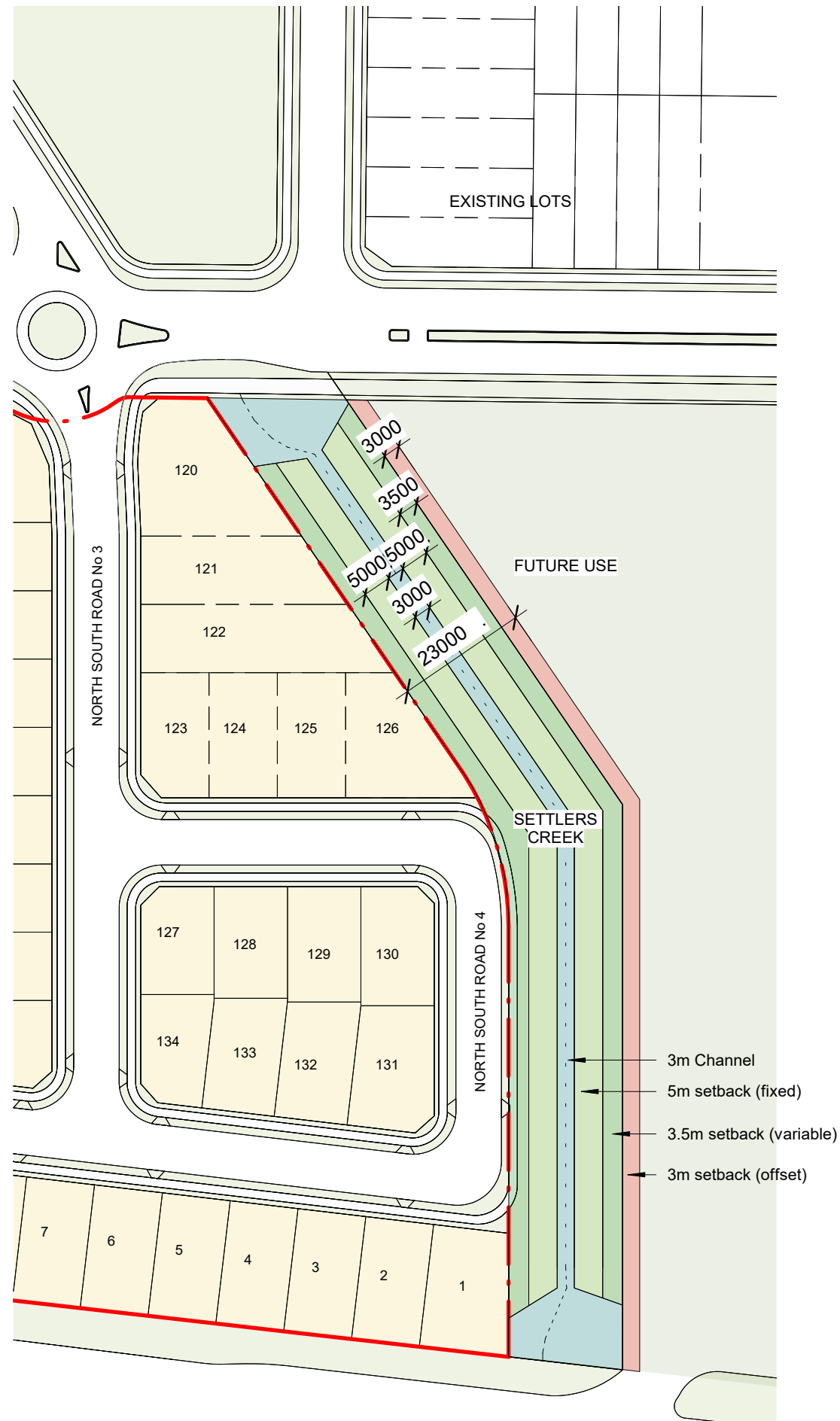
Project
 STAGE 04
Project address
 741-755 GREAT WESTERN HIGHWAY,
 WERRINGTON

Key plan

 SCALE: 1:500

Scale
 As indicated
Drawing title
 PUBLIC DOMAIN PLAN 4-4
Drawing status
 Project Status

Drawing no. DA108
Project no. 01
Drawn JH

Date
 25/05/21
Rev.
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ISSUE	DATE	REVISION	BY

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Notes
 DRAWINGS MADE TO A LARGER SCALE AND THOSE SHOWING PARTICULAR DETAIL OF WORKS SHALL TAKE PRECEDENCE OVER DRAWINGS MADE TO A SMALLER SCALE AND FOR MORE GENERAL PURPOSES.
 WHERE ANY DISCREPANCY EXISTS BETWEEN FIGURED AND SCALED DIMENSIONS, THE FIGURED DIMENSIONS SHALL PREVAIL.
 BUILDERS TO CHECK ALL SITE DIMENSIONS PRIOR TO FABRICATION OF FITMENTS.
 ALL WORK SHOULD COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BUILDING CODE OF AUSTRALIA (BCA).
 ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE SPECIFICATIONS, THE DRAWINGS, ALL ADDENDUMS, FINISHES, SCHEDULES AND MODIFICATIONS ISSUED BY THE ARCHITECT.

Legend
 THE GENERAL CONTRACTOR SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS, ETC. SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION.
 ALL THE CONSTRUCTION DRAWINGS SHALL BE READ IN CONJUNCTION WITH CONTRACT TERMS AND CONDITIONS, DRAWINGS, SCHEDULES AND SPECIFICATIONS. IN CASE OF CONFLICT BETWEEN ARCHITECTS AND CONSULTANTS DRAWINGS IN REGARDING STRUCTURAL ELEMENTS, MATERIALS/EQUIPMENT, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.
 DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTS/DIMENSIONS, DIMENSIONS AND TYPES. IN CASE OF CONFLICT, NOTIFY ARCHITECT OR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION.


Consultants

Client

Architects
TONY OWEN PARTNERS
 Tony Owen Partners Architects
 Reg. No 7080

Project
STAGE 04
Project address
 741-755 GREAT WESTERN HIGHWAY,
 WERRINGTON

Key plan



Scale
 1 : 1000

Drawing title
 SETTLERS CREEK

Drawing status
 Project Status

Drawing no. DA110
Project no. 01
Drawn JH

Date
 25/05/21
Rev.