

NEPEAN VILLAGE OUTDOOR DINING PRECINCT, PENRITH HERITAGE IMPACT STATEMENT

31 OCTOBER 2019
PREPARED FOR VICINITY CENTRES

URBIS

URBIS STAFF RESPONSIBLE FOR THIS REPORT WERE:

Senior Heritage Consultant	Alexandria Barnier, B Des (Architecture), Grad Cert Herit Cons, M.ICOMOS
Senior Consultant, Historian	Léonie Masson, B Arts (Lib Sc), Grad Dip (Loc App His)
Project Code	P10929
Report Number	01 – Draft HIS for Client Review 29.10.2019 02 – Final HIS 31.10.2019

© Urbis Pty Ltd
ABN 50 105 256 228

All Rights Reserved. No material may be reproduced without prior permission.

You must read the important disclaimer appearing within the body of this report.

urbis.com.au

Document Set ID: 8912572

Version: 1, Version Date: 04/11/2019

TABLE OF CONTENTS

Executive Summary	i
1. Introduction	1
1.1. Background	1
1.2. Site Location	1
1.3. Methodology	1
1.4. Author Identification	2
1.5. Heritage Listings	2
1.6. The Proposal.....	2
2. Site Description	4
2.1. 146 Station Street	7
2.2. 148 Station Street	7
3. Historical Overview	9
3.1. Area History	9
3.2. Site History.....	11
3.2.1. 146 Station Street	11
3.2.2. 148 Station Street	12
3.3. Date of Construction	13
4. Heritage Significance	14
4.1. What is Heritage Significance?.....	14
4.2. Statement of Significance – 146 Station Street	14
4.3. Statement of Significance – 148 Station Street	14
5. Impact Assessment.....	15
5.1. Heritage Listing	15
5.2. Statutory Controls	15
5.2.1. Local Environmental Plan	15
5.2.2. Development Control Plan	18
5.3. Heritage Division Guidelines.....	21
6. Conclusion and Recommendations	24
7. Bibliography	25
7.1. Internet sources	25
7.2. Primary Sources	25
7.2.1. NSW Land and Registry Services	25
7.2.2. Newspapers	25
7.3. Secondary Srouces.....	25
Disclaimer	27

FIGURES:

Figure 1 – Site location plan. Subject site outlined in blue	1
Figure 2 – Heritage map showing the subject site outlined in blue.	2
Figure 7 – Aerial view of subject site and Nepean Village	4
Figure 8 – Existing Ground Floor Plan	5
Figure 9 – View east showing laneway through site, separating 146 and 148 Station Street	6
Figure 10 – Pedestrian walkway to the shopping centre, looking east	6
Figure 11 – View west showing courtyard at rear and side of 146 and 148 Station Street respectively	6
Figure 12 – New building to east of 148 Station Street, occupied at ground floor by Nando’s	6

Figure 13 –Late 1980s building north east of 146 Station Street presently occupied by Gloria Jeans.....	6
Figure 14 – Rear dining courtyard, Percy Plunkett Café, 146 Station Street.....	6
Figure 15 – West elevation, 146 Station Street.....	7
Figure 16 – Verandah on west elevation, 146 Station Street.....	7
Figure 17 – South elevation, 146 Station Street and new building to rear.....	7
Figure 18 – View east along south elevation, 146 Station Street and new building to south east.....	7
Figure 19 – Front (west) elevation of 148 Station Street looking north to south. Front garden with picket fence.....	8
Figure 20 – French doors and front door, 148 Station Street with bullnosed verandah and supporting columns.....	8
Figure 21 – Front (west) elevation, 148 Station Street looking north. Shows small front garden with picket fence.....	8
Figure 22 – View along south elevation, 148 Station Street to Nepean Village carpark and shopping centre ..	8
Figure 23 – Rear (east) elevation with porch, 148 Station Street.....	8
Figure 24– Rear (north east) elevation, 148 Station Street.....	8
Figure 25 - Plan of Capt. Woodriffe's grant at Penrith drawn by Knapp, Surveyor.....	10
Figure 26 – Plan of Lot A, DP 164919.....	12
Figure 27 – Plan of land in part conveyance No 433 Book 1556, being Lot 8.....	13
Figure 2 – Heritage map showing the subject site outlined in blue.....	15

TABLES:

Table 1 – DA Drawing Issue - Architectural.....	3
Table 2 – Penrith Local Environmental Plan 2010.....	15
Table 3 – Penrith Development Control Plan 2014.....	18
Table 4 – Heritage Division Guidelines.....	21

EXECUTIVE SUMMARY

Urbis has been engaged by Vicinity Centre to prepare this Heritage Impact Statement (HIS) to accompany a development application for works to the subject site, including 146 and 148 Station Street, Penrith and forming part of Nepean Village. The subject site comprises two items identified in Schedule 5 Environmental Heritage of Penrith Local Environmental Plan (LEP) 2010 as follows:

- “Kentucky” villa, 146 Station Street (Item No I216); and
- “Victorian” house. 148 Station Street (Item No I217).

This Heritage Impact Statement is therefore required to assess the heritage significance of the property and the potential heritage impact of the proposed works on the heritage items (See Section 5 of this report).

The proposed works have been assessed as having no detrimental impact on the heritage significance of the heritage items for the following reasons:

- The proposed works have no physical impact on the significant fabric and spaces comprised within the heritage items. The major item of work constitutes the pergola structure. This structure is structurally and physically independent from the significant fabric which flanks it.
- The pergola structure is in closest proximity to the heritage fabric to the rear (east) of the building at 148 Station Street. The pergola has been designed in this area such that it is located above the eaves line of the rear roof form. This is acceptable in this area given the rear roof form constitutes a later extension and to achieve an appropriate head height for the seating area beyond.
- The north end of the pergola structure has been sympathetically designed such that it is significantly below the eaves line of both significant building which face station street. It is also substantially set back from the primary (west) façade of 148 Station Street and substantially set back from the west corner of the building at 146 Station Street. As such, when viewed from the street the additional pergola structure would not have a detrimental visual impact.
- There would be no impact on the existing tree between the two early buildings to Station Street. Given this retention and the design of the pergola structure described above the character of the setting of the items would be retained from the street.
- The proposed change of use of 148 Station Street is in accordance with the conversion of the neighbouring heritage item, 146 Station Street, to Percy Plunkett Café. There are no associated internal physical works proposed under this application in accordance with the change of use of the items. The uses are generally considered to be appropriate however any future application associated with the new uses must consider the impact on the heritage fabric.
- The two buildings to the eastern boundary of the site, to the rear of the significant building fronting Station Street, are recent building of no heritage significance. The minor works to these buildings have no potential to have an impact on the significance of the items as a whole.
- The proposed use of various traditional and modern materials and finishes, such as brick and steel, allows a respectful separation of the old and new fabric. This allows the retained fabric in the heritage items to be interpreted and viewed with minimal interruption.

For the reasons stated above, the proposed works are supported from a heritage perspective.

1. INTRODUCTION

1.1. BACKGROUND

Urbis has been engaged by Vicinity Centre to prepare this Heritage Impact Statement (HIS) to accompany a development application for works to the subject site, including 146 and 148 Station Street, Penrith and forming part of Nepean Village. The subject site comprises two items identified in Schedule 5 Environmental Heritage of Penrith Local Environmental Plan (LEP) 2010 as follows:

- “Kentucky” villa, 146 Station Street (Item No I216); and
- “Victorian” house, 148 Station Street (Item No I217).

This Heritage Impact Statement is therefore required to assess the heritage significance of the property and the potential heritage impact of the proposed works on the heritage items (See Section 5 of this report).

1.2. SITE LOCATION

The subject site is located at 146 and 148 Station Street, Penrith as shown in Figure 1 below, legally known as Lot 11 DP715161 and Lot 80 DP709313 (the subject site).

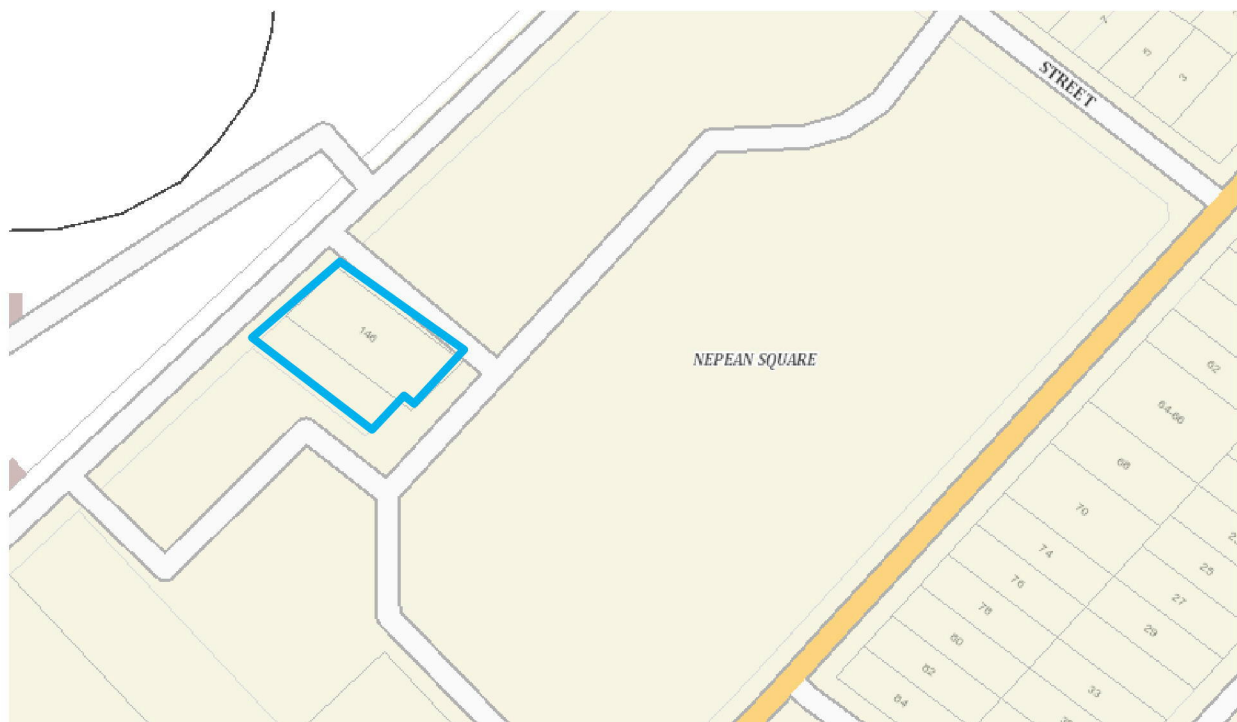


Figure 1 – Site location plan. Subject site outlined in blue

Source: NSW LRS, SIX Maps

1.3. METHODOLOGY

This Heritage Impact Statement has been prepared in accordance with the NSW Heritage Division guidelines ‘Assessing Heritage Significance’, and ‘Statements of Heritage Impact’. The philosophy and process adopted is that guided by the *Australia ICOMOS Burra Charter 1999* (revised 2013).

Site constraints and opportunities have been considered with reference to relevant controls and provisions contained within the *Penrith Local Environmental Plan (LEP) 2010* and the *Penrith Development Control Plan (DCP) 2014*.

1.4. AUTHOR IDENTIFICATION

The following report has been prepared by Léonie Masson (Senior Consultant, Historian). Alexandria Barnier (Senior Heritage Consultant) has reviewed and endorsed its content.

Unless otherwise stated, all drawings, illustrations and photographs are the work of Urbis.

1.5. HERITAGE LISTINGS

The subject property comprises two items of local significance identified in Schedule 5 Environmental heritage of the *Penrith Local Environmental Plan 2010* as follows:

- “Kentucky”, villa, 146 Station Street, Penrith (Item No I216); and
- Victorian house, 148 Station Street, Penrith (Item No 1217).

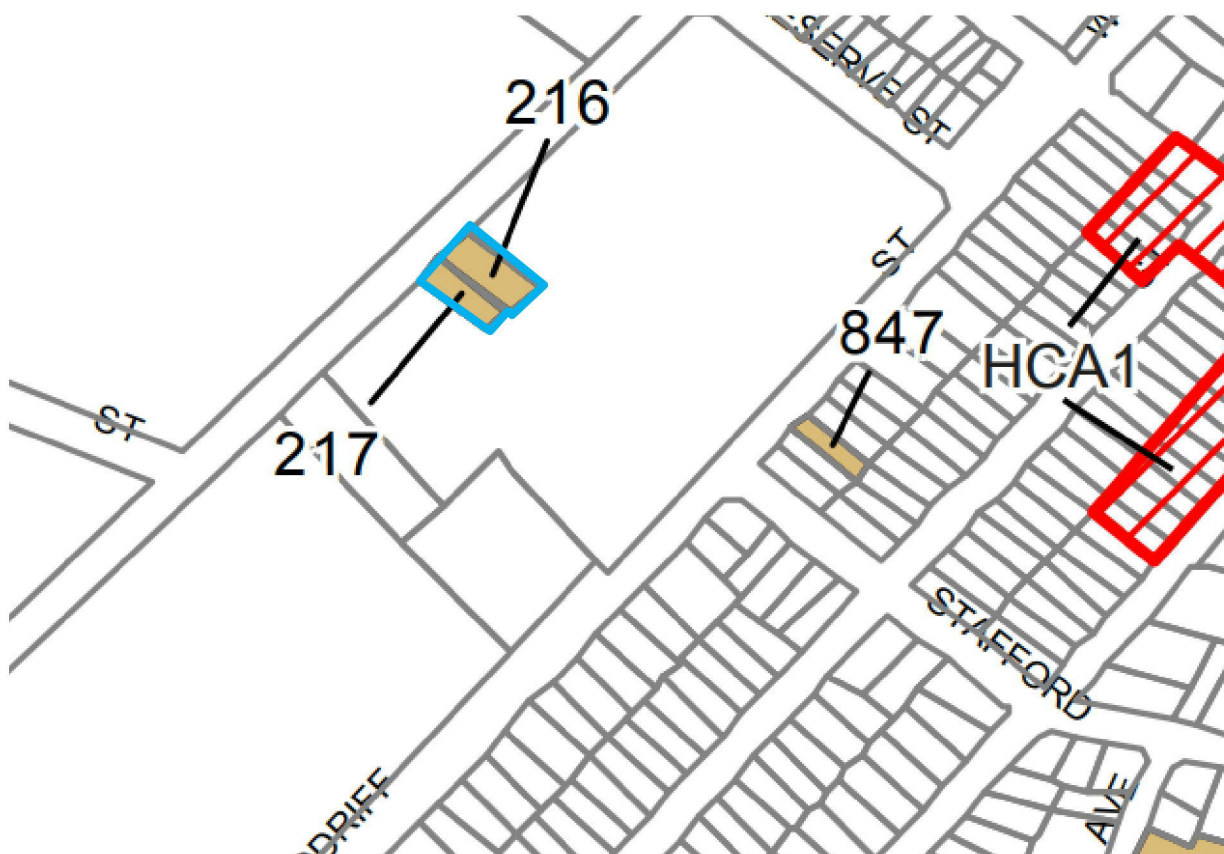


Figure 2 – Heritage map showing the subject site outlined in blue.

Source: *Penrith Local Environmental Plan 2010, Heritage Map (HER_006)*

1.6. THE PROPOSAL

This development application specifically seeks consent for:

- A change of use of the heritage listed “Victorian House” the use of a licensed food and drink premises.
- Removal and demolition of streetlights, bollards, fencing and storage cage.
- Construction of 3 storage areas for the use of three food tenancies:
 - Storage 1 and 2: 15 sqm; and
 - Storage 3: 5.4 sqm.

- Landscape improvements to the public domain including:
 - Replacement of paving;
 - Construction of a pergola structures with plantings and lighting;
 - Relocation of existing services and gas cage; and
 - Installation of raised planter boxes and fixed furniture to create public seating areas.
- Installation of four signs including:
 - 0.45 x 3.00 (h x w) metre signage zone to be attached the pergola structure facing the Station Street frontage;
 - 1.50 x 3.02 (h x w) metre zone located on the rear wall of the Kentucky House building facing the Nepean Shopping Centre;
 - Two 1.50 x 2.50 (h x w) metre signs to be located on both walls of the new storage area;

These works are wholly contained within the boundary of the subject site.

This Heritage Impact Statement (HIS) is based on a review of the following drawings and documents prepared by BN Group and forms part of the development application (DA) for alterations and additions to 146 and 148 Station Street, Penrith (Nepean Village).

Table 1 – DA Drawing Issue - Architectural

Drawing Title	Dwg No	Rev	Date
Title Sheet, Location Plan & Drawing List	A00.01	A	27.09.2019
Site Analysis	A00.03	A	27.09.2019
Existing Plan - GL	A01.01	A	27.09.2019
Existing Plan	A01.02	A	27.09.2019
Existing & Demolition Plan – GL	A02-01	A	27.09.2019
Existing and Demolition – Elevations	A03-01	A	27.09.2019
Existing and Demolition – Elevations	A03-02	A	27.09.2019
Proposed Ground Floor Layout	A06-01	A	27.09.2019
Proposed Roof Plan Layout	A06_02	A	27.09.2019
Proposed Elevations	A10-01	A	27.09.2019
Proposed Elevations	A10-02	A	27.09.2019
Proposed Sections	A11-01	A	27.09.2019
Proposed Sections	A11-02	A	27.09.2019
Perspectives	A80-00	A	27.09.2019
3D Views	A80-01	A	27.09.2019

2. SITE DESCRIPTION AND SURROUNDING CONTEXT

The subject site forms part of the Nepean Village Shopping Centre, a local shopping centre which serves the Penrith population. This application specifically relates to four free standing brick buildings located on the Station Street frontage, being identified as Lot 11 DP 715161 and Lot 80 DP 709313, which contains a mix of dining and commercial uses including the Centre Management offices.

The subject site comprises two items of local significance identified in Schedule 5 Environmental Heritage of the *Penrith LEP 2010*, being “Kentucky” villa, 146 Station Street (I216) and “Victorian house”, 148 Station Street (I217). These buildings are located along the Station Street frontage with the Kentucky villa currently occupied by the Percy Plunkett café. The Victorian house is currently vacant but was formerly uses as a commercial office building. The two buildings to the south of the site are not identified as heritage items and were built in the late 1980s. Both buildings provide ground floor food and drink premises with commercial offices located on the second storey of the two-storey building located on the south-west corner of the site. These buildings have been designed to mimic the heritage characteristics of the Station Street buildings.

Pedestrian access is available from the Station Street frontage through the site to the main shopping centre via a pedestrian crossing in the car park. Tenancies face outwards towards the car park (to the east and west) with internal space currently paved courtyard area with access to back of house facilities for tenants.

Car parking serving these tenancies located within the general shopping centre car park.



Figure 3 – Aerial view of subject site and Nepean Village

Source: Urbis

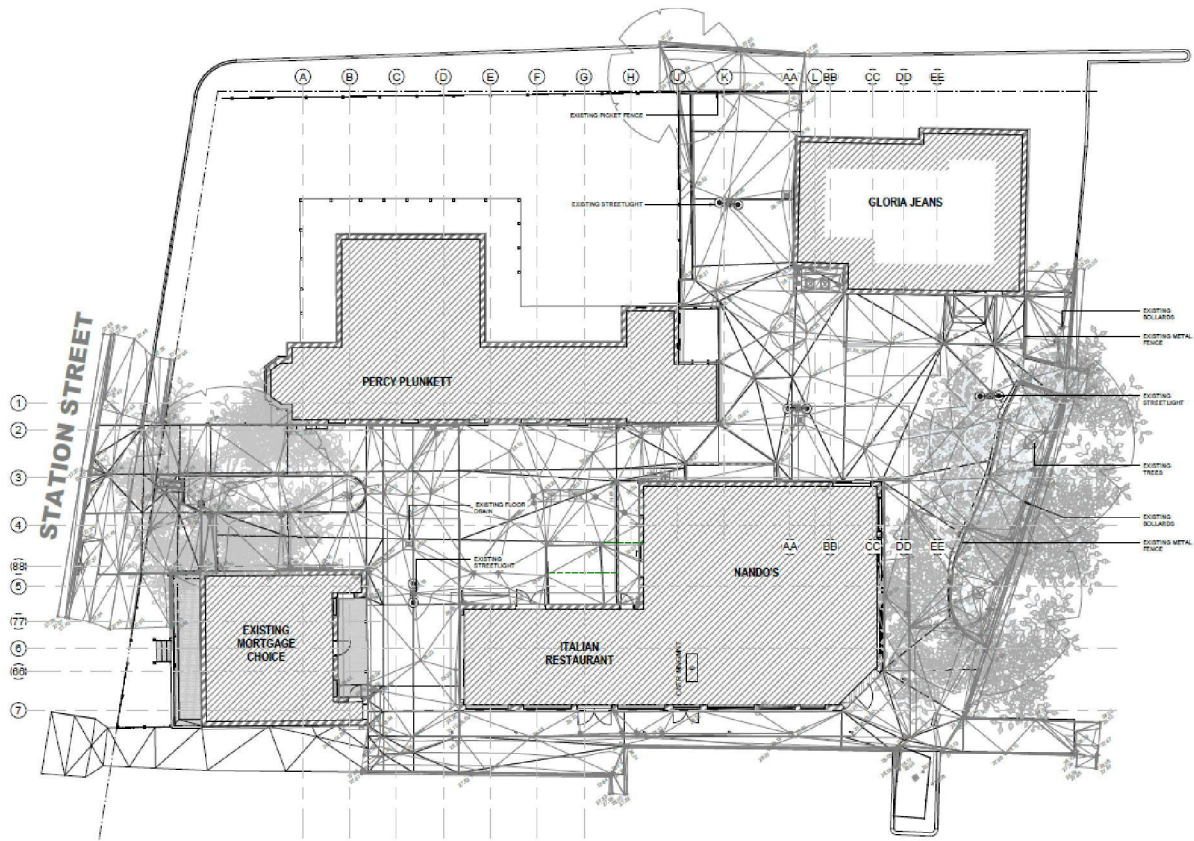


Figure 4 – Existing Ground Floor Plan
 Source: BN Group

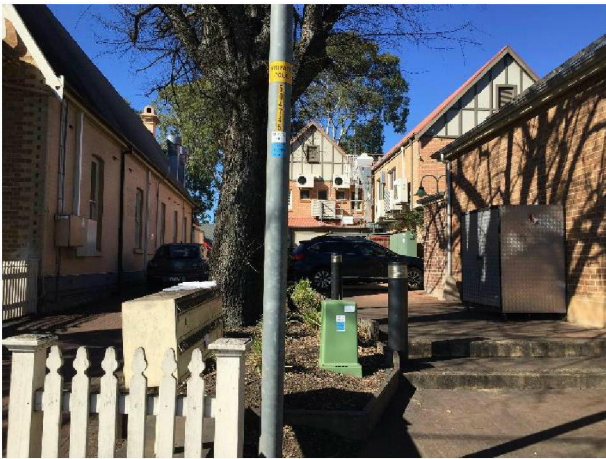


Figure 5 – View east showing laneway through site, separating 146 and 148 Station Street

Source: Urbis, July 2019



Figure 6 – Pedestrian walkway to the shopping centre, looking east

Source: Urbis, July 2019



Figure 7 – View west showing courtyard at rear and side of 146 and 148 Station Street respectively

Source: Urbis, July 2019



Figure 8 – New building to east of 148 Station Street, occupied at ground floor by Nando's

Source: Urbis, July 2019



Figure 9 – Late 1980s building north east of 146 Station Street presently occupied by Gloria Jeans

Source: Urbis, July 2019



Figure 10 – Rear dining courtyard, Percy Plunkett Café, 146 Station Street

Source: Urbis, July 2019

2.1. 146 STATION STREET

146 Station Street is a single storey Victorian brick late nineteenth century building with a cross-gabled roof. The building is located close to the street building line and has a front elevation with verandah and projecting wing with a gabled roof and bay window. The face brick masonry of this elevation is notable for its contrasting polychrome quoins and voussoirs. The salmon coloured bricks may have been locally sourced. Other decorative details of note are the bargeboards and crenelated parapet of the bay window. The front door has narrow sashed sidelights and a fanlight. There are French doors on the front (west) elevation verandah. The front (west) verandah is reconstructed to period detail. The roof has corbelled face brick chimney. There is a new addition at the rear of the original house and a connection with a shopping complex.



Figure 11 – West elevation, 146 Station Street

Source: Urbis, July 2019



Figure 12 – Verandah on west elevation, 146 Station Street

Source: Urbis, July 2019

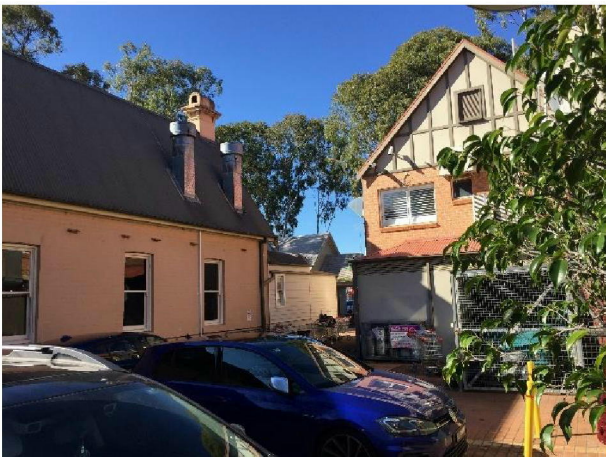


Figure 13 – South elevation, 146 Station Street and new building to rear

Source: Urbis, July 2019



Figure 14 – View east along south elevation, 146 Station Street and new building to south east

Source: Urbis, July 2019

2.2. 148 STATION STREET

148 Station Street is a modest single storey Victorian brick late nineteenth century building with a hipped roof sheeted in corrugated Colorbond steel and boxed eaves. The building is located close to the street building line and has a symmetrical front elevation with verandah with bullnose profiled roof. The face brick masonry incorporates contrasting coloured bricks. The verandah has cast iron posts and iron lace brackets and valance and sandstone paved floor. The centred front door has a fanlight and there are flanking French doors with louvred shutters. There is a new addition at the rear of the original house and connection with a shopping complex. A sense of a garden setting is provided by a mature tree to the south side. The front yard area is partially enclosed by a picket fence.

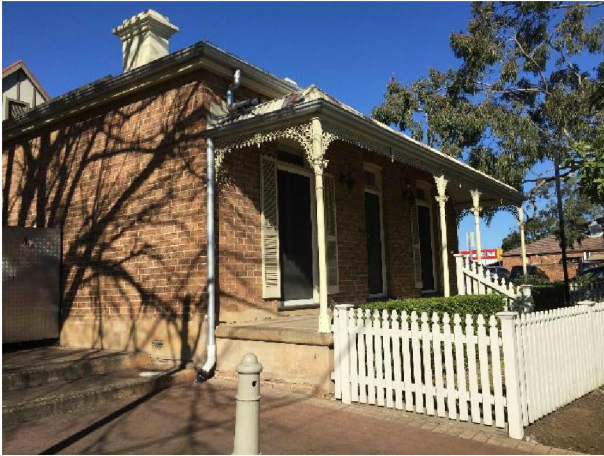


Figure 15 – Front (west) elevation of 148 Station Street looking north to south. Front garden with picket fence

Source: Urbis, July 2019

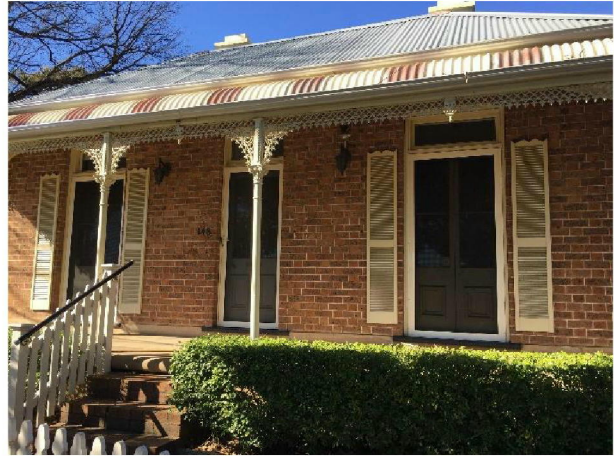


Figure 16 – French doors and front door, 148 Station Street with bullnosed verandah and supporting columns

Source: Urbis, July 2019



Figure 17 – Front (west) elevation, 148 Station Street looking north. Shows small front garden with picket fence

Source: Urbis, July 2019



Figure 18 – View along south elevation, 148 Station Street to Nepean Village carpark and shopping centre

Source: Urbis, July 2019



Figure 19 – Rear (east) elevation with porch, 148 Station Street

Source: Urbis, July 2019



Figure 20– Rear (north east) elevation, 148 Station Street

Source: Urbis, July 2019

3. HISTORICAL OVERVIEW

3.1. AREA HISTORY

The following history has been sourced from the *Pictorial History Penrith & St Marys* by Lorraine Stacker (2002).

On 26 June 1789, an exploration party set out westward from Rose Hill (Parramatta). Led by Captain Watkin Tench of the Royal Marines and accompanied by assistant surgeon Dr Thomas Arndell, two unnamed marines and a convict, they travelled westward where no European had been before.

The expedition explored the area now known as Penrith City. They paused at Prospect Hill, surveyed the lay of the land then set their course west by north. At the end of the day they camped by a small pond. The next morning, an hour after daylight, they reached the broad expanse of Nepean River, near to the present-day M4 Motorway Bridge. Tench wrote, 'we found ourselves on the banks of a river, nearly as broad as the Thames at Putney and apparently of great depth'. The party then travelled north along the eastern bank of the river, probably through Castlereagh, almost to Richmond. They observed traces of active Aboriginal life and noted the recent evidence of flooding.¹

The Nepean River and South Creek riverbanks were the first to be settled by Europeans. The land was well forested with iron barks, wattles, acacias and myrtles and timber-getting was the first industry to develop, followed by farming. Land grants were approved from 1803, but many small farmers had been squatting there in the hope of receiving official approval.²

After the Great Western road had been completed between Parramatta and Emu Ford (where the road continued up the Blue Mountains), settlements began to form along the new road. This occurred especially in areas that could supply water for industry and livestock. Over the course of early nineteenth century, land grants were dispersed in the Windsor, Castlereagh and along the Hawkesbury. Governor Hunter visited the settlers on the lower reaches of the Nepean where he found excellent land under cultivation.

Land grants in the Penrith area ranged from 10 to 3000 acres and by the 1820s most of the area had been distributed. Unlike Windsor there was no land set aside for Government, except at Emu Plains. In the early years there was no hint that Penrith would be a gateway and main thoroughfare across the mountains. The entire Evan district was set aside for settlers.³

Early land grants in the area included 1000 acres to Captain Daniel Woodriff in 1804 and 470 acres to John Best in 1814. Following Woodriff's death, the Great Western Road was built through the centre of his original estate, creating distinctive north and south areas (Figure 21). A military depot was also built on Woodriff's grant, defining Penrith as a military and prison area during the early years of the region's development.

By 1850, Penrith had approximately 70 houses and a population of less than 500 people. However, by 1901 the population had reached 3,539. It was in 1860 that the railway was extended to Penrith and by 1863 the town had become a busy rail depot. In 1871, the town of Penrith was proclaimed a municipality.

The High Street changed little over the years, with the road being sealed in the late nineteenth century. However, despite being a small country town, Penrith was the third country town to have electricity connected in 1890. In 1882, local politician TR Smith, had obtained funding for the proper formation of the Great Western Road.

Penrith has continued to grow and was proclaimed the City of Penrith in 1959. This population boom was encouraged through rapid industrialisation of the 1940s.

The Great Western Road that kickstarted the growth of the area was replaced by the M4 in the late 20th century as the City of Penrith has continued to expand and the original road could no longer accommodate and sustain the heavy vehicular traffic.

¹ Lorraine Stacker, *Pictorial History: Penrith and St Marys*, (Alexandria: Kingsclear Books, 2002), p. 11.

² Ibid, p. 14.

³ Ibid, p. 15.

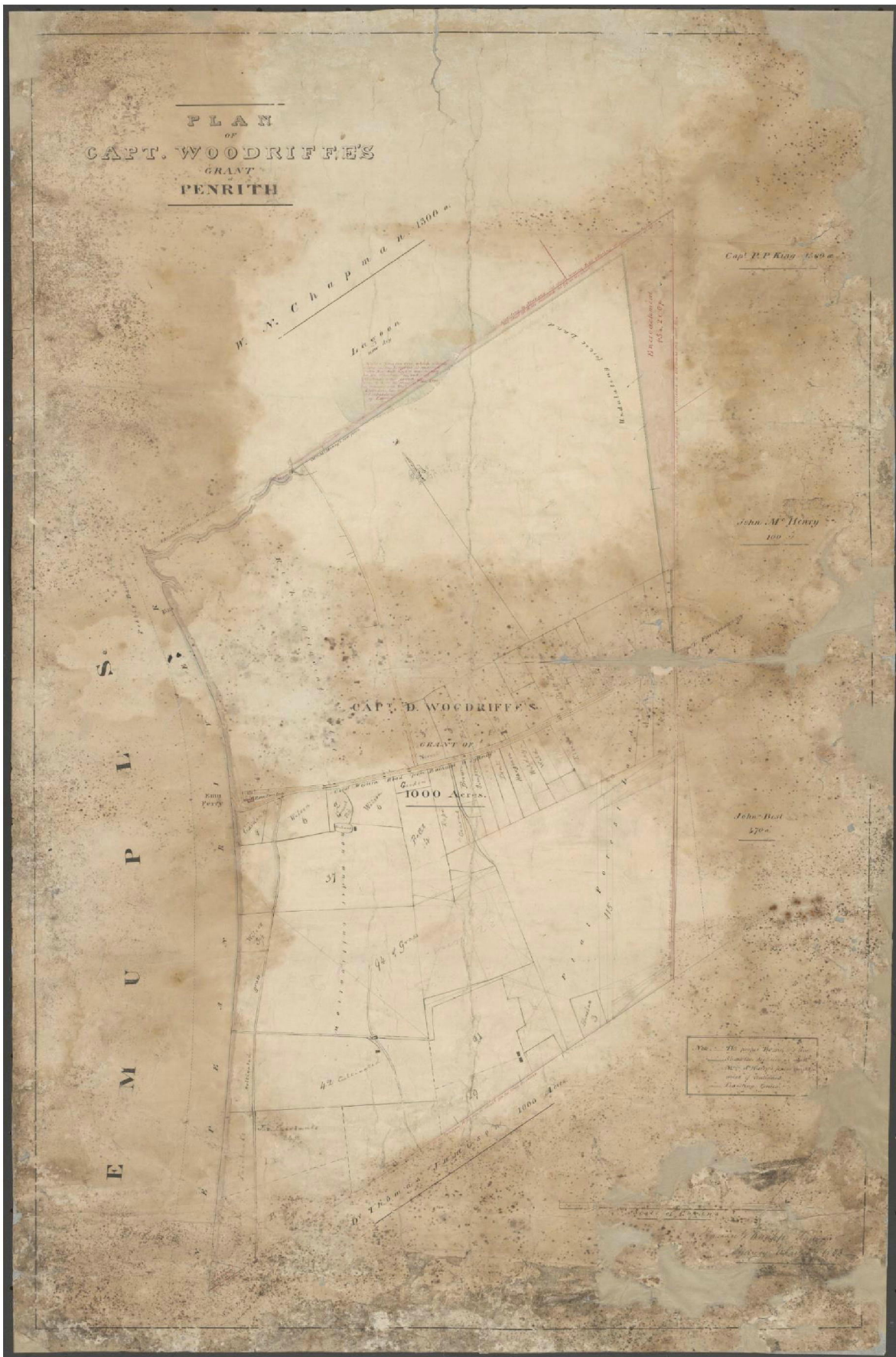


Figure 21 - Plan of Capt. Woodriffe's grant at Penrith drawn by Knapp, Surveyor

Source: <http://nla.gov.au/nla.obj-231443134>, viewed 25 October 2019\

3.2. SITE HISTORY

146 and 148 Station Street are located on part of 1,000 acres granted to Daniel Woodriff on 18 December 1805 (Portion 90 of Parish of Mulgoa).

In 1886, in separate transactions, Frederick Daniel Woodriff conveyed Lots 4 to 7 and Lots 24 to 27 of a subdivision of Daniel Woodriff's land grant to local dairy farmer. Noah Hollier for the respective sums of £240 and £130.⁴

3.2.1. 146 Station Street

146 Station Street is located on a subdivision of Lots 6, 7, 26 & 27 of FD Woodriff's subdivision of Daniel Woodriff's land grant. "Kentucky" was built between 1886 and 1890 by Noah Hollier for himself. He lived here until his death in 1913. His widow continued to live in the house until her death in 1928. The property was sold in May 1929 to Percy Thomas Plunkett. According to the heritage impact assessment (1992) Plunkett undertook substantial alterations and additions to the house including removal of the original verandah and its replacement c1940, rear additions and first floor level in the rood space. It is also believed he erected a former concrete shed on the former landholding. He died in January 1946, aged 66 years survived by his wife, son John and daughter Irene.

The Plunkett family continued to occupy Kentucky until 1964 when his widow, Alice Maude Plunkett died. Her trustees sold 146 Station Street in October the following year to Colin Richard Welch and Dell Anne Welch for the sum of £5,500.⁵ The Welch's are listed at 146 Station Street in the electoral rolls. Following Reginald's death in June 1974, his widow owned and occupied the residence until May 1980 when it was sold to Reginald John Hall, Susan Elizabeth Hall, Edward Thomas Stovold and Joan Elanor Stovold for \$85,000.⁶ GRID Developments Pty Ltd became registered proprietors of 146 Station Street in 1985.

Part of the house was destroyed by fire in November 1991. The damaged portions were rebuilt and the house restored and converted to a restaurant named Percy Plunkett Café.

⁴ OST Bk 347 No 670 and Bk 351 No 651, NSW LRS

⁵ OST Bk 2765 No 857, NSW LRS

⁶ OST Bk 3411 No 926, NSW LRS

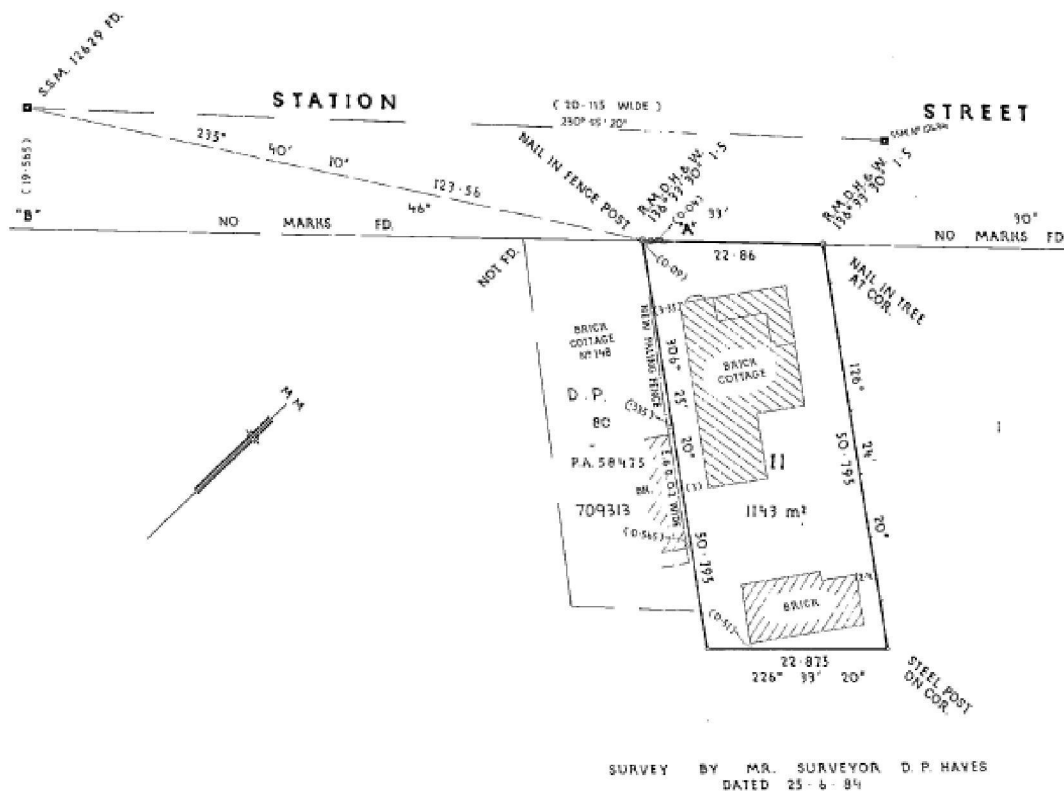


Figure 22 – Plan of Lot A, DP 164919

Source: NSW LRS, DP 715161

3.2.2. 148 Station Street

148 Station Street is located on Lot 8 of FD Woodriff’s subdivision of Daniel Woodriff’s land grant. Lot 8 was sold in September 1886 to George Staggs for the sum of £75.⁷ He erected the subject house on this allotment soon after and lived here until 1896 when it was advertised for auction sale as a “COMFORTABLE, FAITHFULLY BUILT BRICK COTTAGE, containing Four Rooms, 12 x 12 each; Verandah back find front of Cottage; Detached Kitchen, built of brick; Stables and Laundry, &c. All building roofed with iron. Land 50 feet frontage to Station-street, by 150 feet”.⁸

At the auction sale the property was sold to William G Jordan of Penrith, railway engine driver for £175.⁹ An advertisement in the Nepean Times in 1898 indicates Jordan had moved into the cottage in Station Street named “Villa Marie”.¹⁰ In early 1900, he conveyed the property to Margaret Agnes Jordan.

It is unclear from the land title records when the property changed hands to Eileen Ethel Harvey. She and her husband, Kenneth Arthur Harvey, are listed at 148 Station Street commencing in the 1958 electoral roll. They owned and occupied the property until September 1984 when it was sold to Cadomet Pty Limited for \$140,000.¹¹ Coinciding with the change of ownership, Bruce Albert Napthali lodged an application to convert his property to Torrens title. Primary Application 584475 requested the certificate of title be issued in the name Cadomet Pty Limited. The following year a survey plan of the site shows three small structures to the east (rear) of the main house (Figure 23).

⁷ OST Bk 348 No 463, NSW LRS

⁸ 1896 'Advertising', Nepean Times (Penrith, NSW : 1882 - 1962), 11 July, p. 4. , viewed 25 Oct 2019, <http://nla.gov.au/nla.news-article108711949>

⁹ OST BK 600 No 153, NSW LRS

¹⁰ 1898 'Advertising', Nepean Times (Penrith, NSW : 1882 - 1962), 19 February, p. 4. , viewed 25 Oct 2019, <http://nla.gov.au/nla.news-article101308091>

¹¹ OST Bk 3600 No 24, NSW LRS

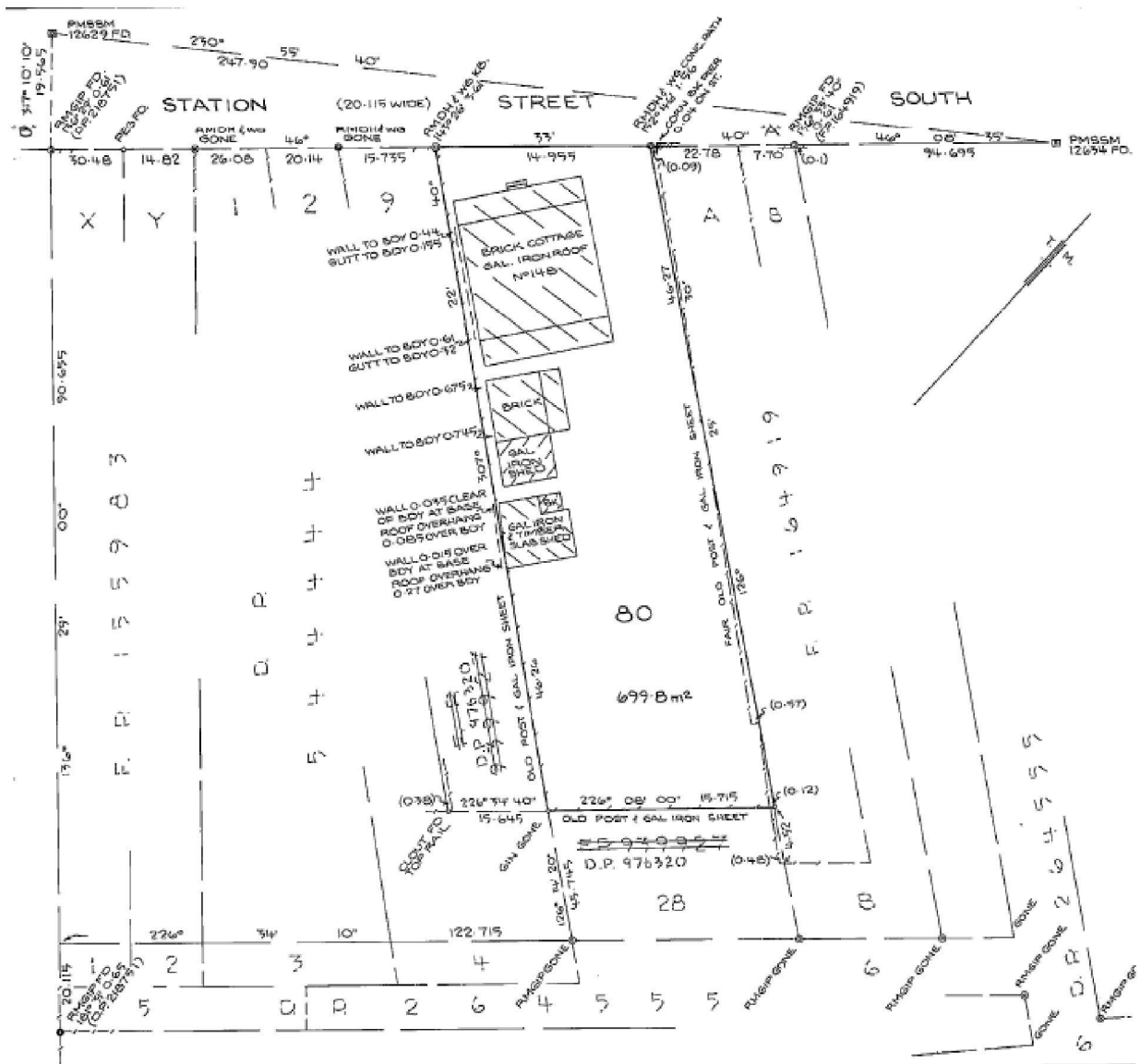


Figure 23 – Plan of land in part conveyance No 433 Book 1556, being Lot 8

Source: NSW LRS, DP 709313

3.3. DATE OF CONSTRUCTION

146 Station Street – c1886-1890

148 Station Street c1886-1890

4. HERITAGE SIGNIFICANCE

4.1. WHAT IS HERITAGE SIGNIFICANCE?

Before making decisions to change a heritage item, an item within a heritage conservation area, or an item located in proximity to a heritage listed item, it is important to understand its values and the values of its context. This leads to decisions that will retain these values in the future. Statements of heritage significance summarise the heritage values of a place – why it is important and why a statutory listing was made to protect these values.

4.2. STATEMENT OF SIGNIFICANCE – 146 STATION STREET

The following Statement of Significance is taken from the NSW Heritage Division heritage inventory sheet for 146 Station Street, Penrith (Database number: 2260216):

This former residence that is a good and externally intact example of a Victorian Gothick Revival/Scottish Baronial style suburban villa. The scale and materials of the house contributes to defining east Penrith as an area of historic note in Penrith. The building is one of a number of structures in east Penrith erected over the nineteenth century and early part of the twentieth century which collectively demonstrate the pattern of suburban settlement at this elevated locale. Collectively these structures imbue the area with high historic and aesthetic values.

4.3. STATEMENT OF SIGNIFICANCE – 148 STATION STREET

The following Statement of Significance is taken from the NSW Heritage Division heritage inventory sheet for 148 Station Street, Penrith (Database number: 2260217):

A good and externally intact example of a late Victorian Georgian style brick suburban cottage. The scale and materials of the house contributes to defining east Penrith as an area of historic note in Penrith. The building is one of a number of structures in east Penrith erected over the nineteenth century and early part of the twentieth century which collectively demonstrate the pattern of suburban settlement at this elevated locale. Collectively these structures imbue the area with high historic and aesthetic values.

5. IMPACT ASSESSMENT

5.1. HERITAGE LISTING

The subject property comprises two items of local significance identified in Schedule 5 Environmental heritage of the *Penrith Local Environmental Plan 2010* as follows:

- “Kentucky”, villa, 146 Station Street, Penrith (Item No I216); and
- Victorian house, 148 Station Street, Penrith (Item No 1217).

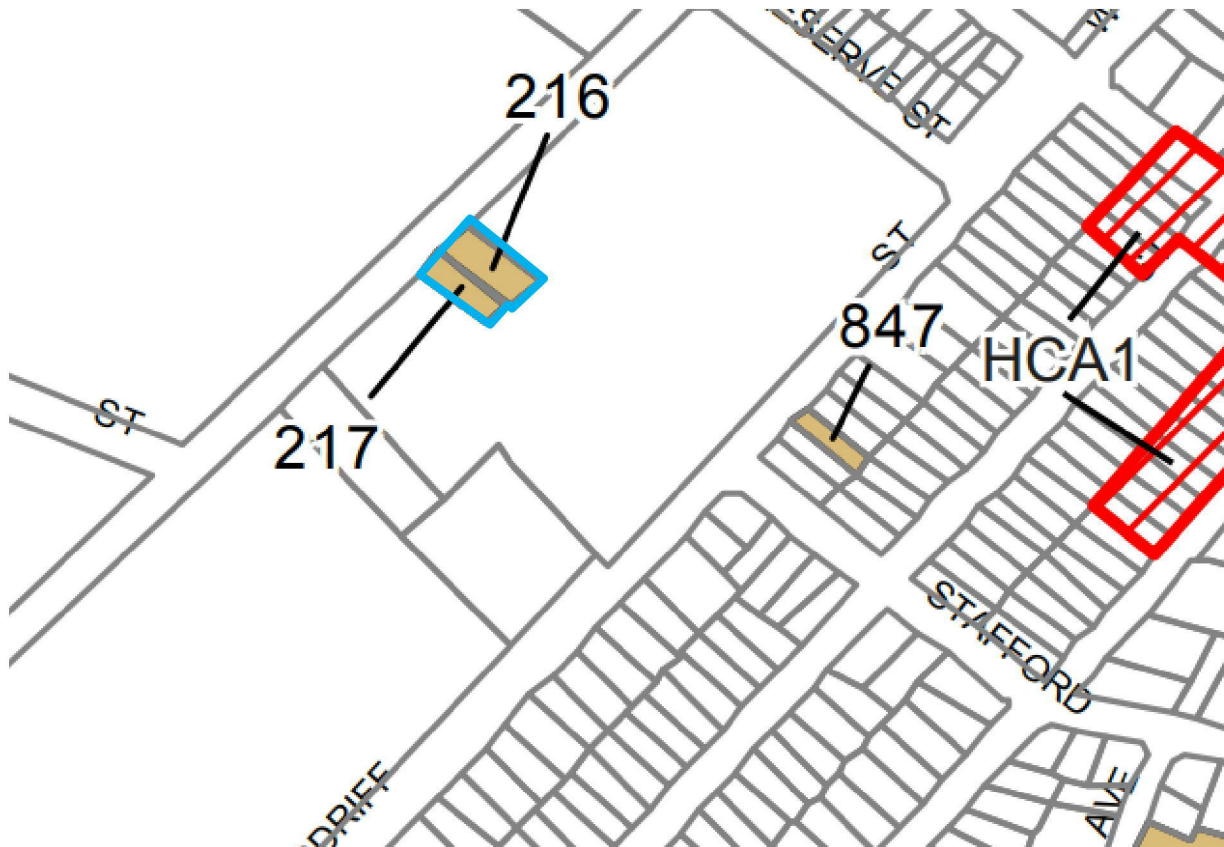


Figure 24 – Heritage map showing the subject site outlined in blue.

Source: *Penrith Local Environmental Plan 2010, Heritage Map (HER_006)*

5.2. STATUTORY CONTROLS

5.2.1. Local Environmental Plan

The proposed works are addressed in the table below in relation to the relevant clauses in the *Penrith LEP 2010*.

Table 2 –Local Environmental Plan

Clause	Discussion
<p>5.10 Heritage Conservation</p> <p>(1) Objectives</p> <p>The objectives of this clause are as follows:</p>	<p>The subject site is located within the Penrith City local government area. The subject site includes two heritage items, being “Kentucky” villa, 146 Station Street (I216) and “Victorian” house, 148 Station Street (I217).</p> <p>This Heritage Impact Statement has been prepared to provide the consent authority with the necessary information to confirm the proposed</p>

Clause	Discussion
<p>(a) to conserve the environmental heritage of Penrith,</p> <p>(b) to conserve the heritage significance of heritage items and heritage conservation areas, including associated fabric, settings and views,</p> <p>(c) to conserve archaeological sites,</p> <p>(d) to conserve Aboriginal objects and Aboriginal places of heritage significance.</p>	<p>development on the subject site meets the objectives of this clause. Refer to the detailed impact assessment below.</p>
<p>(4) Effect of proposed development on heritage significance</p> <p>The consent authority must, before granting consent under this clause in respect of a heritage item or heritage conservation area, consider the effect of the proposed development on the heritage significance of the item or area concerned. This subclause applies regardless of whether a heritage management document is prepared under subclause (5) or a heritage conservation management plan is submitted under subclause (6).</p>	<p>This Heritage Impact Statement has been prepared to provide the consent authority with the necessary heritage assessment the proposed development will have on the heritage items.</p> <p>As detailed in the discussion in the table below there are no detrimental heritage impacts on elements of the heritage-listed buildings and significant features of the place.</p>
<p>(5) Heritage assessment</p> <p>The consent authority may, before granting consent to any development:</p> <p>(a) on land on which a heritage item is located, or</p> <p>(b) on land that is within a heritage conservation area, or</p> <p>(c) on land that is within the vicinity of land referred to in paragraph (a) or (b),</p> <p>require a heritage management document to be prepared that assesses the extent to which the carrying out of the proposed development would affect the heritage significance of the heritage item or heritage conservation area concerned.</p>	<p>This HIS has been prepared to assess the heritage impact of the proposed works on heritage items. It will be submitted to Council as part of the development application.</p>

5.2.2. Development Control Plan

The proposed works are addressed in the table below in relation to the relevant provisions in the *Penrith DCP 2014*.

Table 3 –Development Control Plan

Clause	Discussion
<p>7.1.2. Heritage Items</p> <p>1) Development Application</p> <p>a) Any Heritage Impact Statement for development that may impact on a heritage item must address the following (at a minimum):</p> <p>a) The heritage significance of the item as part of the environmental heritage of Penrith;</p> <p>b) The impact that the proposed development will have on the heritage significance of the item and its setting, including any landscape or horticultural features;</p> <p>c) The measures proposed to conserve the heritage significance of the item and its setting;</p> <p>d) Whether any archaeological site would be adversely affected by the proposed development;</p> <p>e) The extent to which the carrying out of the proposed development would affect the form of any significant subdivision pattern; and</p> <p>f) The issues raised by any submission received in relation to the proposed development in response to the notification or advertising of the application</p>	<p>The proposed works at Nepean Village will have no impact on the significance of the two heritage items at 146 and 148 Station Street.</p> <p>The proposed works are confined to the exterior zones within the curtilage of the heritage items. No internal works are proposed.</p> <p>The principal works, comprising a pergola and awning between the heritage items to provide a covered walkway on the east/west axis, and a lower pergola and awning forming an all-weather outdoor dining area, are assessed as having no detrimental impact on the significance of the heritage items.</p> <p>This proposal retains the existing use of 146 Station Street as a café and proposes a change of use of 148 Station Street to a dining and alcohol establishment. The proposed change of use of 148 Station Street is in keeping with the previous conversion of the neighbouring heritage item, 146 Station Street, to Percy Plunkett Café. There are no associated internal physical works proposed under this application in accordance with the change of use of the item. The use is generally considered to be appropriate however any future application associated with the new uses must consider the impact on the heritage fabric and be designed in close consultation with a heritage consultant.</p> <p>An extant mature tree centred between the two heritage items close to the Station Street frontage is to be retained as part of the proposed landscape works. As such and given the sympathetic design of the pergola the existing presentation of the heritage items to the street would be retained.</p> <p>Additional landscape elements are located adjoining the heritage items and are minor in nature. They are therefore assessed as having no detrimental visual impact on the heritage items and generally enhance the presentation of their setting.</p> <p>The proposed seating would read as furniture and would not dominate the significant fabric. Conversely, it would activate the area around the items and enhance appreciation of the significant fabric.</p>
<p>C Controls</p> <p>b) Development of a heritage item must:</p> <p>c) Protect the setting of the heritage item;</p> <p>d) Retain significant internal and external fabric and building elements;</p>	<p>The proposed works have been sympathetically designed such that there is no detrimental impact on the secondary external elevations of the two heritage items. The pergola and awning structure is a self-supporting structure fixed in to the pavement by a series of upright steel columns. The pergola is below the eave's height of 146 Station Street and does not truncate the windows along the south western façade of the item.</p> <p>The columns are set back from the heritage buildings between 300 and 400mm. The translucent roof provides light and views through the structure to the heritage buildings.</p>

Clause	Discussion
<p>e) Retain significant internal and external spaces;</p> <p>h) Use materials, finishes and colours that are appropriate to the significant periods of development or architectural character of the item.</p>	<p>The second pergola and awning structure is set at a lower height than that adjacent to 146 Station Street. The translucent structure is designed to provide light and views to and from the heritage items. The pergola structure is in closest proximity to the heritage fabric to the rear (east) of the building at 148 Station Street. The pergola has been designed in this area such that it is located above the eaves line of the rear roof form. This is acceptable in this area given the rear roof form constitutes a later extension and to achieve an appropriate head height for the seating area beyond.</p> <p>The material finish proposed in the pergola and awning include charcoal finish to pergola steel beams and columns with translucent danpolon roofing (walkway section), timber-look finish to awnings, steel beams and columns and translucent danpolon roofing, will contrast with the traditional brick construction on the two late-Victorian villas at 146 and 148 Station Street. The proposed works are constructed in modern materials to visually distinguish between the old and the new fabric.</p> <p>The proposed development has no physical impact on the significant fabric.</p>
<p>7.1.14 Design Guidelines</p> <p>C Controls</p> <p>2) Alterations and additions</p> <p>a) Single storey additions may comprise the following forms:</p> <p>i) Linked pavilions;</p> <p>ii) Attached wings;</p> <p>iii) Detached pavilions; and</p> <p>iv) Attached L-shaped wings.</p> <p>b) Additions should not extend beyond side boundary setbacks.</p> <p>c) Attached additions shall have wall indentations to clearly separate the old from the new and articulate wall length.</p>	<p>The pergola structure is in closest proximity to the heritage fabric to the rear (east) of the building at 148 Station Street. The pergola has been designed in this area such that it is located above the eaves line of the rear roof form. This is acceptable in this area given the rear roof form constitutes a later extension and to achieve an appropriate head height for the seating area beyond. The steel framework profile and choice of translucent awning delineates the new structure from the old and designed to be read as a new element.</p> <p>The structure covers the existing pedestrian walkway between 146 and 148 Station Street and then extends eastward to cover the proposed outdoor dining area and providing a connection to the two-storey late 1980s building immediately east.</p> <p>The higher walkway pergola is set back 330 to 400mm from the significant side elevations of the two heritage items. It does not extend beyond the respective side boundary setbacks.</p> <p>The proposed development has no impact on significant external fabric on the heritage items.</p>
<p>7.1.15 Development in the Vicinity of a Heritage Item or Conservation Area</p> <p>C. Controls</p> <p>1) A Heritage Impact Statement shall be lodged with a development application for buildings or works in the vicinity of a heritage item or heritage conservation area. This clause extends to development that:</p>	<p>The proposed works comprise green planting and pergola structures creating a laneway and outdoor dining precinct to replace an underutilised space in the Nepean Village Shopping Centre. The precinct is an existing part of the Nepean Village providing a mix of food and drink and commercial premises. The proposed works have considered the heritage character of the site with the intention to integrate sympathetic elements throughout the site to create a cohesive dining space.</p> <p>There are no proposed changes to the bulk and scale of the significant fabric.</p>

Clause	Discussion
<p>a) May have an impact on the setting of a heritage item or conservation area, for example, by affecting a significant view to or from the item or by overshadowing; or</p> <p>b) May undermine or otherwise cause physical damage to a heritage item; or</p> <p>c) Will otherwise have any adverse impact on the heritage significance of a heritage item or any heritage conservation area within which it is situated.</p> <p>2) The following issues must be addressed in the Heritage Impact Statement:</p> <p>a) The impact of the proposed development on the heritage significance, visual curtilage and setting of the heritage item;</p> <p>b) Details of the size, shape and scale of, setbacks for, and the materials to be used in, any proposed buildings or works; and</p> <p>c) Details of any modification that would reduce the impact of the proposed development on the heritage significance of the heritage item.</p>	<p>The two buildings to the eastern boundary of the site, to the rear of the significant building fronting Station Street, are recent building of no heritage significance. The minor works to these buildings have no potential to have an impact on the significance of the items as a whole.</p> <p>The proposed works are largely confined to landscaping structures adjoining the heritage items including bike rack and trolley bay at graded entry, painting of walls and roofs of the pair of 1980s brick buildings on the subject site east of the heritage items. These works are minor, generally consolidate existing services and enhance the presentation of the heritage items.</p> <p>A new trellis structure and branding/signage zone is attached to the 1980s buildings and has a minimal visual impact on the significance of the heritage items. New paint finish to existing walls and metal roof of the two-storey brick building east of 148 Station Street has been selected to complement the character of the heritage items.</p> <p>There is a proposed signage zone on the rear wall of "Kentucky" which is not an original portion of the building. This is acceptable in heritage terms and consistent with the existing use of the property.</p> <p>The design and finishes of the new fabric are designed to mitigate the visual impact on the heritage character of the items. The translucent roof provides light and visual access to and from the heritage items.</p>

5.3. HERITAGE DIVISION GUIDELINES

The proposed works are addressed in relation to relevant questions posed in the Heritage Division's 'Statement of Heritage Impact' guidelines.

Table 4 – Heritage Division Guidelines

Question	Discussion
<p>The following aspects of the proposal respect or enhance the heritage significance of the item or conservation area for the following reasons:</p>	<p>The proposed taller pergola and awning partly spans the heritage items on an east / west axis and provides a distinct pedestrian access from Station Street to the Nepean Village. This is a self-supporting structure connecting Station Street with the adjoining outdoor dining precinct and further east to the carpark and shopping centre area. The walkway pergola is aligned with the eaves of the roofs and below the fascia to conserve views from the publicly accessible domain of Station Street and the outdoor dining precinct to the east.</p> <p>The secondary pergola and awning connects the rear (east) elevation of 148 Station Street and the late 1980s two-storey building immediately east to provide all-weather outdoor dining areas.</p> <p>An extant mature tree between 146 and 148 Station Street is retained in the proposed outdoor dining proposal.</p>
<p>The following aspects of the proposal could detrimentally impact on heritage significance.</p> <p>The reasons are explained as well as the measures to be taken to minimise impacts:</p>	<p>There are no aspects of the proposal which are anticipated to have a detrimental impact on the significance of either heritage item.</p>
<p>The following sympathetic solutions have been considered and discounted for the following reasons:</p>	<p>N/A</p>
<p>Minor additions</p> <p>How is the impact of the addition on the heritage significance of the item to be minimised?</p> <p>Can the additional area be located within an existing structure? If no, why not?</p> <p>Will the additions visually dominate the heritage item?</p> <p>Is the addition sited on any known or potentially significant archaeological deposits? If so, have alternative positions for the additions been considered?</p> <p>Are the additions sympathetic to the heritage item? In what way (e.g. form, proportions, design)?</p>	<p>The north end of the pergola structure has been sympathetically designed such that it is significantly below the eaves line of both significant building which face station street. It is also substantially set back from the primary (west) façade of 148 Station Street and substantially set back from the west corner of the building at 146 Station Street. As such, when viewed from the street the additional pergola structure would not have a detrimental visual impact.</p> <p>The retention of the mature tree midway along the walkway in the alley between the heritage items is a positive impact and partially blocks views to the late 1980s buildings to the east.</p> <p>The pergola and awning connecting the rear (east) roofline of 148 Station Street with the two-storey late 1980s brick building (Nando's and Italian Restaurant) is a similar recessive structure painted in muted colours so as to not dominate the heritage items.</p>

Question	Discussion
	Additional minor works comprise landscape, signage zone and wayfaring devices which have nil detrimental impact on the significance of the heritage items.
<p>Change of use</p> <p>Has the advice of a heritage consultant or structural engineer been sought?</p> <p>Has the consultant's advice been implemented? If not, why not?</p> <p>Does the existing use contribute to the significance of the heritage item?</p> <p>Why does the use need to be changed?</p> <p>What changes to the fabric are required as a result of the change of use?</p> <p>What changes to the site are required as a result of the change of use?</p>	<p>The proposed change of use of 148 Station Street is in accordance with the restaurant conversion of the neighbouring heritage item, "Kentucky" villa. The proposed wine bar is assessed to have only minimal detrimental impact on the significance of the heritage item.</p> <p>This development application does not include any fit-out or operational details for the proposed food and drink premises. Approval of the change of use of 148 Station Street, from a heritage standpoint, would be subject to heritage oversight of detailed drawings and a schedule of fabric and finishes.</p>
<p>Repainting</p> <p>Have previous (including original) colour schemes been investigated? Are previous schemes being reinstated?</p> <p>Will the repainting effect the conservation of the fabric of the heritage item?</p>	<p>The buildings adjoining the two heritage items are proposed to be repainted, including the existing roof and awnings, of the two-storey building occupied by Nando's and Italian Restaurant.</p> <p>There is no detrimental impact on the significance of the heritage items.</p>
<p>New landscape works (including car parking and fences)</p> <p>How has the impact of the new work on the heritage significance of the existing landscape been minimised?</p> <p>Has evidence (archival and physical) of previous landscape work been investigated? Are previous works being reinstated?</p> <p>Has the advice of a consultant skilled in the conservation of heritage landscapes been sought? If so, have their recommendations been implemented?</p> <p>Are any known or potential archaeological deposits affected by the landscape works? If so, what alternatives have been considered?</p> <p>How does the work impact on views to, and from, adjacent heritage items?</p>	<p>Proposed landscape works are located on the land adjoining the subject site and includes new brickwork landscape planted beds, trellis and signage zones, bike racks and lighting. These are designed to either replace existing fittings or insert new fabric adjoining the heritage items.</p> <p>There is no proposed removal of trees in this development application.</p> <p>There is no known archaeological potential on the site.</p>

6. CONCLUSION AND RECOMMENDATIONS

Urbis Heritage supports the proposed development of the subject site at 146 and 148 Station Street, Penrith being part of Nepean Village. It is proposed to retain and conserve the features, fabric, spaces and elements of heritage significance in the two local listed items.

The proposed new pergola and awning has no detrimental impacts on the heritage significance of two Late-Victorian period dwellings. The proposed change of use of 148 Station Street is supported on heritage grounds and is in accordance with the conversion of the adjoining heritage item (146 Station Street) as the Percy Plunkett Café. There are no associated internal physical works proposed under this application in accordance with the change of use of the items. The uses are generally considered to be appropriate however any future application associated with the new uses must consider the impact on the heritage fabric.

7. BIBLIOGRAPHY

7.1. INTERNET SOURCES

Department of Lands 2018, Spatial Information Exchange, Department of Lands, Sydney, available at: <<http://imagery.maps.nsw.gov.au/>>.

Google Maps 2018, Aerial view of subject site, available at: <<http://maps.google.com.au/maps?hl=en&tab=wl>>.

Knapp. 1833, Plan of Capt. Woodriffe's grant at Penrith , viewed 25 October 2019 <http://nla.gov.au/nla.obj-231443134>

7.2. PRIMARY SOURCES

7.2.1. NSW Land and Registry Services

Old System Deeds: Bk 347 No 670, Bk 351 No 651, Bk 2765 No 857, Bk 3411 No 926, Bk 348 No 463, BK 600 No 153; Bk 3600 No 24

Deposited Plans: 715161; 709313

7.2.2. Newspapers

Nepean Times: 11/7/1986 p4; 19/2/1898 p4

7.3. SECONDARY SROUCES

Apperly, R., Irving, R. and Reynolds, P. (eds) 2002, A Pictorial Guide to Identifying Australian Architecture: Styles and Terms from 1788 to the Present, Angus and Robertson, Pymble.

Australia ICOMOS 1999, The Burra Charter: 2013 The Australia ICOMOS Charter for Places of Cultural Significance, Australia ICOMOS, Burwood.

Heritage Office and Department of Urban Affairs & Planning 1996, NSW Heritage Manual, Heritage Office and Department of Urban Affairs & Planning (NSW), Sydney.

Heritage Office 2001, Assessing Heritage Significance, Heritage Office, Parramatta.

[Note: Some government departments have changed their names over time and the above publications state the name at the time of publication.]

DISCLAIMER

This report is dated 31 October 2019 and incorporates information and events up to that date only and excludes any information arising, or event occurring, after that date which may affect the validity of Urbis Pty Ltd's (**Urbis**) opinion in this report. Urbis prepared this report on the instructions, and for the benefit only, of Vicinity Centres (**Instructing Party**) for the purpose of Heritage Impact Statement (**Purpose**) and not for any other purpose or use. To the extent permitted by applicable law, Urbis expressly disclaims all liability, whether direct or indirect, to the Instructing Party which relies or purports to rely on this report for any purpose other than the Purpose, and to any other person which relies or purports to rely on this report for any purpose whatsoever (including the Purpose).

In preparing this report, Urbis was required to make judgements which may be affected by unforeseen future events, the likelihood and effects of which are not capable of precise assessment.

All surveys, forecasts, projections and recommendations contained in or associated with this report are made in good faith and on the basis of information supplied to Urbis at the date of this report, and upon which Urbis relied. Achievement of the projections and budgets set out in this report will depend, among other things, on the actions of others over which Urbis has no control.

In preparing this report, Urbis may rely on or refer to documents in a language other than English, which Urbis may arrange to be translated. Urbis is not responsible for the accuracy or completeness of such translations and disclaims any liability for any statement or opinion made in this report being inaccurate or incomplete arising from such translations.

Whilst Urbis has made all reasonable inquiries it believes necessary in preparing this report, it is not responsible for determining the completeness or accuracy of information provided to it. Urbis (including its officers and personnel) is not liable for any errors or omissions, including in information provided by the Instructing Party or another person or upon which Urbis relies, provided that such errors or omissions are not made by Urbis recklessly or in bad faith.

This report has been prepared with due care and diligence by Urbis and the statements and opinions given by Urbis in this report are given in good faith and in the reasonable belief that they are correct and not misleading, subject to the limitations above.

word



URBIS.COM.AU