

**CUT & FILL BUILDING AREA TO RL 40.715 APPROX. TO CREATE LEVEL BUILDING PLATFORM FOR WAFFLE POD SLAB**

**CUT - LINE**

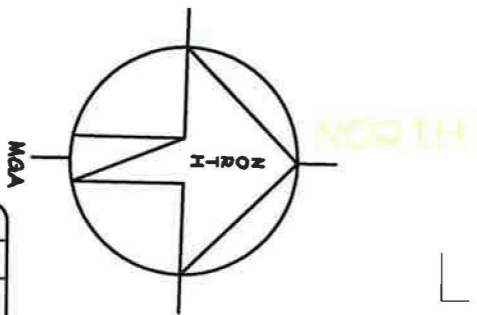
NOTE: THIS SITING IS SUBJECT TO THE DEVELOPERS APPROVAL. BUILDER TO OBTAIN PRIOR TO PERMIT APPLICATION.

NOTE: THIS SITING HAS BEEN PREPARED BASED ON THE ADJOINING PROPERTIES/Y BEING VACANT. SHOULD A SIGNIFICANT AMOUNT OF TIME PASS BEFORE THE BUILDING PERMIT IS APPLIED FOR, AN UPDATED SURVEY MAY BE REQUIRED TO CONFIRM THE ADJOINING PROPERTIES/Y STATUS. THE RESCODE REQUIREMENTS MAY NEED TO BE RE-EVALUATED AND MAY CAUSE CHANGES TO THE SITING/HOUSE.

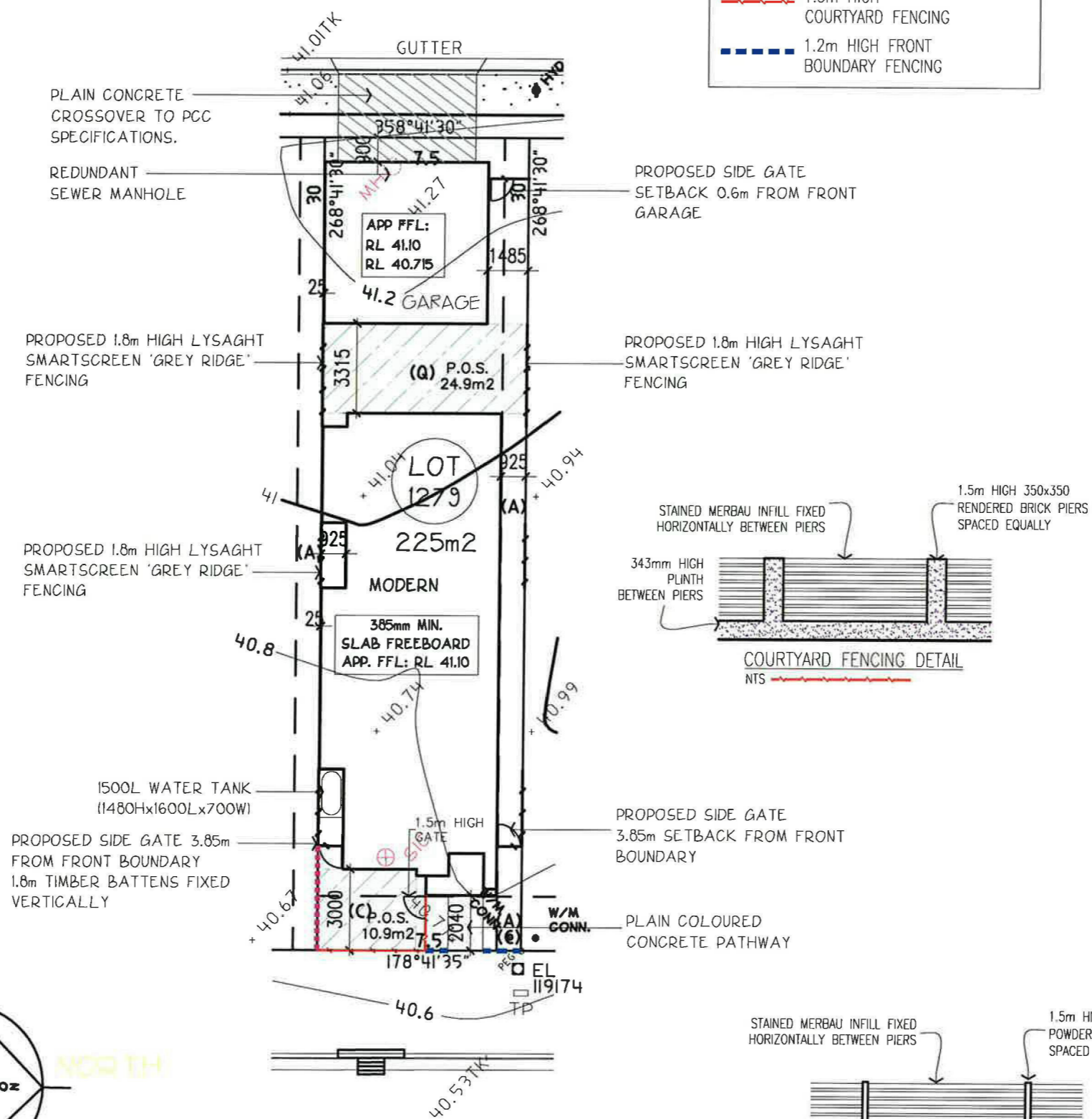
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- (A) EASEMENT FOR ACCESS & MAINTENANCE 0.9 WIDE
- (C) EASEMENT TO DRAIN WATER 2 WIDE
- (CI) EASEMENT TO DRAIN WATER 2 WIDE (DPII58660)
- (E) RIGHT OF CARRIAGEWAY 7 WIDE
- (Q) RESTRICTION ON THE USE OF LAND (DPII49528)
- (B) EASEMENT TO DRAIN WATER 1.5 WIDE

DATE	REVISION	DRAWN



PITT STREET



**LEGEND:**

- PROPOSED 1.8m HIGH LYSAGHT SMARTSCREEN FENCING
- 1.5m HIGH COURTYARD FENCING
- 1.2m HIGH FRONT BOUNDARY FENCING

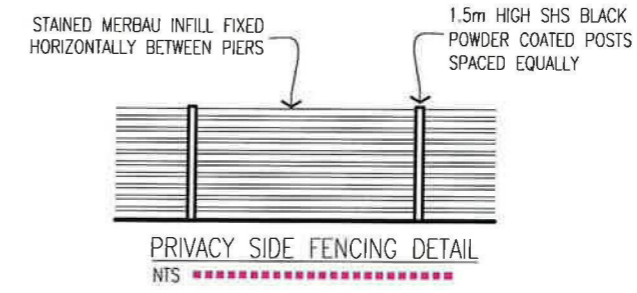
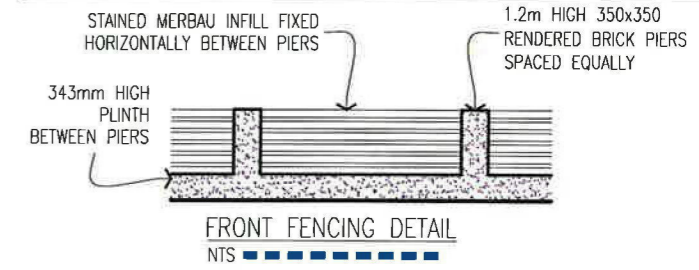
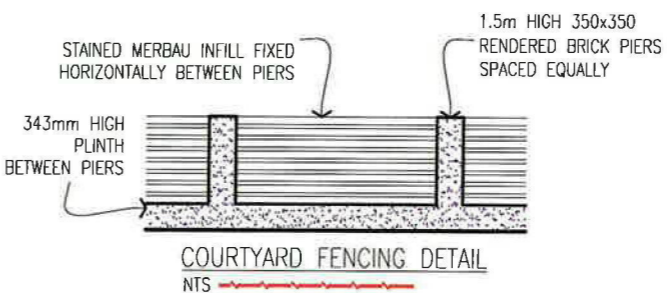


TABLE OF BASIX COMMITMENTS	
PROJECT ADDRESS: LOT 1279 LAKESIDE PARADE JORDAN SPRINGS	
CERTIFICATE NO.: 4776485	
<b>WATER</b>	
- DEVELOPMENT TO BE CONNECTED TO 1500LT RAINWATER TANK.	
- RAINWATER TANK CONFIGURED TO COLLECT AT LEAST 150.0m2 ROOF RUN OFF.	
- TOILETS, WASHING MACHINE AND 1 OUTDOOR TAP TO BE CONNECTED TO THE RAINWATER TANK.	
- 3 STAR SHOWER HEADS & KITCHEN TAPS, 4 STAR TOILETS, AND 5 STAR BASIN TAPS.	
<b>THERMAL</b>	
- ROOF INSULATION: NONE.	
- CEILING INSULATION: R3.5	
- WALL INSULATION: R2.0	
- EXTERNAL WALL: BRICK VENEER COLOUR: DARK	
- ROOFING: TILED COLOUR: DARK	
- GLAZING: ALL ALUMINIUM WINDOWS TO BE SINGLE CLEAR GLAZED WITH U VALUE OF 6.57 & SHGC OF 0.74	
- TIMBER WINDOWS TO MASTER SUITE AND REAR FAMILY / DINING STACKER DOORS TO BE SINGLE, CLEAR GLAZED, TIMBER FRAMED WITH A U VALUE OF 5.55 AND SHGC OF 0.73	
<b>ENERGY</b>	
- HOT WATER SYSTEM: GAS INSTANTANEOUS HWS WITH A PERFORMANCE OF 5 STARS OR BETTER.	
- AC DUCTING ONLY TO BE INSTALLED.	
- KITCHEN: INDIVIDUAL FAN, DUCTED (RANGEHOOD). OPERATION CONTROL, MANUAL SWITCH.	
- BATHROOM (II): INDIVIDUAL FAN, NOT DUCTED. OPERATION CONTROL, MANUAL SWITCH.	
- LAUNDRY: INDIVIDUAL FAN, DUCTED TO FACADE..	
- WINDOW AND/OR SKYLIGHT TO KITCHEN FOR NATURAL LIGHTING.	
- WINDOW AND/OR SKYLIGHT TO BATHROOMS (I)/TOILET (S) FOR NATURAL LIGHTING.	
- GAS COOKTOP AND ELECTRIC OVEN TO BE INSTALLED IN THE KITCHEN.	
- OUTDOOR CLOTHES LINE.	
- WELL VENTILATED FRIDGE SPACE	
- FLUORESCENT LIGHTING TO BEDROOMS, BATHROOMS/TOILETS & LAUNDRY.	

**SITE COVERAGE ANALYSIS**

Area	sqm	%
Roof Area	159.2	70.7
Ground Floor	103.9	
First Floor	90.8	
Garage	35.8	
Porch	2.1	
Balcony	N/A	
<b>Building</b>	<b>141.8</b>	<b>63.0</b>
Hard Surface	8.7	3.9
Permeable	74.5	33.1
<b>Total Area</b>	<b>225.0</b>	<b>100.0</b>
Overall Block Size	225.0	sqm

LAKESIDE PARADE



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DRAWN BK 28/03/2013		CHECKED		SCALE		For	EDGEWATER HOMES	
At		LOT 1279 LAKESIDE PARADE JORDAN SPRINGS						

PO Box 550 Moorebank NSW 1875  
Ph: 9623 7526 Fax:9673 5560

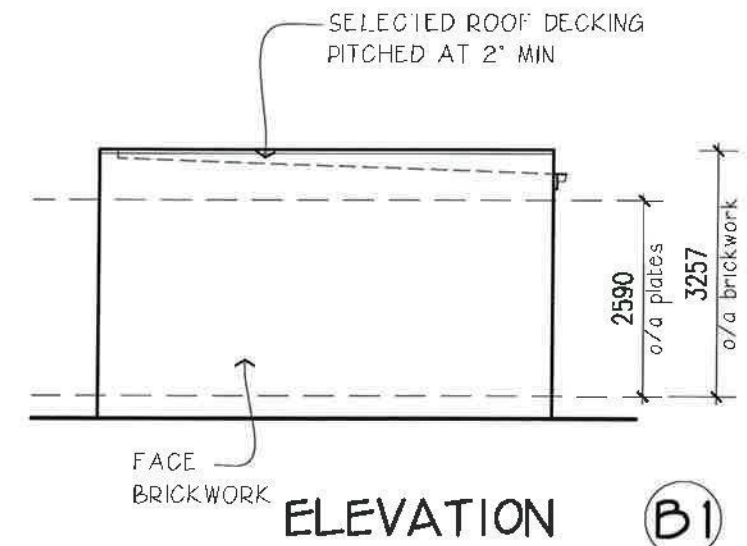
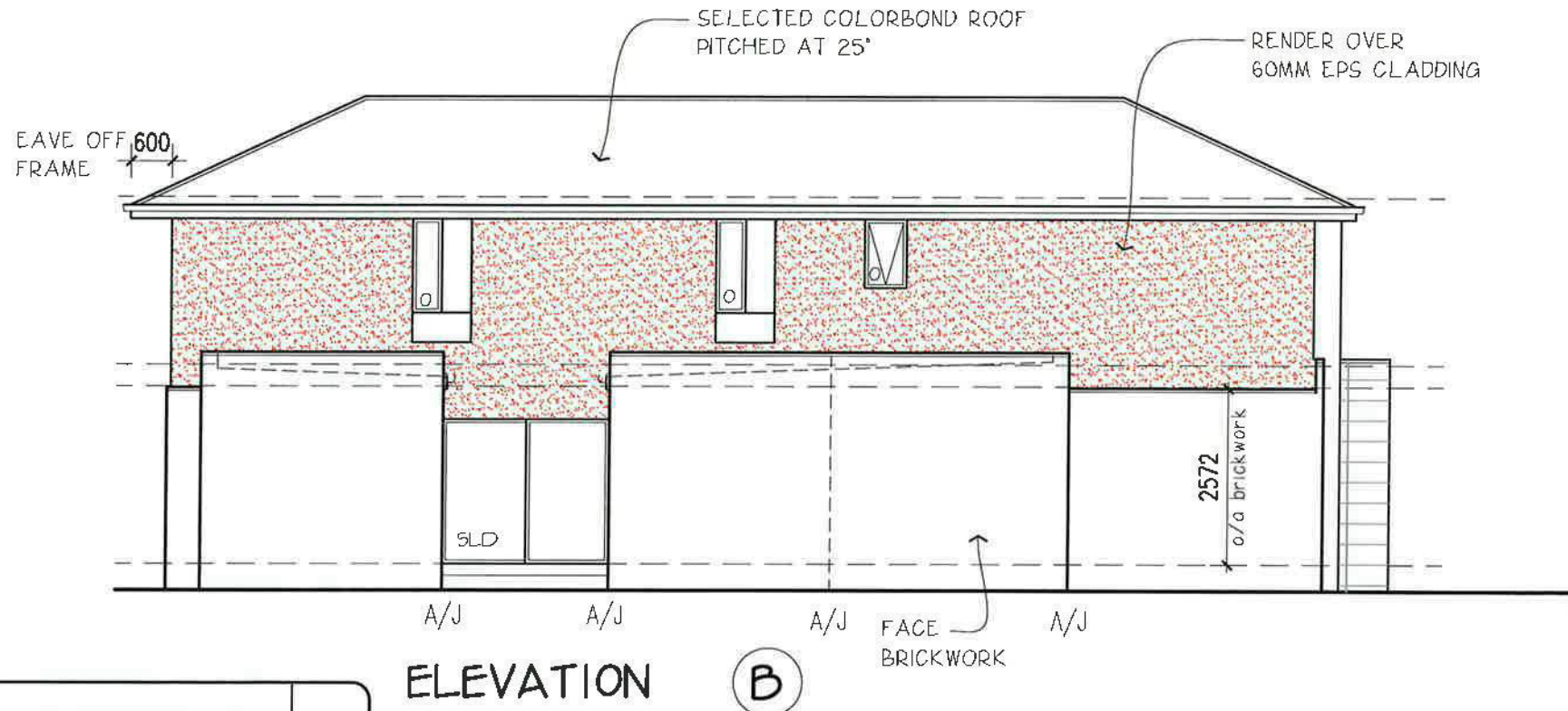
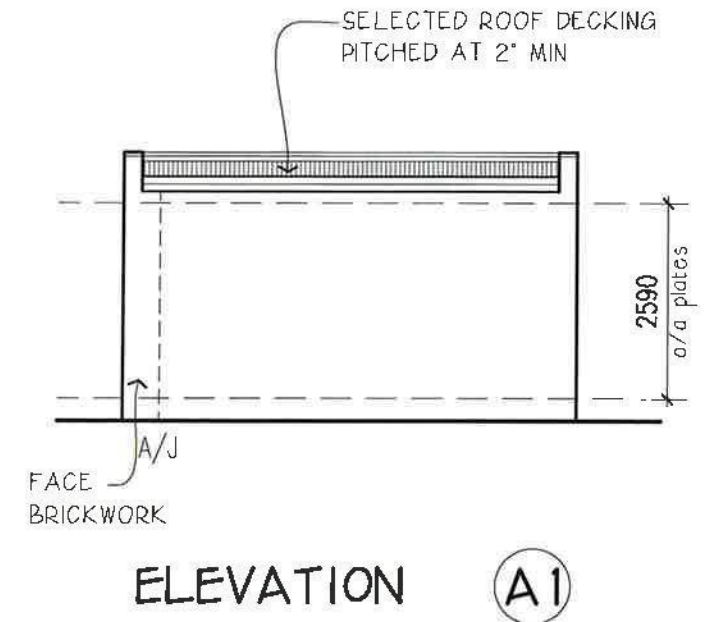
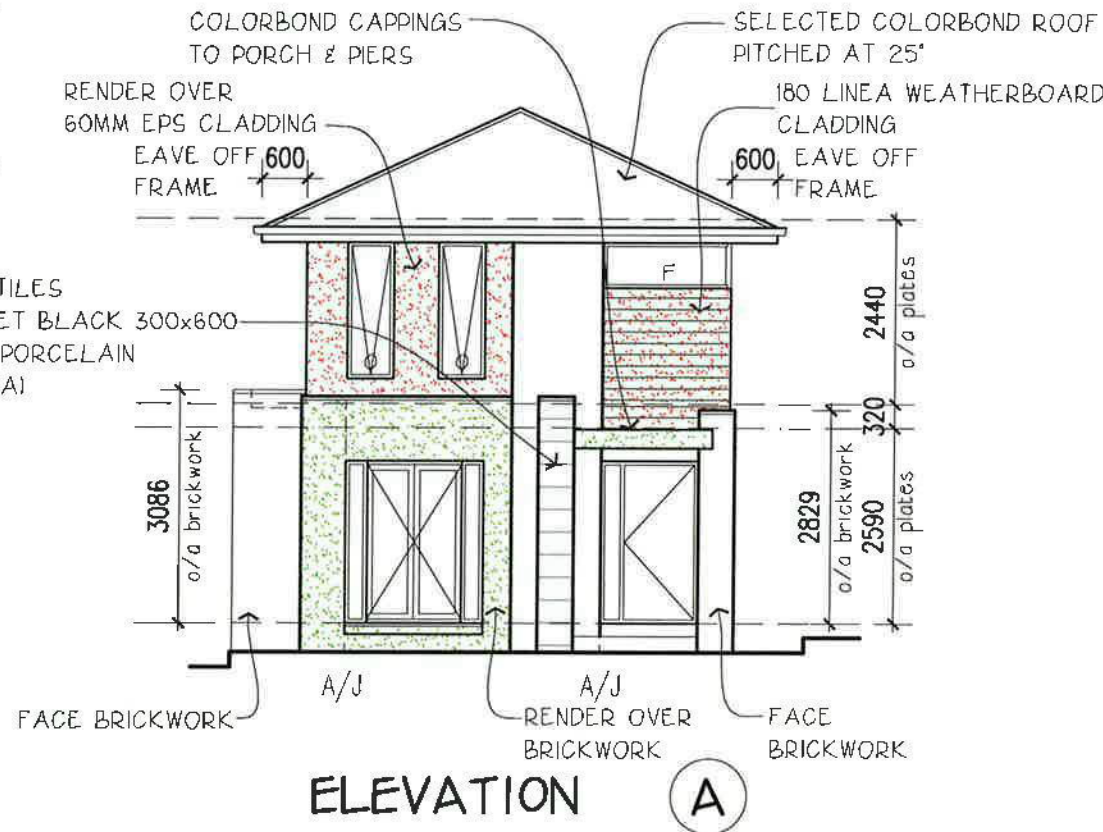
EXTERNAL COLOUR SCHEDULE

- FACE BRICK AUSTRAL SILVER
- COLORBOND JASPER ROOFING, FASCIA AND GUTTERS
- ALUMINIUM WINDOWS JASPER
- TIMBER WINDOWS INTERGRAIN RICH CHOCOLATE
- FRONT DOOR BRISTOL BOARSKIN P196.N7
- GARAGE PANEL DOOR COLORBOND JASPER
- GARAGE ACCESS DOOR BRISTOL OAK FLATS P195.N5

EXTERNAL COLOURS:

-  BRISTOL BOARSKIN P196.N7
-  DULUX STOWE WHITE PCW. E.4

FEATURE TILES  
TO PIER JET BLACK 300x600  
POLISHED PORCELAIN  
(0VEFK0113A1)



DATE	REVISION	DRAWN

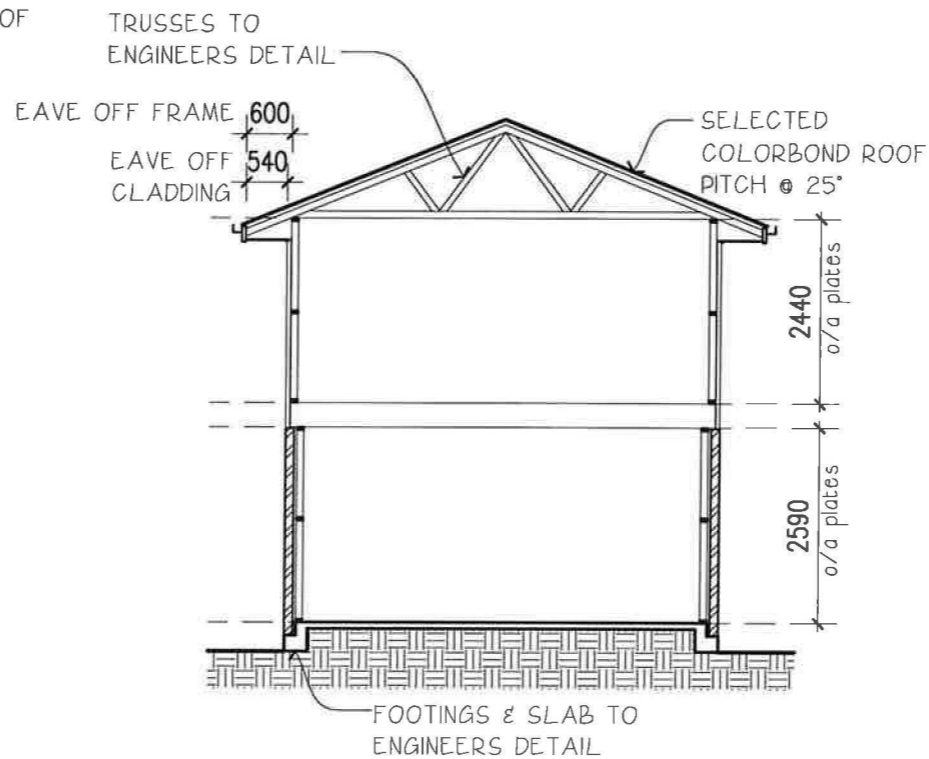
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		DRAWN BK 28/03/2013			For EDGEWATER HOMES	
		CHECKED **			At LOT 1279 LAKESIDE PARADE JORDAN SPRINGS	
		SCALE 1:100				



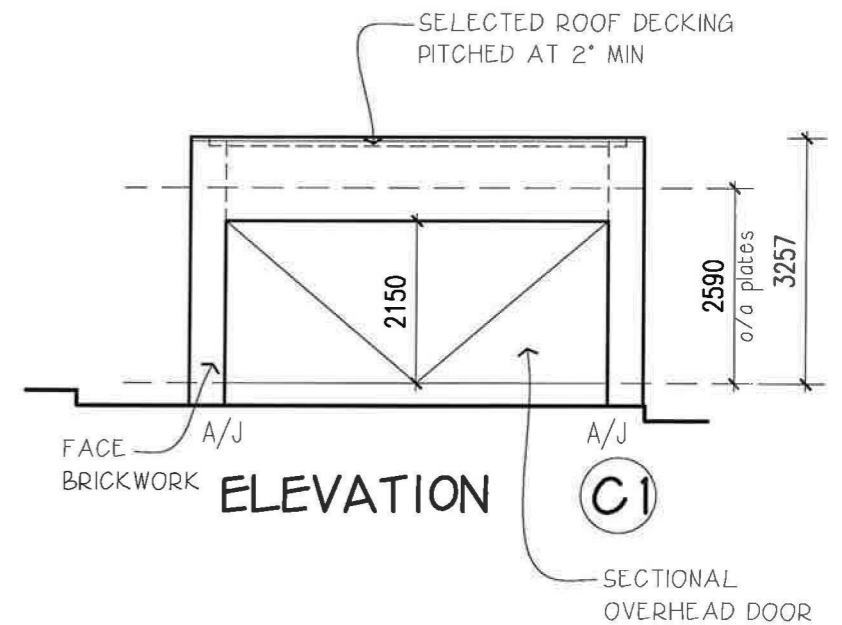
ELEVATION

C

TIMBER COVERPLATE



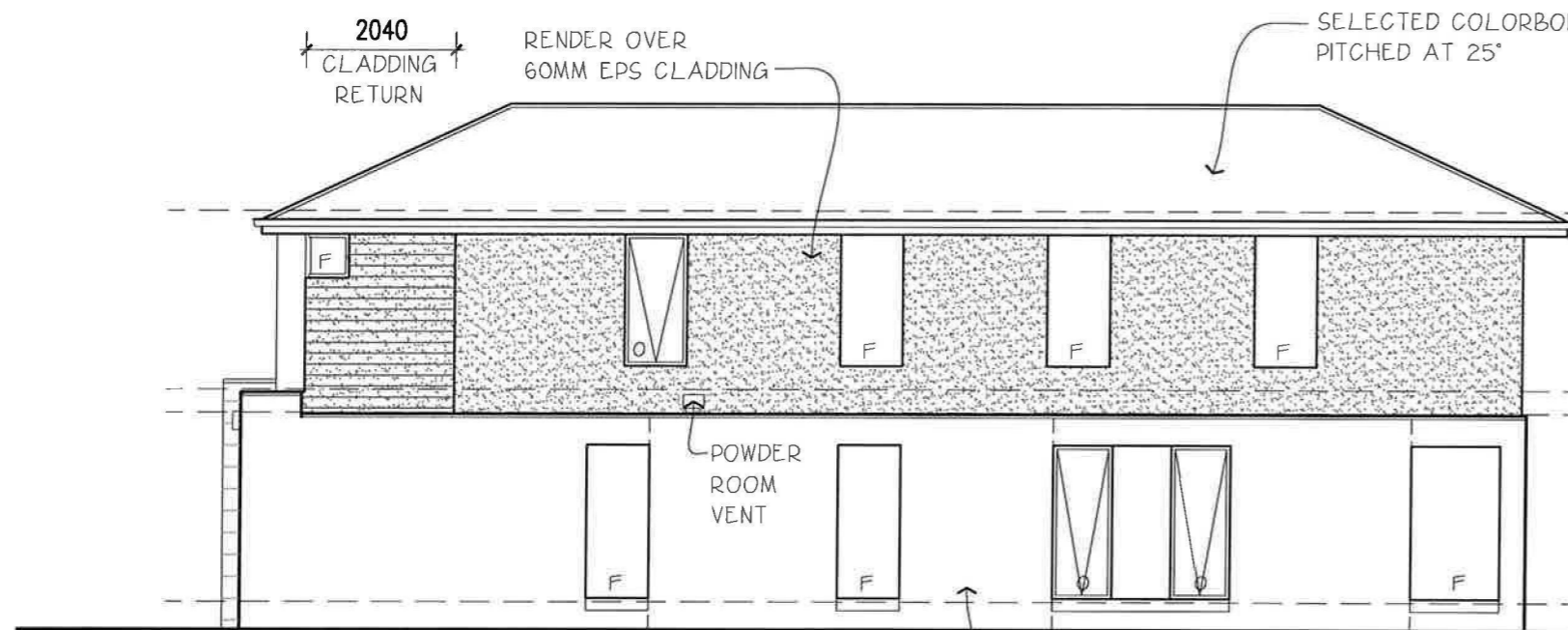
TYPICAL\_SECTION



ELEVATION

C1

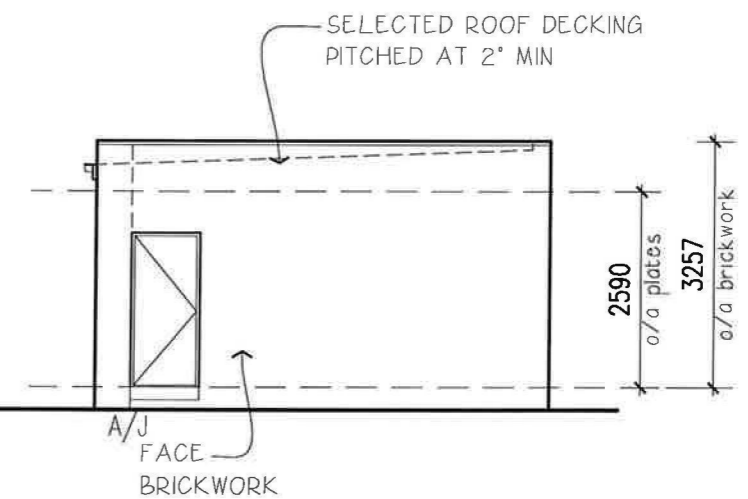
SECTIONAL OVERHEAD DOOR



ELEVATION

D

FACE BRICKWORK



ELEVATION

D1

DATE	REVISION	DRAWN

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<b>ELEVATIONS</b>		SHEET <b>3A</b>	HAND <b>LH</b>	<b>Townhouse 11 - Stage 3 (7.5m)Modern</b>	<b>EDGEWATER HOMES</b> PO Box 550 Moorebank NSW 1875 Ph: 9623 7526 Fax:9673 5560	
DRAWN	BK 28/03/2013	For		EDGEWATER HOMES		
CHECKED	**	At		LOT 1279 LAKESIDE PARADE JORDAN SPRINGS		
SCALE	1:100					

**CUT & FILL BUILDING AREA TO RL 40.90 APPROX. TO CREATE LEVEL BUILDING PLATFORM FOR WAFFLE POD SLAB**

**CUT - LINE**

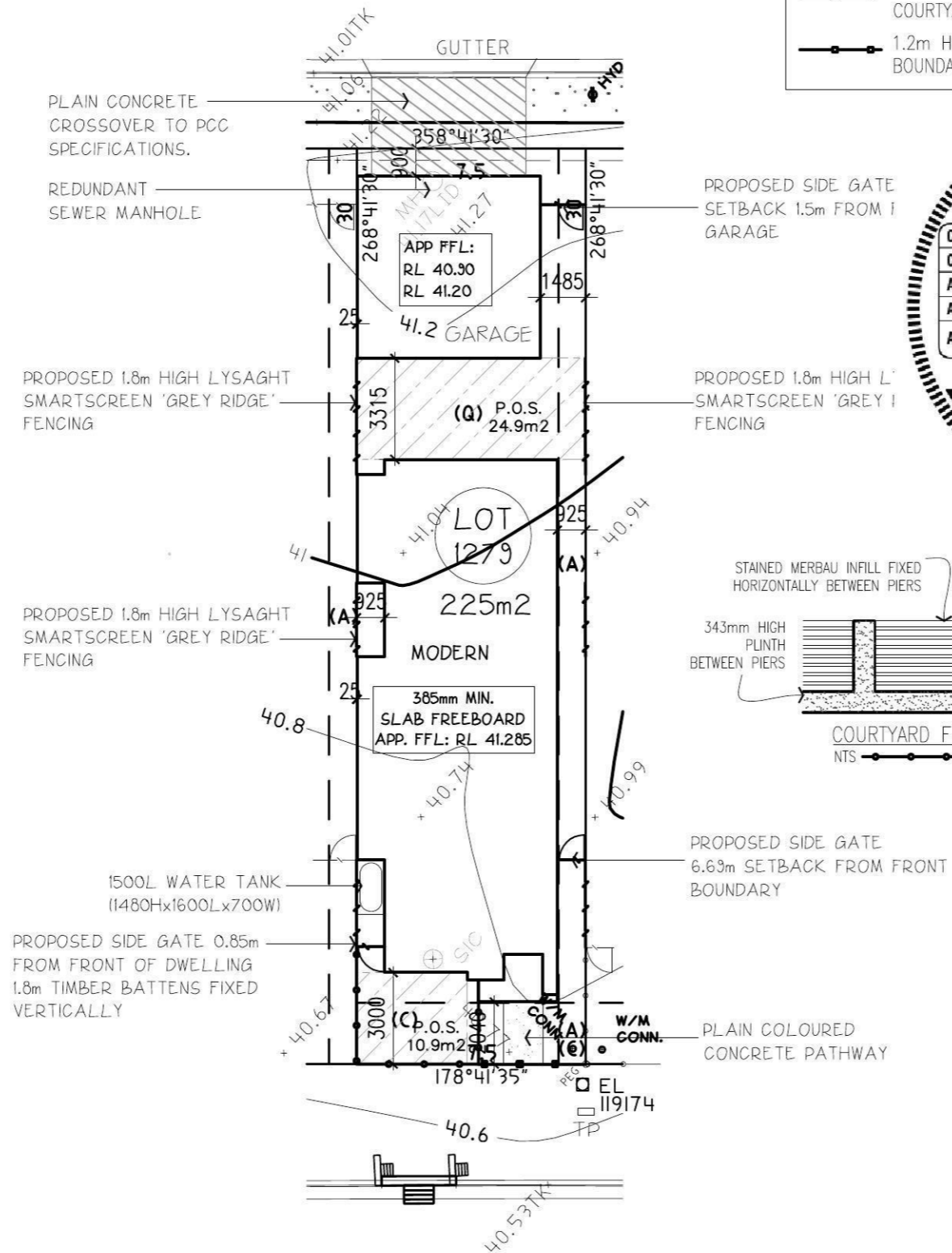
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PITT STREET



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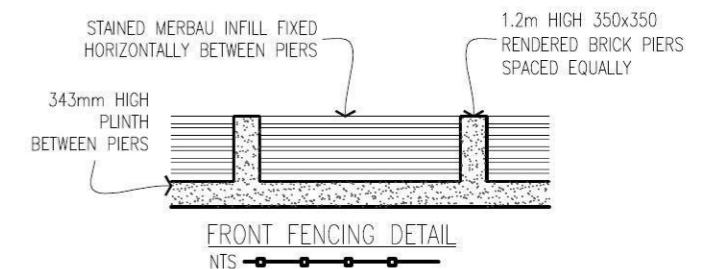
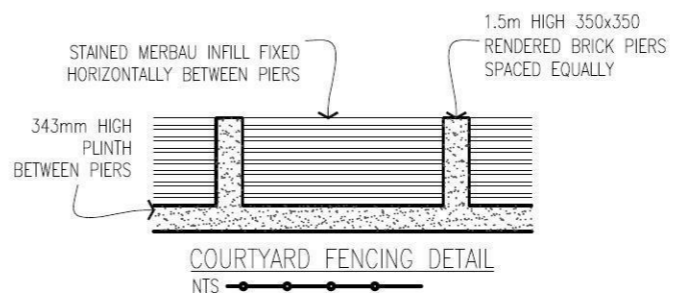
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- 1.5m HIGH COURTYARD FENCING
- 1.2m HIGH FRONT BOUNDARY FENCING

**ABSA**  
Association of Building Sustainability Assessors

Certification Number	1005205677
Certification Date	14/04/2013
Assessor Name	Brad Hoad
Assessor Number	20731
Assessor Signature	

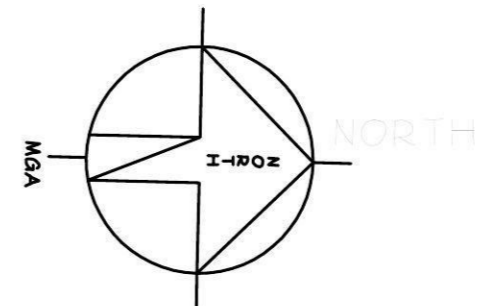
Simulated Energy: HEATING: 71.9 MJ/m<sup>2</sup> pa  
Simulated Energy: COOLING: 57.4 MJ/m<sup>2</sup> pa  
NatHERS Rating 129.3 MJ/m<sup>2</sup> pa

**4.0** GREENHOUSE HOUSE



**SITE COVERAGE ANALYSIS**

Category	Area (sqm)	Percentage (%)
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LAKESIDE PARADE

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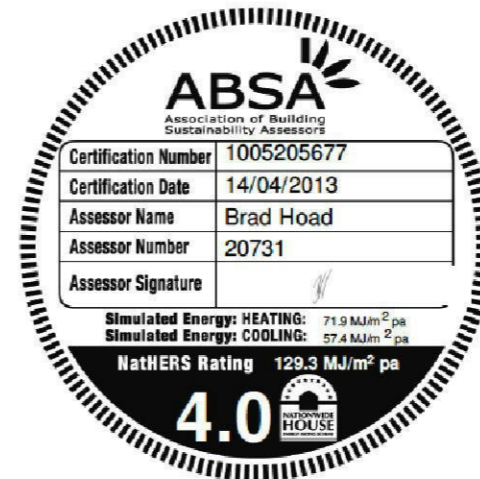
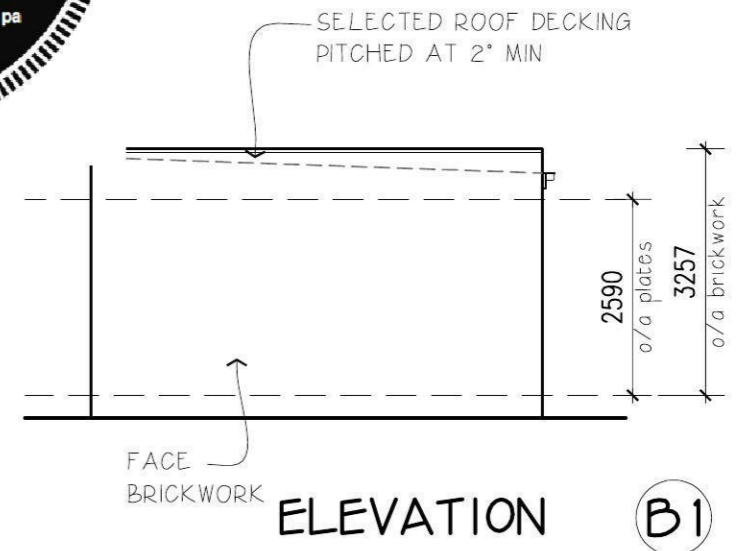
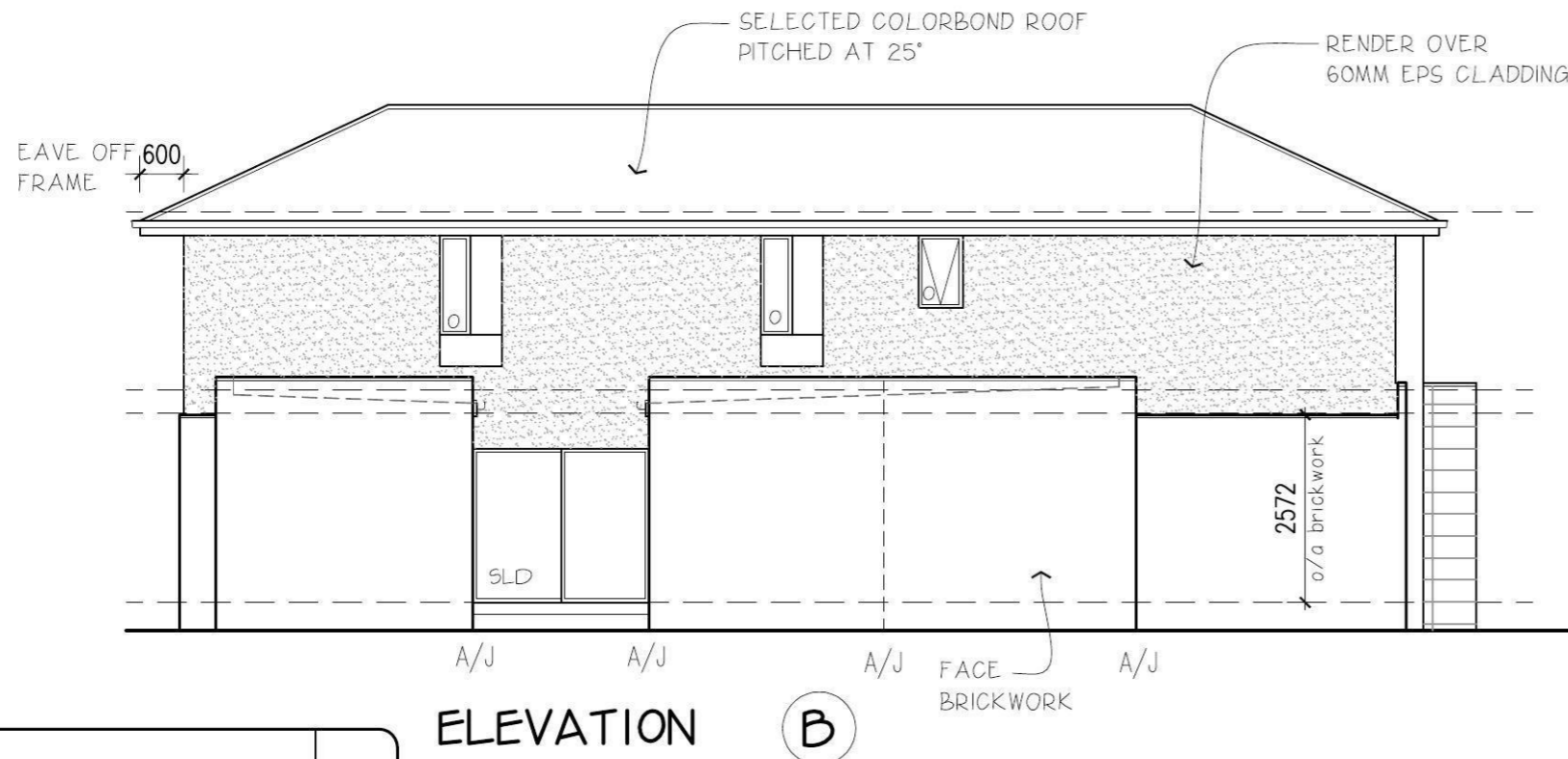
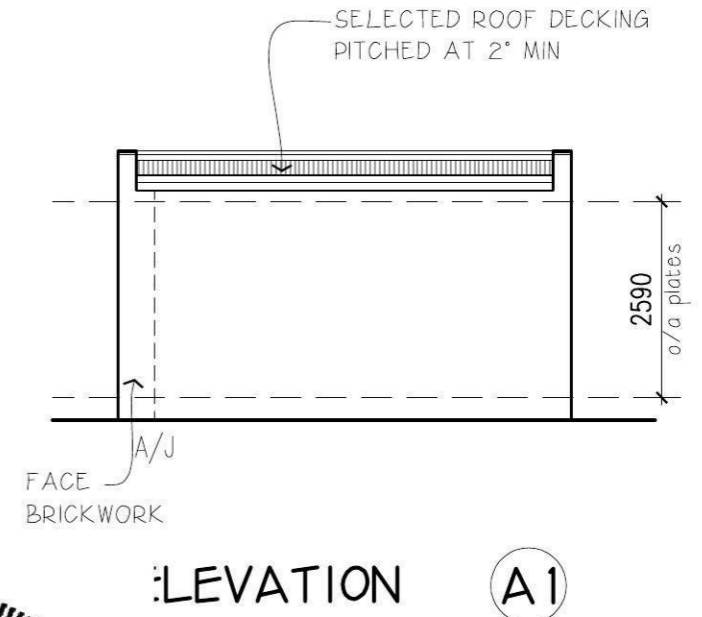
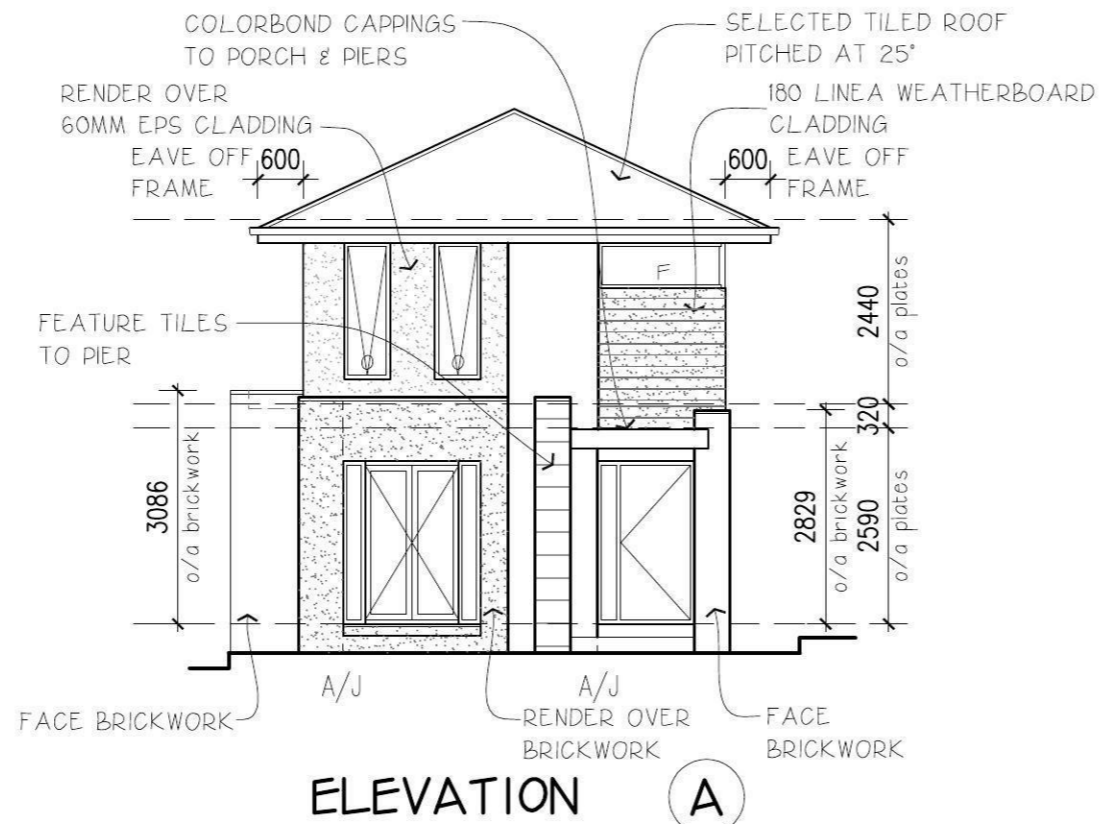
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	DRAWN BK 28/03/2013			For EDGEWATER HOMES	
	CHECKED			At LOT 1279 LAKESIDE PARADE JORDAN SPRINGS	
SCALE 1:200					

EXTERNAL COLOUR SCHEDULE

- FACE BRICK AUSTRAL SYMMERY SILVER
- COLORBOND JASPER ROOFING FASCIA AND GUTTERS
- ALUMINIUM WINDOWS JASPER
- TIMBER WINDOWS INTERGRAIN DARK OAK
- FRONT DOOR DULUX MALI
- GARAGE PANEL DOOR COLORBOND SURFMIST
- GARAGE ACCESS DOOR WINDSTOL OAK FLATS

INTERNAL COLOURS:

- DULUX MALI
- DULUX STOWE WHITE

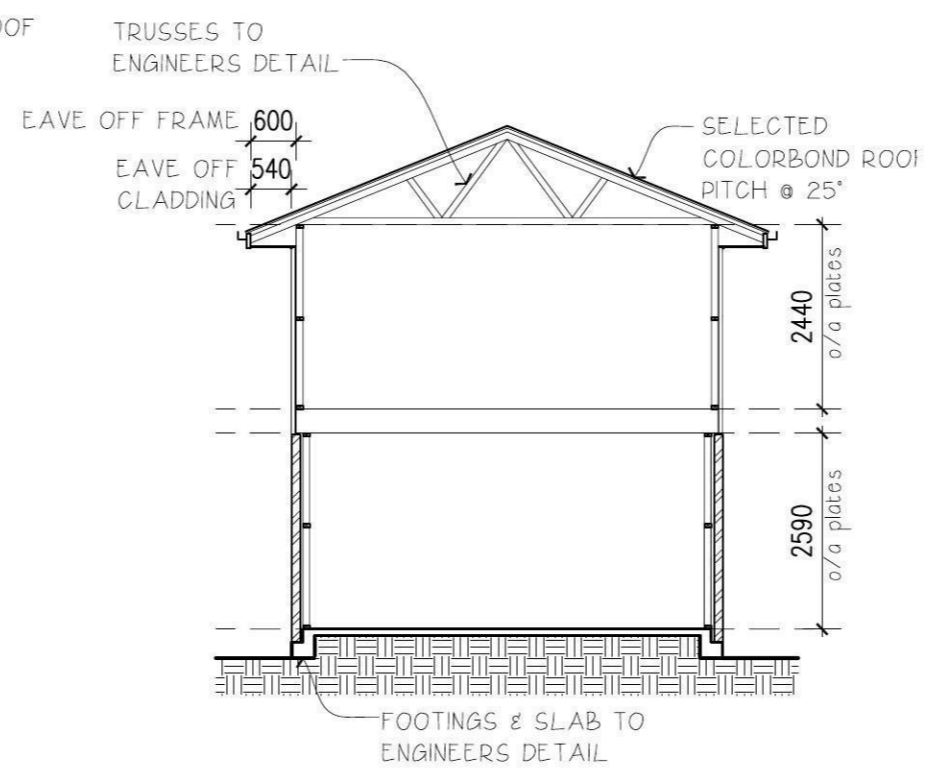


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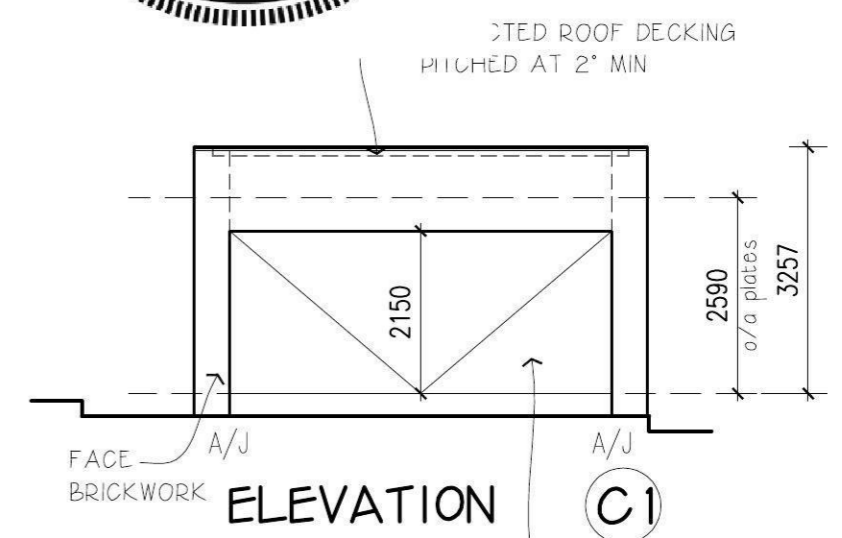
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	DRAWN <b>BK</b>	28/03/2013	For <b>EDGEWATER HOMES</b>		At <b>LOT 1279 LAKESIDE PARADE JORDAN SPRINGS</b>	
	CHECKED <b>**</b>	SCALE <b>1:100</b>				



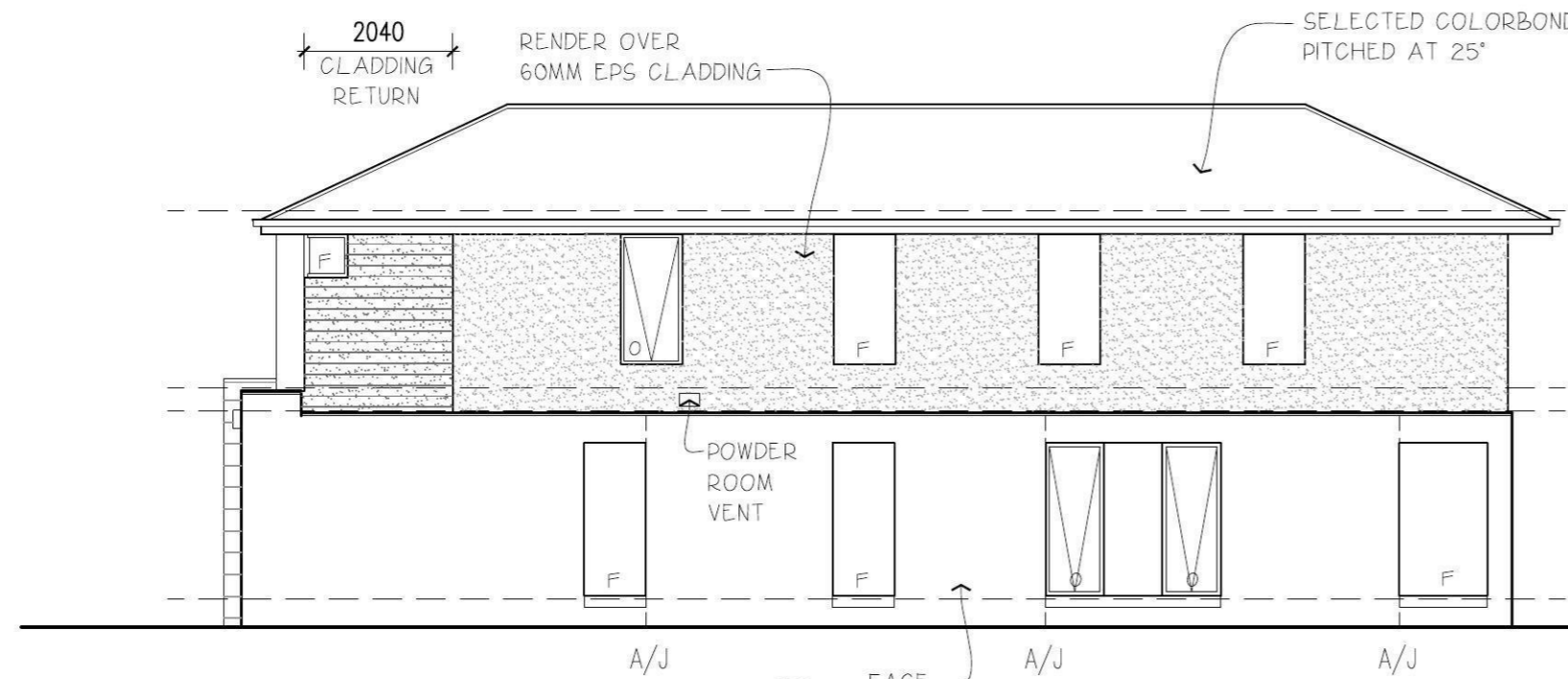
ELEVATION C



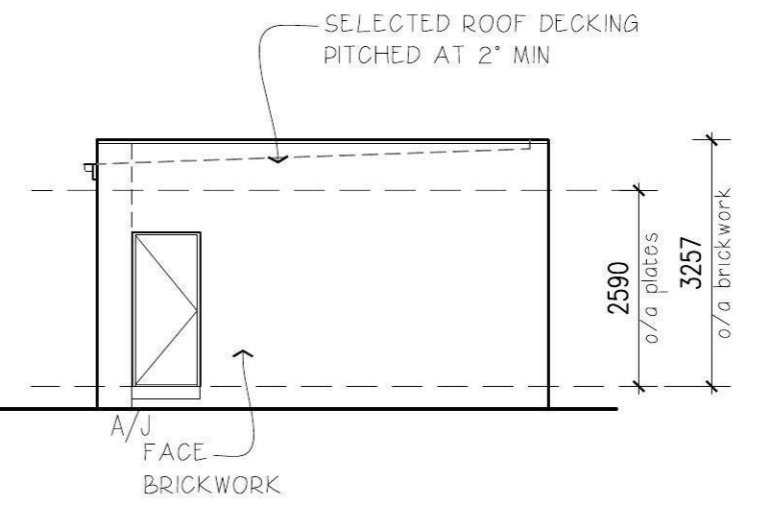
TYPICAL\_SECTION



ELEVATION C1



ELEVATION D



ELEVATION D1

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<b>ELEVATIONS</b>	
DRAWN BK 28/03/2013	CHECKED **
SCALE 1:100	

SHEET 3A	HAND LH
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<b>Townhouse 11 - Stage 3 (7.5m)Modern</b>	
For	EDGEWATER HOMES
At	LOT 1279 LAKESIDE PARADE JORDAN SPRINGS

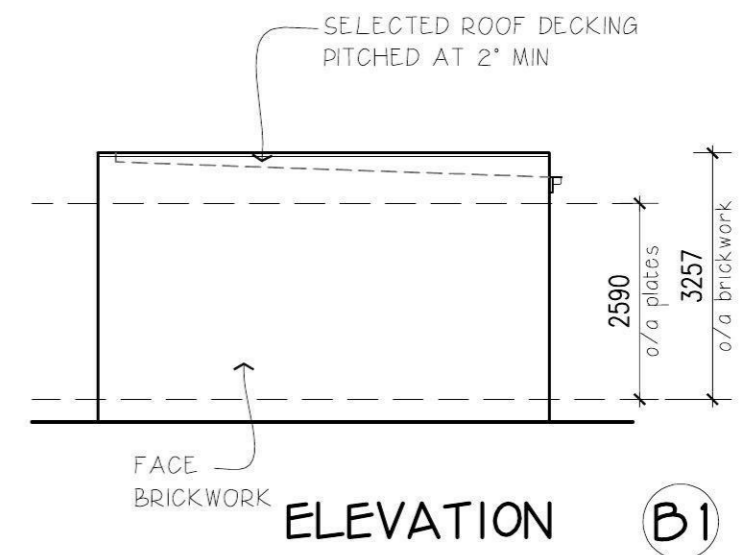
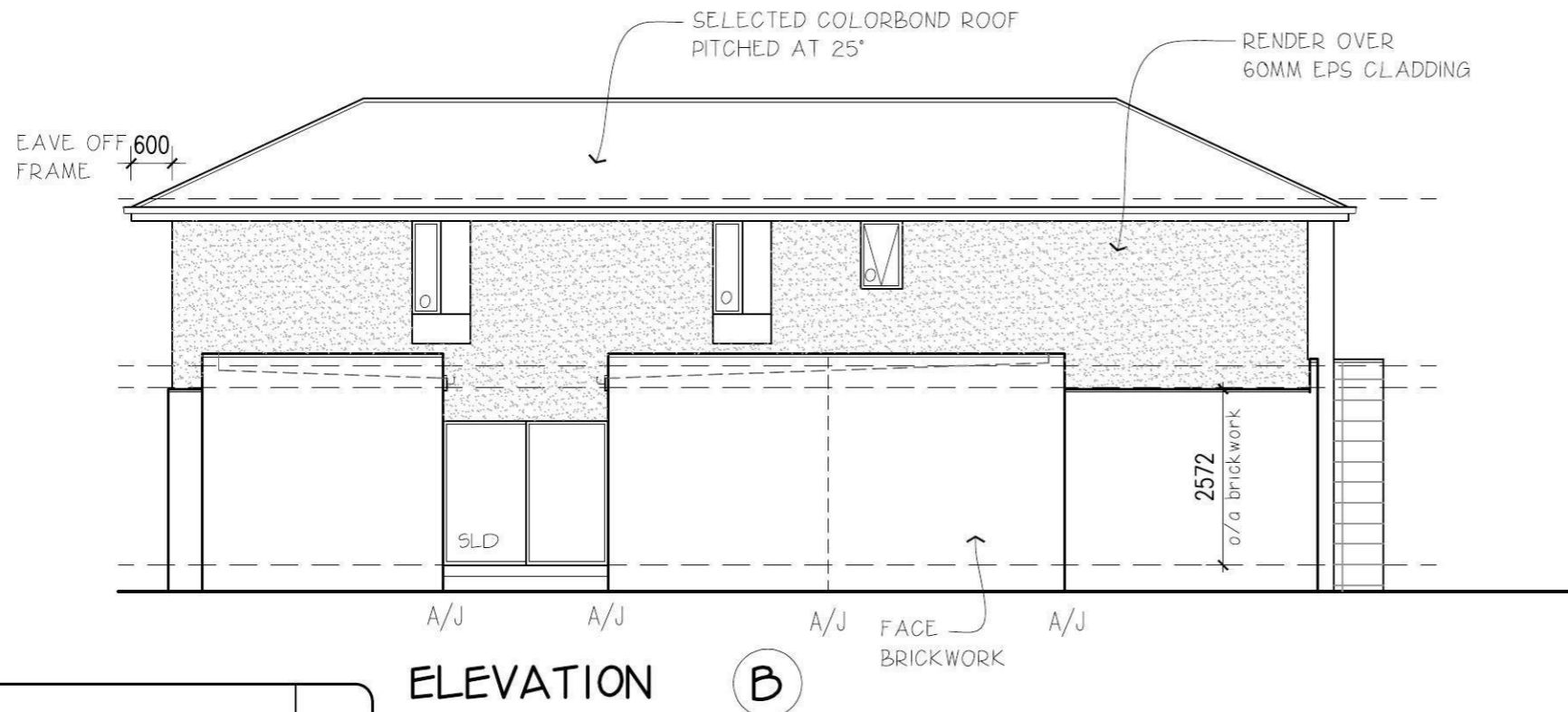
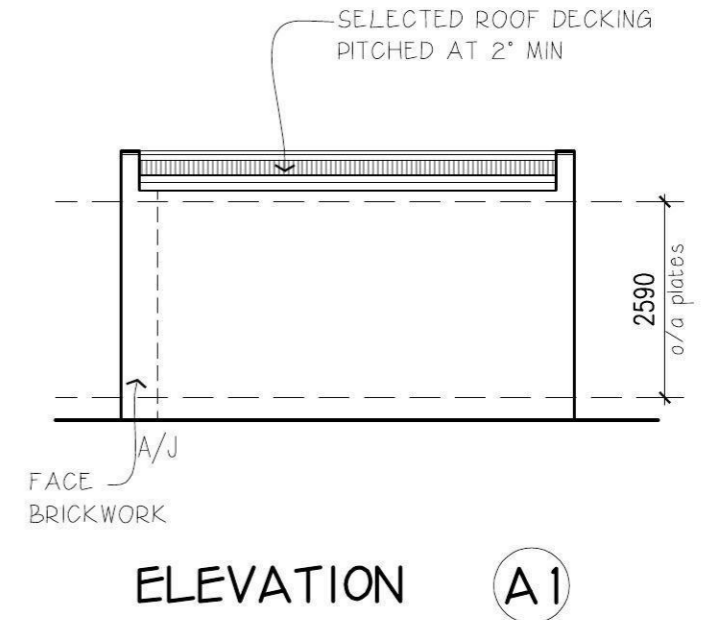
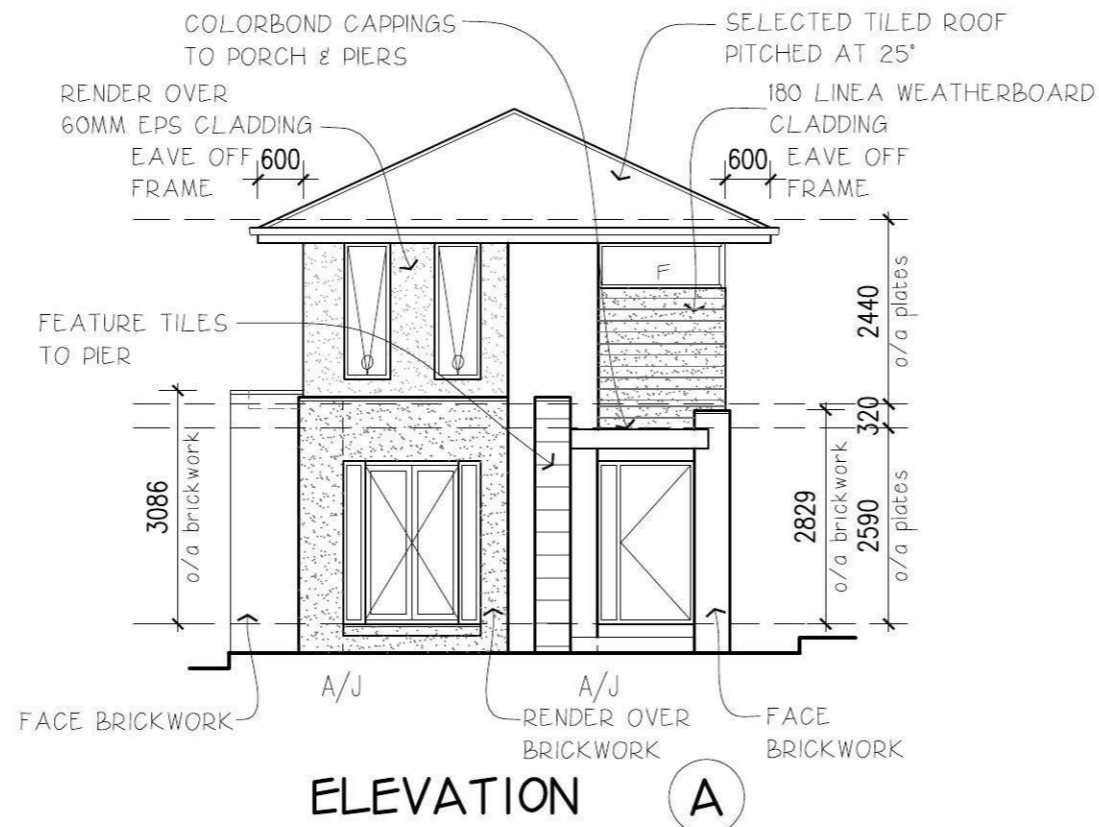
<b>EDGEWATER HOMES</b>
PO Box 550 Moorebank NSW 1875 Ph: 9623 7526 Fax:9673 5560

EXTERNAL COLOUR SCHEDULE

- FACE BRICK AUSTRAL SYMMERY SILVER
- COLORBOND JASPER ROOFING FASCIA AND GUTTERS
- ALUMINIUM WINDOWS JASPER
- TIMBER WINDOWS INTERGRAIN DARK OAK
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- GARAGE ACCESS DOOR WINDSTOL OAK FLATS

EXTERNAL COLOURS:

- DULUX MALI
- DULUX STOWE WHITE



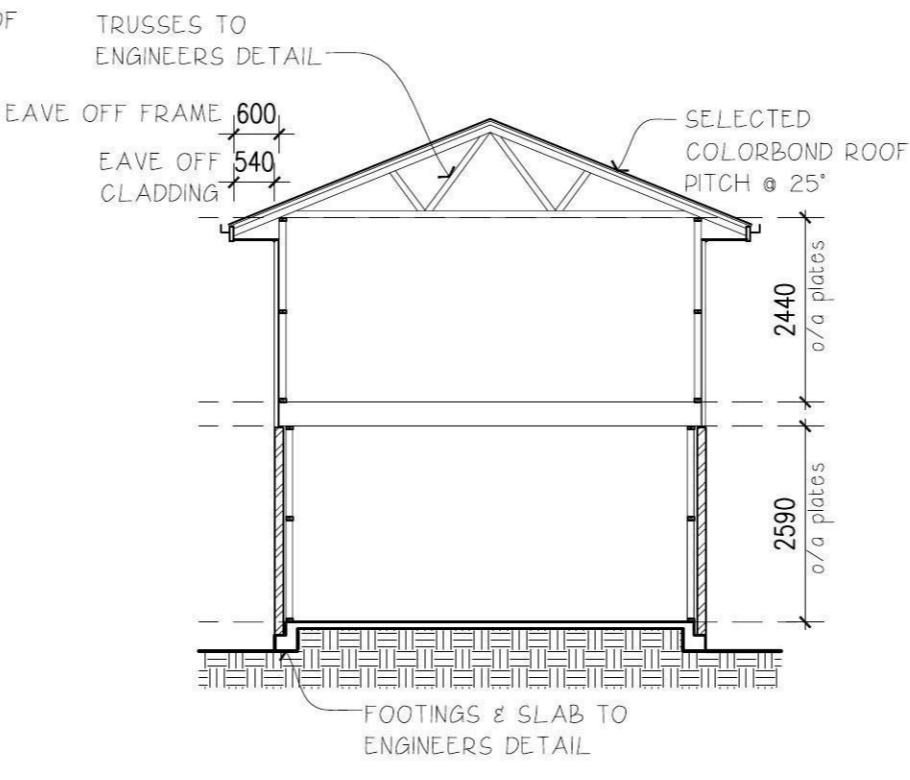
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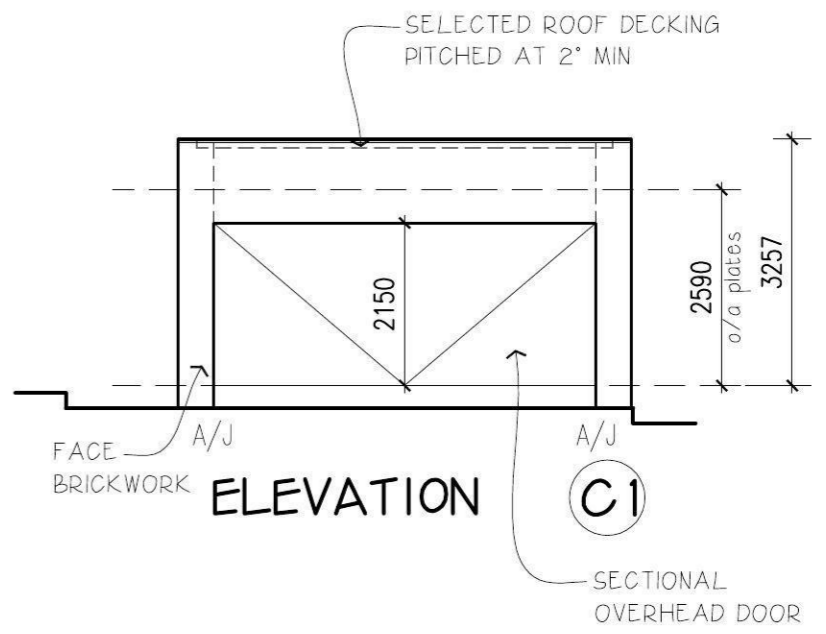
<b>ELEVATIONS</b>		SHEET 3	HAND LH	Townhouse 11 - Stage 3 (7.5m)Modern	<b>EDGEWATER HOMES</b> PO Box 550 Moorebank NSW 1875 Ph: 9623 7526 Fax:9673 5560
DRAWN BK	28/03/2013	For EDGEWATER HOMES		At LOT 1279 LAKESIDE PARADE JORDAN SPRINGS	
CHECKED **					
SCALE	1:100				



ELEVATION C

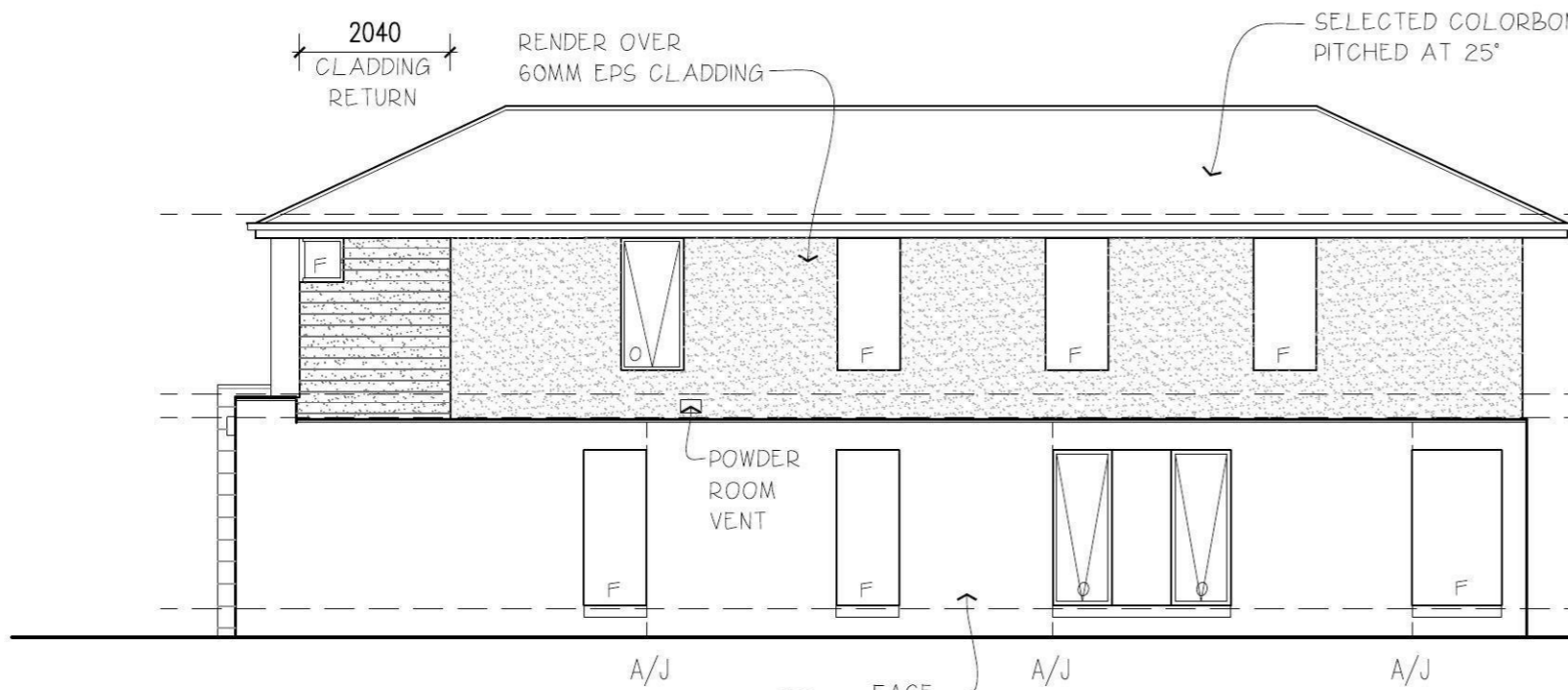


TYPICAL\_SECTION

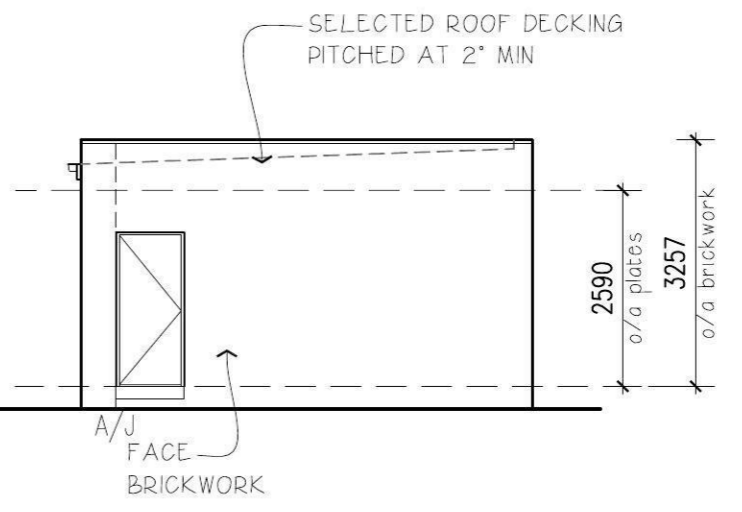


ELEVATION C1

SECTIONAL OVERHEAD DOOR



ELEVATION D



ELEVATION D1

DATE	REVISION	DRAWN

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<b>ELEVATIONS</b>	
DRAWN BK 28/03/2013	CHECKED **
SCALE 1:100	

SHEET 3A	HAND LH
----------	---------

<b>Townhouse 11 - Stage 3 (7.5m)Modern</b>	
For	EDGEWATER HOMES
At	LOT 1279 LAKESIDE PARADE JORDAN SPRINGS

<b>EDGEWATER HOMES</b>
PO Box 550 Moorebank NSW 1875 Ph: 9623 7526 Fax:9673 5560