

# Wisdom Smart

## The easystart

Ph: 4647 1200

Fax: 4647 1233

www.wisdomsmart.com.au

PROJECT:  
PROPOSED BRICK VENEER DWELLING

CLIENT:  
Wisdom Homes Pty Ltd

ADDRESS:  
Lot 2385 Empire Circuit  
Thornton Estate, Penrith

JOB No:  
143791

CRAWN  
DC  
DATE:  
05.06.14

LGA:  
PENRITH

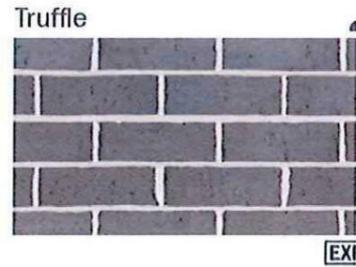
SITE CLASSIFICATION:  
'H' Class

DESCRIPTION:  
COLUMBUS 27

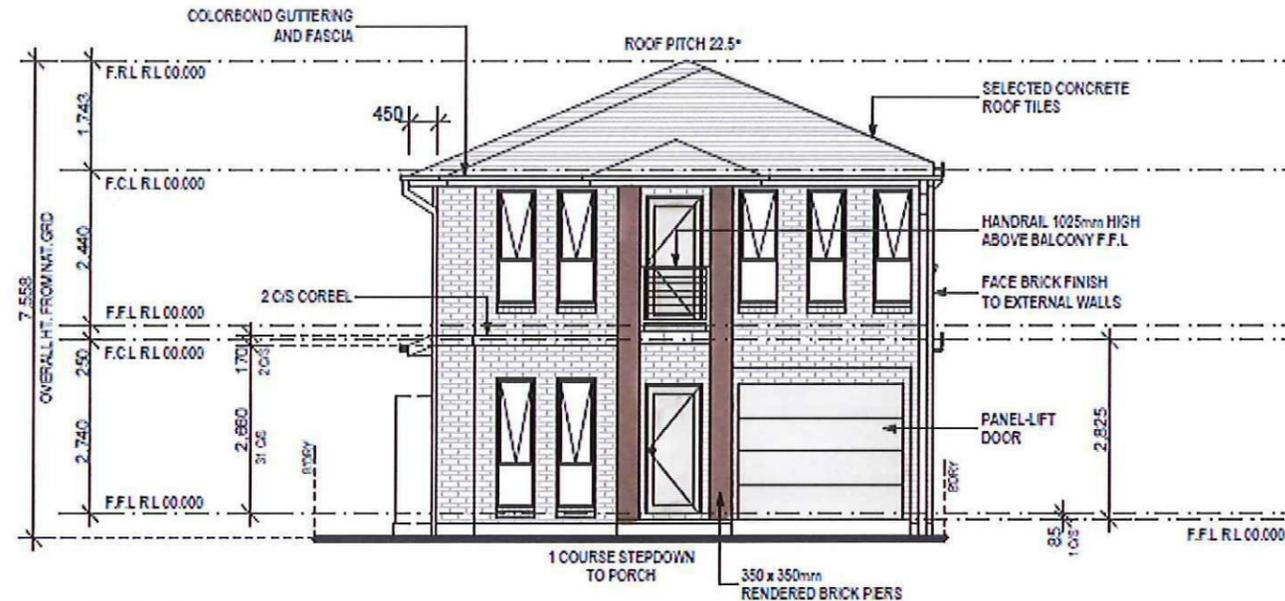
FAÇADE:  
NOVA TERRACE  
SHEET

CODE:  
WS-COLU27D NO LH

5



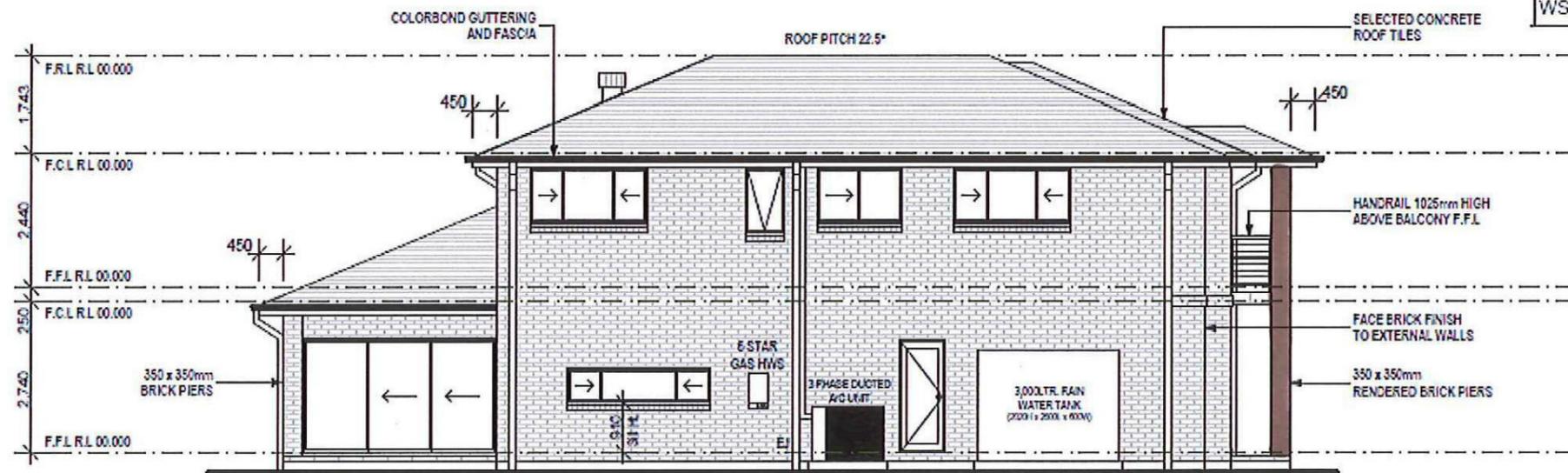
**PGH BRICK**  
ALFRESCO  
TRUFFLE  
Off White Mortar  
Ironged Joints



FRONT/NORTH ELEVATION  
1:100



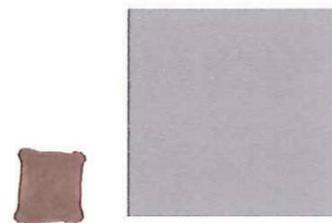
**ROOF TILE - BRISTLE TUNGSTEN**  
SMOOTH PROFILE



LEFT/EAST ELEVATION  
1:100



**DRIVEWAY- CCS ONYX**



**BRISTOL PAINT**  
COBBLESTONE TO CEMENT RENDERED  
PIERS & FC SHEETING



**COLORBOND - MONUMENT**  
• GUTTER  
• FASCIA

**COLORBOND - SURFMIST**  
• GARAGE DOOR  
• FRONT DOOR  
• DOWNPIPES  
• WATERTANK  
• BALCONY HANDRAIL

**TREND WINDOWS**  
SURFMIST

# Wisdom Smart

## The easystart

Ph: 4647 1200

Fax: 4647 1233

www.wisdomsmart.com.au

PROJECT:  
PROPOSED BRICK VENEER DWELLING

CLIENT:  
Wisdom Homes Pty Ltd

ADDRESS:  
Lot 2385 Empire Circuit  
Thornton Estate, Penrith

JOB No:  
143791

DRAWN  
DC  
DATE  
05.06.14

LGA:  
PENRITH

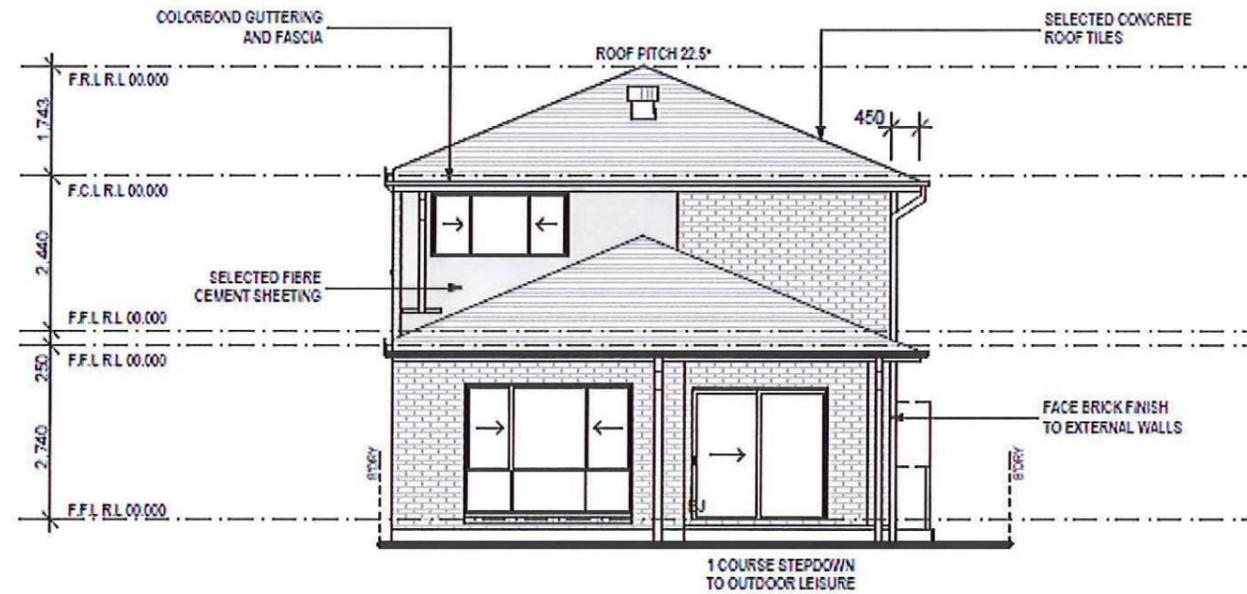
SITE CLASSIFICATION  
'H' Class

DESCRIPTION:  
COLUMBUS 27

FAÇADE  
NOVA TERRACE  
SHEET

CODE:  
WS-COLU27D NO LH

5



○ REAR/SOUTH ELEVATION  
1:100



○ RIGHT/WEST ELEVATION  
1:100

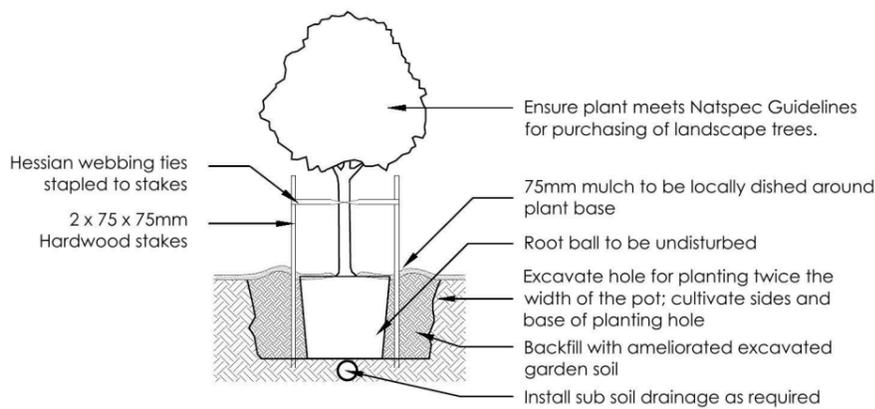
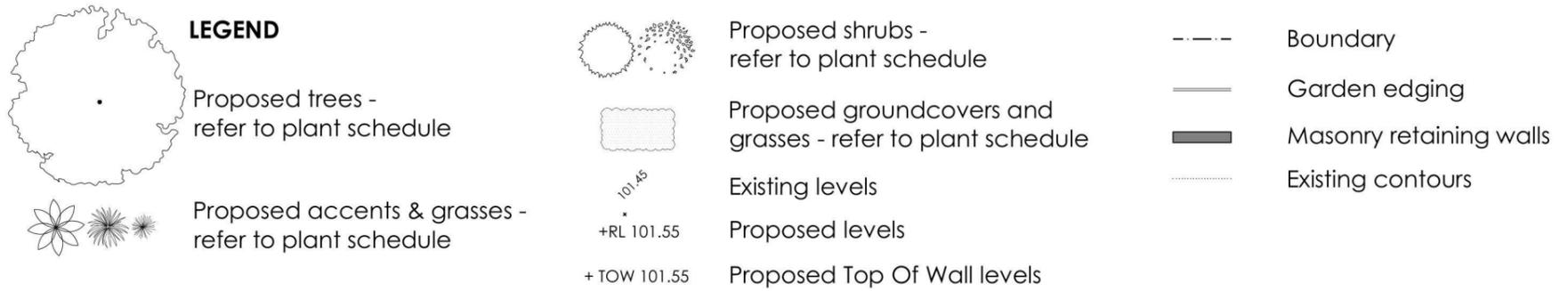
# Lot 2385

## PLANT SCHEDULE Prepared by ecodeign Pty Ltd

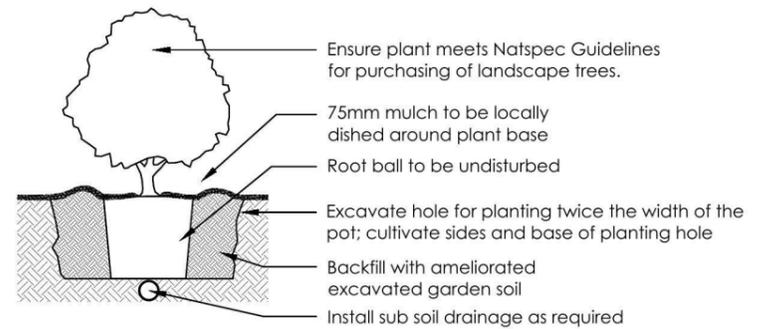
SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Gfs	Gardenia 'Four Seasons'	Four Seasons Gardenia	9	200mm	1m
Liy	Lagerstroemia 'Yuma'	Pink Flowering Crepe Myrtle	1	75L	4m
Lwf	Liriope muscari 'Monroe's White'	Liriope (white flowering)	19	200mm	450mm
Vo	Viburnum odoratissimum	Sweet Viburnum	7	200mm	2.5m
Vh	Viola hederacea	Native Violet	10	150mm	0.1m

### LOT PLANTING SUMMARY

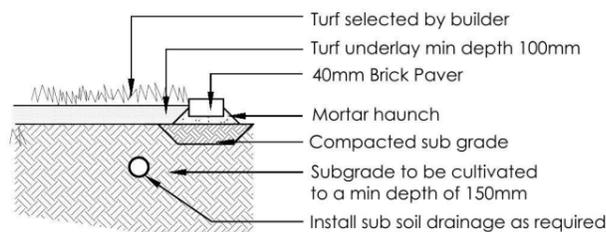
Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
46	7	0	39	1



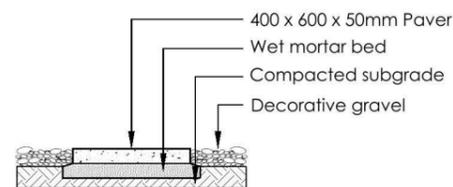
**1 Tree Planting Detail**  
NTS 25L - 100L Pot Size



**2 Planting Detail**  
NTS 150mm, 200mm Pot Size



**3 Turf Detail**  
NTS Brick Paver Edge



**4 Stepping stones in gravel**  
NTS Low traffic zone

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR + DA DRAWINGS FOR CLIENT REVIEW	RS	BT	01-08-14

**ecodeign**  
outdoor living environments

PO Box 8136, Baulkham Hills BC, NSW 2153  
Ph: (02) 9480 7712 Fax: (02) 9480 7705  
Email: info@ecodeign.com.au  
Web: www.ecodeign.com.au  
Member of the Australian Institute of Landscape Designers and Managers

1. Do not scale from drawings  
2. Verify all measurements on site  
3. Notify ecodeign of any inconsistencies  
4. Copyright © ecodeign. All rights reserved  
5. Drawing remains the property of ecodeign

6. All work to comply with relevant Australian Standards or Building Code of Australia  
7. All work to be performed by a suitably qualified tradesperson  
8. For application purposes only - NOT FOR CONSTRUCTION

ADDRESS  
**LOT 2385 EMPIRE CIRCUIT, PENRITH**

CLIENT  
**WISDOM HOMES**

PROJECT  
**NEW RESIDENCE**

DRAWING  
**LANDSCAPE PLAN**

SCALE  
**1:100 @ A3**

ISSUE  
**DA**

SHEET  
**02**

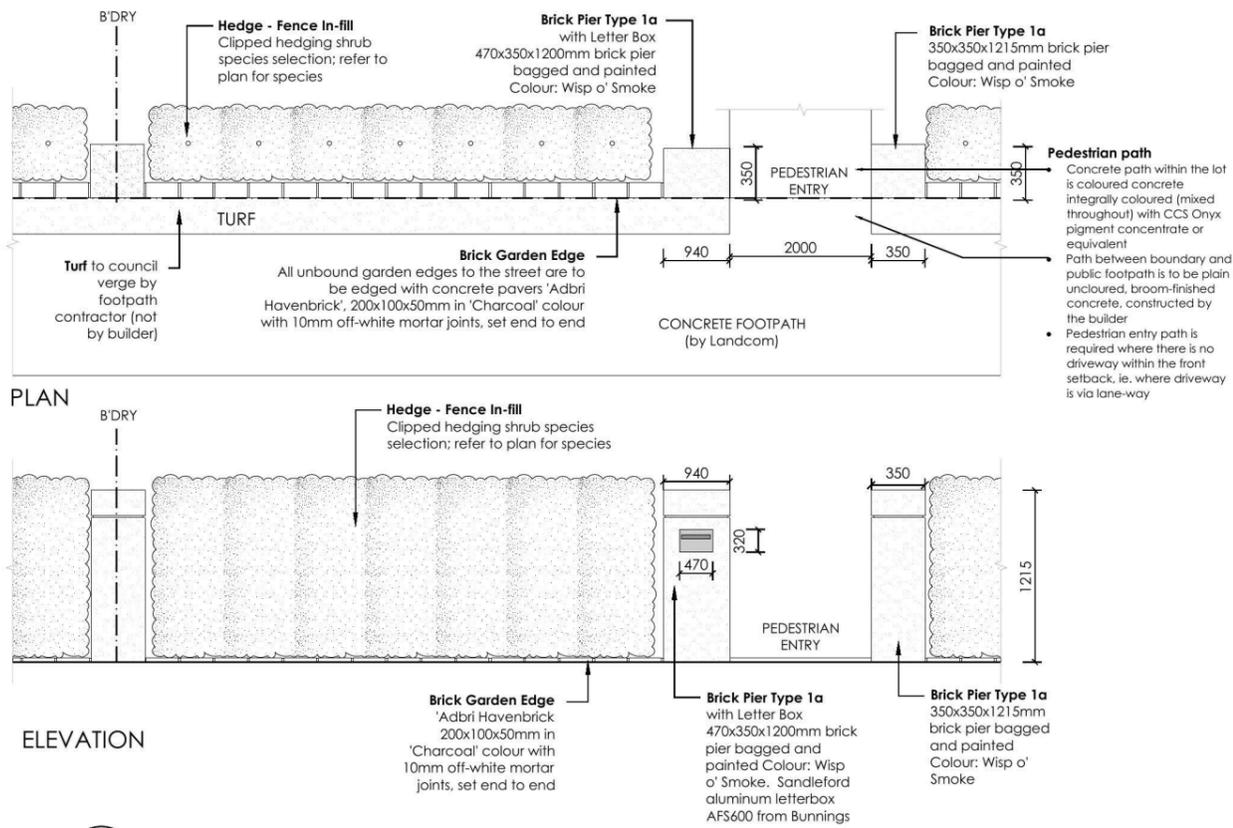
DRAWN  
**RS**

CHECK  
**BT**

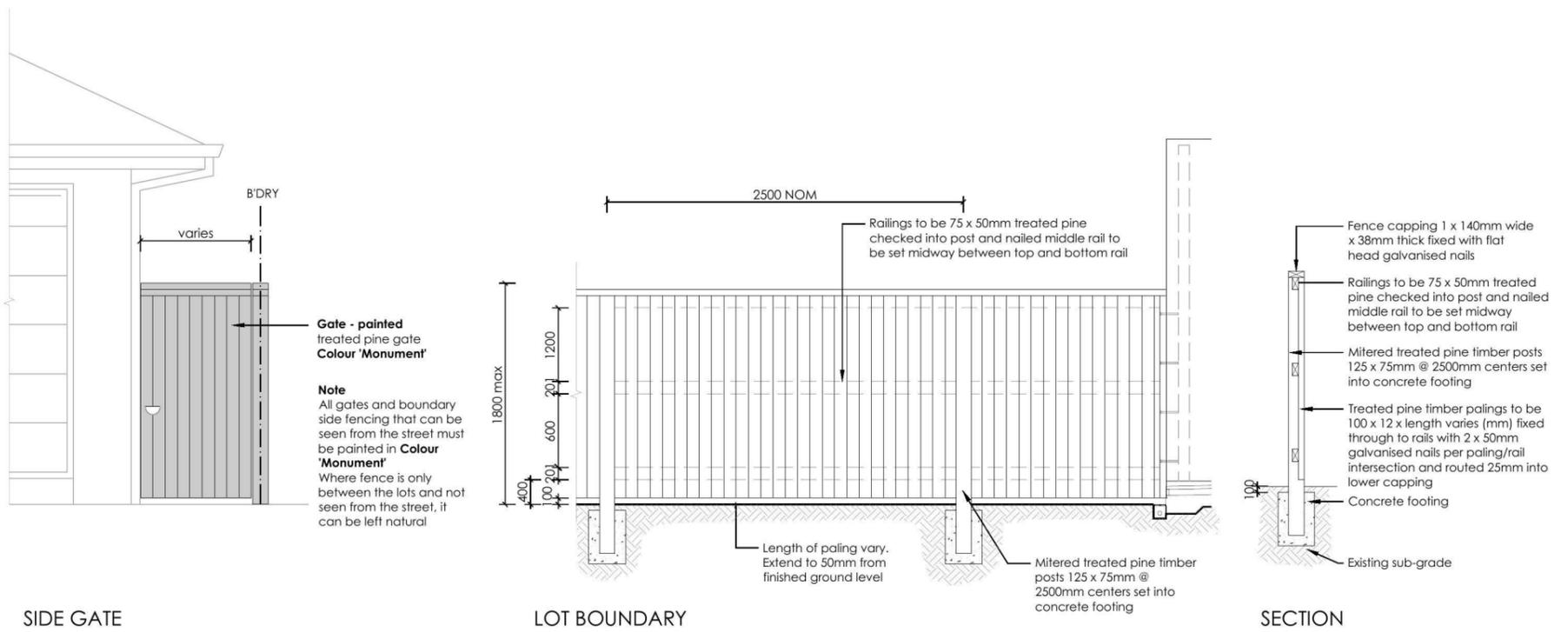
DATE  
**23-08-14**

REVISION  
**A**

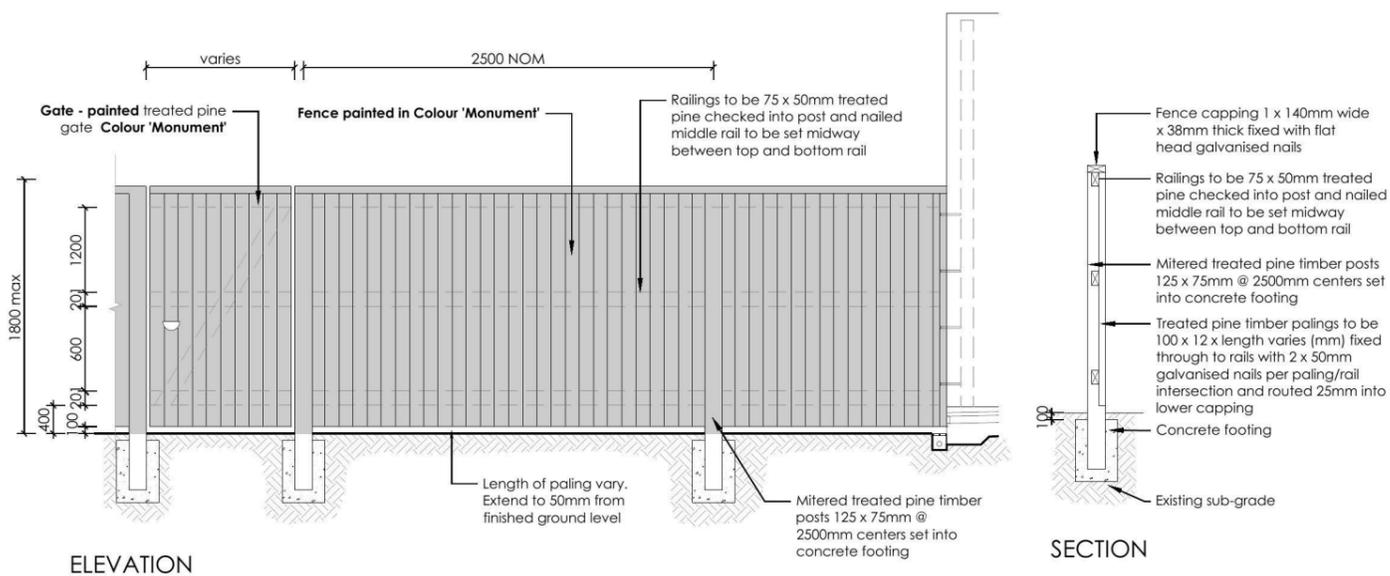




5 FENCE TYPE 5 - Front Fence  
1:50 Typical detail



7 FENCE TYPE 4a - Side Boundaries  
1:50 Typical detail



8 FENCE TYPE 4b - Rear Boundary  
1:50 All Laneways (except Barlett Lane)  
Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR + DA DRAWINGS FOR CLIENT REVIEW	RS	BT	01-08-14

**ecodesign**  
outdoor living environments

PO Box 8136, Baulkham Hills BC, NSW 2153  
Ph: (02) 9480 7712 Fax: (02) 9480 7705  
Email: info@ecodesign.com.au  
Web: www.ecodesign.com.au  
Member of the Australian Institute of Landscape Designers and Managers

1. Do not scale from drawings  
2. Verify all measurements on site  
3. Notify ecodesign of any inconsistencies  
4. Copyright © ecodesign. All rights reserved  
5. Drawing remains the property of ecodesign

6. All work to comply with relevant Australian Standards or Building Code of Australia  
7. All work to be performed by a suitably qualified tradesperson  
8. For application purposes only - NOT FOR CONSTRUCTION

PROJECT: NEW RESIDENCE

ADDRESS: LOT 2385 EMPIRE CIRCUIT, PENRITH

CLIENT: WISDOM HOMES

PROJECT	DRAWING	SCALE	DATE	SHEET	REVISION
NEW RESIDENCE	LANDSCAPE PLAN	1:100 @ A3	23-08-14	03	A

**AREAS SCHEDULE**

**SITE DETAILS**

LOT NUMBER: 2385  
 SITE AREA: 282.8m<sup>2</sup>

**DWELLING AREAS**

GROUND FLOOR LIVING: 82.11m<sup>2</sup>  
 FIRST FLOOR LIVING: 102.80m<sup>2</sup>  
 GARAGE: 20.71m<sup>2</sup>  
 PORCH: 1.98m<sup>2</sup>  
 TOTAL FLOOR AREA: 207.60m<sup>2</sup>

**'H' CLASS**

(Subject to borehole report)

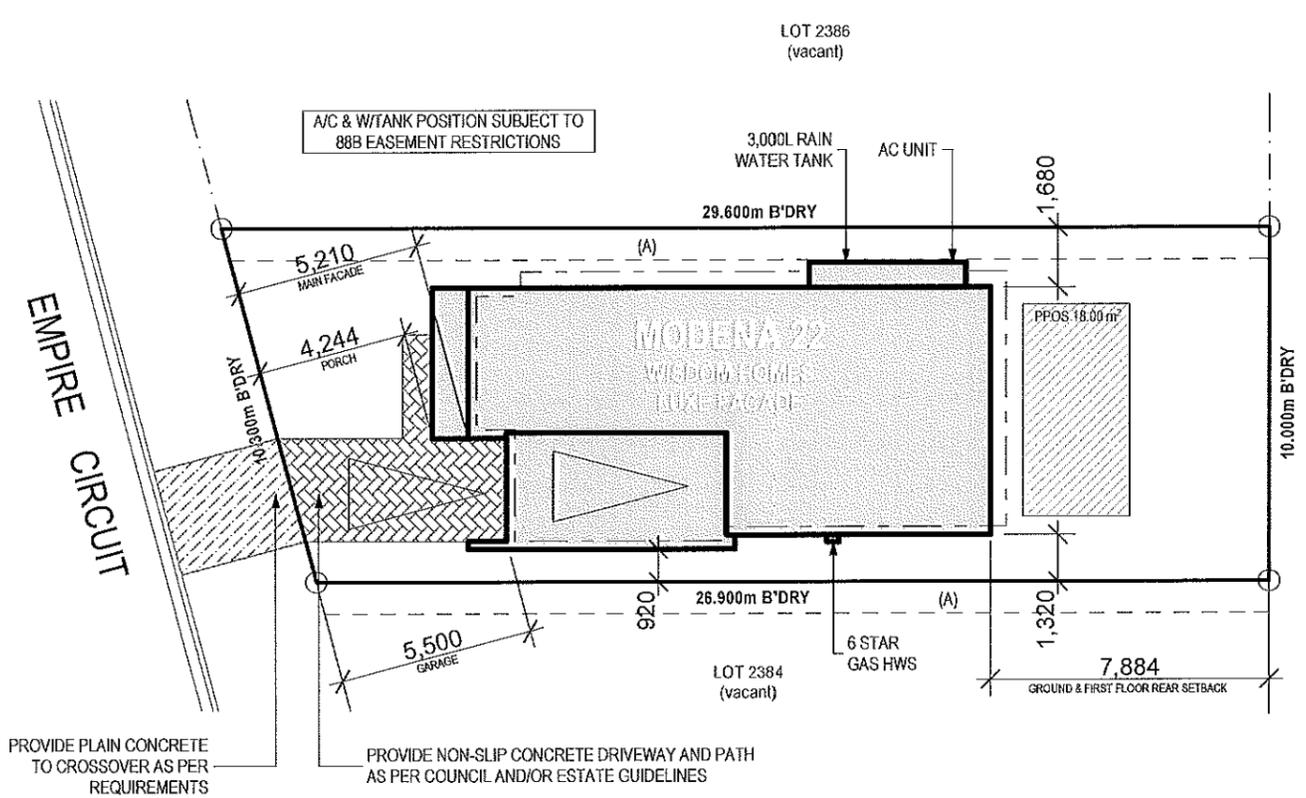
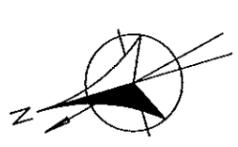
**LOT: 2385**  
**AREA: 282.8m<sup>2</sup>**

EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L. 00.000(ASSUMED) DATUM POINT 000mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

(A) EASEMENT FOR MAINTENANCE AND SUPPORT 0.9 WIDE (ASSUMED)

**PRELIMINARY DEPOSITED PLAN**

THIS PLAN HAS BEEN COMPILED FROM ARCHITECTURAL PLANS SUPPLIED BY URBANGROWTH NSW. DIMENSIONS AND AREAS SHOWN ARE INDICATIVE ONLY. THE PLAN IS SUBJECT TO FINAL SURVEY AND COMPLIANCE WITH COUNCIL CONDITIONS OF APPROVAL



PROVIDE PLAIN CONCRETE TO CROSSOVER AS PER REQUIREMENTS

PROVIDE NON-SLIP CONCRETE DRIVEWAY AND PATH AS PER COUNCIL AND/OR ESTATE GUIDELINES

**SITE PLAN**  
 1:200

**Wisdom Smart**

**The easystart**

Ph: 4647 1200  
 Fax: 4647 1233  
 www.wisdomsmart.com.au

PROJECT: PROPOSED BRICK VENEER DWELLING  
 CLIENT: Wisdom Homes Pty Ltd

ADDRESS: Lot 2385 Empire Circuit  
 Thornton Estate, Penrith

- ⊗ EXHAUST FAN
- ⊕ SMOKE ALARM AS 3786-1993

LODGEMENT: D.A/C.C  
 DP No: Unreg.

\*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES, BUILDERS LIC. No 131951C. NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

**REVISION SCHEDULE**

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
B	D.A/C.C PACK	AL	23.09.14
-	-	-	-
-	-	-	-

**BASIX NOTES**

- WATER**
- RAINWATER TANK OF AT LEAST 3,000 LITRES TO BE INSTALLED.
  - RAINWATER TANK MUST MEET AND BE INSTALLED IN ACCORDANCE WITH APPLICABLE REGULATORY AUTHORITIES.
  - RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 150.00m<sup>2</sup> OF ROOF AREA.
  - RAINWATER TANK SUPPLY TO BE CONNECT TO ALL TOILETS IN THE DEVELOPMENT.
  - KITCHEN TAP FITTING RATING: 4 STAR
  - SHOWERHEAD RATING: 3 STAR
  - TOILET RATING (DUAL FLUSH): 4 STAR
  - BATHROOM TAP FITTING RATING: 6 STAR
  - RAINWATER TANK TO BE CONNECTED TO AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.
- THERMAL COMFORT**
- EXTERNAL WALLS: BRICK VEENER/TIMBER FRAME  
 EXTERNAL WALL INSULATION: R2.0  
 EXTERNAL WALL COLOUR: MEDIUM  
 ROOFING MATERIAL: COLORBOND ROOF SHEETING  
 ROOF INSULATION: SARKING  
 ROOF COLOUR: MEDIUM  
 CEILING INSULATION: R3.5
- ENERGY**
- ACTIVE HEATING AND COOLING TO BE INSTALLED IN LIVING AND BEDROOMS, 3 PHASE A/C SYSTEM (EER 2.5-3.0). TO BE DAY/NIGHT ZONED BETWEEN LIVING AREAS AND BEDROOMS. TO BE INSTALLED PRIOR TO FINAL OCCUPATION CERTIFICATE.
  - PROVIDE GAS 6 STAR INSTANTANEOUS HWS.
  - PROVIDE GAS COOKTOP TO KITCHEN.
  - PROVIDE ELECTRIC OVEN TO KITCHEN.
  - ALL REFRIGERATOR SPACES TO BE WELL VENTILATED.
  - PROVIDE COMPACT FLUORESCENT ENERGY SAVING LIGHT BULBS TO ALL LIGHT POINTS.
  - PROVIDE OUTDOOR CLOTHES LINE BY OWNER.

**NOTES:**  
 REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.  
 REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.  
 REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.  
 REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.  
 A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).  
 FLOOR FINISHES AS SELECTED AS PER TENDER.

JOB No: 143791  
 DATE: 05.06.14  
 LGA: PENRITH  
 DESCRIPTION: MODENA 22  
 CODE: WS-MODED LU RH  
 DRAWN: AL  
 DATE: 05.06.14  
 SITE CLASSIFICATION: 'H' Class  
 FACADE: LUXE  
 SHEET: 2

PROJECT:  
PROPOSED BRICK VENEER DWELLING  
CLIENT:

Wisdom Homes Pty Ltd

ADDRESS:  
Lot 2385 Empire Circuit  
Thornton Estate, Penrith

- ⊗ EXHAUST FAN
- ⊕ SMOKE ALARM AS 3786-1993

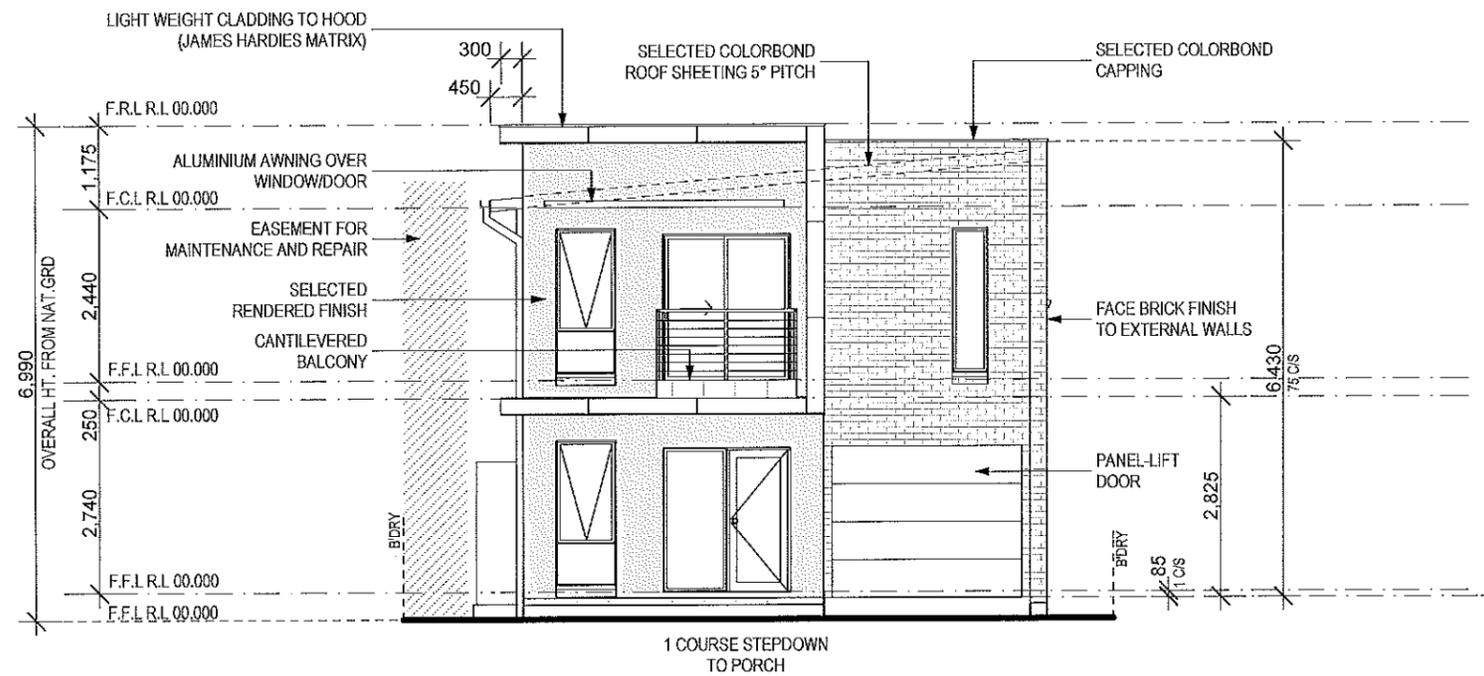
LODGEMENT: D.A/C.C  
DP No: Unreg.

\*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C.  
NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

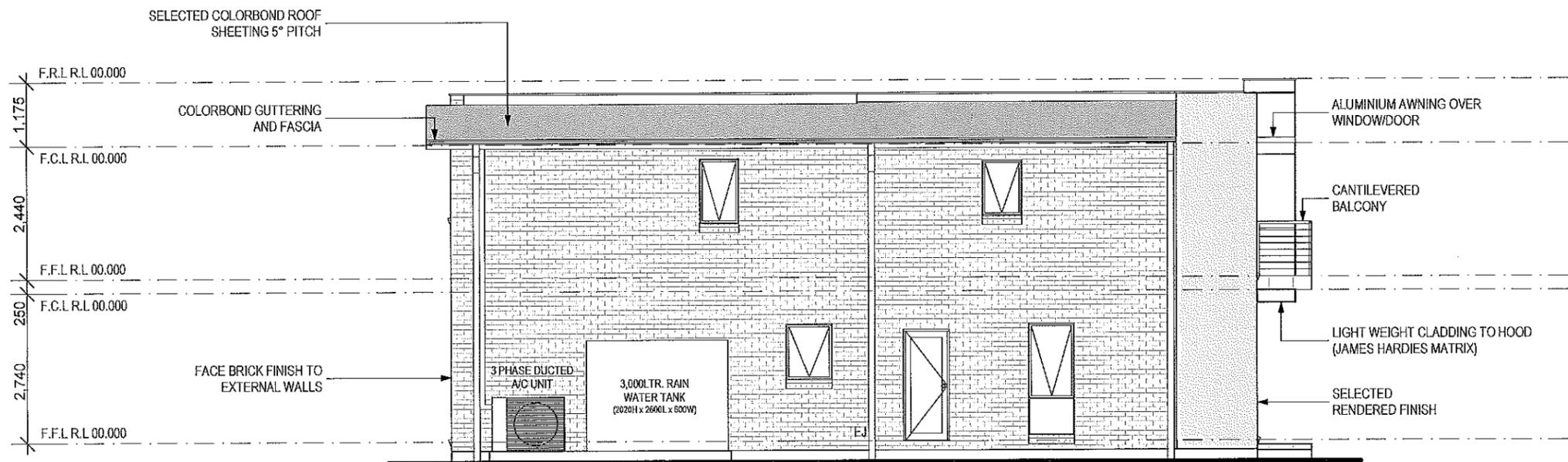
REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
B	D.A/C.C PACK	AL	23.09.14
-	-	-	-
-	-	-	-

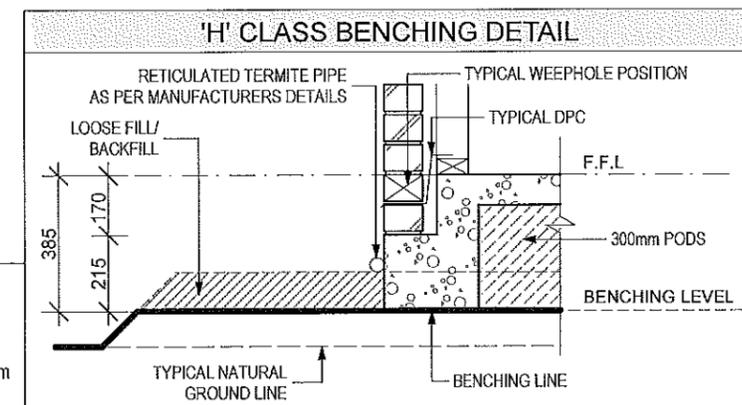
JOB No: 143791  
DRAWN: AL  
DATE: 05.06.14  
LGA: PENRITH  
SITE CLASSIFICATION: 'H' Class  
DESCRIPTION: MODENA 22  
FACADE: LUXE  
CODE: WS-MODED LU RH  
SHEET: 6



FRONT/NORTH ELEVATION  
1:100



LEFT/EAST ELEVATION  
1:100



**NOTE:**  
OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2 -  
FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.

**NOTES:**  
REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.  
REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.  
REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.  
REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.  
A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION (REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS).  
FLOOR FINISHES AS SELECTED AS PER TENDER.  
Version: 1, Version Date: 06/10/2014

PROJECT:  
PROPOSED BRICK VENEER DWELLING  
CLIENT:

Wisdom Homes Pty Ltd

ADDRESS:  
Lot 2385 Empire Circuit  
Thornton Estate, Penrith

- ⊗ EXHAUST FAN
- ⊗ SMOKE ALARM AS 3786-1993

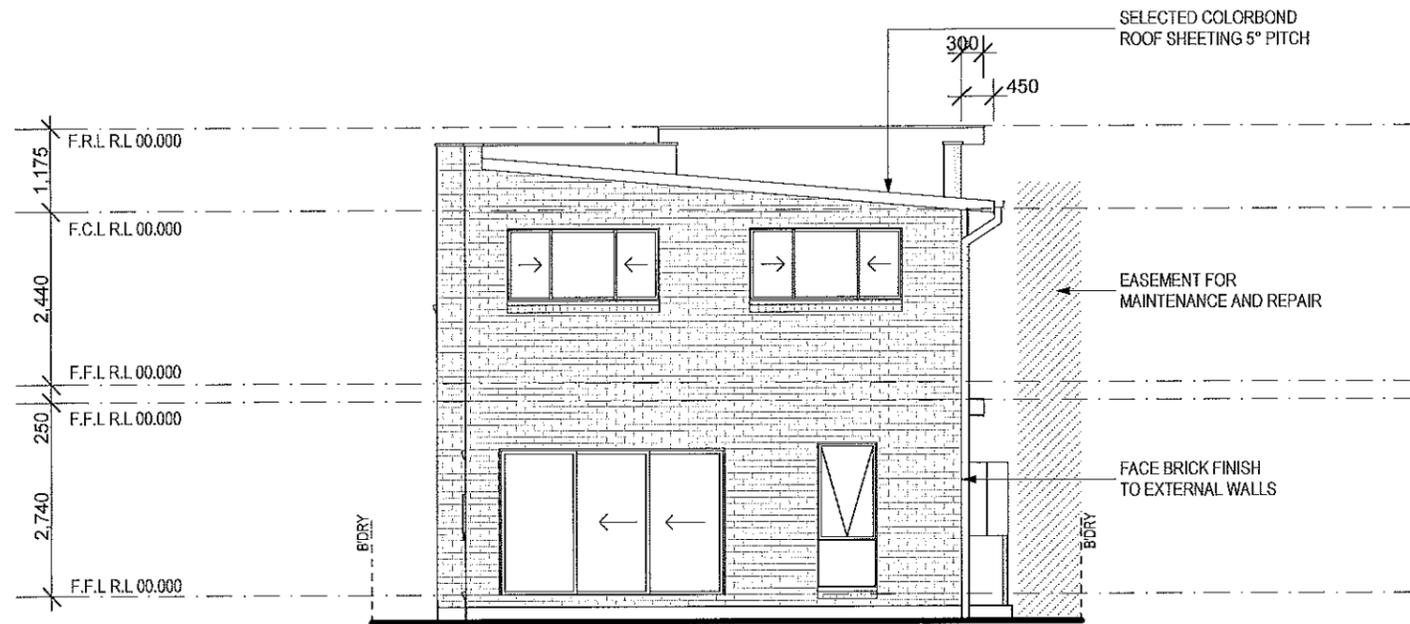
LODGEMENT: D.A/C.C  
DP No: Unreg.

\*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C. NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

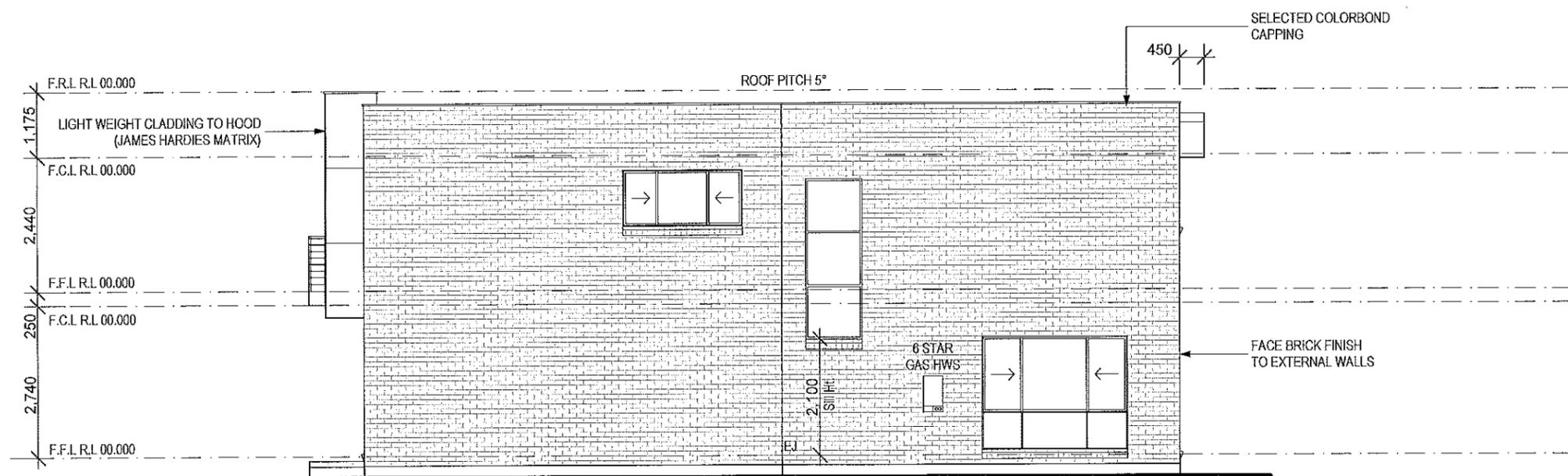
REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
B	D.A/C.C PACK	AL	23.09.14
-	-	-	-
-	-	-	-

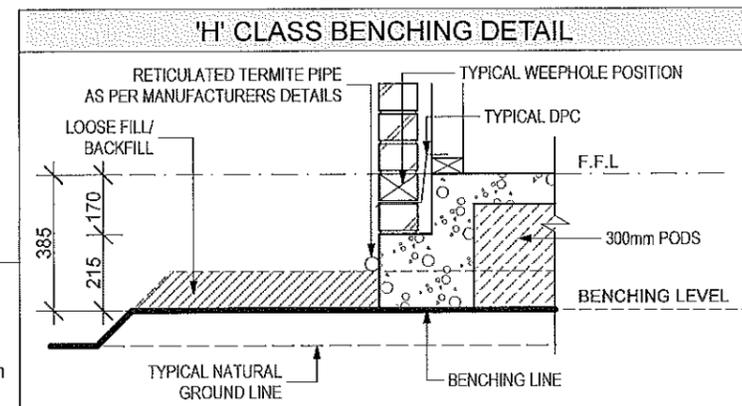
JOB No: 143791  
DRAWN: AL  
DATE: 05.06.14  
LGA: PENRITH  
SITE CLASSIFICATION: 'H' Class  
DESCRIPTION: MODENA 22  
FACADE: LUXE  
CODE: WS-MODED LU RH  
SHEET: 7



REAR/SOUTH ELEVATION  
1:100



RIGHT/WEST ELEVATION  
1:100



**NOTE:**  
OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2 -  
FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.

**NOTES:**  
REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.  
REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.  
REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.  
REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.  
A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION  
DISMANTLE AND REBUILD STRUCTURAL BEAMS ETC).  
FLOOR FINISHES AS SELECTED AS PER TENDER.  
Version: 1, Version Date: 08/10/2014

Ph: 4647 1200

Fax: 4647 1233

www.wisdomsmart.com.au

PROJECT:  
PROPOSED BRICK VENEER DWELLING  
CLIENT:

Wisdom Homes Pty Ltd

ADDRESS:  
Lot 2385 Empire Circuit  
Thornton Estate, Penrith

- ⊗ EXHAUST FAN
- ⊙ SMOKE ALARM AS 3786-1993

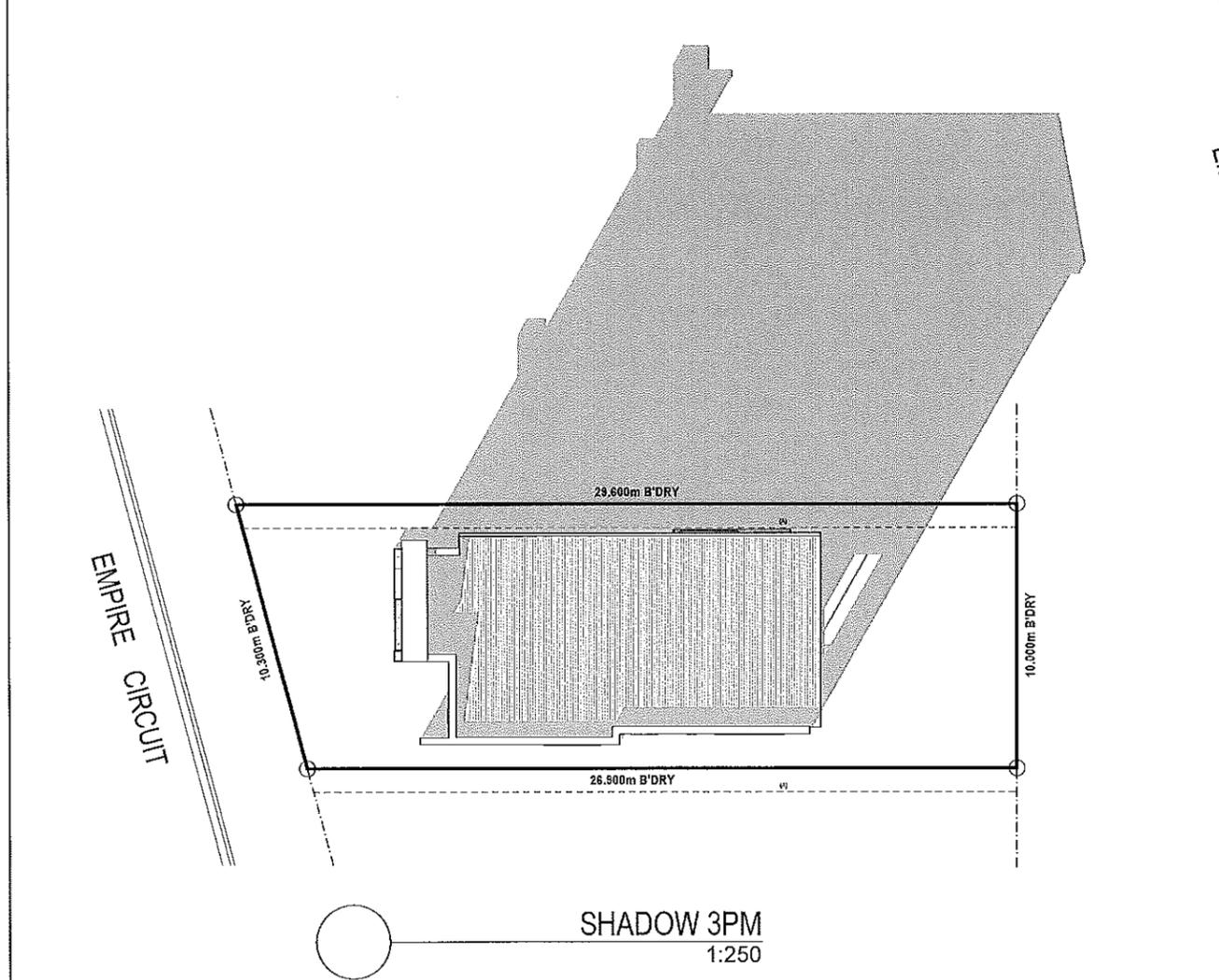
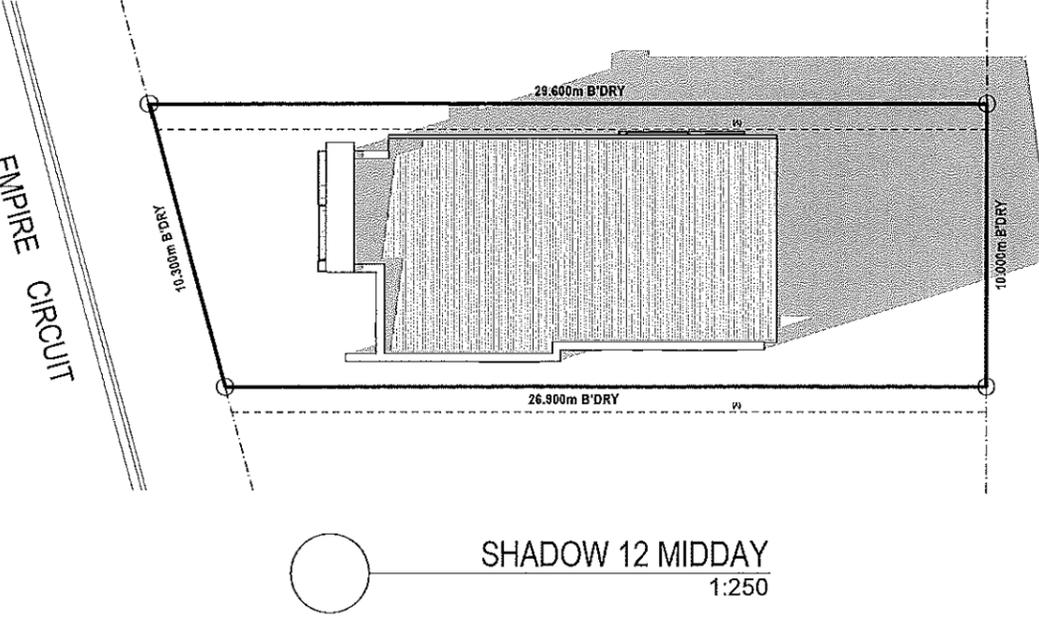
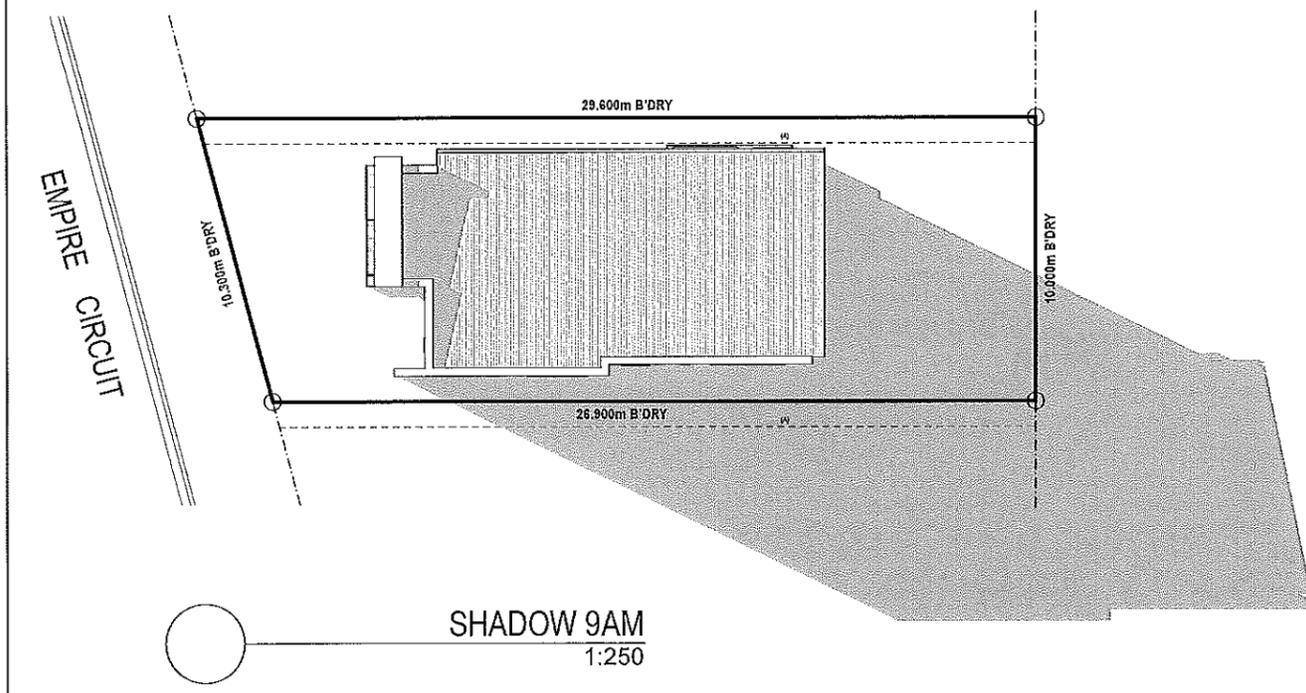
LODGEMENT: D.A/C.C  
DP No: Unreg.

\*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES, BUILDERS LIC. No 131951C.  
NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
B	D.A/C.C PACK	AL	23.09.14
-	-	-	-
-	-	-	-

JOB No: <b>143791</b>	DRAWN: AL
LGA: PENRITH	DATE: 05.06.14
DESCRIPTION: MODENA 22	SITE CLASSIFICATION: 'H' Class
CODE: WS-MODED LU RH	SHEET: <b>18</b>



**NOTES:**  
 \*REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.  
 \*REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.  
 \*REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.  
 \*REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.  
 \*A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).  
 \*FLOOR FINISHES AS BELETED AS PER TENDER.  
 Version: 1, Version Date: 08/10/2014

SHADOW PROJECTIONS 21<sup>st</sup> JUNE

# Modena 22 Luxe

Page	Drawing
2	SITE PLAN
3	BENCHING PLAN
4	GROUND FLOOR PLAN
5	FIRST FLOOR PLAN
6	ELEVATIONS
7	ELEVATIONS
8	SECTIONS
9	DETAILS
10	WINDOW SCHEDULE
11	DOOR SCHEDULE
12	GROUND FLOOR WET AREA DETAILS
13	FIRST FLOOR WET AREA DETAILS
14	GROUND FLOOR ELECTRICAL PLAN
15	FIRST FLOOR ELECTRICAL PLAN
16	SITE ANALYSIS PLAN
17	CONCEPT STORMWATER PLAN
18	SHADOW DIAGRAMS



**Wisdom  
Smart  
The easystart**

PROJECT: PROPOSED BRICK VENEER DWELLING  
 CLIENT: Wisdom Homes Pty Ltd  
 ADDRESS: Lot 2385 Empire Circuit  
 Thornton Estate, Penrith

JOB No:  
**143791**

Ph: 4647 1200  
 Fax: 4647 1233

[www.wisdomsmart.com.au](http://www.wisdomsmart.com.au)

# AREAS SCHEDULE

## SITE DETAILS

LOT NUMBER: 2385  
 SITE AREA: 282.8m<sup>2</sup>

## DWELLING AREAS

GROUND FLOOR LIVING: 82.11m<sup>2</sup>  
 FIRST FLOOR LIVING: 102.80m<sup>2</sup>  
 GARAGE: 20.71m<sup>2</sup>  
 PORCH: 1.98m<sup>2</sup>

TOTAL FLOOR AREA: 207.60m<sup>2</sup>

### 'H' CLASS

(subject to borehole report)

### LOT: 2385

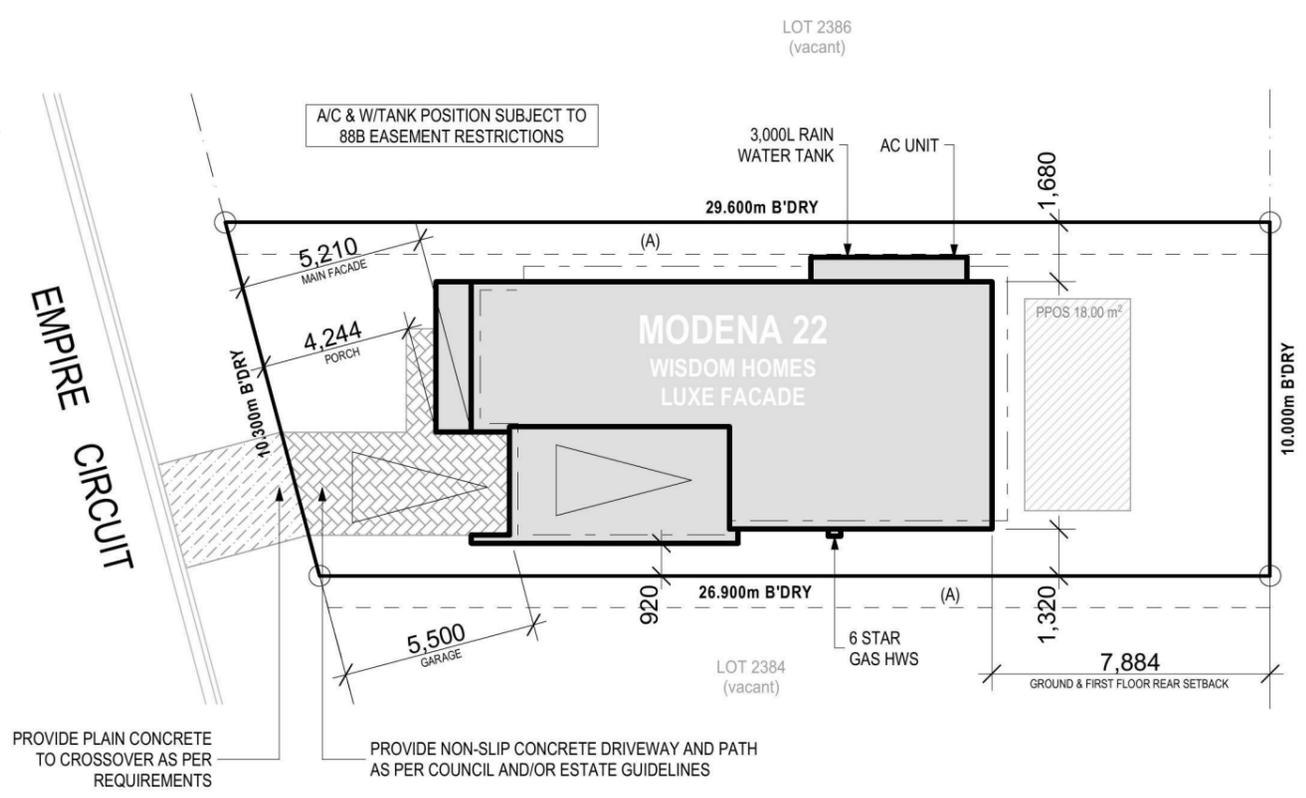
AREA: 282.8m<sup>2</sup>

EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L. 00.000 (ASSUMED) DATUM POINT 000mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

(A) EASEMENT FOR MAINTENANCE AND SUPPORT 0.9 WIDE (ASSUMED)

### PRELIMINARY DEPOSITED PLAN

THIS PLAN HAS BEEN COMPILED FROM ARCHITECTURAL PLANS SUPPLIED BY URBANGROWTH NSW. DIMENSIONS AND AREAS SHOWN ARE INDICATIVE ONLY. THE PLAN IS SUBJECT TO FINAL SURVEY AND COMPLIANCE WITH COUNCIL CONDITIONS OF APPROVAL



**SITE PLAN**  
1:200

# Wisdom Smart

## The easystart

Ph: 4647 1200  
 Fax: 4647 1233  
 www.wisdomsmart.com.au

PROJECT: PROPOSED BRICK VENEER DWELLING  
 CLIENT: Wisdom Homes Pty Ltd

ADDRESS: Lot 2385 Empire Circuit  
 Thornton Estate, Penrith

- ⊗ EXHAUST FAN
- ⊗ SMOKE ALARM AS 3786-1993

LODGEMENT: D.A/C.C  
 DP No: Unreg.

\*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES BUILDERS LIC. No 131951C. NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

### BASIX NOTES

- WATER**
- RAINWATER TANK OF AT LEAST 3,000 LITRES TO BE INSTALLED.
  - RAINWATER TANK MUST MEET AND BE INSTALLED IN ACCORDANCE WITH APPLICABLE REGULATORY AUTHORITIES.
  - RAINWATER TANK TO COLLECT RAIN RUNOFF FROM AT LEAST 150.00m<sup>2</sup> OF ROOF AREA.
  - RAINWATER TANK SUPPLY TO BE CONNECT TO ALL TOILETS IN THE DEVELOPMENT.
  - KITCHEN TAP FITTING RATING: 4 STAR
  - SHOWERHEAD RATING: 3 STAR
  - TOILET RATING (DUAL FLUSH): 4 STAR
  - BATHROOM TAP FITTING RATING: 6 STAR
  - RAINWATER TANK TO BE CONNECTED TO AT LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT.
- THERMAL COMFORT**
- EXTERNAL WALLS: BRICK VEENER/TIMBER FRAME  
 EXTERNAL WALL INSULATION: R2.0  
 EXTERNAL WALL COLOUR: MEDIUM  
 ROOFING MATERIAL: COLORBOND ROOF SHEETING  
 ROOF INSULATION: SARKING  
 ROOF COLOUR: MEDIUM  
 CEILING INSULATION: R3.5
- ENERGY**
- ACTIVE HEATING AND COOLING TO BE INSTALLED IN LIVING AND BEDROOMS, 3 PHASE A/C SYSTEM (EER 2.5-3.0). TO BE DAY/NIGHT ZONED BETWEEN LIVING AREAS AND BEDROOMS. TO BE INSTALLED PRIOR TO FINAL OCCUPATION CERTIFICATE.
  - PROVIDE GAS 6 STAR INSTANTANEOUS HWS.
  - PROVIDE GAS COOKTOP TO KITCHEN.
  - PROVIDE ELECTRIC OVEN TO KITCHEN.
  - ALL REFRIGERATOR SPACES TO BE WELL VENTILATED.
  - PROVIDE COMPACT FLUORESCENT ENERGY SAVING LIGHT BULBS TO ALL LIGHT POINTS.
  - PROVIDE OUTDOOR CLOTHES LINE BY OWNER.

REVISION SCHEDULE			
ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
B	D.A/C.C PACK	AL	23.09.14
-	-	-	-
-	-	-	-

JOB No: <b>143791</b>	DRAWN: AL
LGA: PENRITH	DATE: 05.06.14
DESCRIPTION: MODENA 22	SITE CLASSIFICATION: 'H' Class
CODE: WS-MODED LU RH	SHEET: <b>2</b>

**NOTES:**

- \*REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.
- \*REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.
- \*REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.
- \*REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.
- \*A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).

PROJECT:  
PROPOSED BRICK VENEER DWELLING  
CLIENT:

Wisdom Homes Pty Ltd

ADDRESS:  
Lot 2385 Empire Circuit  
Thornton Estate, Penrith

- ⊗ EXHAUST FAN
- ⊗ SMOKE ALARM AS 3786-1993

LODGEMENT: D.A/C.C  
DP No: Unreg.

\*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C. NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

### REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
B	D.A/C.C PACK	AL	23.09.14
-	-	-	-
-	-	-	-

JOB No: 143791  
DRAWN: AL  
DATE: 05.06.14  
LGA: PENRITH  
SITE CLASSIFICATION: 'H' Class  
DESCRIPTION: MODENA 22  
FACADE: LUXE  
CODE: WS-MODED LU RH  
SHEET: 3

**'H' CLASS**  
(subject to borehole report)

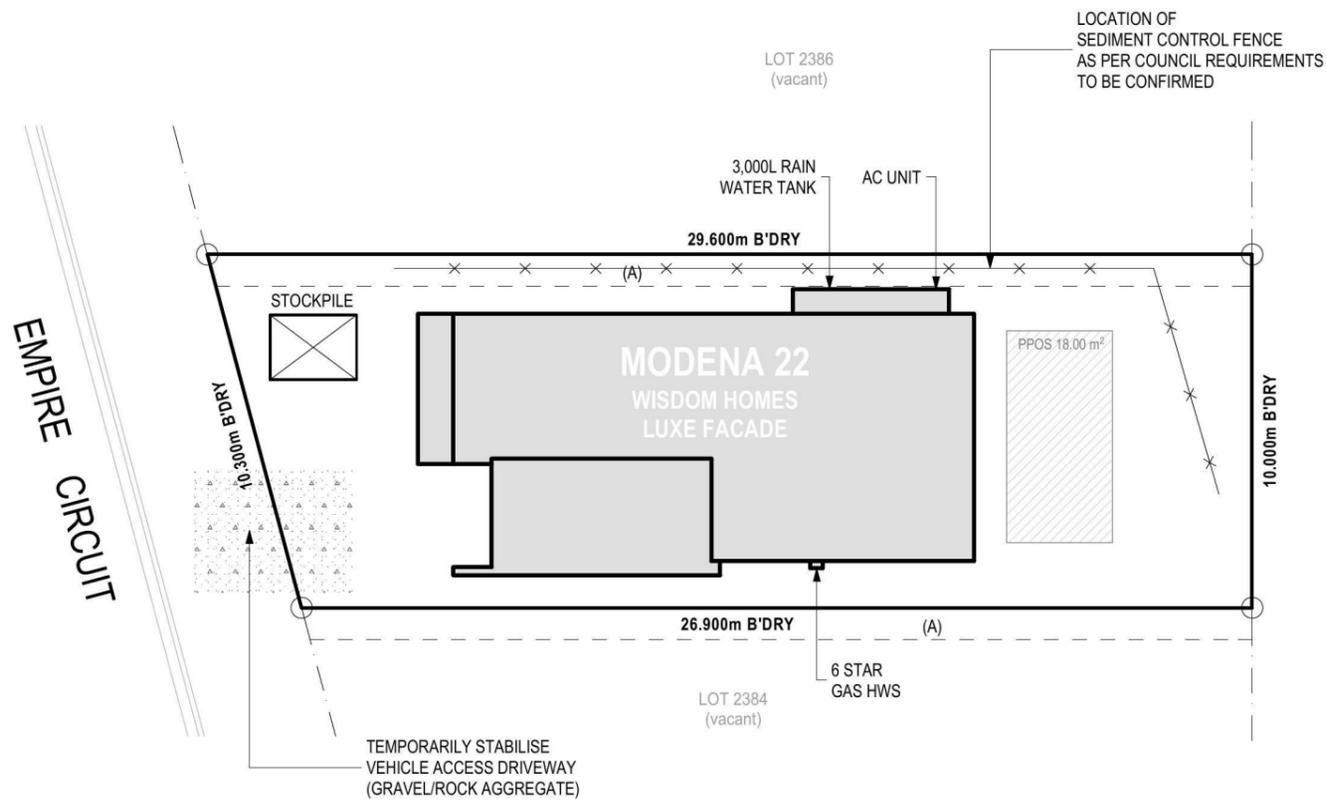
**LOT: 2385**  
**AREA: 282.8m<sup>2</sup>**

EXCAVATE SITE APPROX. 000mm TO FORM JOB DATUM R.L. 00.000 (ASSUMED) DATUM POINT 000mm BELOW FINISHED FLOOR LEVEL. EXTENT OF EXCAVATION AND BATTERS TO BE DETERMINED ON SITE.

(A) EASEMENT FOR MAINTENANCE AND SUPPORT 0.9 WIDE (ASSUMED)

### PRELIMINARY DEPOSITED PLAN

THIS PLAN HAS BEEN COMPILED FROM ARCHITECTURAL PLANS SUPPLIED BY URBANGROWTH NSW. DIMENSIONS AND AREAS SHOWN ARE INDICATIVE ONLY. THE PLAN IS SUBJECT TO FINAL SURVEY AND COMPLIANCE WITH COUNCIL CONDITIONS OF APPROVAL



BENCHING PLAN  
1:200

**NOTES:**  
\*REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.  
\*REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.  
\*REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.  
\*REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.  
\*A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).  
\*SEE TENDER DOCUMENTS FOR FURTHER INFORMATION.

PROJECT:  
PROPOSED BRICK VENEER DWELLING  
CLIENT:

Wisdom Homes Pty Ltd

ADDRESS:  
Lot 2385 Empire Circuit  
Thornton Estate, Penrith

- ⊗ EXHAUST FAN
- ⊗ SMOKE ALARM AS 3786-1993

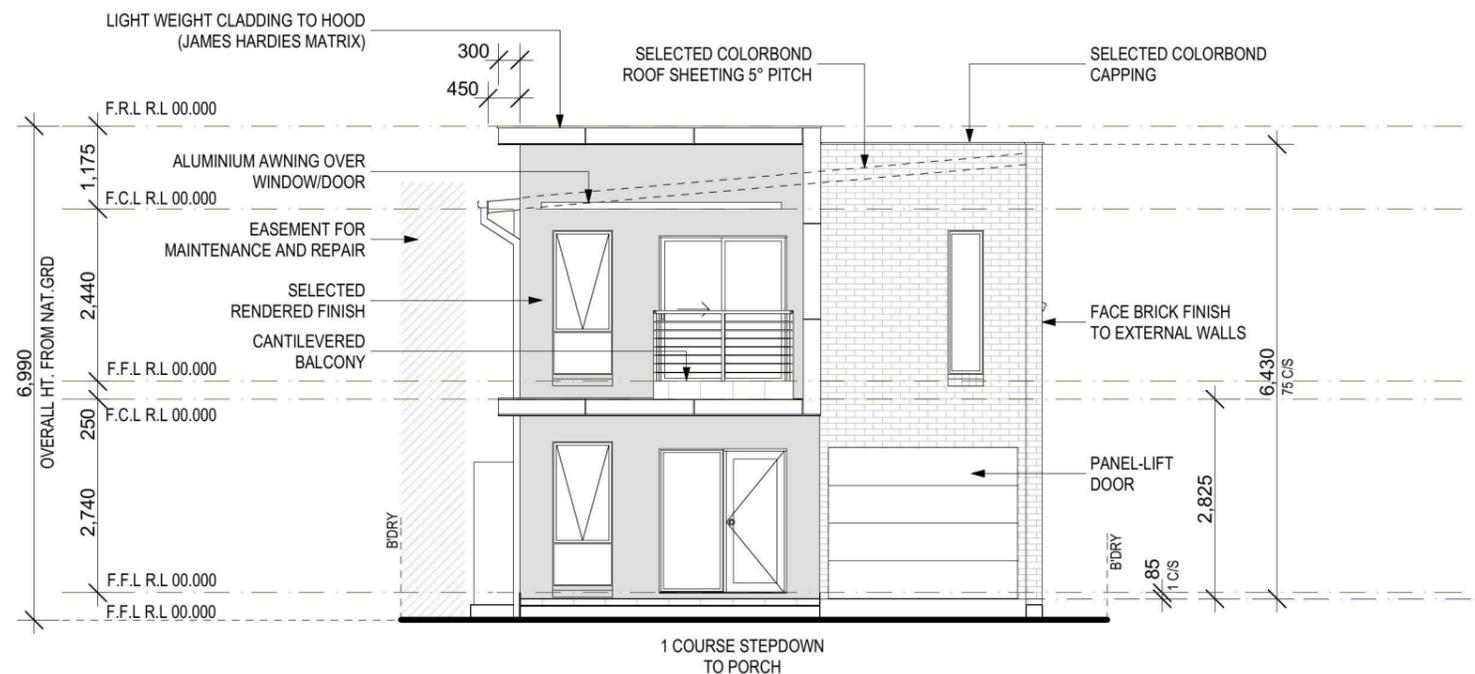
LODGEMENT: **D.A/C.C** DP No: **Unreg.**

\*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C. NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

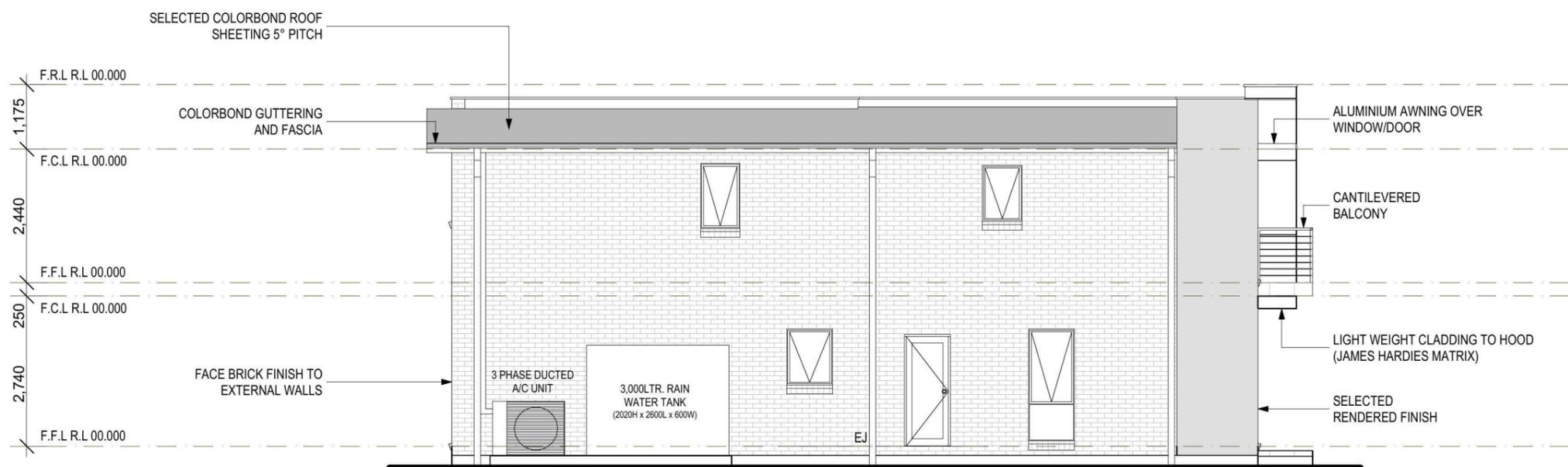
### REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
B	D.A/C.C PACK	AL	23.09.14
-	-	-	-
-	-	-	-

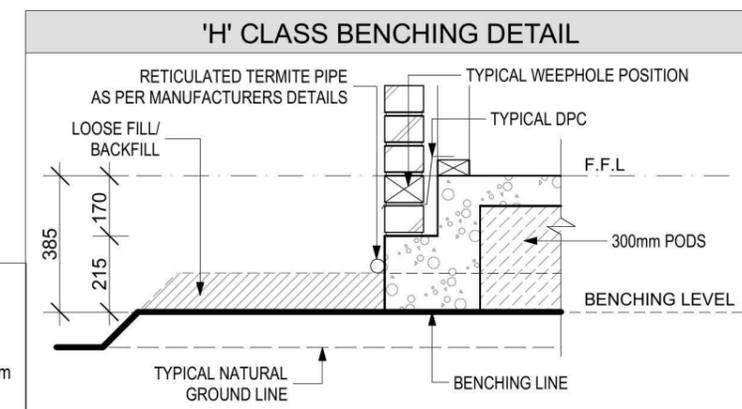
JOB No: **143791** DRAWN: **AL**  
 DATE: **05.06.14**  
 LGA: **PENRITH** SITE CLASSIFICATION: **'H' Class**  
 DESCRIPTION: **MODENA 22** FACADE: **LUXE**  
 CODE: **WS-MODED LU RH** SHEET: **6**



FRONT/NORTH ELEVATION  
1:100



LEFT/EAST ELEVATION  
1:100



**NOTE:**  
 OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2 - FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.

**NOTES:**  
 \*REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.  
 \*REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.  
 \*REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.  
 \*REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.  
 \*A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).  
 Document Set ID: 6189615 PER TENDER.

PROJECT:  
PROPOSED BRICK VENEER DWELLING  
CLIENT:

Wisdom Homes Pty Ltd

ADDRESS:  
Lot 2385 Empire Circuit  
Thornton Estate, Penrith

- ⊗ EXHAUST FAN
- ⊗ SMOKE ALARM AS 3786-1993

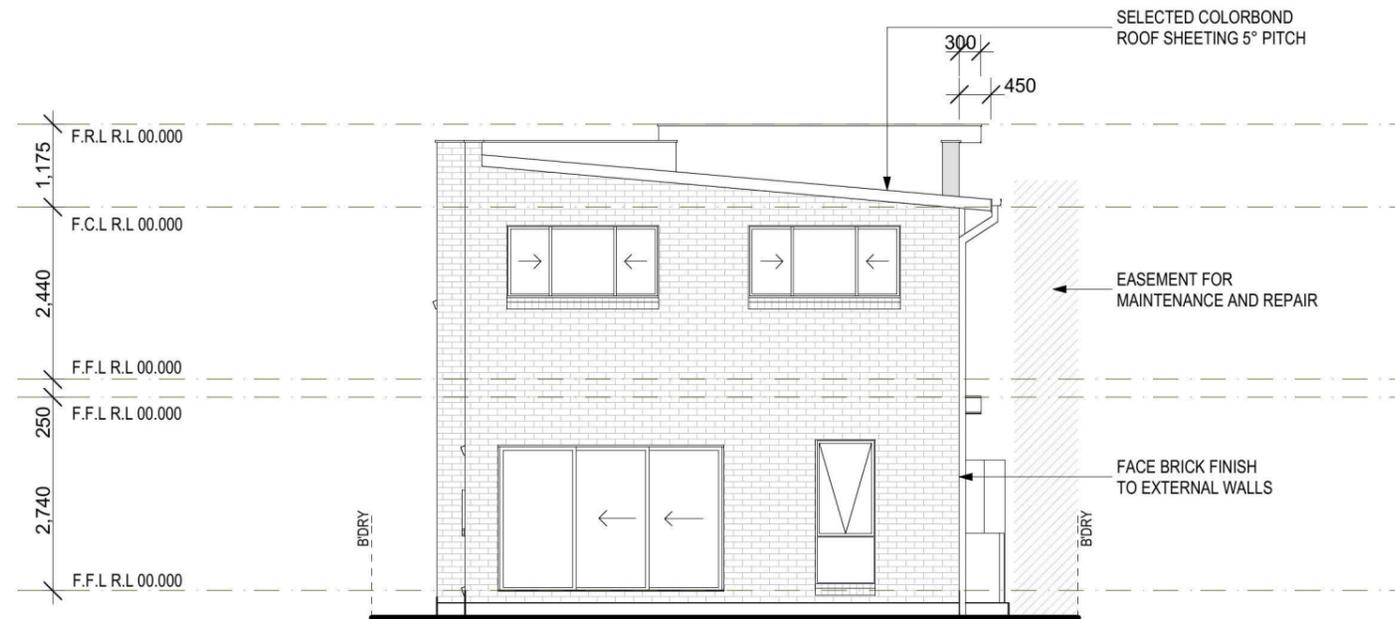
LODGEMENT: **D.A/C.C** DP No: **Unreg.**

\*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C. NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

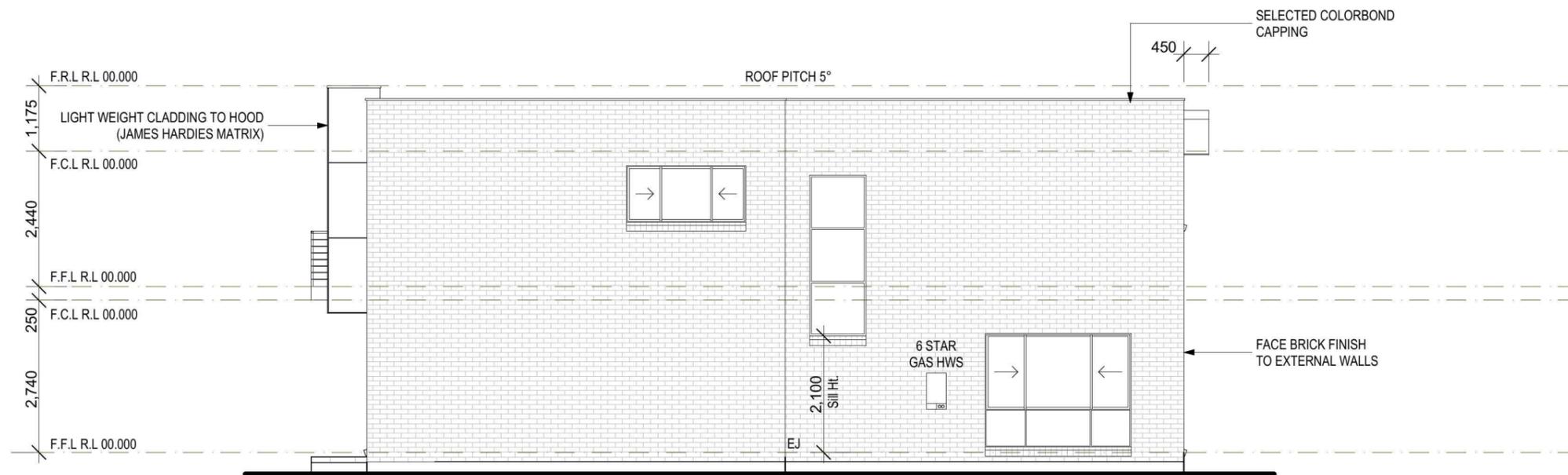
### REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
B	D.A/C.C PACK	AL	23.09.14
-	-	-	-
-	-	-	-

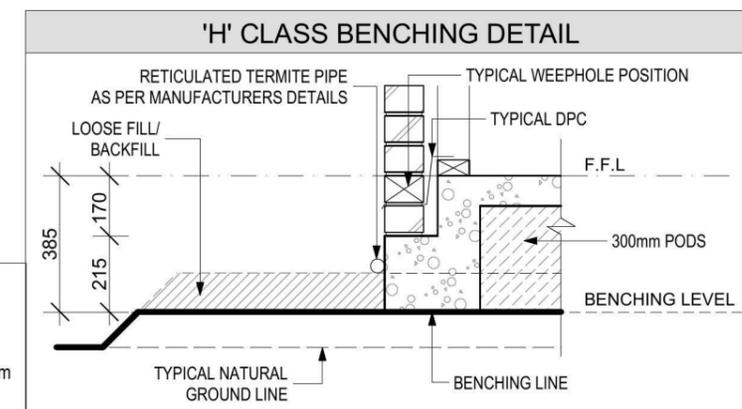
JOB No: **143791** DRAWN: **AL**  
 DATE: **05.06.14**  
 LGA: **PENRITH** SITE CLASSIFICATION: **'H' Class**  
 DESCRIPTION: **MODENA 22** FACADE: **LUXE**  
 CODE: **WS-MODED LU RH** SHEET: **7**



REAR/NSOUTH ELEVATION  
1:100



RIGHT/WEST ELEVATION  
1:100



**NOTES:**  
 \*REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.  
 \*REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.  
 \*REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.  
 \*REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.  
 \*A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).  
 Document Set ID: 6189615

**NOTE:**  
 OPENABLE WINDOWS TO BE IN ACCORDANCE WITH CLAUSE 3.9.2.5 OF THE BCA 2013 VOL. 2 -  
 FIRST FLOOR WINDOWS TO BE RESTRICTED TO OPEN A MAX. OF 125mm IF SILL HEIGHT IS LOWER THAN 1700mm ABOVE A FLOOR LEVEL.

PROJECT:  
PROPOSED BRICK VENEER DWELLING  
CLIENT:

Wisdom Homes Pty Ltd

ADDRESS:  
Lot 2385 Empire Circuit  
Thornton Estate, Penrith

- ⊗ EXHAUST FAN
- ⊗ SMOKE ALARM AS 3786-1993

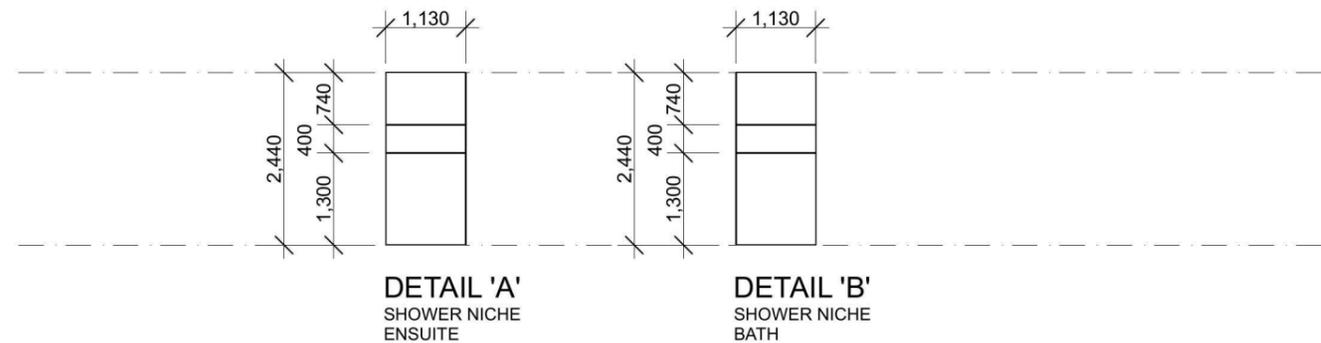
LODGEMENT: <b>D.A/C.C</b>	DP No: <b>Unreg.</b>
------------------------------	-------------------------

\*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES. BUILDERS LIC. No 131951C. NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

#### REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
B	D.A/C.C PACK	AL	23.09.14
-	-	-	-
-	-	-	-

JOB No: <b>143791</b>	DRAWN: <b>AL</b>
LGA: <b>PENRITH</b>	DATE: <b>05.06.14</b>
DESCRIPTION: <b>MODENA 22</b>	SITE CLASSIFICATION: <b>'H' Class</b>
CODE: <b>WS-MODED LU RH</b>	FACADE: <b>LUXE</b>
	SHEET: <b>9</b>



○ DETAILS  
1:100

**NOTES:**  
 \*REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.  
 \*REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.  
 \*REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.  
 \*REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.  
 \*A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).  
 \*SEE DRAWING 143791-01 FOR TENDER.



PROJECT:  
PROPOSED BRICK VENEER DWELLING  
CLIENT:

**Wisdom Homes Pty Ltd**

ADDRESS:  
**Lot 2385 Empire Circuit  
Thornton Estate, Penrith**

- ⊗ EXHAUST FAN
- ⊗ SMOKE ALARM AS 3786-1993

LODGEMENT: **D.A/C.C** DP No: **Unreg.**

\*COPYRIGHT OF PLANS AND DOCUMENTATION REMAIN THE EXCLUSIVE PROPERTY OF WISDOM PROPERTIES GROUP PTY LTD T/A WISDOM HOMES, BUILDERS LIC. No 131951C. NOTES: BOUNDARY SETBACKS MUST BE VERIFIED BY A REGISTERED SURVEYOR BEFORE COMMENCEMENT OF ANY BUILDING WORK. ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THESE DRAWINGS, COUNCIL REQUIREMENTS, RELEVANT CODES & STANDARDS. LEVELS SHOWN ARE BASED ON CONTOUR SURVEY PREPARED BY A REGISTERED SURVEYOR. DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS PROVIDED & ENGINEERS DETAILS. WHERE ENGINEERS STRUCTURAL DRAWINGS ARE REQUIRED THE ENGINEERS PLAN WILL TAKE PREFERENCE TO THESE DRAWINGS. IN THE EVENT OF ANY ALTERATIONS OR DISCREPANCIES, NOTIFY WISDOM HOMES IMMEDIATELY. FIGURED DIMENSIONS TO BE READ IN PREFERENCE TO SCALING & TO BE CHECKED & VERIFIED BEFORE WORK IS COMMENCED.

REVISION SCHEDULE

ISSUE	DESCRIPTION	DRAWN	DATE
A	CONTRACT PLAN	DC	05/06/14
A-1	AMENDED CONTRACT PLANS	DC	10/06/14
A-2	CHANGE OF HOUSE TYPE	DC	24/07/14
B	D.A/C.C PACK	AL	23.09.14
-	-	-	-
-	-	-	-

JOB No: <b>143791</b>	DRAWN: <b>AL</b>
LGA: <b>PENRITH</b>	DATE: <b>05.06.14</b>
DESCRIPTION: <b>MODENA 22</b>	SITE CLASSIFICATION: <b>'H' Class</b>
CODE: <b>WS-MODED LU RH</b>	FAÇADE: <b>LUXE</b>
	SHEET: <b>11</b>

Door Schedule									
Door No.	Type	Door Size		Plan View	Elev. View	Glazing	Frame and reveal	Flyscreens	Others
		Height	Width						
D1	MEF5	2,040	820				240mm BV		
D2	MEF5	2,040	770				240mm BV		
D3	TSD2032	2,065	3,195			Single clear	240mm BV		
D4	820mm hung door	2,040	820				90mm TF		
D5	820mm hung door	2,040	820				90mm TF		
D6	820mm hung door	2,040	820				90mm TF		
D7	820mm csd	2,040	820				90mm TF		
D8	820mm hung door	2,040	820				90mm TF		
D9	TXD2018	2,065	1,800				240mm BV		
D10	820mm hung door	2,040	820				70mm TF		
D11	820mm hung door	2,040	820				70mm TF		
D12	2 x 820mm hung doors	2,040	1,640				70mm TF		
D13	2 x 820mm hung doors	2,040	1,640				70mm TF		
D14	820mm hung door	2,040	820				70mm TF		
D15	820mm hung door	2,040	820				70mm TF		
D16	2 x 820mm hung doors	2,040	1,640				70mm TF		
D17	820mm hung door	2,040	820				70mm TF		
D18	820mm hung door	2,040	820				70mm TF		
D19	2 x 820mm hung doors	2,040	1,640				70mm TF		

**NOTES:**  
 \*REFER TO ENGINEERS DETAILS FOR ALL EXPANSION JOINT LOCATIONS.  
 \*REFER TO ENGINEERS DETAILS FOR ALL STEEL BEAM AND FLOOR JOIST LOCATIONS AND DIRECTIONS.  
 \*REFER TO TRUSS MANUFACTURERS DETAILS FOR ALL FLOOR JOIST SIZES AND DIRECTIONS.  
 \*REFER TO A/C DETAILS FOR A/C DUCT POSITIONS.  
 \*A/C DUCT LOCATIONS MAY NEED TO CHANGE DUE TO CONSTRUCTION REQUIREMENTS (JOIST LOCATION, STRUCTURAL BEAMS ETC).  
 \*REFER TO TENDER DRAWINGS FOR TENDER.