



FRONT PERSPECTIVE

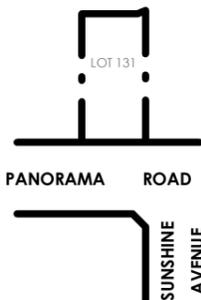
Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: PERSPECTIVE	Job No.: 221015	Issue	Date	Description	Drawn	
				OWNER ACCEPTANCE		A	09.08.2021	CONCEPT DESIGN PLAN	QK
				OWNER SIGNATURE		DATE	B	26.10.2021	ISSUE FOR DA
Council: PENRITH DP No. : 216783 Approval Type: DA				Paper: A3	Scale:	C	26.11.2021	BUSHFIRE NOTES	C.V.
Client: Mr. Anthony Law				Sheet No: 00.0	Date: 22.10.2021				
				OWNER SIGNATURE		DATE			
						DATE			

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 Version: 1, Version Date: 02/12/2021

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LOCATION PLAN
(NOT TO SCALE)

LATITUDE: -33.743579
LONGITUDE: 150.704419

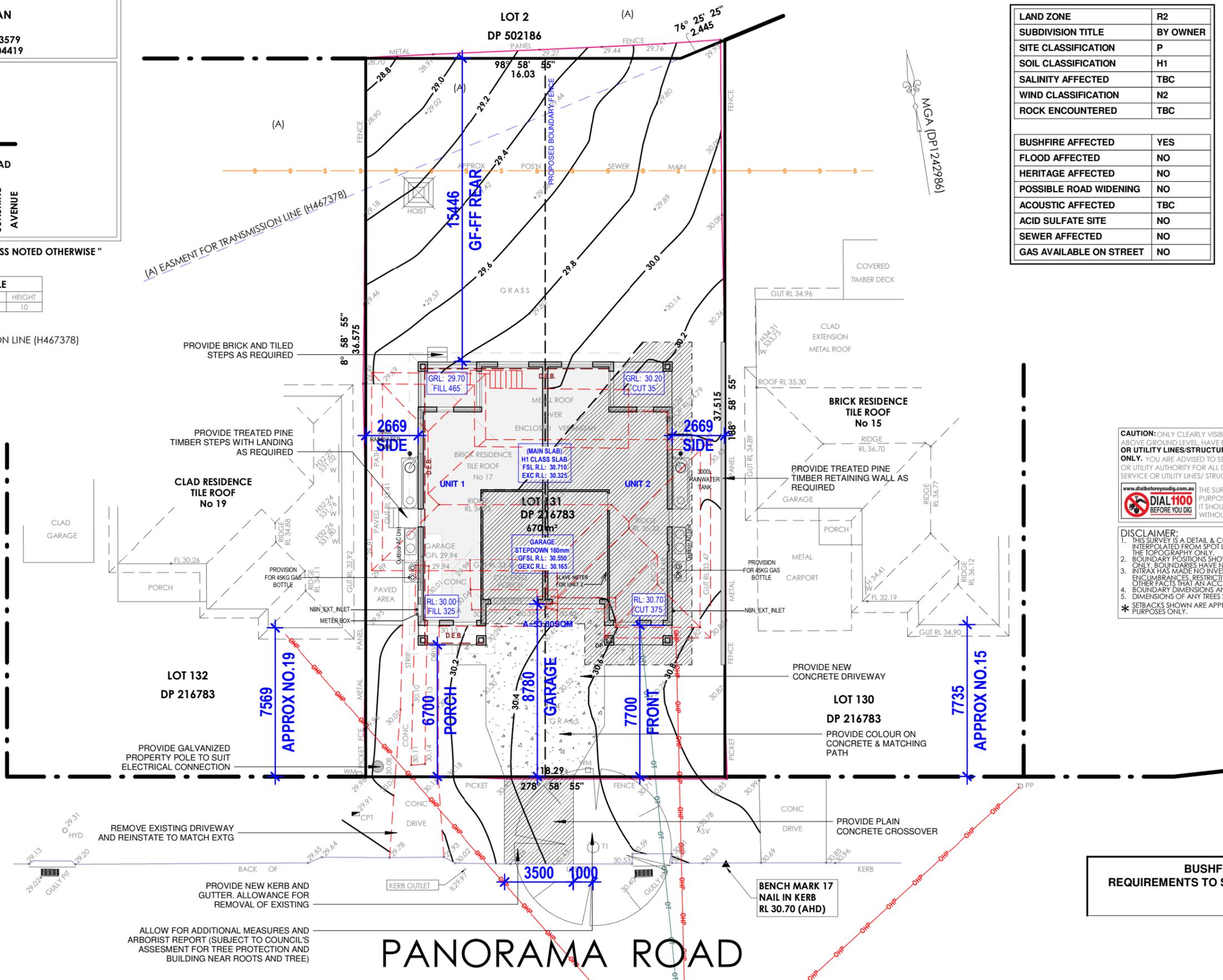


"ALL BOUNDARIES NOT FENCED UNLESS NOTED OTHERWISE"

TREE SCHEDULE

NO.	DIAMETER	SPREAD	HEIGHT
TI	0.6	8	10

(A) EASMENT FOR TRANSMISSION LINE (H467378)



LAND ZONE	R2
SUBDIVISION TITLE	BY OWNER
SITE CLASSIFICATION	P
SOIL CLASSIFICATION	H1
SALINITY AFFECTED	TBC
WIND CLASSIFICATION	N2
ROCK ENCOUNTERED	TBC
BUSHFIRE AFFECTED	YES
FLOOD AFFECTED	NO
HERITAGE AFFECTED	NO
POSSIBLE ROAD WIDENING	NO
ACOUSTIC AFFECTED	TBC
ACID SULFATE SITE	NO
SEWER AFFECTED	NO
GAS AVAILABLE ON STREET	NO

LEGEND:

- S - S: Approx. Location Underground Sewer Mains
- W - W: Approx. Location Underground Water Mains
- T - T: Approx. Location Underground Telecommunications Line
- OT - OT: Approx. Location Overhead Telecommunications Line
- G - G: Approx. Location Underground Gas Mains
- OHP - OHP: Approx. Location Overhead Power Supply
- Back of Kerb
- Edge of Bitumen
- PP: Power Pole
- PB: Power Box
- SP: Service Pole
- LP: Light Pole
- HYD: Hydrant
- WM: Water Meter
- SV: Stop Valve
- SMH: Sewer Maintenance Hole
- SIO: Sewer Inspection Opening
- CPT: Telecommunications Pit
- Gas Meter
- Kerb Inlet Stormwater Pit
- Grated Stormwater Pit
- Benchmark
- Photo Aspect
- Gutter Level
- Ridge Level
- Tree
- GDN: Garden

CAUTION: ONLY CLEARLY VISIBLE SERVICES OR UTILITY STRUCTURES, ON OR ABOVE GROUND LEVEL, HAVE BEEN SURVEYED. THE LOCATION OF ALL SERVICES OR UTILITY LINES/STRUCTURES SHOWN IN THIS DIAGRAM ARE APPROXIMATE ONLY. YOU ARE ADVISED TO SEEK INFORMATION FROM THE RELEVANT SERVICE OR UTILITY AUTHORITY FOR ALL DETAILS OF DEPTH AND/OR LOCATION OF SERVICE OR UTILITY LINES/STRUCTURES WHICH SUPPLY THE SUBJECT PROPERTY.

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DIAL 1100 BEFORE YOU DIG

THE SURVEY INFORMATION SHOWN IS FOR THE SPECIFIC PURPOSE AS INSTRUCTED BY THE CLIENT ONLY. IT SHOULD NOT BE USED FOR ANY OTHER PURPOSE WITHOUT PERMISSION OF INTRAX.

DISCLAIMER:

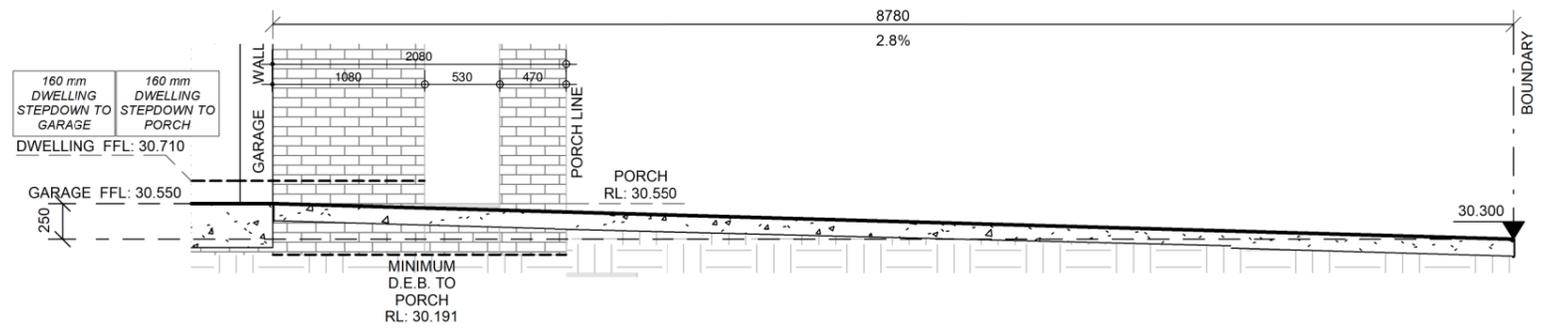
- THIS SURVEY IS A DETAIL & CONTOUR SURVEY. CONTOURS SHOWN HAVE BEEN INTERPOLATED FROM SPOT LEVELS TAKEN ON-SITE AND ARE A REPRESENTATION OF THE TOPOGRAPHY ONLY.
- BOUNDARY POSITIONS SHOWN ARE APPROXIMATE AND FOR PLANNING PURPOSES ONLY. BOUNDARIES HAVE NOT BEEN INVESTIGATED OR MARKED.
- INTRAX HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- BOUNDARY DIMENSIONS AND AREAS ARE DERIVED FROM THE DEPOSITED PLAN. DIMENSIONS OF ANY TREES SHOWN ON THE PLAN ARE APPROXIMATE.
- SETBACKS SHOWN ARE APPROXIMATE. THEY HAVE BEEN DERIVED FOR PLANNING PURPOSES ONLY.

BUSHFIRE PRONE AREA
REQUIREMENTS TO SUIT BUSHFIRE ATTACK LEVEL
12.5

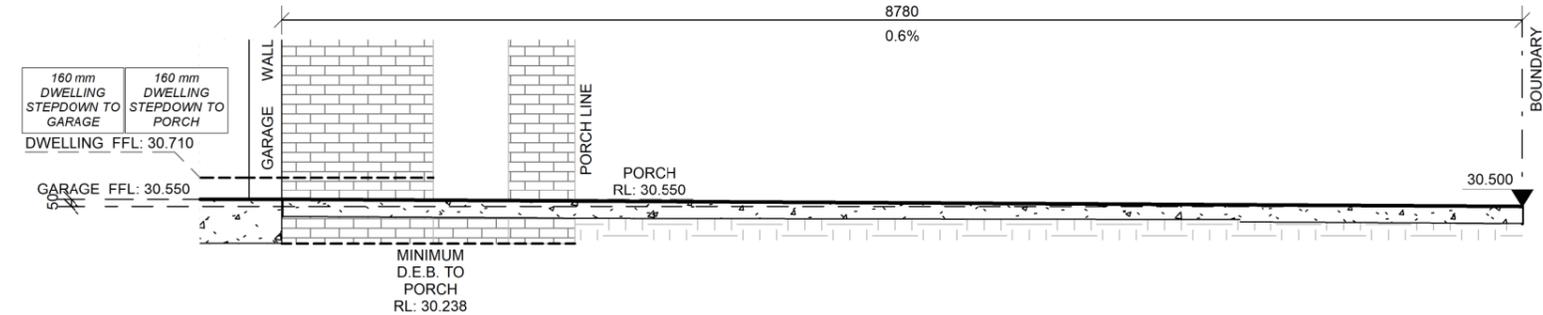
PENRITH LEP 2010
PENRITH DCP 2014

1 SITE PLAN
1 : 200

Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: SITE PLAN	Job No.: 221015	Issue	Date	Description	Drawn	
				OWNER ACCEPTANCE		A	09.08.2021	CONCEPT DESIGN PLAN	QK
				OWNER SIGNATURE		B	26.10.2021	ISSUE FOR DA	RB
Council: PENRITH DP No.: 216783 Approval Type: DA				OWNER SIGNATURE		C	26.11.2021	BUSHFIRE NOTES	C.V.
				OWNER SIGNATURE		DATE		DATE	
Client: Mr. Anthony Law Paper: A3 Scale: 1 : 200 Sheet No: 01.0 Date: 22.10.2021			Date: 22.10.2021		Date: 22.10.2021		Date: 22.10.2021		

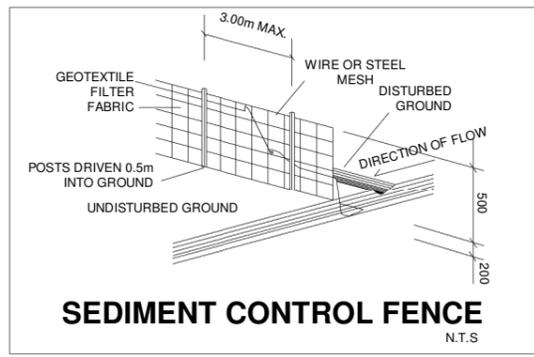


1 DRIVEWAY GRADIENT-UNIT 1
1 : 50



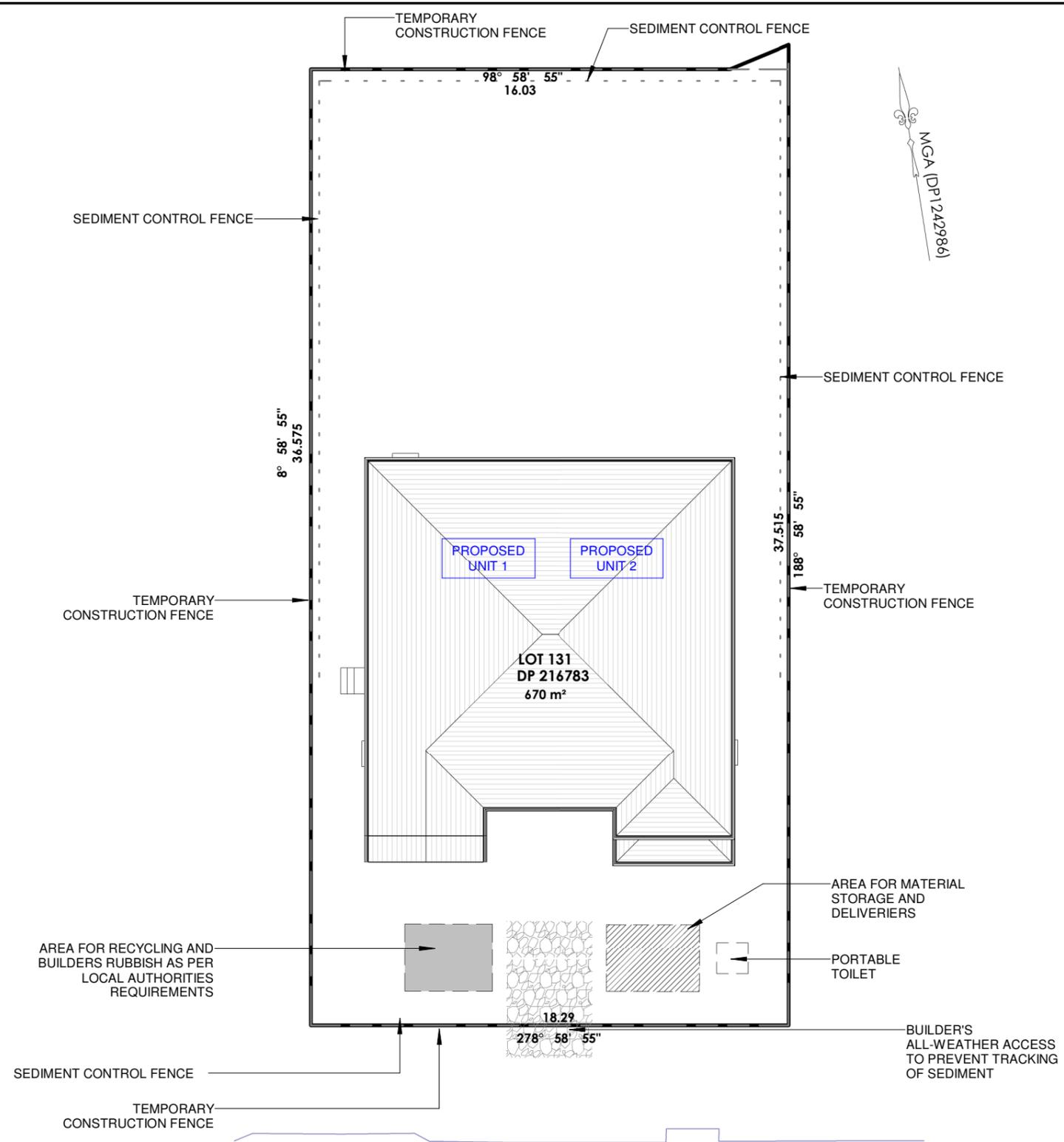
2 DRIVEWAY GRADIENT -UNIT 2
1 : 50

Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: DRIVEWAY GRADIENT	Job No.: 221015	Issue	Date	Description	Drawn	
				OWNER ACCEPTANCE		A	09.08.2021	CONCEPT DESIGN PLAN	QK
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Council: PENRITH DP No.: 216783 Approval Type: DA				OWNER SIGNATURE _____ DATE _____		C	26.11.2021	BUSHFIRE NOTES	C.V.
						OWNER SIGNATURE _____ DATE _____			
Paper: A3 Scale: 1 : 50 Sheet No.: 01.01 Date: 22.10.2021									



- AREA FOR RECYCLING AND BUILDERS RUBBISH AS PER LOCAL AUTHORITIES REQUIREMENTS
- BUILDER'S ALL-WEATHER ACCESS TO PREVENT TRACKING OF SEDIMENT
- PORTABLE TOILET
- AREA FOR MATERIAL STORAGE AND DELIVERERS
- TEMPORARY CONSTRUCTION FENCE
- SEDIMENT CONTROL FENCE

SITE MAN. LEGEND



PANORAMA ROAD

1 WASTE MANAGEMENT
1 : 200

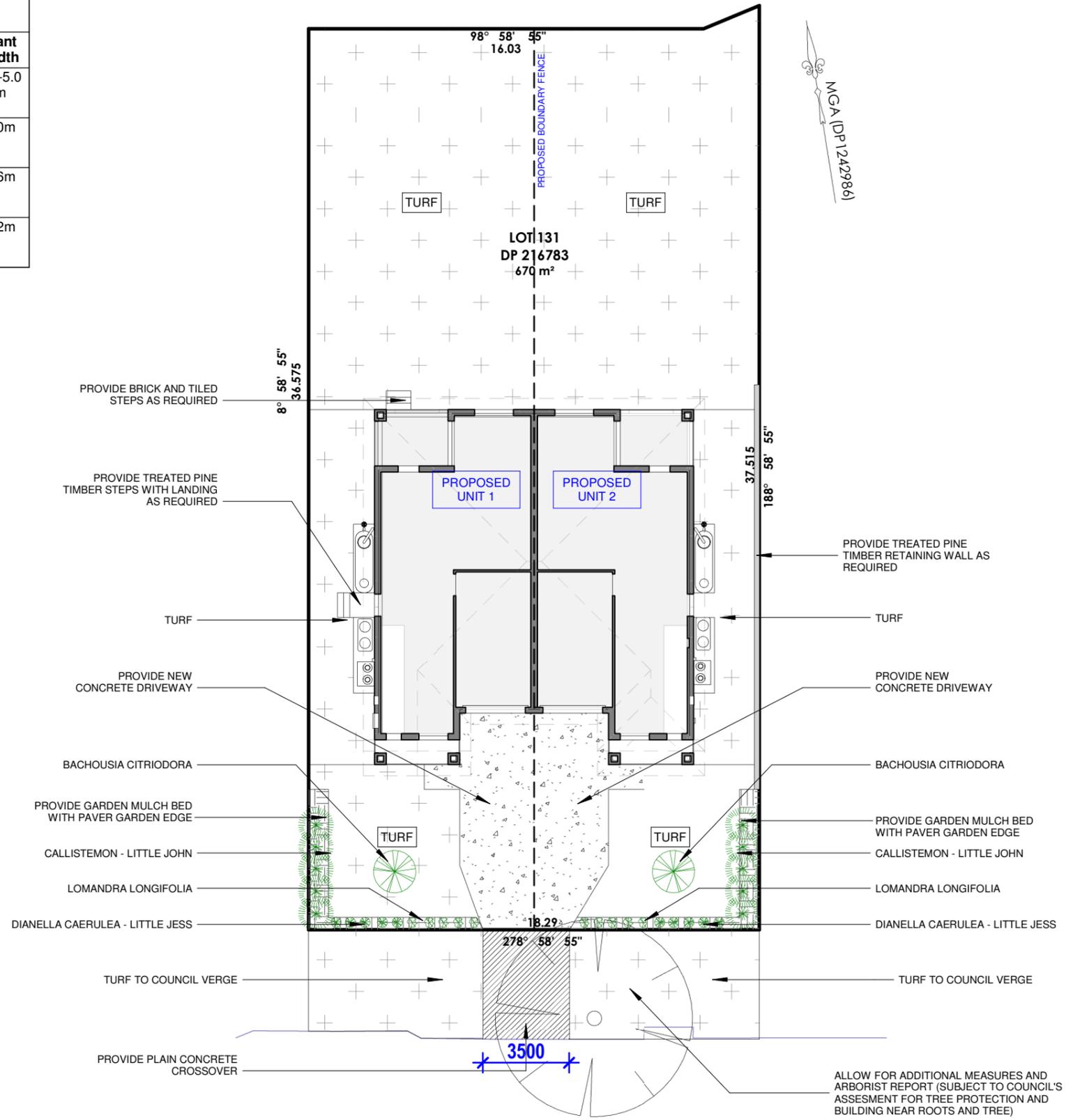
Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: SITE MANAGEMENT PLAN	Job No.: 221015	Issue	Date	Description	Drawn	
				OWNER ACCEPTANCE		A	09.08.2021	CONCEPT DESIGN PLAN	QK
				OWNER ACCEPTANCE		B	26.10.2021	ISSUE FOR DA	RB
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Planting Schedule

Image	Botanical Name	Common Name	Qty	Pot Size	Plant Height	Plant Width
	Bachousia Citriodora	Lemon Scented Myrtle	2	25L	8.0m	3.0-5.0 m
	Callistemon	Little John	10	200mm	1.0m	1.0m
	Dianella Caerulea	Little Jess	10	150mm	0.3m	0.6m
	Lomandra Longifolia	Katrinus Deluxe	10	150mm	0.75m	1.2m

LANDSCAPING TO BE COMPLETED BY OWNER



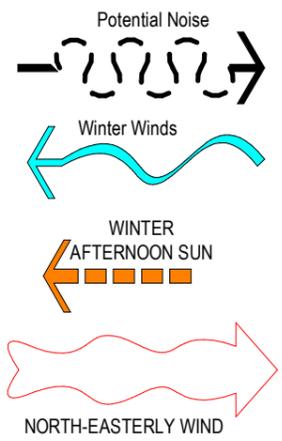
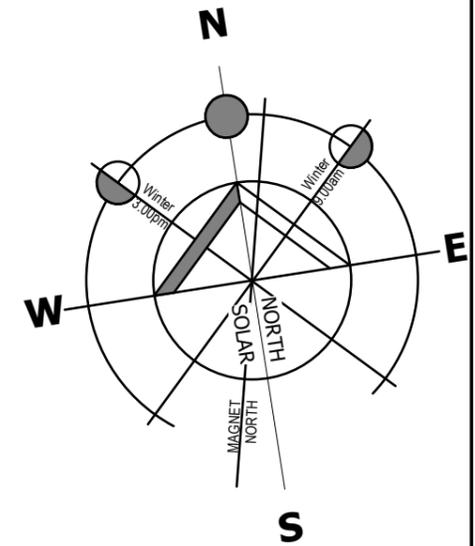
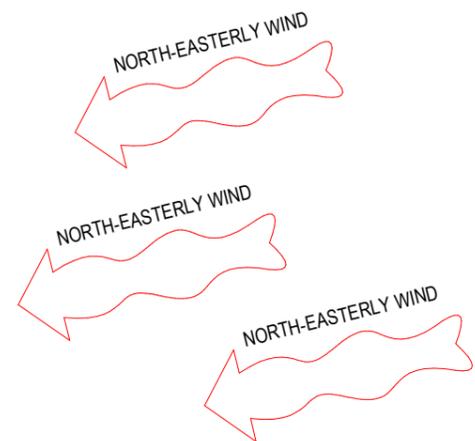
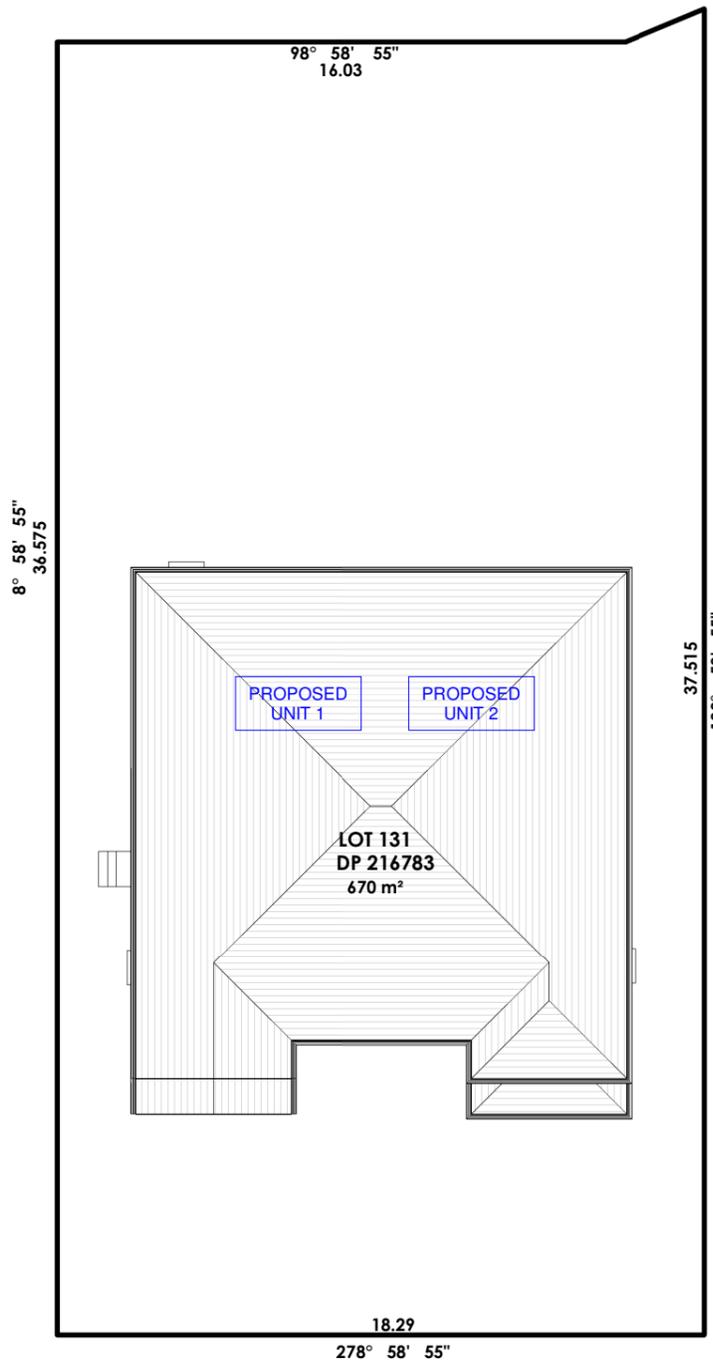
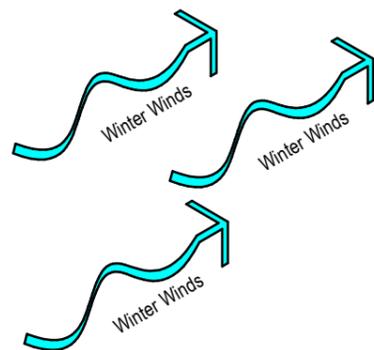
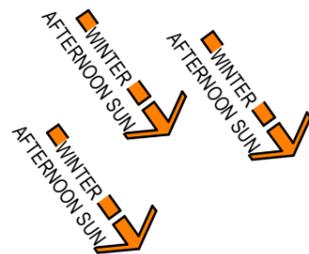
PANORAMA ROAD

1 LANDSCAPE CONCEPT PLAN

1 : 200

Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: LANDSCAPE CONCEPT PLAN	Job No.: 221015	Issue	Date	Description	Drawn		
				OWNER ACCEPTANCE		A	09.08.2021	CONCEPT DESIGN PLAN	QK	
				OWNER SIGNATURE		DATE	B	26.10.2021	ISSUE FOR DA	RB
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				OWNER SIGNATURE		DATE	Council: PENRITH		Paper: A3	Scale: 1 : 200

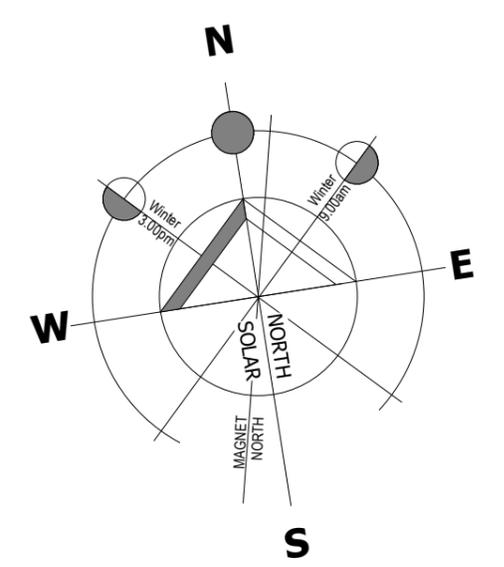
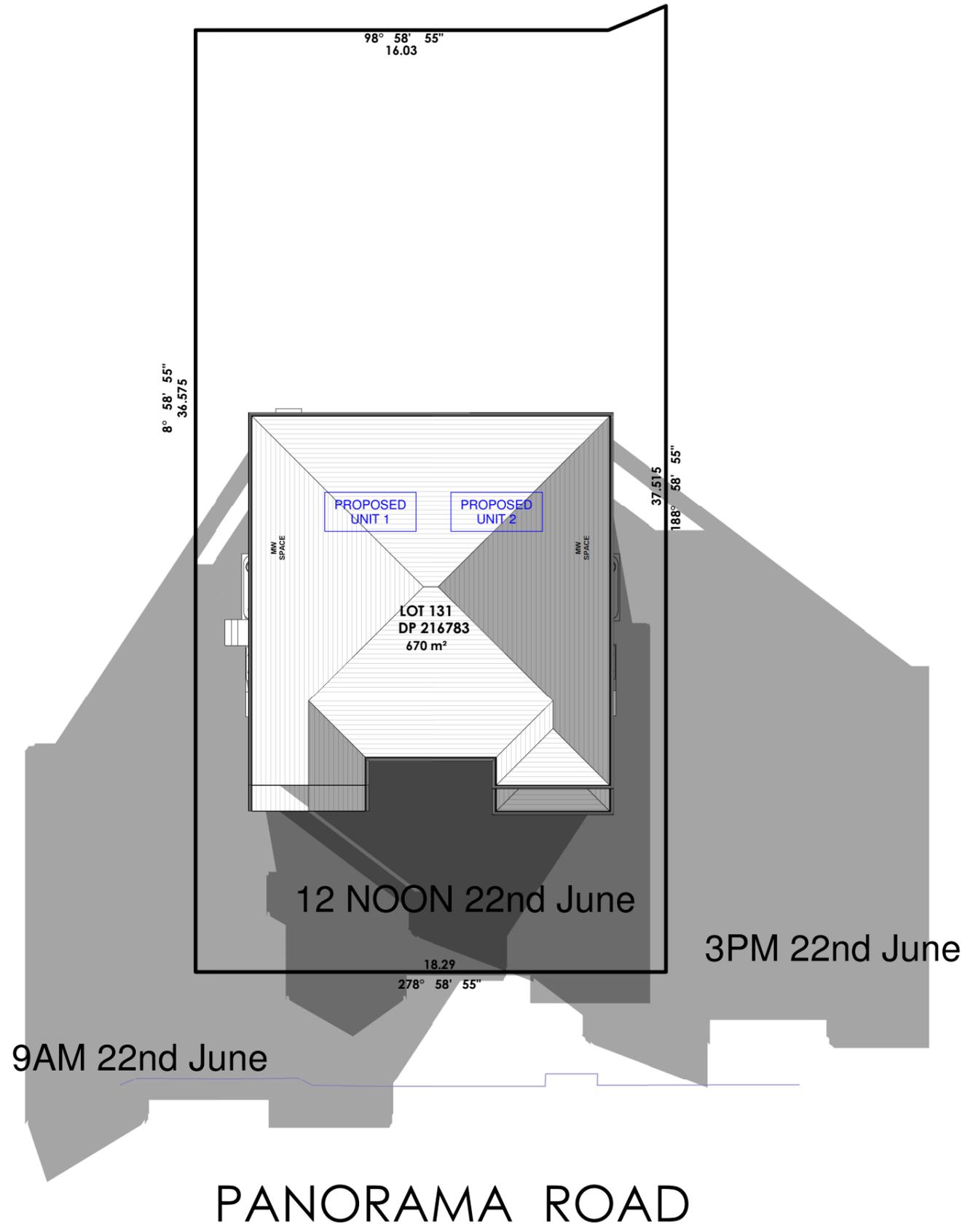
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1 SITE ANALYSIS
1 : 200

SITE LEGEND

Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: SITE ANALYSIS	Job No.: 221015	Issue	Date	Description	Drawn		
				OWNER ACCEPTANCE		A	09.08.2021	CONCEPT DESIGN PLAN	QK	
				OWNER SIGNATURE		DATE				
		Client: Mr. Anthony Law	Paper: A3	Scale: As indicated			B	26.10.2021	ISSUE FOR DA	RB
		Council: PENRITH	DP No.: 216783	Approval Type: DA	Sheet No.: 01.4	Date: 22.10.2021			C	26.11.2021
				OWNER SIGNATURE	DATE					
				OWNER SIGNATURE	DATE					



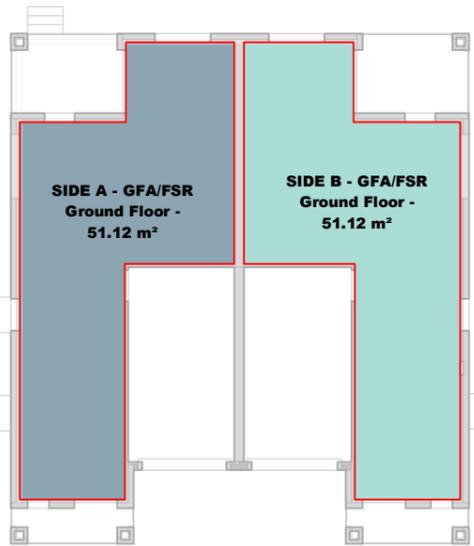
SHADOW DIAGRAMS

PANORAMA ROAD

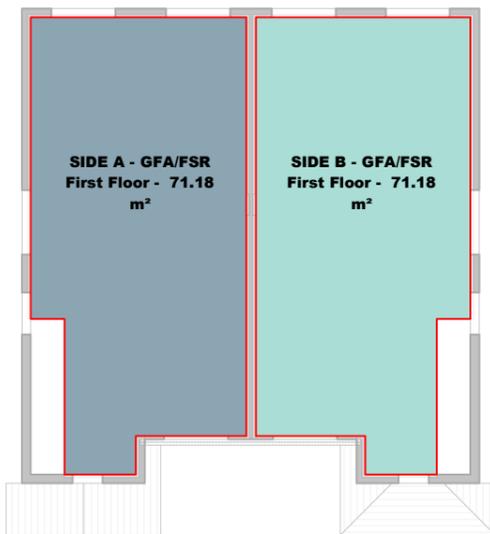
Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: SHADOW DIAGRAM	Job No.: 221015	Issue	Date	Description	Drawn
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					B	26.10.2021	ISSUE FOR DA	RB
Council: PENRITH DP No.: 216783 Approval Type: DA				Paper: A3 Scale: 1 : 200 Sheet No: 01.5 Date: 22.10.2021	C	26.11.2021	BUSHFIRE NOTES	C.V.
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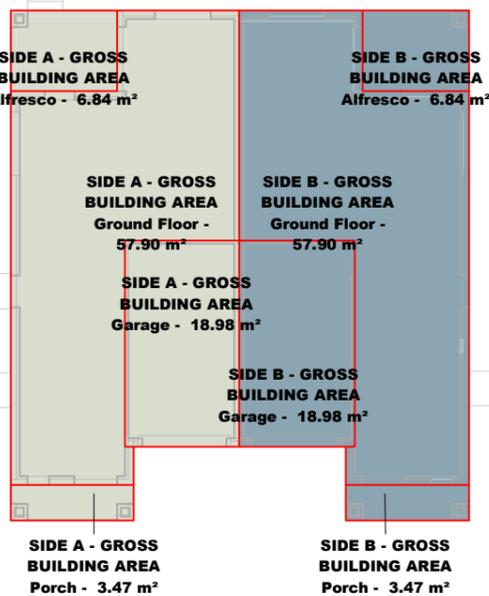
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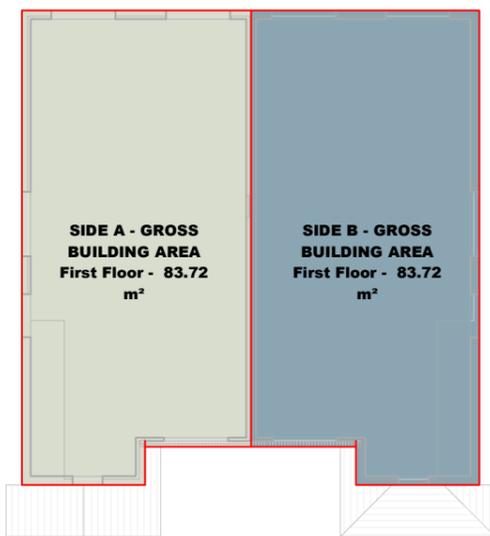
1 GROUND FLOOR - GFA/FSR
1 : 200



2 FIRST FLOOR - GFA/FSR
1 : 200



5 GROUND FLOOR - GROSS
1 : 200



4 FIRST FLOOR - GROSS
1 : 200

Area Schedule (GFA/FSR)	
Name	Areas
Ground Floor	51.12 m ²
First Floor	71.18 m ²
SIDE B - GFA/FSR: 2	122.30 m ²
Ground Floor	51.12 m ²
First Floor	71.18 m ²
SIDE A - GFA/FSR: 2	122.30 m ²

Area Schedule (Landscape Compliance)	
Name	Areas
Front	43.55 m ²
Front	44.37 m ²
Front: 2	87.92 m ²
Rear	178.14 m ²
Rear	177.08 m ²
Rear: 2	355.22 m ²
Grand total: 4	443.14 m ²

Area Schedule (Gross Building)	
Name	Areas
Ground Floor	57.90 m ²
First Floor	83.72 m ²
Garage	18.98 m ²
Porch	3.47 m ²
Alfresco	6.84 m ²
SIDE A - GROSS BUILDING AREA: 5	170.91 m ²

Area Schedule (Gross Building)	
Name	Areas
Ground Floor	57.90 m ²
First Floor	83.72 m ²
Garage	18.98 m ²
Porch	3.47 m ²
Alfresco	6.84 m ²
SIDE B - GROSS BUILDING AREA: 5	170.91 m ²

UNIT 1 - AREAS	
TOTAL SITE AREA:	670.00 m ²
GROUND FLOOR:	57.90 m ²
FIRST FLOOR:	83.72 m ²
GARAGE:	18.98 m ²
PORCH:	3.47 m ²
ALFRESCO:	6.84 m ²
PATIO:	0.00 m ²
UNIT 1 TOTAL:	170.91 m ²

UNIT 2 - AREAS	
GROUND FLOOR:	57.90 m ²
FIRST FLOOR:	83.72 m ²
GARAGE:	18.98 m ²
PORCH:	3.47 m ²
ALFRESCO:	6.84 m ²
PATIO:	0.00 m ²
UNIT 2 TOTAL:	170.91 m ²
TOTAL FLOOR AREA	341.82 m²

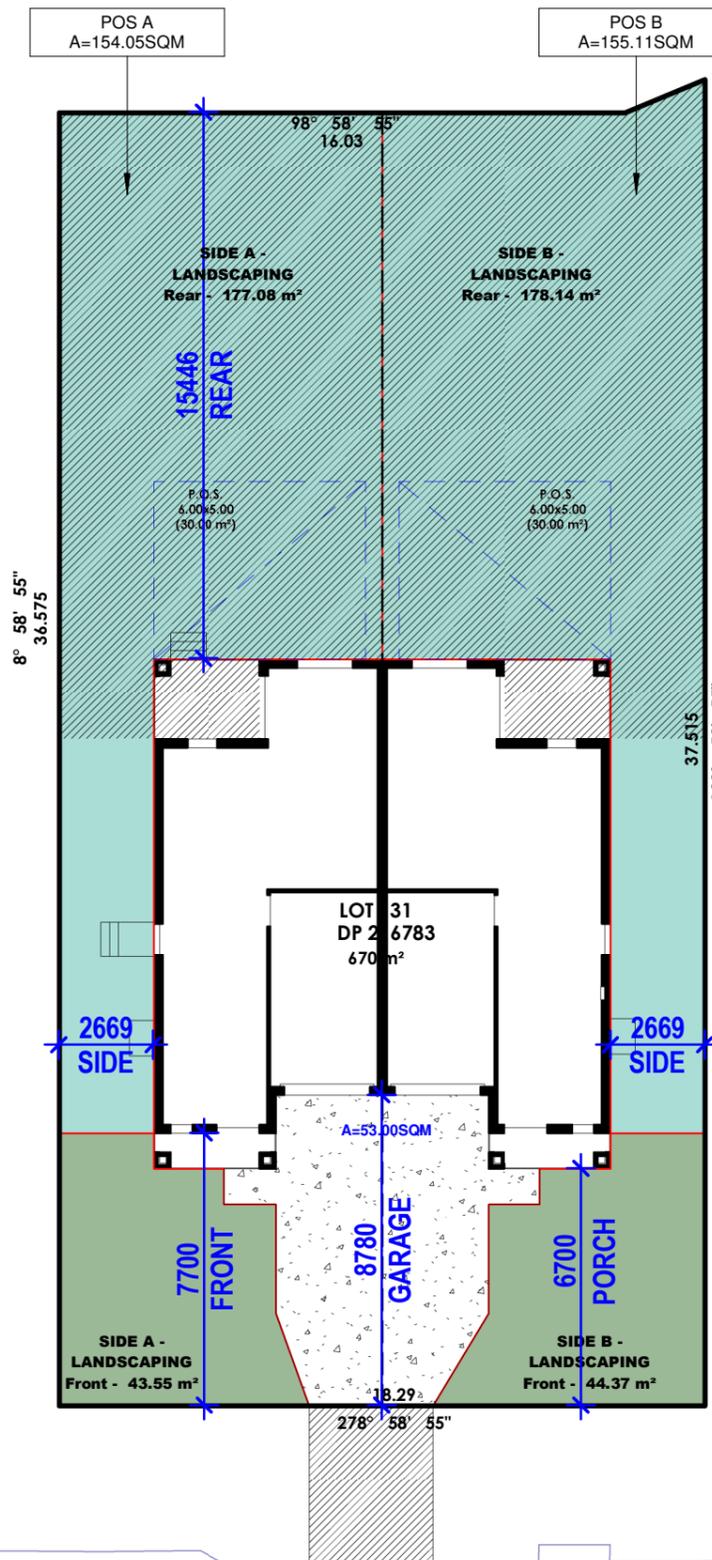
LANDSCAPED AREA	
SITE AREA:	670.00 m ²
TOTAL HARD SURFACE AREAS:	226.86 m ²
REMAINING SOFT AREA:	443.14 m ²
LANDSCAPE AREA:	66.1 %
MIN. REQ. BY COUNCIL:	50.0 %

P.O.S. AREA U1	154.05 m ² (23.0%)
MIN. REQ. BY COUNCIL:	30 M ²

P.O.S. AREA U2	155.11 m ² (23.2%)
MIN. REQ. BY COUNCIL:	30 M ²

FLOOR SPACE RATIO	
UNIT 1	
GF F.S.R.:	51.12 m ²
FF F.S.R.:	71.18 m ²
UNIT 2	
GF F.S.R.:	51.12 m ²
FF F.S.R.:	71.18 m ²
TOTAL F.S.R.:	244.60 m ² (36.51%)

MAX. REQ. BY COUNCIL:



3 LANDSCAPING AREA
1 : 200

Product: **DAINTREE 18** Facade: **CLASSIC**

ZACHomes

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Site Address: Lot 131 17 Panorama Road Penrith NSW 2750

Council: PENRITH

DP No.: 216783 Approval Type: DA

Title: GROSS FLOOR AREA/F.S.R.

Client: Mr. Anthony Law

Paper: A3 Scale: 1 : 200

Sheet No: 01.6 Date: 22.10.2021

Job No.: 221015

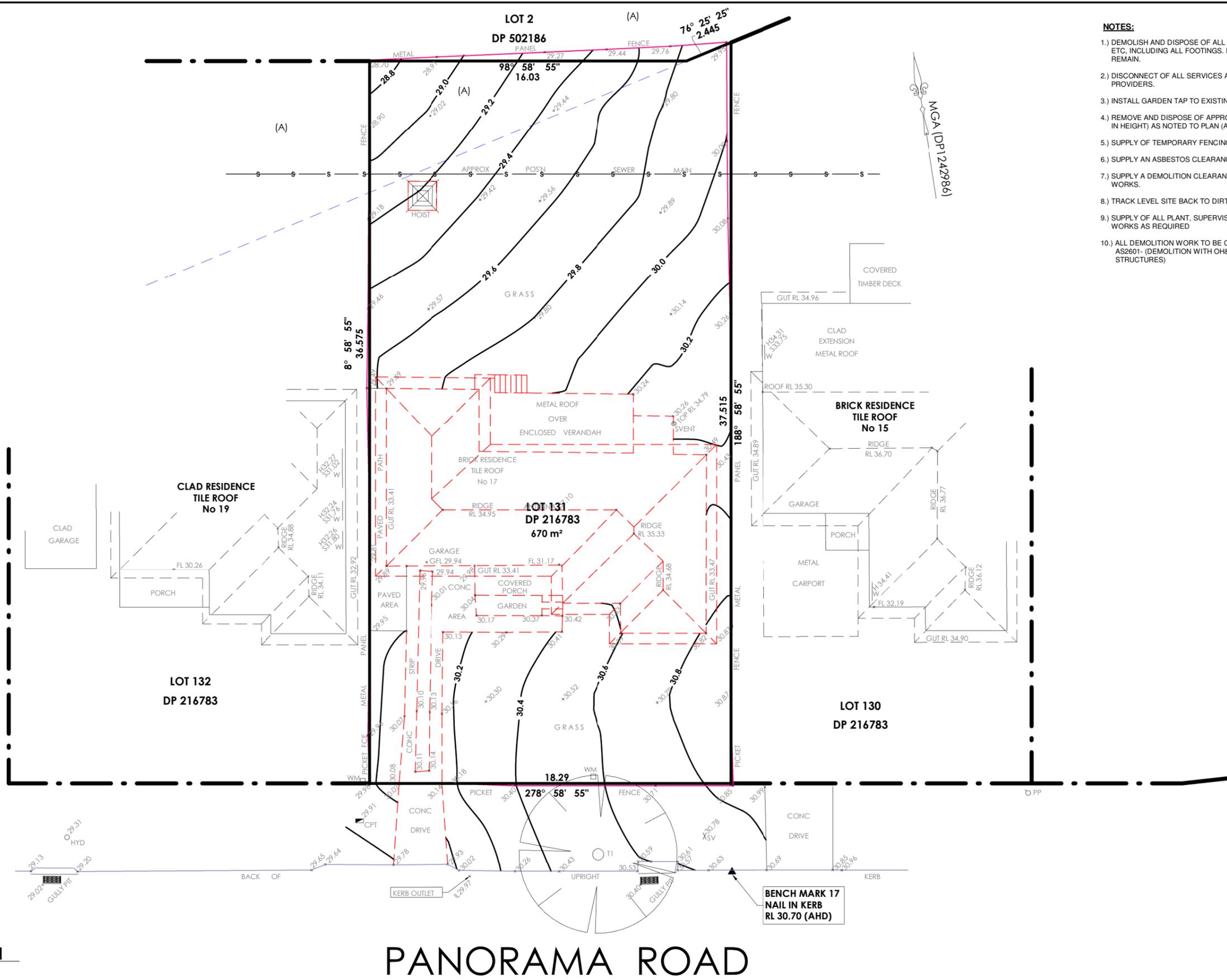
OWNER ACCEPTANCE

OWNER SIGNATURE DATE

OWNER SIGNATURE DATE

Issue	Date	Description	Drawn
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B	26.10.2021	ISSUE FOR DA	RB
C	26.11.2021	BUSHFIRE NOTES	C.V.

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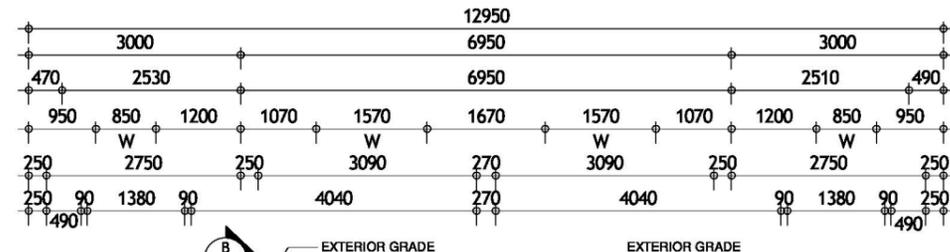
- NOTES:**
- 1.) DEMOLISH AND DISPOSE OF ALL STRUCTURES, RETAINING WALLS, PATHS ETC, INCLUDING ALL FOOTINGS. EXISTING COUNCIL CROSSOVER TO REMAIN.
 - 2.) DISCONNECT OF ALL SERVICES AND RETURNING OF METERS TO PROVIDERS.
 - 3.) INSTALL GARDEN TAP TO EXISTING WATER METER.
 - 4.) REMOVE AND DISPOSE OF APPROVED TREES AND SHRUBS (UP TO 3000MM IN HEIGHT) AS NOTED TO PLAN (APPROVALS BY OWNER).
 - 5.) SUPPLY OF TEMPORARY FENCING
 - 6.) SUPPLY AN ASBESTOS CLEARANCE CERTIFICATE.
 - 7.) SUPPLY A DEMOLITION CLEARANCE CERTIFICATE ON COMPLETION OF WORKS.
 - 8.) TRACK LEVEL SITE BACK TO DIRT.
 - 9.) SUPPLY OF ALL PLANT, SUPERVISION, AND LABOUR TO COMPLETE THE WORKS AS REQUIRED
 - 10.) ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601- (DEMOLITION WITH OH&S REGULATIONS (2000) 2001 & 2801 STRUCTURES)

1 DEMOLITION PLAN
1 : 200

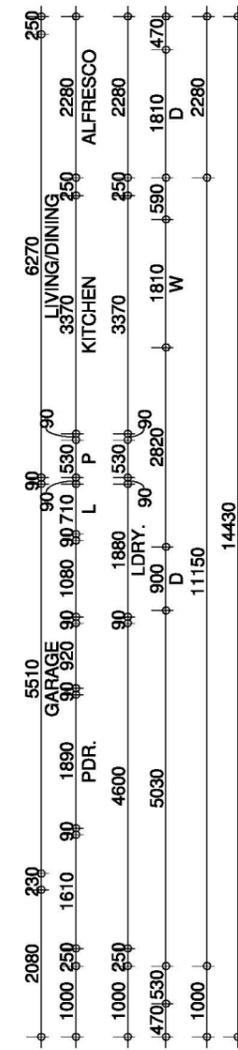
PANORAMA ROAD

Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: DEMOLITION	Job No.: 221015	Issue	Date	Description	Drawn	
				OWNER ACCEPTANCE		A	09.08.2021	CONCEPT DESIGN PLAN	QK
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REAR ELEVATION



RIGHT ELEVATION



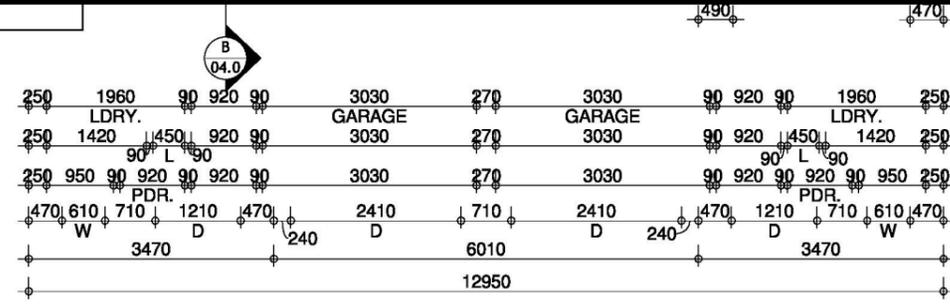
- FSL: FINISHED SLAB LEVEL
- FF: FINISHED FLOOR
- FC: FINISHED CEILING
- MAN HOLE (ROOF ACCESS)
- BULKHEADS
- PROPOSED JOIST DIRECTION (CONFIRM WITH JOIST LAYOUT PLAN)
- OVERHEAD CABINET
- HARDWIRED SMOKE ALARM
- DRAINAGE POINT
- AIR-CONDITIONING DROPPER
- AIR-CONDITIONING DUCT LINE
- AIR-CONDITIONING OUTLET

**BUSHFIRE PRONE AREA
REQUIREMENTS TO SUIT BUSHFIRE ATTACK LEVEL
12.5**

- External cladding that is fixed externally to wall framed is non-combustible material / fibre cement minimum 6mm thickness / bushfire resisting timber.
- All joints in the external surface materials of walls shall be covered, sealed, overlapped, backed / butt-jointed to prevent gaps greater than 3mm.
- Provide corrosion-resistant steel spark arrestor guards to all weepholes in external brickwork.
- Provide corrosion-resistant steel flyscreen with a maximum aperture size of 2.0mm fitted to an aluminium frame to the opening portion of windows.
- Provide corrosion-resistant steel flyscreen with a maximum aperture size of 2.0mm fitted to an aluminium frame to the opening portion of Sliding Door in Alfresco.
- Provide aluminium external door frame to all external hinged doors.
- Provide a Raven PR3 door seal to the base of the Entry and Laundry external hinged doors.
- Provide Leafstopper Mesh fire rated Valley guard to the house.
- Provide Leafstopper Mesh fire rated gutter guard to the house.
- Provide suitable weather strips, draught excluders, draught seals/guide tracks, with a maximum gap no greater than 3mm to Garage door.
- Roof / wall junction shall be sealed, to prevent openings greater than 3mm.
- Roof ventilation openings (Gable, roof vents) shall be fitted with ember guards (non combustible material /mesh with max aperture of 2mm/corrosion resistant steel).
- Eaves ventilation openings greater than 3mm shall be fitted with ember guards (non combustible material /mesh with max aperture of 2mm / corrosion resistant steel).
- Roof sarking must be located on top of roof framing, covered entire roof area (included ridges and hips) and extend into gutters and valleys.
- Eaves Penetrations and Roof Penetrations (including roof lights, roof ventilators, roof mounted evaporative cooling units, aerials, vent pipes and supports for Solar collectors), shall be sealed with non-combustible material at the roof to prevent gaps greater than 3mm.

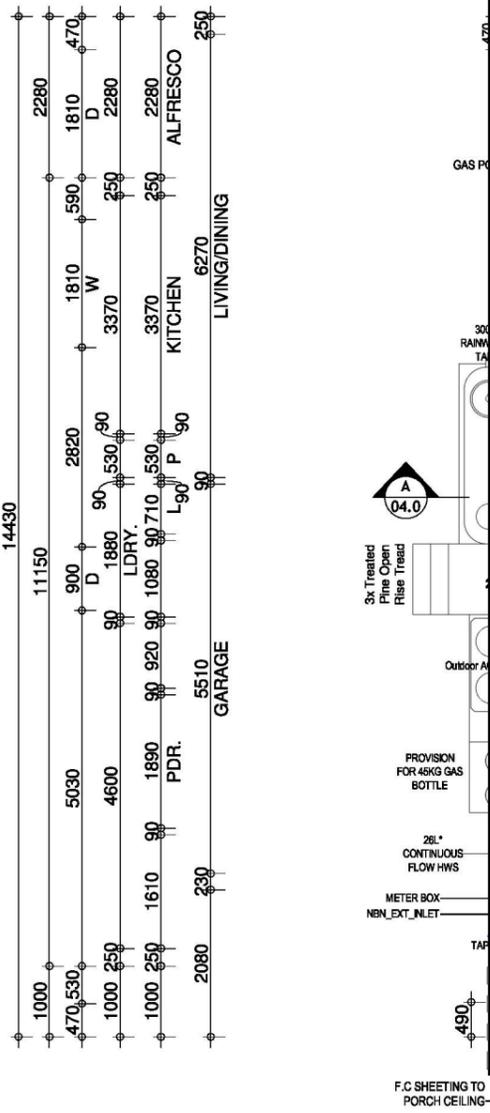
Area Schedule (Gross Building)	
Name	Areas
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First Floor	83.72 m ²
Garage	18.98 m ²
Porch	3.47 m ²
Alfresco	6.84 m ²
SIDE A - GROSS BUILDING AREA: 5	
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Porch	3.47 m ²
Alfresco	6.84 m ²

LEFT ELEVATION



FRONT ELEVATION

1 GROUND FLOOR PLAN
1 : 100



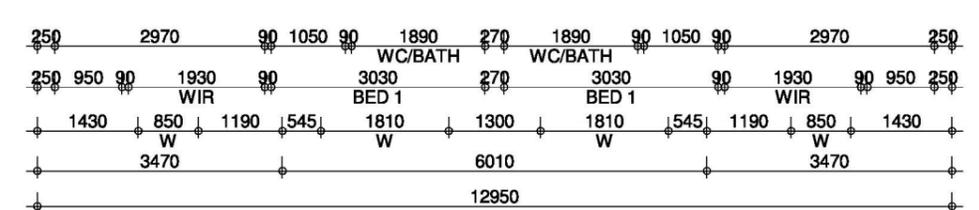
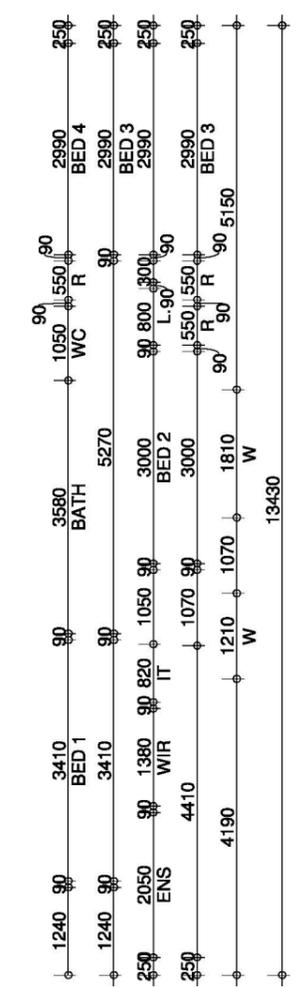
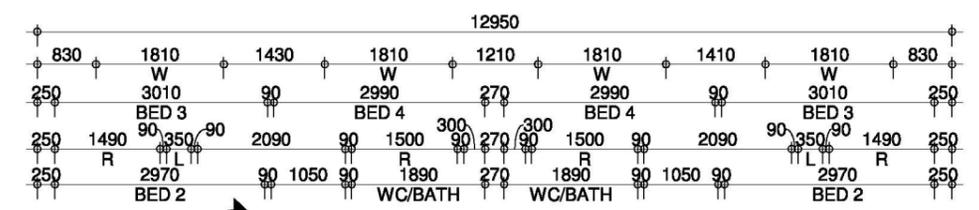
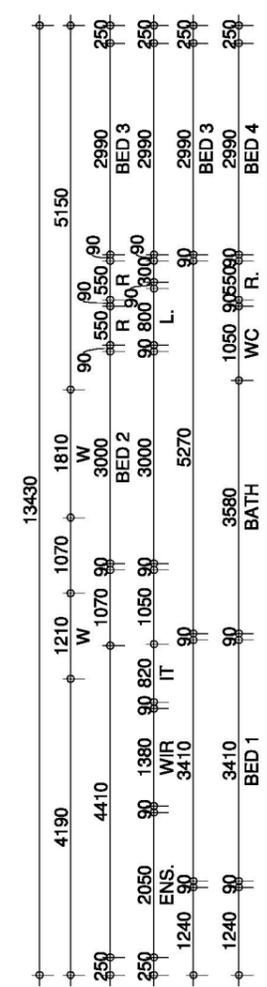
Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: GROUND FLOOR PLAN	Job No.: 221015	Issue	Date	Description	Drawn
		Council: PENRITH DP No.: 216783 Approval Type: DA	Client: Mr. Anthony Law Paper: A3 Scale: 1 : 100	OWNER ACCEPTANCE	A	09.08.2021	CONCEPT DESIGN PLAN	QK
					B	26.10.2021	ISSUE FOR DA	RB
OWNER SIGNATURE _____ DATE _____		Sheet No: 02.0 Date: 22.10.2021	OWNER SIGNATURE _____ DATE _____	C	26.11.2021	BUSHFIRE NOTES	C.V.	
				OWNER SIGNATURE _____ DATE _____				

KEY SYMBOLS

- FSL: FINISHED SLAB LEVEL
- FF: FINISHED FLOOR
- FC: FINISHED CEILING
- MAN HOLE (ROOF ACCESS)
- PROPOSED JOIST DIRECTION (CONFIRM WITH JOIST LAYOUT PLAN)
- HARDWIRED SMOKE ALARM
- DRAINAGE POINT
- AIR-CONDITIONING DROPPER
- AIR-CONDITIONING DUCT LINE
- AIR-CONDITIONING OUTLET
- BULKHEADS
- OVERHEAD CABINET

03.1
3
REAR ELEVATION

RIGHT ELEVATION
03.0
2



03.1
1
LEFT ELEVATION

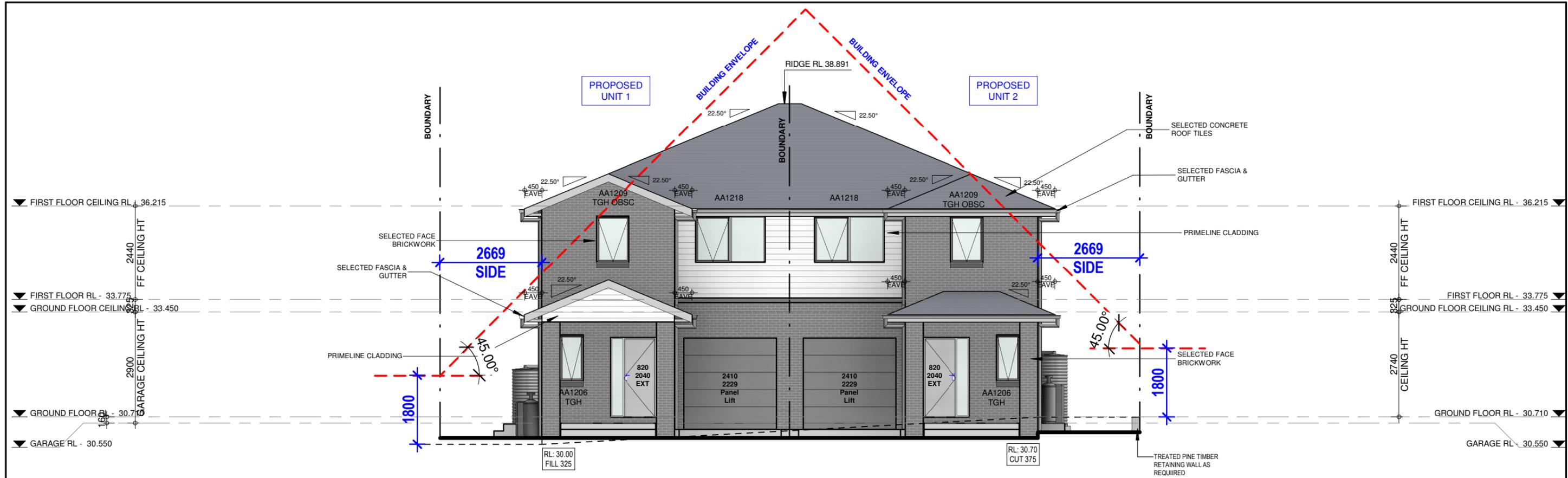
FRONT ELEVATION
03.0
1

BUSHFIRE PRONE AREA REQUIREMENTS TO SUIT BUSHFIRE ATTACK LEVEL 12.5

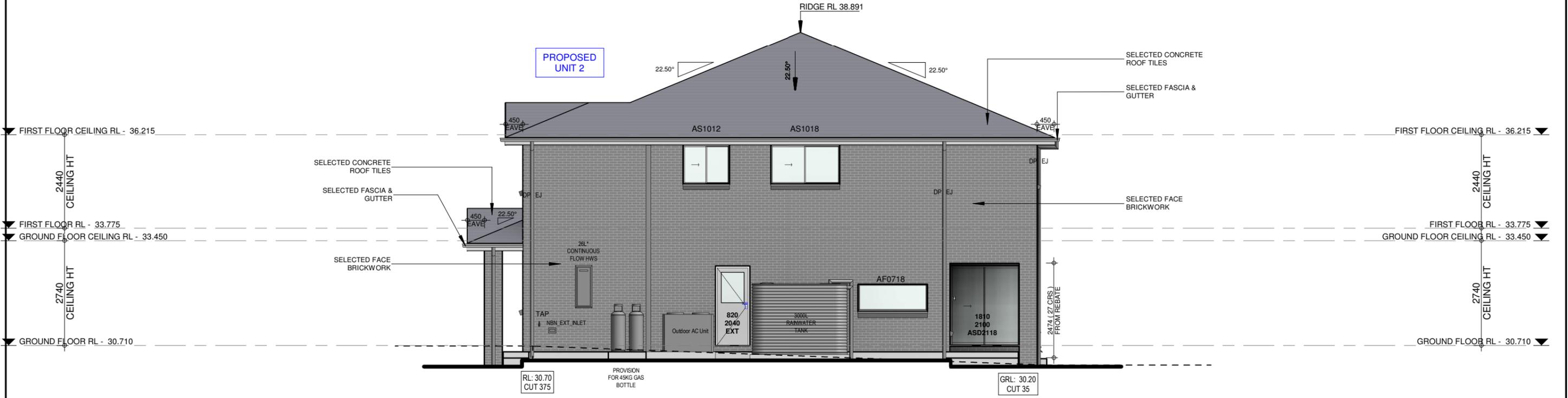
Area Schedule (Gross Building)	
Name	Areas
Ground Floor	57.90 m ²
First Floor	83.72 m ²
Garage	18.98 m ²
Porch	3.47 m ²
Alfresco	6.84 m ²
SIDE A - GROSS BUILDING AREA: 5 170.91 m ²	
Ground Floor	57.90 m ²
First Floor	83.72 m ²
Garage	18.98 m ²
Porch	3.47 m ²
Alfresco	6.84 m ²
SIDE B - GROSS BUILDING AREA: 5 170.91 m ²	

1 FIRST FLOOR PLAN
1 : 100

Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: FIRST FLOOR PLAN	Job No.: 221015	Issue	Date	Description	Drawn	
			Client: Mr. Anthony Law	OWNER ACCEPTANCE		A	09.08.2021	CONCEPT DESIGN PLAN	QK
			Council: PENRITH	Paper: A3	Scale: 1 : 100	B	26.10.2021	ISSUE FOR DA	RB
DP No.: 216783			Approval Type: DA	Sheet No.: 02.1	Date: 22.10.2021	C	26.11.2021	BUSHFIRE NOTES	C.V.
				OWNER SIGNATURE	DATE				
				OWNER SIGNATURE	DATE				

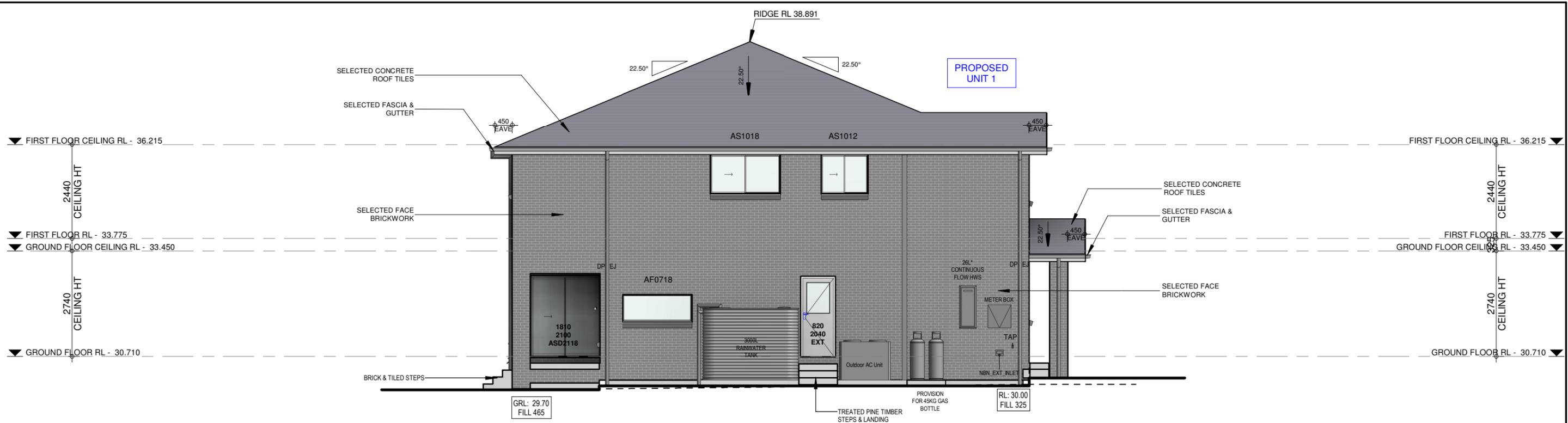


FRONT ELEVATION



RIGHT ELEVATION

Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: ELEVATION	Job No.: 221015	Issue	Date	Description	Drawn
				OWNER ACCEPTANCE OWNER SIGNATURE _____ DATE _____ OWNER SIGNATURE _____ DATE _____	A	09.08.2021	CONCEPT DESIGN PLAN	QK
					B	26.10.2021	ISSUE FOR DA	RB
					C	26.11.2021	BUSHFIRE NOTES	C.V.
Council: PENRITH		Paper: A3 Scale: 1 : 100		DP No.: 216783 Approval Type: DA		Sheet No: 03.0 Date: 22.10.2021		



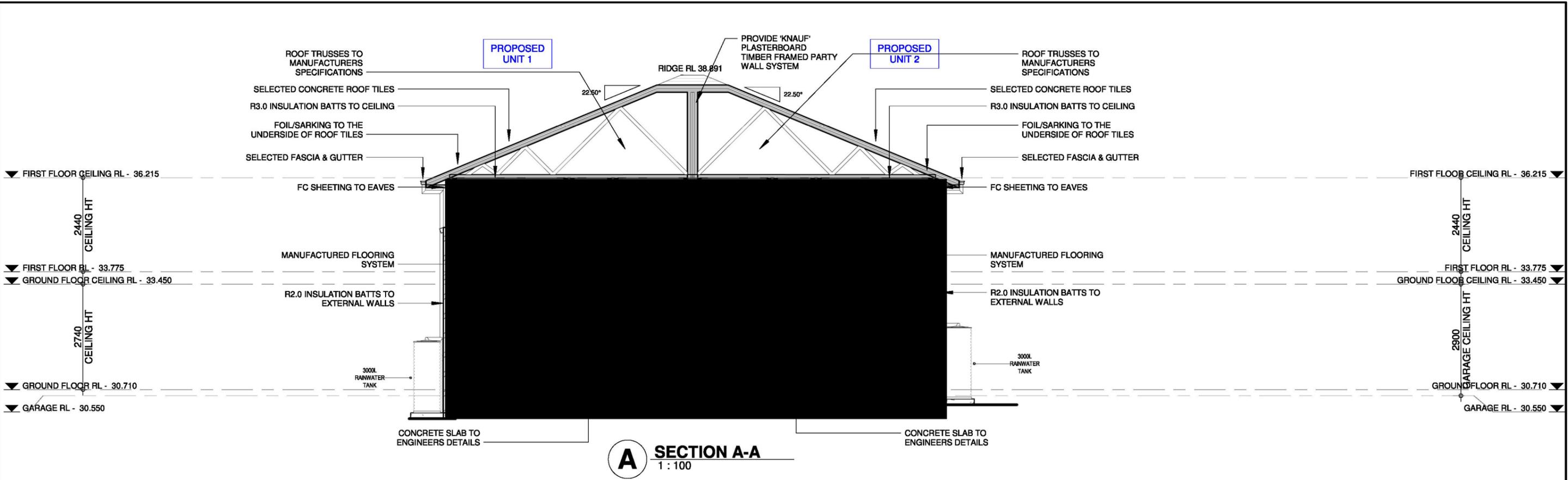
LEFT ELEVATION



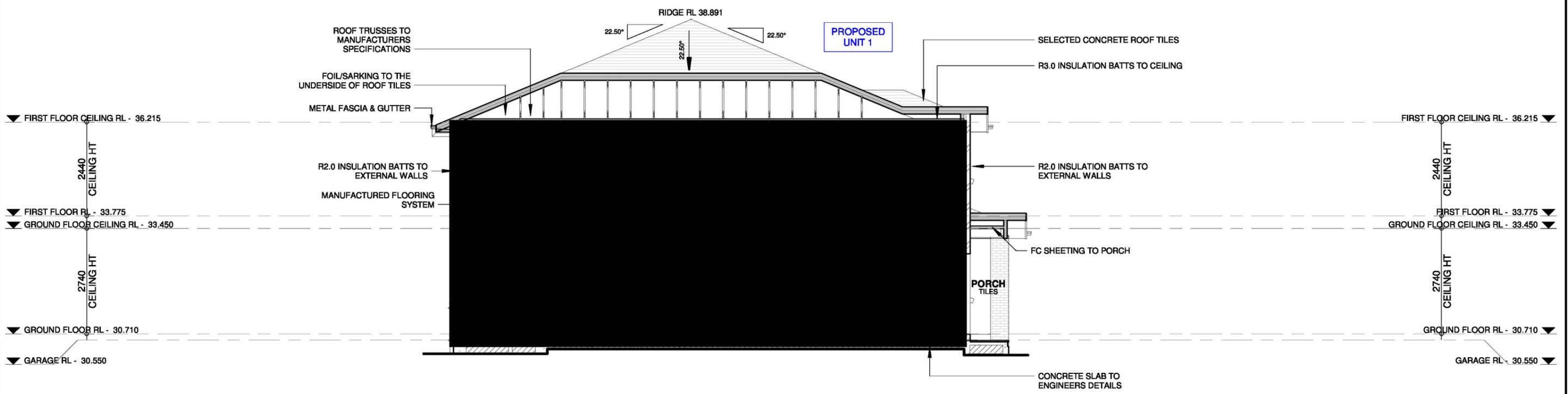
REAR ELEVATION

Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: ELEVATION	Job No.: 221015	Issue	Date	Description	Drawn	
				OWNER ACCEPTANCE		A	09.08.2021	CONCEPT DESIGN PLAN	QK
				OWNER ACCEPTANCE		B	26.10.2021	ISSUE FOR DA	RB
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				OWNER SIGNATURE		DATE		OWNER SIGNATURE	
Council: PENRITH	Paper: A3	Scale: 1 : 100	Client: Mr. Anthony Law	DP No.: 216783	Approval Type: DA	Sheet No.: 03.1	Date: 22.10.2021		

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A SECTION A-A
1 : 100



B SECTION B-B
1 : 100

Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: SECTION+DETAILS	Job No.: 221015	Issue	Date	Description	Drawn
				OWNER ACCEPTANCE OWNER SIGNATURE _____ DATE _____ OWNER SIGNATURE _____ DATE _____	A	09.08.2021	CONCEPT DESIGN PLAN	QK
					B	26.10.2021	ISSUE FOR DA	RB
					C	26.11.2021	BUSHFIRE NOTES	C.V.
		Council: PENRITH	Paper: A3 Scale: 1 : 100					
		DP No.: 216783 Approval Type: DA	Sheet No: 04.0 Date: 22.10.2021					

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability. If it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 25 October 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Lot 131, 17 Panorama Road, Penrith	
Street address	17 Panorama Road Penrith 2750	
Local Government Area	Penrith City Council	
Plan type and plan number	deposited 216783	
Lot no.	131	
Section no.	-	
No. of residential flat buildings	0	
No. of units in residential flat buildings	0	
No. of multi-dwelling houses	2	
No. of single dwelling houses	0	
Project score		
Water	40	Target 40
Thermal Comfort	Pass	Target Pass
Energy	50	Target 50

Certificate Prepared by	
Name / Company Name:	Enrg Thermal Assessors Pty Ltd
ABN (if applicable):	77614736284

Schedule of BASIX commitments			
The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.			
1. Commitments for multi-dwelling houses			
(a) Dwellings	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(i) Water			
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.	✓	✓	✓
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, or private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	✓
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.	✓	✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.	✓	✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.	✓	✓	✓
(f) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	✓
(g) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).	✓	✓	✓
(h) The pool or spa must be located as specified in the table.	✓	✓	✓
(i) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Cooling		Heating		Artificial lighting					Natural lighting		
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
All dwellings	1-phase air conditioning EER 3.0 - 3.5 (zoned)	1-phase air conditioning EER 3.0 - 3.5 (zoned)	1-phase air conditioning EER 3.5 - 4.0 (zoned)	1-phase air conditioning EER 3.5 - 4.0 (zoned)	5 (dedicated)	3 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	yes	-	-	-	yes	yes

Alternative energy		
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)	
All dwellings	-	

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.	✓	✓	✓
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.	✓	✓	✓
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.	✓	✓	✓

Description of project		
Project address		
Project name	Lot 131, 17 Panorama Road, Penrith	
Street address	17 Panorama Road Penrith 2750	
Local Government Area	Penrith City Council	
Plan type and plan number	deposited 216783	
Lot no.	131	
Section no.	-	
Project type		
No. of residential flat buildings	0	
No. of units in residential flat buildings	0	
No. of multi-dwelling houses	2	
No. of single dwelling houses	0	
Site details		
Site area (m ²)	670	
Roof area (m ²)	209	
Non-residential floor area (m ²)	-	
Residential car spaces	2	
Non-residential car spaces	-	
Common area landscape		
Common area lawn (m ²)	0.0	
Common area garden (m ²)	0.0	
Area of indigenous or low water use species (m ²)	-	
Assessor details		
Assessor number	101152	
Certificate number	006708500	
Climate zone	28	
Ceiling fan in at least one bedroom	No	
Ceiling fan in at least one living room or other conditioned area	No	
Project score		
Water	40	Target 40
Thermal Comfort	Pass	Target Pass
Energy	50	Target 50

Dwelling no.	Fixtures			Appliances			Individual pool			Individual spa				
	All shower-heads	All flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (p = 4.5 but <= 8 L/min)	4 star	4 star	4 star	-	-	-	-	-	-	-	-	-	-

Alternative water source								
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	individual water tank (no. 1)	Tank size (min) 3000.0 litres	To collect run-off from at least: 100.0 square metres of roof area;	yes	yes	yes	-	-
None	-	-	-	-	-	-	-	-

(i) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.	✓	✓	✓
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the recirculation control specified for it in the table.	✓	✓	✓
(d) The applicant must install the cooling and heating system specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for deynight zoning between living areas and bedrooms.	✓	✓	✓

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(c) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.	✓	✓	✓
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.	✓	✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
1	49.8	30.7
All other dwellings	45.2	30.0

Construction of floors and walls					
Dwelling no.	Concrete slab on ground (m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
All dwellings	51	-	-	17	No

Description of project											
The tables below describe the dwellings and common areas within the project											
Multi-dwelling houses											
Dwelling no.	No. of bedrooms, Conditioned floor (m ²)	Area of garden & lawn (m ²)	Indigenous species (m ²)	Dwelling no.	No. of bedrooms, Conditioned floor (m ²)	Area of garden & lawn (m ²)	Indigenous species (m ²)	Dwelling no.	No. of bedrooms, Conditioned floor (m ²)	Area of garden & lawn (m ²)	Indigenous species (m ²)
1	4	114.0	2.94	220.6	2	1	114.0	2.94	222.5	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.	✓	✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.	✓	✓	✓
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.	✓	✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".	✓	✓	✓
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

Hot water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 5 star	individual fan, ducted to facade or roof	interlocked to light	individual fan, ducted to facade or roof	manual switch on/off	individual fan, ducted to facade or roof	interlocked to light

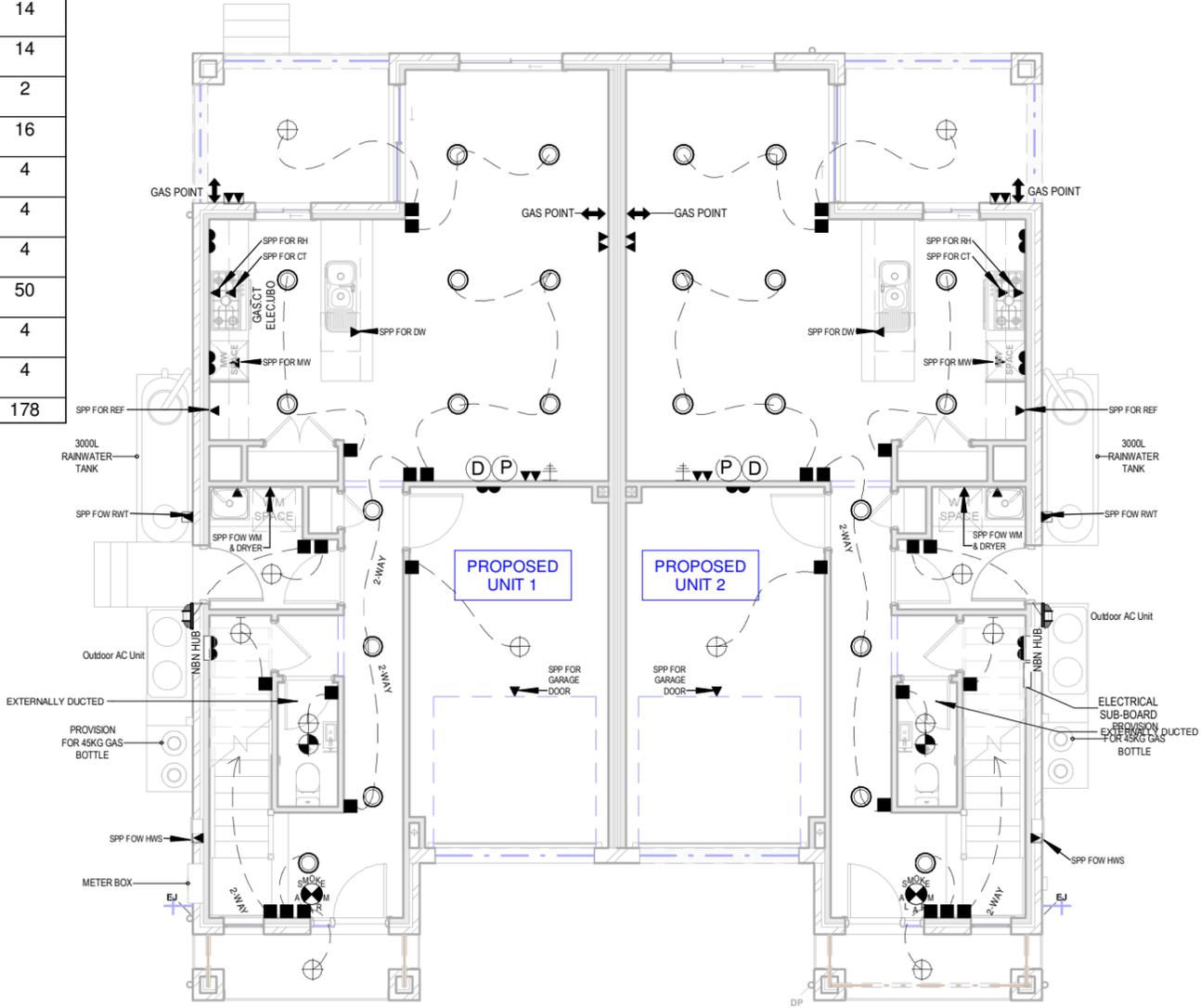
3. Commitments for common areas and central systems/facilities for the development (non-building specific)			
(b) Common areas and central systems/facilities			
(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.	✓	✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kL) greater than that specified for the pool or spa in the table.	✓	✓	✓
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.	✓	✓	✓
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.	✓	✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.	✓	✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

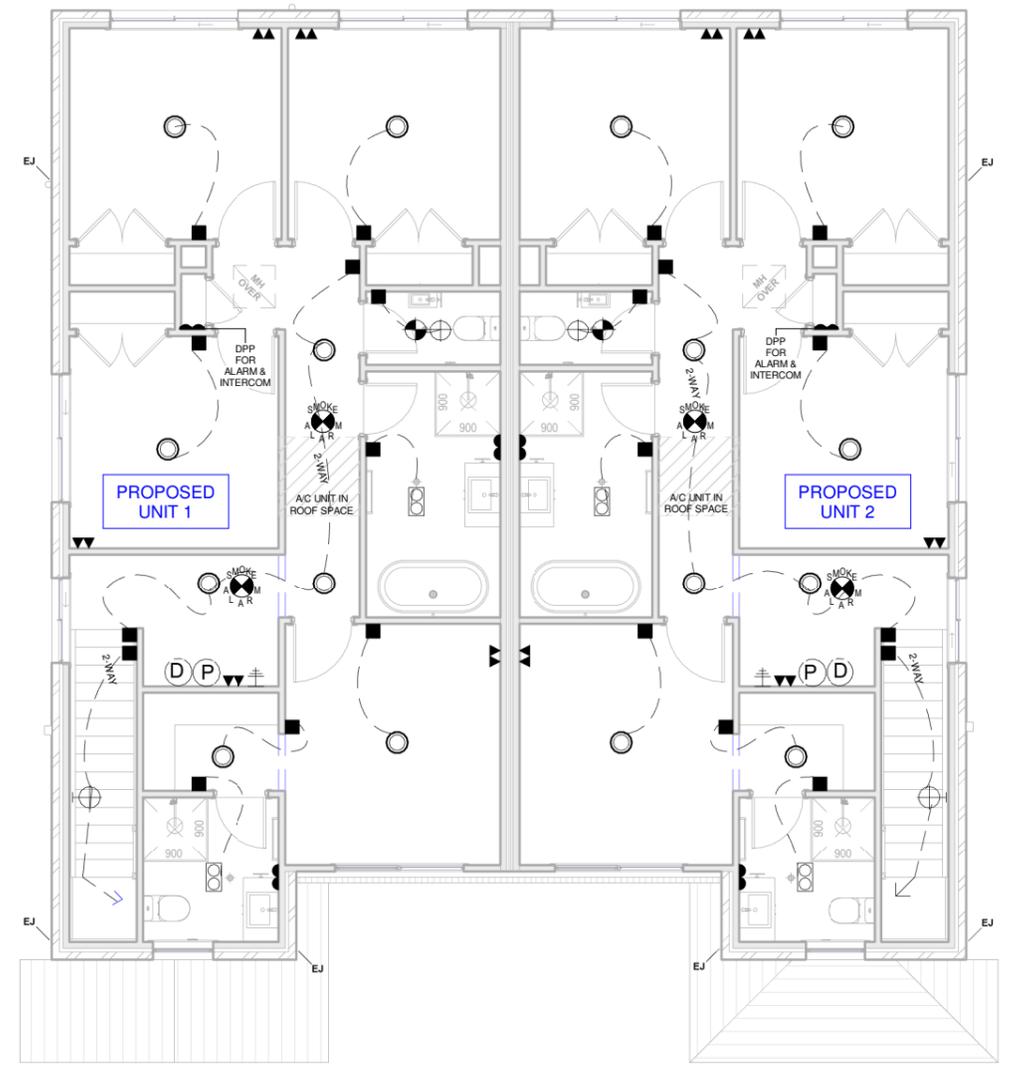
(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.	✓	✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measures specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.	✓	✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: BASIX SHEET	Job No.: 221015	Issue	Date	Description	Drawn	
		Council: PENRITH DP No.: 216783 Approval Type: DA	Client: Mr. Anthony Law	OWNER ACCEPTANCE		A	09.08.2021	CONCEPT DESIGN PLAN	QK
			Paper: A3 Scale:	OWNER SIGNATURE		B	26.10.2021	ISSUE FOR DA	RB
			Sheet No: 04.1 Date: 22.10.2021	OWNER SIGNATURE		C	26.11.2021	BUSHFIRE NOTES	C.V.
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Electrical Fixture Schedule		
Type Image	Family	Count
	Batten Light	12
	Bunker Light	2
	DATA POINT	4
	Downlight	40
	Exhaust Fan	4
	GPO Double	14
	GPO Double 1m High	14
	GPO Double External	2
	GPO Single	16
	GPO Single External	4
	Heat x2, Light, Fan	4
	PHONE POINT	4
	SINGLE SWITCH	50
	TV POINT	4
	Wall Light	4
Grand total: 178		178

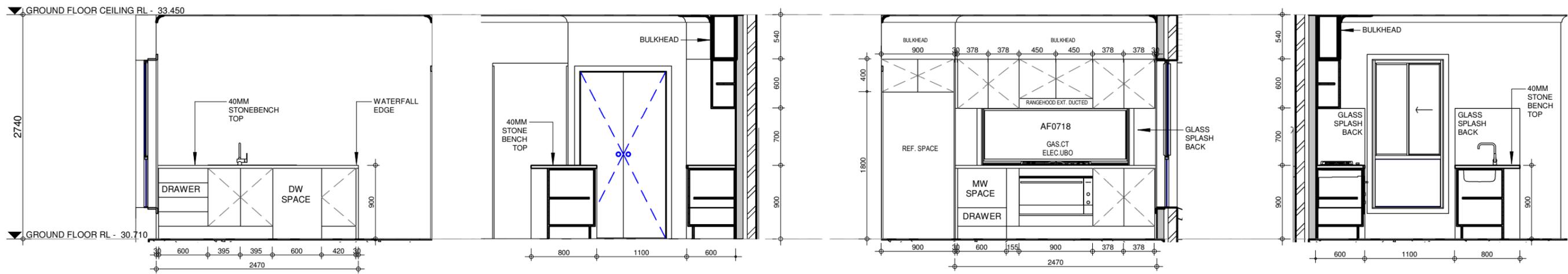


1 GROUND FLOOR ELECTRICAL PLAN
1 : 100

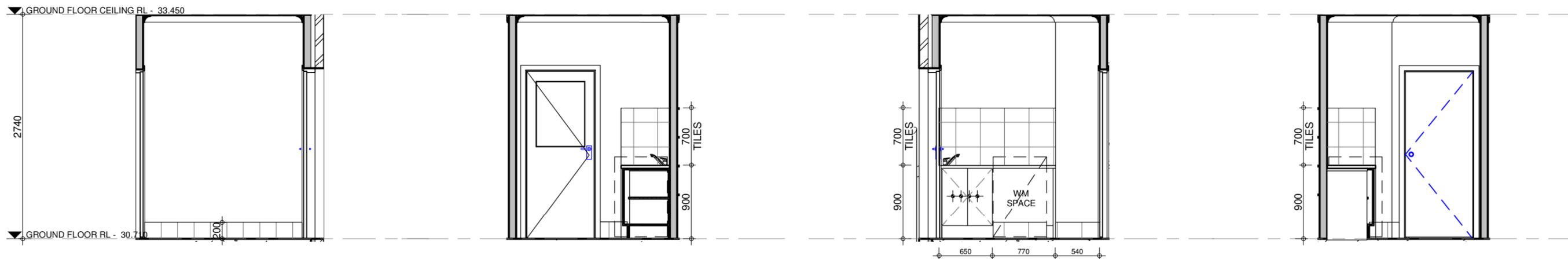


2 FIRST FLOOR ELECTRICAL PLAN
1 : 100

Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: ELECTRICAL PLAN	Job No.: 221015	Issue	Date	Description	Drawn	
				OWNER ACCEPTANCE		A	09.08.2021	CONCEPT DESIGN PLAN	QK
				OWNER ACCEPTANCE		B	26.10.2021	ISSUE FOR DA	RB
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Council: PENRITH		Paper: A3	Scale: 1 : 100	OWNER SIGNATURE		DATE			
DP No. : 216783		Approval Type: DA	Sheet No: 06.0	Date: 22.10.2021	OWNER SIGNATURE		DATE		



KITCHEN DETAILS

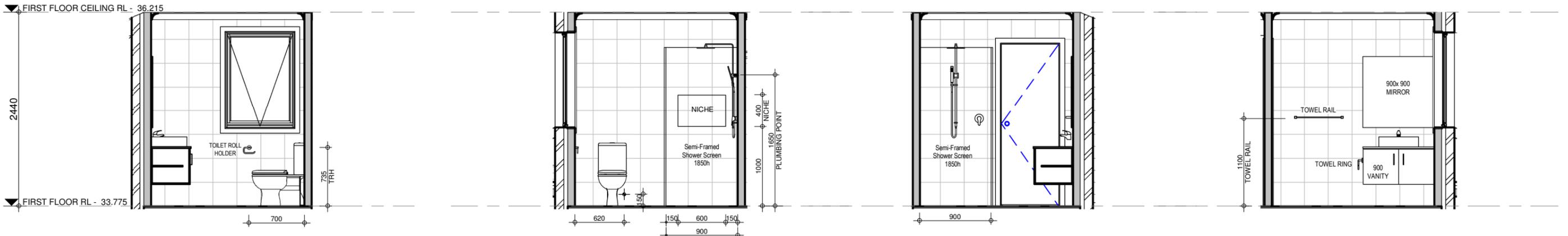


LAUNDRY DETAILS

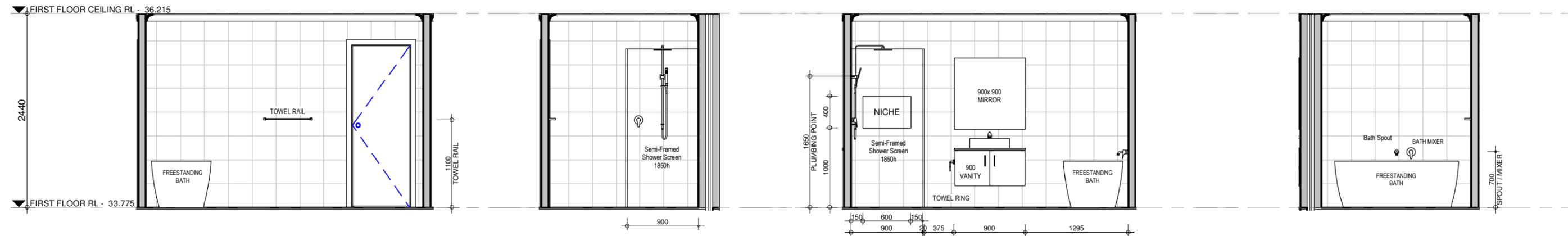


POWDER ROOM

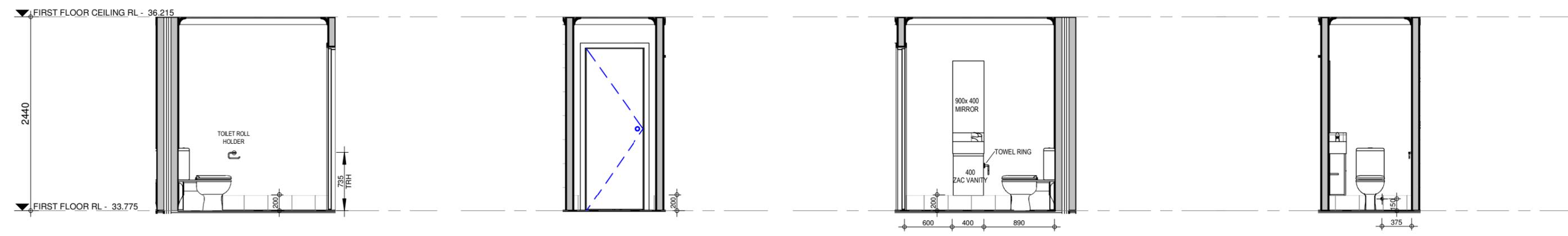
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				Client: Mr. Anthony Law	OWNER ACCEPTANCE	A	09.08.2021	CONCEPT DESIGN PLAN	QK
					OWNER SIGNATURE	DATE	B	26.10.2021	ISSUE FOR DA
Council: PENRITH DP No.: 216783 Approval Type: DA				Paper: A3 Scale: 1 : 50 Sheet No.: 07.0 Date: 22.10.2021	C	26.11.2021	BUSHFIRE NOTES	C.V.	
					OWNER SIGNATURE	DATE			



ENSUITE DETAILS



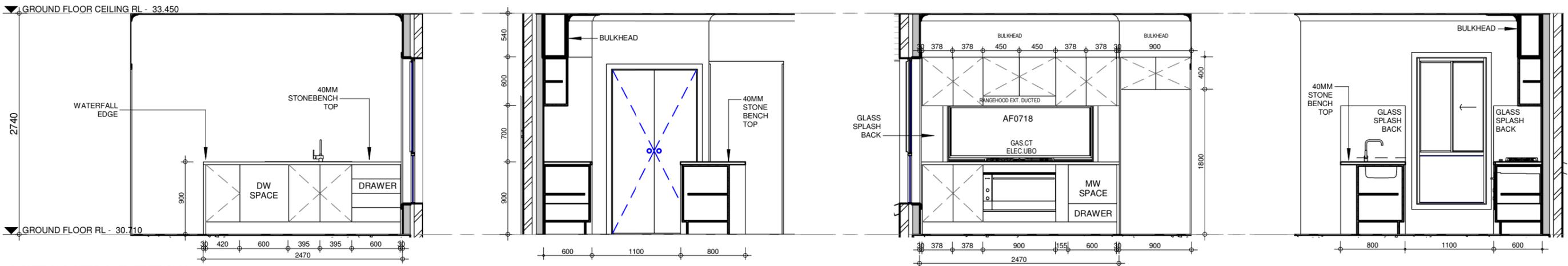
BATHROOM DETAILS



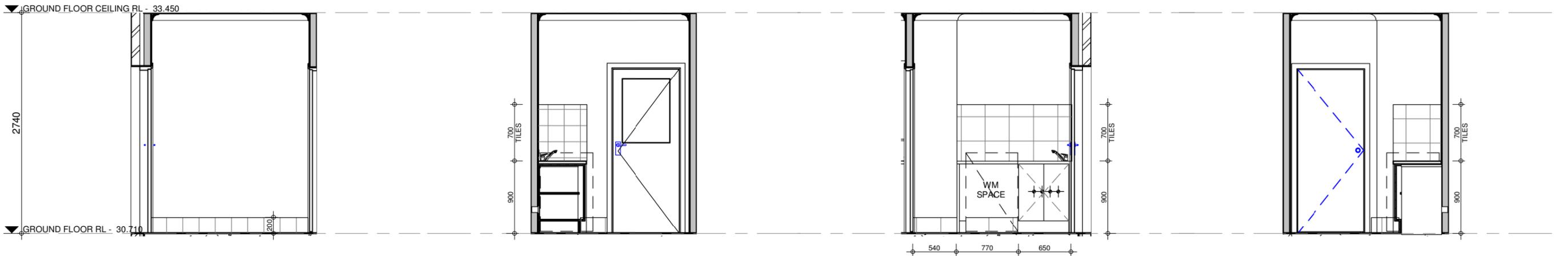
WC DETAILS

Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: UNIT 1 WET AREA DETAILS	Job No.: 221015	Issue	Date	Description	Drawn		
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				OWNER SIGNATURE		DATE	B	26.10.2021	ISSUE FOR DA	RB
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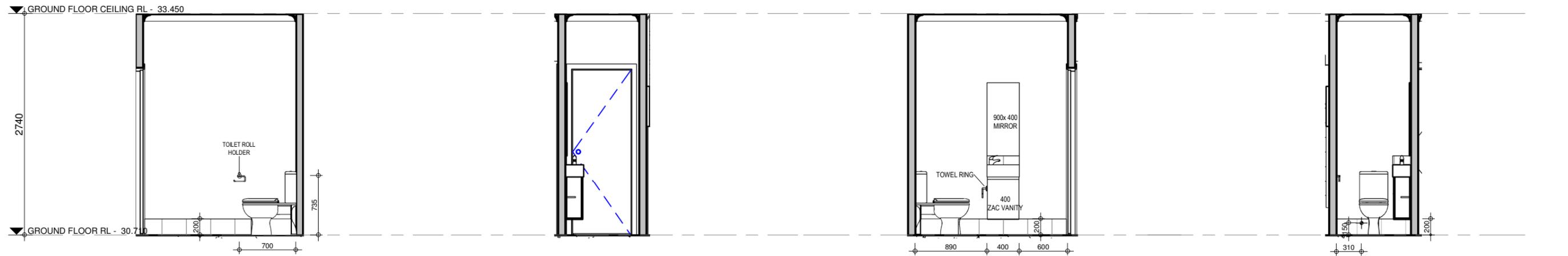
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KITCHEN DETAILS



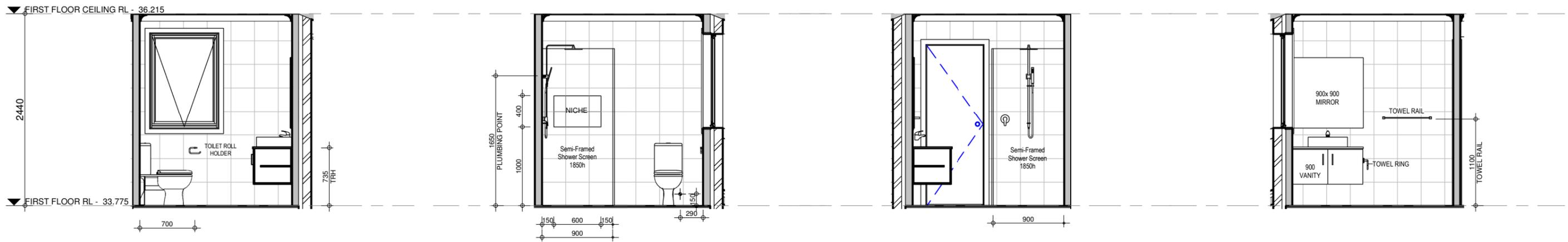
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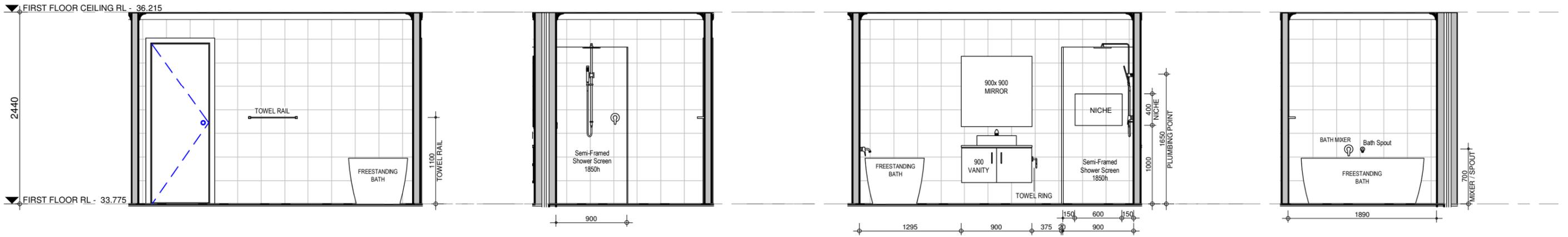
POWDER ROOM

Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: UNIT 2 KITCHEN+LAUNDRY DETAIL	Job No.: 221015	Issue	Date	Description	Drawn	
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				OWNER ACCEPTANCE		B	26.10.2021	ISSUE FOR DA	RB
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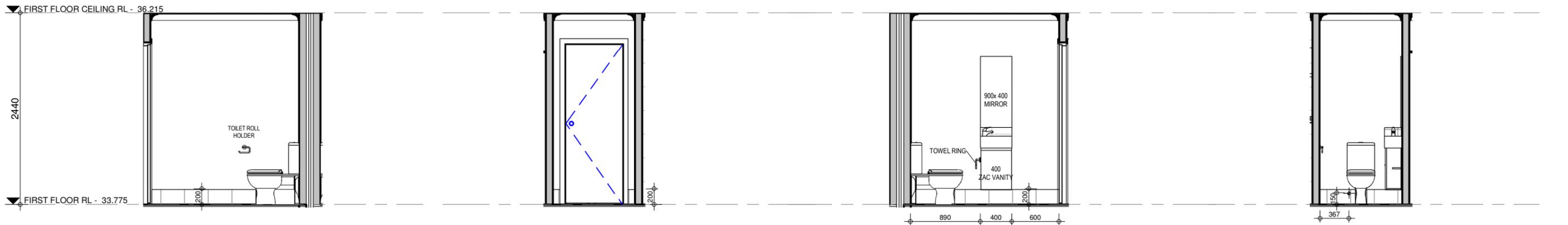
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ENSUITE DETAILS



BATHROOM DETAILS



WC DETAILS

Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: UNIT 2 WET AREA DETAILS	Job No.: 221015	Issue	Date	Description	Drawn
				OWNER ACCEPTANCE OWNER SIGNATURE _____ DATE _____ OWNER SIGNATURE _____ DATE _____	A	09.08.2021	CONCEPT DESIGN PLAN	QK
					B	26.10.2021	ISSUE FOR DA	RB
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Front_Notification



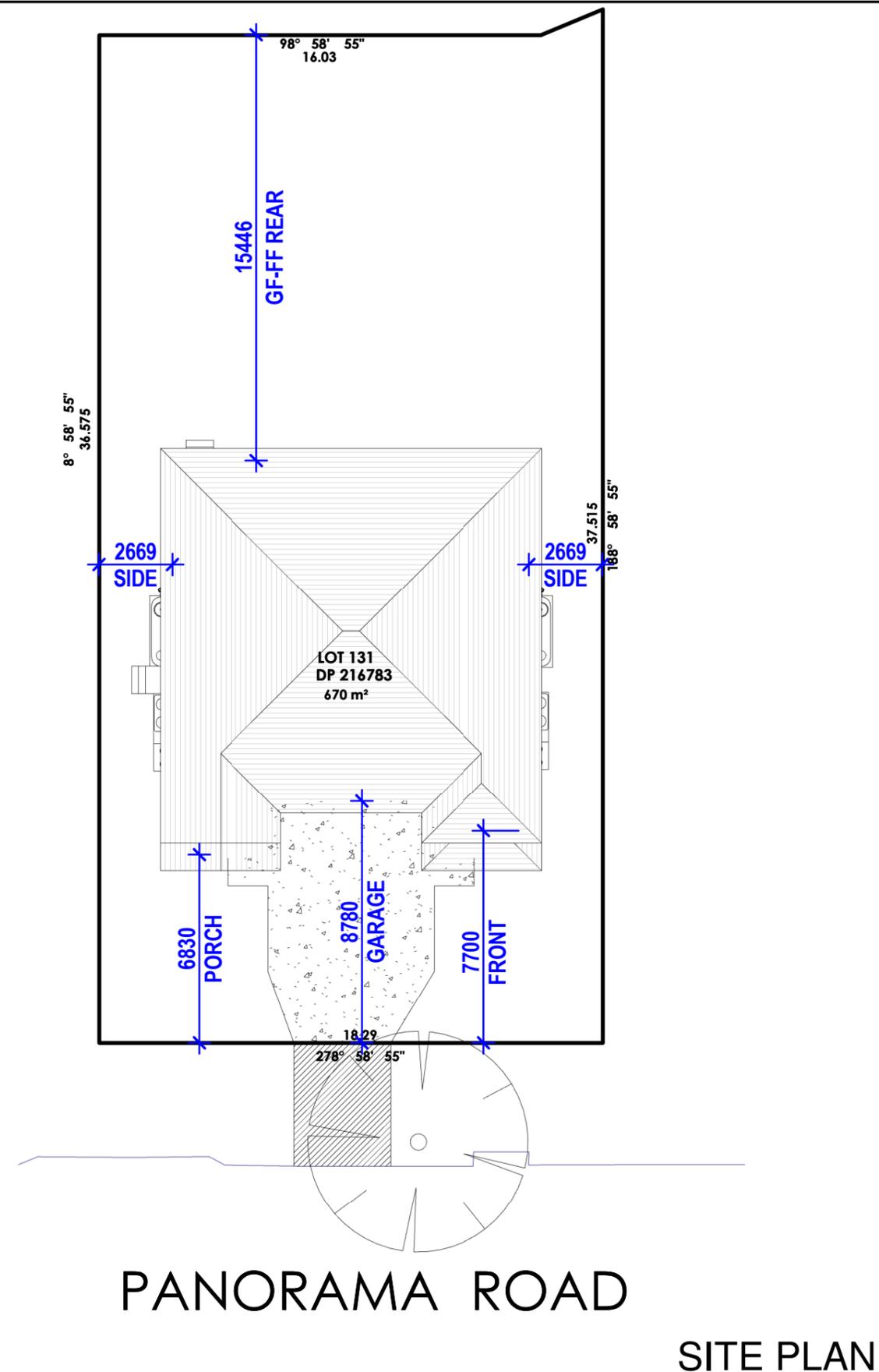
Rear_Notification



Right_Notification



Left_Notification



PANORAMA ROAD

SITE PLAN

Product: DAINTREE 18	Facade: CLASSIC	Site Address: Lot 131 17 Panorama Road Penrith NSW 2750	Title: NOTIFICATION PLAN	Job No.: 221015	Issue	Date	Description	Drawn	
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				OWNER ACCEPTANCE		B	26.10.2021	ISSUE FOR DA	RB
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