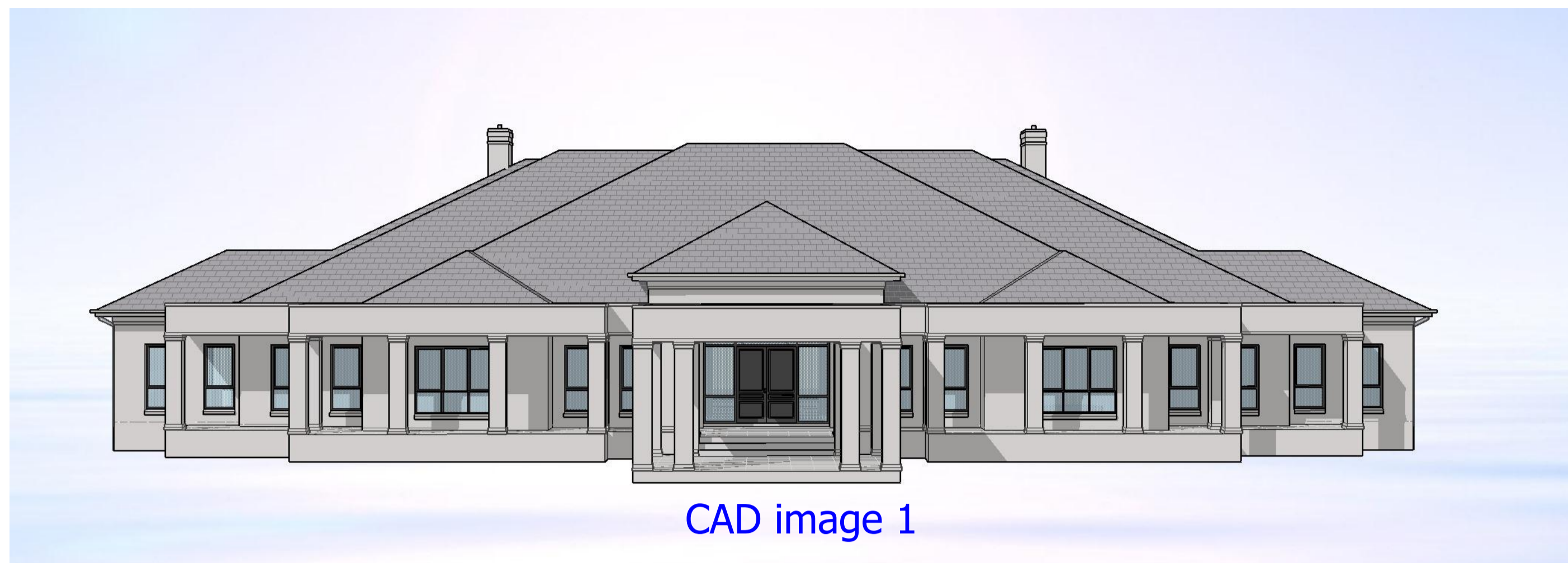


CAD Perspective Images:



CAD image 1



CAD image 2



CAD image 3

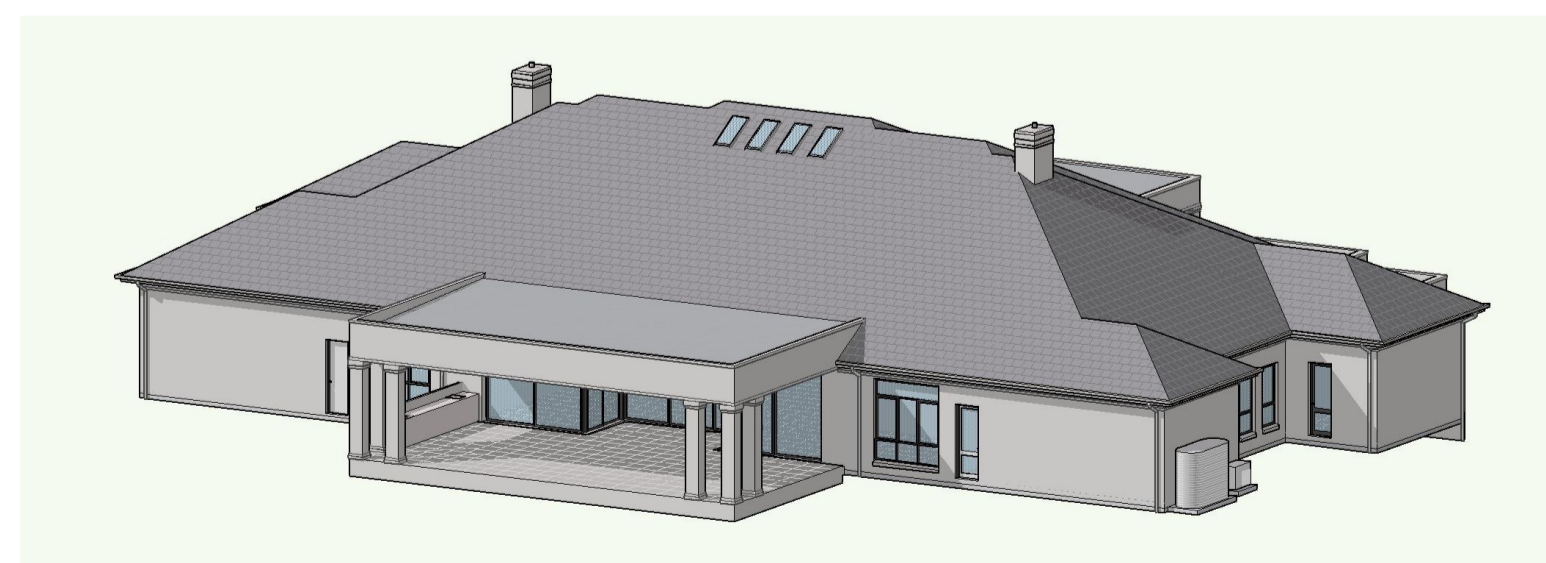
CAD Aerial Images:



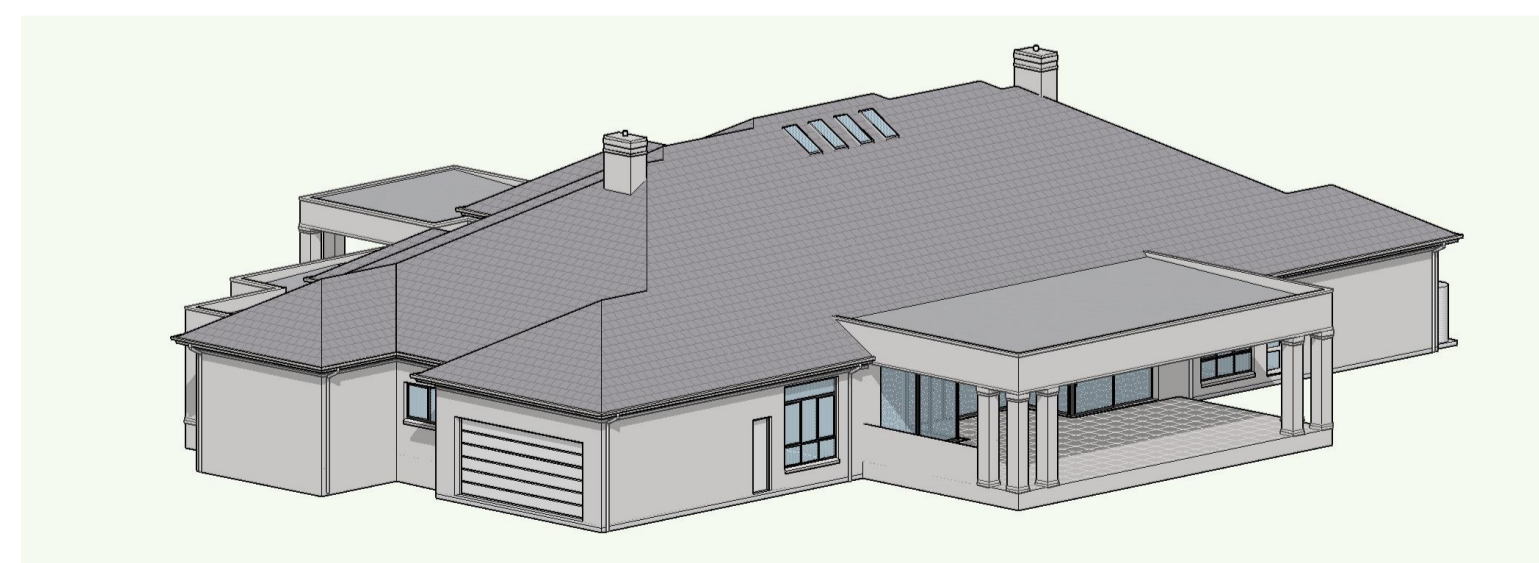
CAD image 4



CAD image 5



CAD image 6



CAD image 7



Table of Contents:

- Sheet A00 - Cover Sheet - CAD images & Basix Summary
- Sheet A01 - Floor Plan
- Sheet A02 - Roof Plan
- Sheet A03 - Elevations
- Sheet A04 - Elevations & Section(s)
- Sheet A05 - Site Plan (including Sediment Control Detail & Concept Stormwater Drainage Layout)
- Sheet A06 - Existing Site Analysis

BASIX Project Commitments		BASIX Number: 12356275	
Proposed:	Detached Secondary Dwelling		
Address:	120-134 Farm Road Mulgoa		
Lot No / DP:	8/229785		
Water			
Fixtures	Specification		
Shower head rating	3 star (> 7.5 but <= 9 L/min)		
Toilet rating	3 star		
Kitchen taps rating	3 star		
Bathroom taps rating	3 star		
Alternative water details			
Rainwater tank size	Individual	2000L	
Connected to:	Garden and lawn areas	Yes	
	All toilets	Yes	
	Laundry	No	
Thermal Comfort		Accreditation Number: HERA 10056	NATHERS Number: 6412431
External walls			
Brick veneer	Ground Floor	Light colour R2.7	Bulk + Anti-glare foil
Internal walls			
Cavity wall, direct fix plasterboard	R2.7 Bulk insulation		
Partition walls			
Stud, plasterboard	No insulation		
Ceiling			
External ceiling - Plasterboard	R6.0 Bulk insulation		
Roof			
Roof tiles	Dark Colour (solar absorbance >0.70) Foil Sarking Reflective side down, Anti-Glare Up		
Floors			
Concrete slab on ground	No insulation		
Windows			
Aluminium frame ALM-001-01	Single Clear glazing with U-value 6.70 and SHGC 0.57 for Group A windows (awning, bifold, casement and tilt 'n' turn type windows/doors)		
Aluminium frame ALM-002-01	Single Clear glazing with U-value 6.7 and SHGC 0.7 for Group B windows (double hung, fixed, louvres and sliding type windows/doors)		
Aluminium frame ALM-002-03	Foyer, Game Room	Single low-e glazing with U-value 5.4 and SHGC 0.58 for Group B windows (double hung, fixed, louvres and sliding type windows/doors)	
Site			
Orientation of nominal north elevation	As shown on plans		
Energy			
Hot water	Specification	Rating	
Individual system	electric heat pump - air sourced	21 to 25 STCs	
Ventilation			
Bathroom exhaust	Individual fan, not ducted		
Control switch	Manual switch on/off		
Kitchen exhaust	Individual fan, not ducted		
Control switch	Manual switch on/off		
Laundry	Natural ventilation only		
Control switch	N/A		
Cooling			
Individual systems - living areas	3-phase airconditioning	EER 3.0 - 3.5	
Individual systems - bedroom areas	3-phase airconditioning	EER 3.0 - 3.5	
Heating			
Individual systems - living areas	3-phase airconditioning	EER 3.0 - 3.5	
Individual systems - bedroom areas	3-phase airconditioning	EER 3.0 - 3.5	
Appliances			
Cooktop/oven	Electric cooktop & electric oven		
Ventilated fridge space	No		
Private outdoor clothes drying line	Yes		
Private indoor or sheltered clothes drying line	No		
Alternative Energy			
Photovoltaic System	1.5KW		

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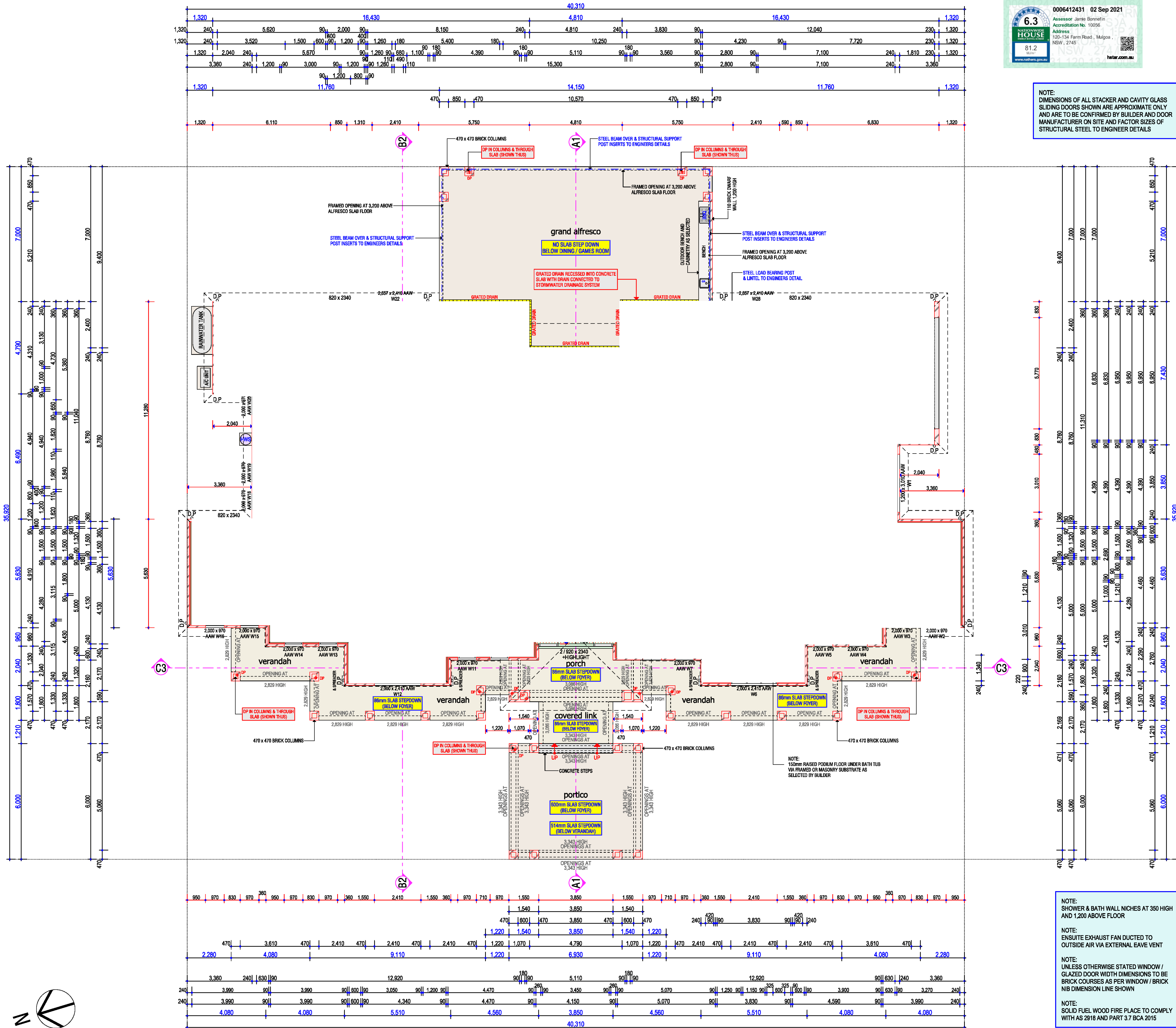
DRAWING: **COVER SHEET - DA/CC**
PROJECT: **PROPOSED BRICK VENEER DWELLING**
FOR: MR & MRS FARRUGIA
AT: Lot: 8, No. 120 - 134 FARM ROAD, MULGOA NSW 2745
DATE: 1/04/21 SCALE: N/A SHEET NUMBER: A00 (SHEET 1 of 7)
JOB No.: PYR 726 DRAWN: D. Grima
ISSUE: A CHECKED: D. Grima

A1
SHEET



NOTE:
DIMENSIONS OF ALL STACKER AND CAVITY GLASS
SLIDING DOORS SHOWN ARE APPROXIMATE ONLY
AND ARE TO BE CONFIRMED BY BUILDER AND DOOR
MANUFACTURER ON SITE AND FACTOR SIZES OF
STRUCTURAL STEEL TO ENGINEER DETAILS

- SERVICES / FACILITIES LEGEND:**
- S = SINK
 - CT = COOK TOP
 - UBO = UNDER BENCH OVEN
 - WO = WALL OVEN
 - CK = COOKER
 - DW = DISH WASHER
 - P = PANTRY
 - MW = MICROWAVE OVEN
 - AP = APPLIANCE CUPBOARD
 - REF = REFRIGERATOR
 - FRE = FREEZER
 - OH = OVER HEAD
 - BBO = BARBEQUE
 - VB = VANITY BASIN
 - HB = HAND BASIN
 - WC = WATER C/OSET
 - FW = FLOOR WASTE
 - SHR = SHOWER
 - WM = WASHING MACHINE
 - T = TUB
 - B = BROOM CUPBOARD
 - RA = ROOF ACCESS
 - SA = SMOKE ALARM
 - DP = DOWNPIPE
 - HWS = HOT WATER SYSTEM
 - AC = AIR CONDITIONING
 - MB = METER BOX
 - DS = DRAINAGE STACK
 - LS = LAUNDRY CHUTE
 - AJ = ARTICULATION JOINT (IN BRICK WALL)
- INTERNAL DOOR LEGEND:**
- CSD = CAVITY SLIDING DOOR
 - FSW = FACE OF WALL SLIDING DOOR
 - SD = SLIDING DOOR
 - OL = OPENING LEAF
- GLAZING LEGEND:**
- ASW = ALUMINIUM SLIDING WINDOW
 - AAW = ALUMINIUM AWNING WINDOW
 - ADH W = ALUMINIUM DOUBLE HUNG WINDOW
 - ABF W = ALUMINIUM B-FOLD WINDOW
 - ALW = ALUMINIUM LOUVER WINDOW
 - ASD = ALUMINIUM SLIDING DOOR
 - ACASD = ALUMINIUM CAVITY SLIDING DOOR
 - ABF D = ALUMINIUM B-FOLD DOOR
 - TD = TIMBER FRAMED DOOR
 - TDH W = TIMBER DOUBLE HUNG WINDOW
 - TSD = TIMBER SLIDING DOOR
 - W = WINDOW
 - D = DOOR
 - ST = SOLAR TUBE



- GENERAL NOTES :**
- * BRICK EXPANSION JOINTS ARE TO BE PROVIDED AS SPECIFIED BY THE STRUCTURAL ENGINEER AND IN ACCORDANCE WITH THE N.C.C. - B.C.A.
 - * STAIRS: AS SPECIFIED OR (TREAD: 250 MIN-300 MAX & RISER: 170 MIN-190 MAX)
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 - * HARDWIRED INTERCONNECTED SMOKE ALARM(S) SHOWN THUS: SA

- GENERAL NOTES :**
- * ALL BUILDING WORKS TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS, N.C.C. - BUILDING CODE OF AUSTRALIA AND COUNCIL REQUIREMENTS.
 - * REINFORCED CONCRETE SLAB AND FOOTINGS, STEEL BEAMS AND RETAINING WALLS TO SEPARATE ENGINEERS DETAIL.
 - * PREFABRICATED ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS.
 - * THIS DRAWING TO BE READ IN CONJUNCTION WITH THE GENERAL BUILDING SPECIFICATION.
 - * WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE. ALL DIMENSIONS TO BE CONFIRMED BY THE BUILDER AND SURVEYOR PRIOR TO CONSTRUCTION.
 - * WET AREAS IN ACCORDANCE WITH N.C.C. - B.C.A. REQUIREMENTS.

FLOOR AREA :

GROUND FLOOR	590.89 m ²
SUB FLOOR	
FIRST FLOOR	
GARAGE	88.71 m ²
ALFRESCO	110.59 m ²
VERANDAH	93.06 m ²
PORCH	
PORTICO	41.58 m ²
TOTAL	924.83 m²

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ISSUE:	AMENDMENTS:	DATE:

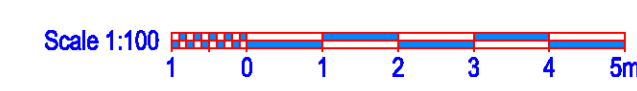
WORKING DRAWINGS - DA/CC

PROJECT:
PROPOSED BRICK VENEER DWELLING

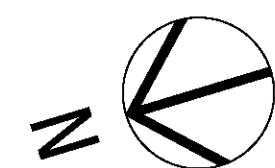
FOR: MR & MRS FARRUGIA
AT: Lot 8, No. 120-134 FARM ROAD, MULGOA NSW 2745

DATE: 1/04/21 SCALE: (A1 SHEET) 1:100 SHEET NUMBER:
JOB No.: PYR 726 DRAWN: D. Girma A01
ISSUE: A CHECKED: D. Girma (SHEET 2 of 7)

- NOTE:
SHOWER & BATH WALL NICHES AT 350 HIGH AND 1,200 ABOVE FLOOR
- NOTE:
ENSUITE EXHAUST FAN DUCTED TO OUTSIDE AIR VIA EXTERNAL EA VEVENT
- NOTE:
UNLESS OTHERWISE STATED WINDOW / GLAZED DOOR WIDTH DIMENSIONS TO BE BRICK COURSES AS PER WINDOW / BRICK NIB DIMENSION LINE SHOWN
- NOTE:
SOLID FUEL WOOD FIRE PLACE TO COMPLY WITH AS 2918 AND PART 3.7 BCA 2015



Floor Plan SCALE 1:100





GENERAL NOTES:
 1. ALL DESIGN, CONSTRUCTION METHODS AND MATERIALS TO BE IN ACCORDANCE WITH:
 • THE CURRENT NATIONAL CONSTRUCTION CODES (NCC) AND (BCA)
 • THE STATE DEVELOPMENT CODE
 • BUILDING REGULATIONS
 • CURRENT ISSUES OF AUSTRALIAN STANDARDS & MANUFACTURERS SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED
 2. THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES.
 3. SUBSTITUTION OF ANY STRUCTURAL MEMBERS & OR VARIATIONS TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & PERFORMANCE OF THE BUILDING.
 4. 3D VIEWS, PERSPECTIVES AND ILLUSTRATIONS ARE INTENDED TO BE A VISUAL AID ONLY. THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.
 5. ALL DIMENSIONS IN MILLIMETERS OR METRES.
 6. DIMENSIONS TAKE PREFERENCE TO SCALE AND ARE TO STRUCTURE NOT FINISH ON NEW WORK. EXISTING WALLS MAY BE NOMINALLY DIMENSIONED.
 7. ALL DIMENSIONS, DETAILS, SITE LEVELS AND FINISHED FLOOR LEVELS TO BE CONFIRMED BY CONTRACTOR BEFORE COMMENCEMENT OF ANY CONSTRUCTION AND RESPONSIBLE PEOPLE NOTIFIED OF ANY DISCREPANCIES.
 8. MANUFACTURER'S SPECIFICATION MEANS A CURRENT APPROVED SPECIFICATION FOR USE UNDER THE CONDITIONS APPLICABLE THESE DRAWINGS ARE AVAILABLE DIGITALLY, IF REQUIRED.
 9. ANY DATA SUPPLIED BY OTHERS AND SHOWN ON THESE DRAWINGS ARE NOT THE RESPONSIBILITY OF THIS DESIGNER. ALL USERS OF THESE DRAWINGS ARE ADVISED TO CHECK OTHER SUPPLIED DATA.
 10. OWNER REMAINS RESPONSIBLE FOR ONGOING MAINTENANCE OF BUILDING. STRUCTURAL ELEMENTS IN PARTICULAR ARE TO REMAIN PROTECTED BY THE METHODS SHOWN AND LISTED IN THESE DRAWINGS.

FLOOR PLAN NOTES:
 1. SMOKE ALARMS TO BE INSTALLED IN ACCORDANCE WITH THE NCC/BCA. SMOKE ALARMS MUST COMPLY WITH AUSTRALIAN STANDARDS
 2. ALL GLAZING TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS. WINDOW SIZES MAY VARY DUE TO MANUFACTURERS SPECIFICATIONS
 3. BUILDER TO CONFIRM ALL DIMENSIONS PRIOR TO CONSTRUCTION. DIMENSIONS ARE TO FRAME ONLY AND DO NOT INCLUDE CLADDING/LININGS (UNO).
 5. BALUSTADING TO COMPLY WITH NCC/BCA
 6. DOORS TO W.C.'S TO HAVE LIFT OFF HINGES (ONLY IF THE DOORS SWING IN TOWARDS THE W.C.)
 7. MASONRY CONSTRUCTION TO AUSTRALIAN STANDARDS
 8. REFER ENGINEERS DRAWINGS & SPECIFICATIONS FOR ALL STRUCTURAL DETAILS, FRAMING, BRACING, TIE DOWN AND SLABFOOTING DETAILS.
 9. SEAL WET AREAS IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND NCC REQUIREMENTS.
 10. PROVIDE FLOOR WASTE TO WET AREAS.

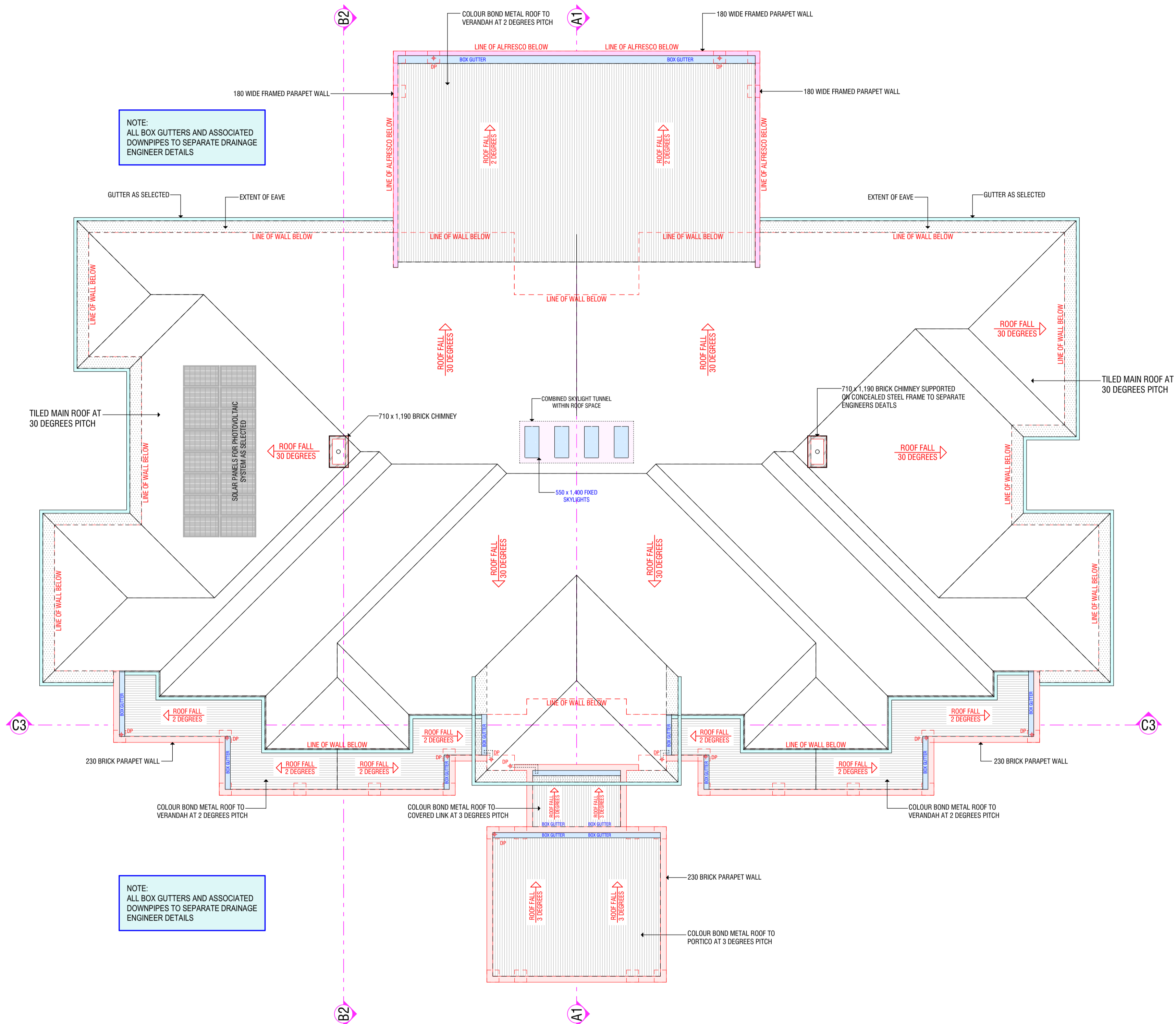
3D VIEW NOTES:
 1. GROUND LINE OR SLOPE OF SITE IS NOT REPRESENTED ON 3D VIEWS.
 2. ANY FURNITURE AND FIXTURES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE.
 3. 3D VIEWS, PERSPECTIVES AND ILLUSTRATIONS ARE INTENDED TO BE A VISUAL AID ONLY. THEY ARE NOT PRESCRIPTIVE BUT INDICATIVE ONLY. THE IMAGES ARE NOT TO BE RELIED UPON IN ANY WAY FOR FINAL CONSTRUCTION FINISHES AND RESULTS.

ELEVATION NOTES:
 1. WALL COLOURS/FINISHES AND WINDOW TYPES ARE INDICATIVE ONLY AND ARE NOT PRESCRIPTIVE. REFER TO BUILDERS SPECIFICATIONS FOR DETAILS.

SECTION NOTES:
 1. TRUSS DESIGN IS INDICATIVE ONLY AND IS NOT PRESCRIPTIVE. FINAL DESIGN TO TRUSS MANUFACTURER SPECIFICATIONS.

NOTE:
 ALL BOX GUTTERS AND ASSOCIATED DOWNPIPES TO SEPARATE DRAINAGE ENGINEER DETAILS

NOTE:
 ALL BOX GUTTERS AND ASSOCIATED DOWNPIPES TO SEPARATE DRAINAGE ENGINEER DETAILS



Roof Plan SCALE 1:100

SITE WORKS NOTES:
 1. POSITION OF DWELLING TO BE CONFIRMED BY SURVEYOR & CLIENT PRIOR TO ANY SITE WORKS.
 2. BUILDER TO ENSURE THAT ACTUAL SEWER LINE AND MANHOLE POSITIONS MATCH THOSE AS SHOWN AS BASED ON LOCAL AUTHORITY DOCUMENTS. ANY DISCREPANCIES MUST BE BROUGHT TO ATTENTION AND RESOLVED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 3. BUILDER TO DETERMINE APPROPRIATE PLATFORMING METHOD ON SITE PRIOR TO COMMENCEMENT OF ANY WORKS. FINISHED FLOOR LEVEL IS TO BE ABOVE THE MINIMUM LEVEL AS PER LOCAL AUTHORITIES REQUIREMENTS & TO COMPLY WITH NCC
 5. ALL PROPOSED SITE LEVELS TO BE CONFIRMED ON SITE BEFORE COMMENCEMENT OF CONSTRUCTION. ANY REQUIRED EARTHWORKS INCLUDING CUT, FILL, BATTERS AND RETAINING MUST COMPLY WITH THE CURRENT NCC/BCA OR ENGINEER REQUIREMENTS.
 6. THE FINISHED SURFACE IMMEDIATELY SURROUNDING THE DWELLING, 1000mm WIDE, IS TO FALL AWAY FROM THE DWELLING AT A SLOPE OF 1 IN 20 MINIMUM.
 7. STORMWATER MUST BE CONNECTED TO A LEGAL POINT OF DISCHARGE.
 8. SURFACE DRAINAGE IS TO DISCHARGE EVENLY WITHIN THE SITE AND WITHOUT NUISANCE TO ADJOINING PROPERTIES.
 9. ALL SUB-FLOOR AREAS MUST BE GRADED TO AVOID THE PONDING OF WATER.
 10. WHERE SERVICES / PIPEWORK ARE LOCATED UNDER DRIVEWAYS AND SLABS CONTRACTORS ARE TO ENSURE ADEQUATE COMPACTION TO TRENCH BACKFILL IS ACHIEVED TO SUPPORT CONCRETE.

FOUNDATION NOTES:
 1. THESE PLANS ARE TO BE READ IN CONJUNCTION WITH CONTRACT DOCUMENTS AND ENGINEERS DRAWINGS AND SPECIFICATIONS. RESPONSIBLE PARTIES ARE TO BE NOTIFIED OF ANY DISCREPANCIES. SITE CLASSIFICATION IS TO BE CONFIRMED BY ENGINEER.
 2. PLUMBER RESPONSIBLE TO LOCATE AND CONFIRM SEWER HOUSE CONNECTION LOCATION ACCURATELY PRIOR TO COMMENCEMENT. PLUMBER IS TO VERIFY WITH SITE SUPERVISOR PRIOR TO SETTING OUT FIXTURE DRAINAGE POINTS. NO AMENDMENTS OR SPECIAL FIXTURES HAVE BEEN NOMINATED.
 3. WHERE SERVICES / PIPEWORK ARE LOCATED UNDER DRIVEWAYS AND SLABS CONTRACTORS ARE TO ENSURE ADEQUATE COMPACTION TO TRENCH BACKFILL ACHIEVED TO SUPPORT CONCRETE.
 4. GRADE FINISHED GROUND SURFACE TO DIVERT WATER AWAY FROM BUILDING.
 5. FLOORS TO WET AREAS TO HAVE A FALL TO A FLOOR WASTE.

ROOF DRAINAGE NOTES:
 1. ALL GUTTER AND DOWNPIPE WORKS TO RELEVANT AUSTRALIAN STANDARDS AND NCC
 2. ALL STORMWATER, DOWN PIPES, RAIN WATER TANKS & SITE DRAINAGE TO BE SIZED & LOCATED BY THE HYDRAULIC CONSULTANT OR PLUMBER IN ACCORDANCE WITH NCC/BCA AND STATE LEGISLATION/LOCAL PLANNING SCHEME
 3. DOWNPIPES MUST SERVE NOT MORE THAN 12 METERS OF GUTTER LENGTH FOR EACH DOWNPIPE WHICH MUST BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS. EAVES GUTTERS MUST BE PROVIDED WITH AN OVERFLOW SYSTEM WHERE DOWNPIPES ARE LOCATED MORE THAN 1.2 METRES FROM A VALLEY GUTTER.
 4. DOWNPIPES (DP) TO BE MAX. 12m LINEAL APART.

TERMITE RISK NOTES:
 1. TERMITE CONTROL BARRIERS TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND NCC/BCA.
 3. APPROVED NOTICES SHALL BE AFFIXED TO THE DWELLING AS REQUIRED ADVISING OWNERS OF THE METHOD OF TERMITE RISK MANAGEMENT USED, AND THEIR ONGOING RESPONSIBILITY FOR THE MAINTENANCE OF THE SYSTEMS.
 4. BUILDER TO CONFIRM WITH OWNER THE CHOSEN METHOD OF TIMBER PROTECTION.
 5. OWNER REMAINS RESPONSIBLE FOR ONGOING INSPECTION OF STRUCTURAL TIMBER ELEMENTS, AND THAT BARRIERS ARE NOT COMPROMISED.

PATH/DRIVEWAY NOTES:
 1. DRIVEWAY SLOPE NOT TO EXCEED 1:4. CHECK WITH LOCAL AUTHORITY REQUIREMENTS PRIOR TO CONSTRUCTING ANY DRIVEWAYS, PATHWAYS OR CROSSOVERS BETWEEN THE PROPERTY BOUNDARY AND ROAD KERB.
 2. PROVIDE A LAYER OF SAND A MINIMUM OF 20mm THICK UNDER THE SLAB, COMPACTED AND LEVELLED.
 3. SLAB THICKNESS, MESH TO ENGINEERS DESIGN.

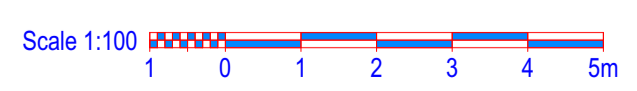
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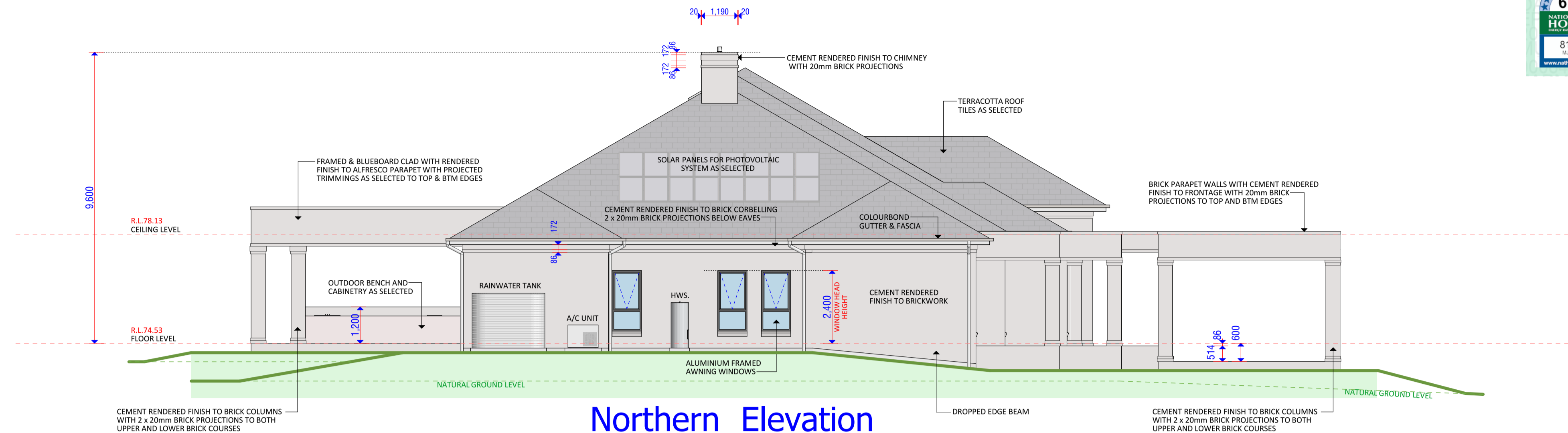
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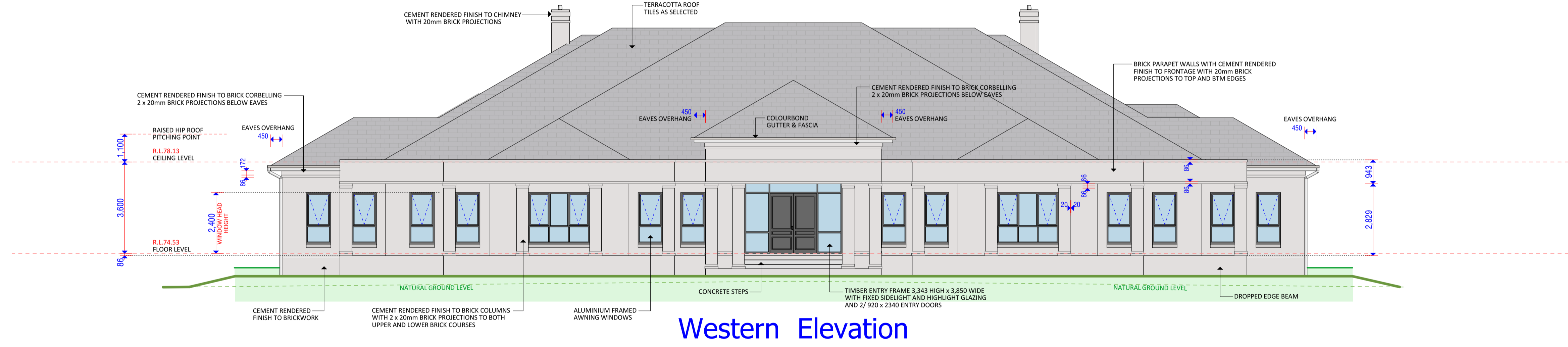
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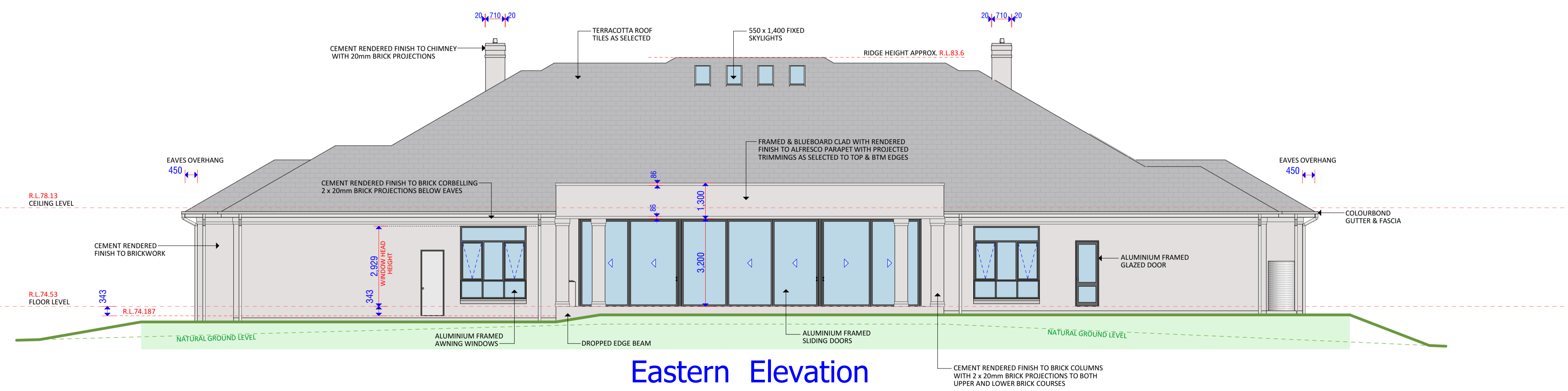




Northern Elevation



Western Elevation



Eastern Elevation

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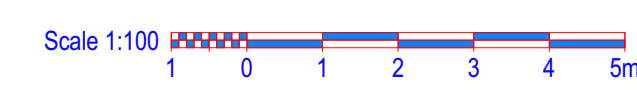
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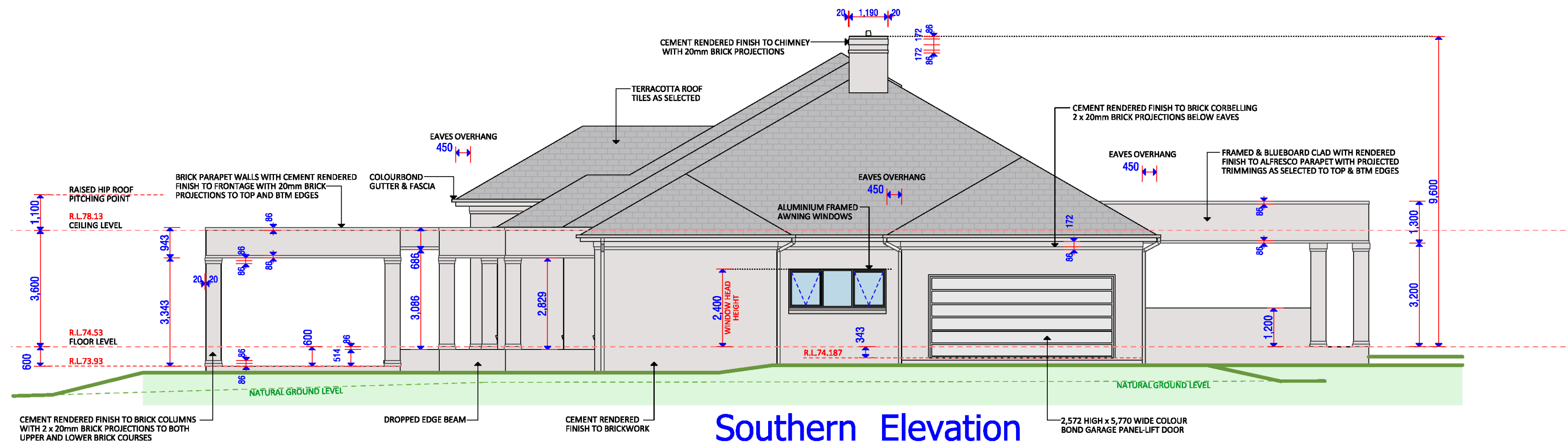
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ISSUE :	AMENDMENTS :	DATE :

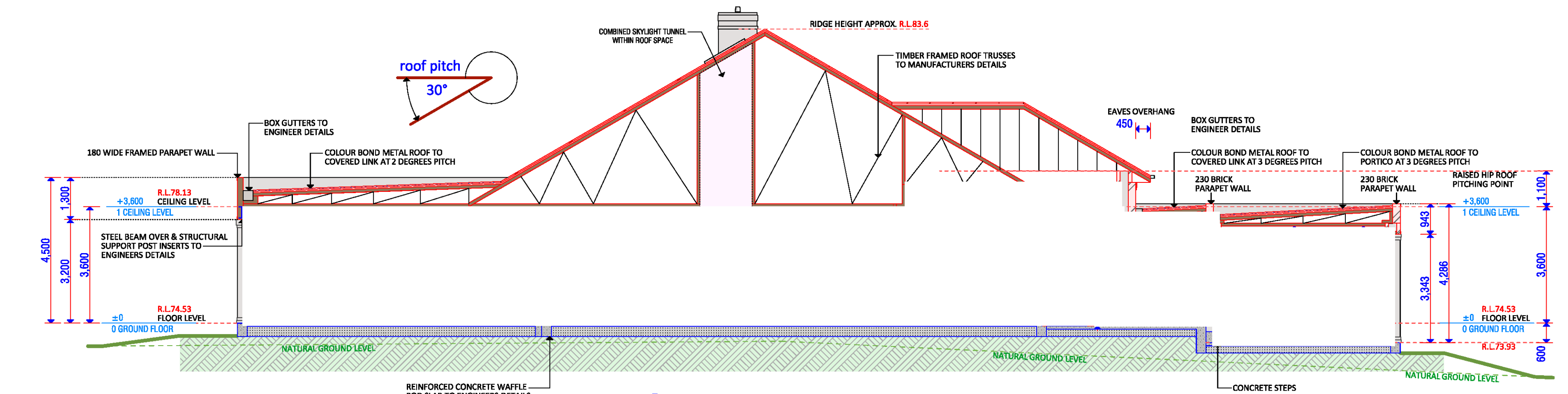
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FOR : MR & MRS FARRUGIA
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MULGOA NSW 2745

DATE : 1/04/21	SCALE : 1:100 (A1 SHEET)	SHEET NUMBER : A03 (SHEET 4 of 7)
JOB No. : PYR 726	DRAWN : D. Grima	
ISSUE : A	CHECKED : D. Grima	

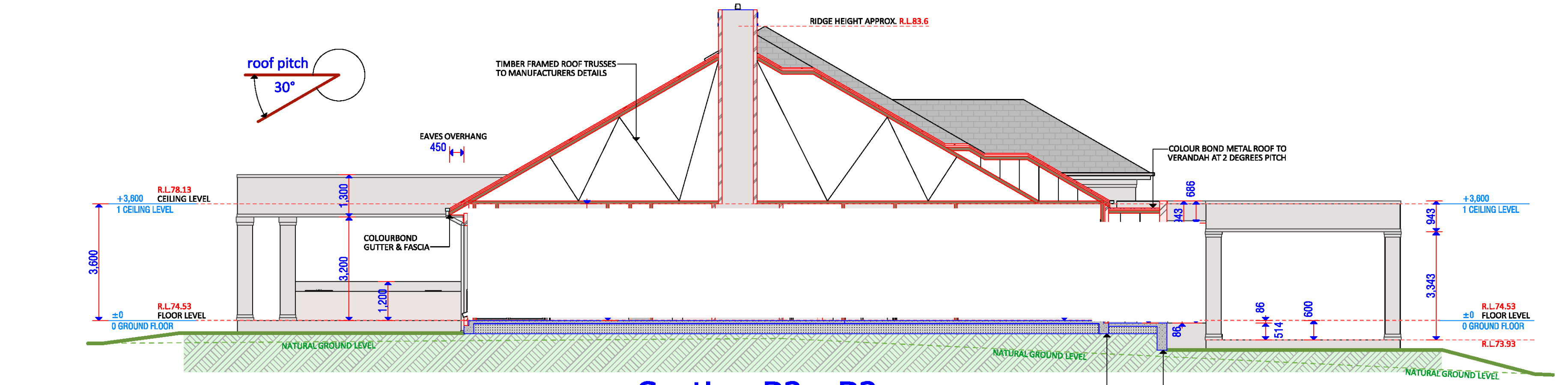




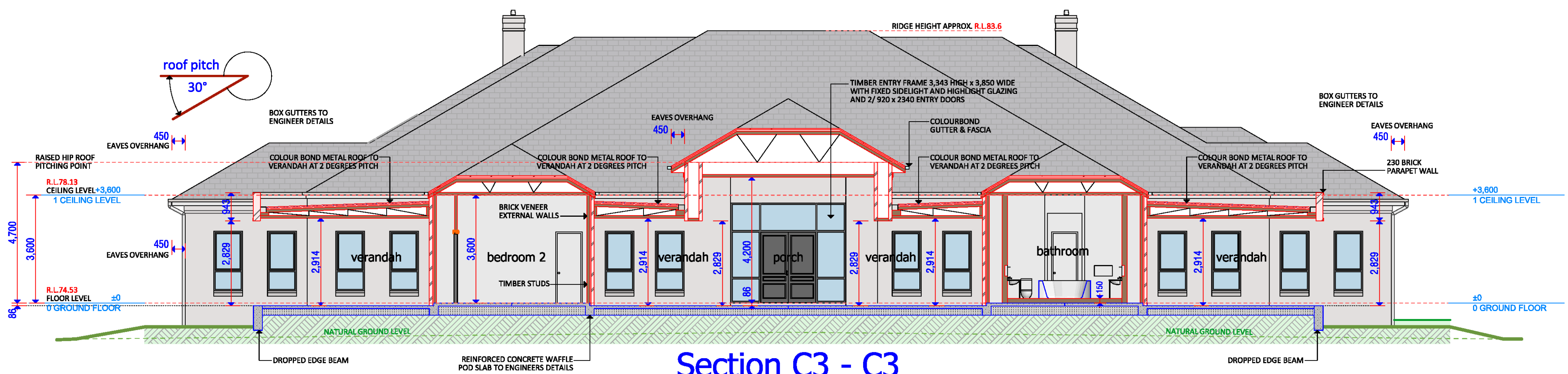
Southern Elevation



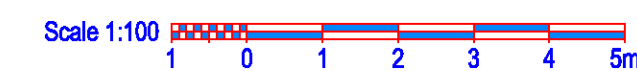
Section A1 - A1



Section B2 - B2



Section C3 - C3



- GENERAL NOTES :**
- * BRICK EXPANSION JOINTS ARE TO BE PROVIDED AS SPECIFIED BY THE STRUCTURAL ENGINEER AND IN ACCORDANCE WITH THE N.C.C. - B.C.A.
 - * STAIRS: AS SPECIFIED OR (TREAD: 290 MIN-300 MAX & RISER: 170 MIN-190 MAX)
 - * HANDRAILING: (AT STEPS: 865 MIN. HIGH) (AT LANDINGS: 1000 MIN. HIGH)
 - * ALL DOOR SIZES AS SPECIFIED ON PLAN.
 - * MECHANICAL VENTILATION TO OUTSIDE AIR PROVIDED WHERE REQUIRED AND IN ACCORDANCE WITH THE N.C.C. - B.C.A.
 - * WC DOOR(S) REMOVABLE WHERE REQUIRED & FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH THE N.C.C. - B.C.A.
 - * HARDWIRED INTERCONNECTED SMOKE ALARM(S) SHOWN THUS:

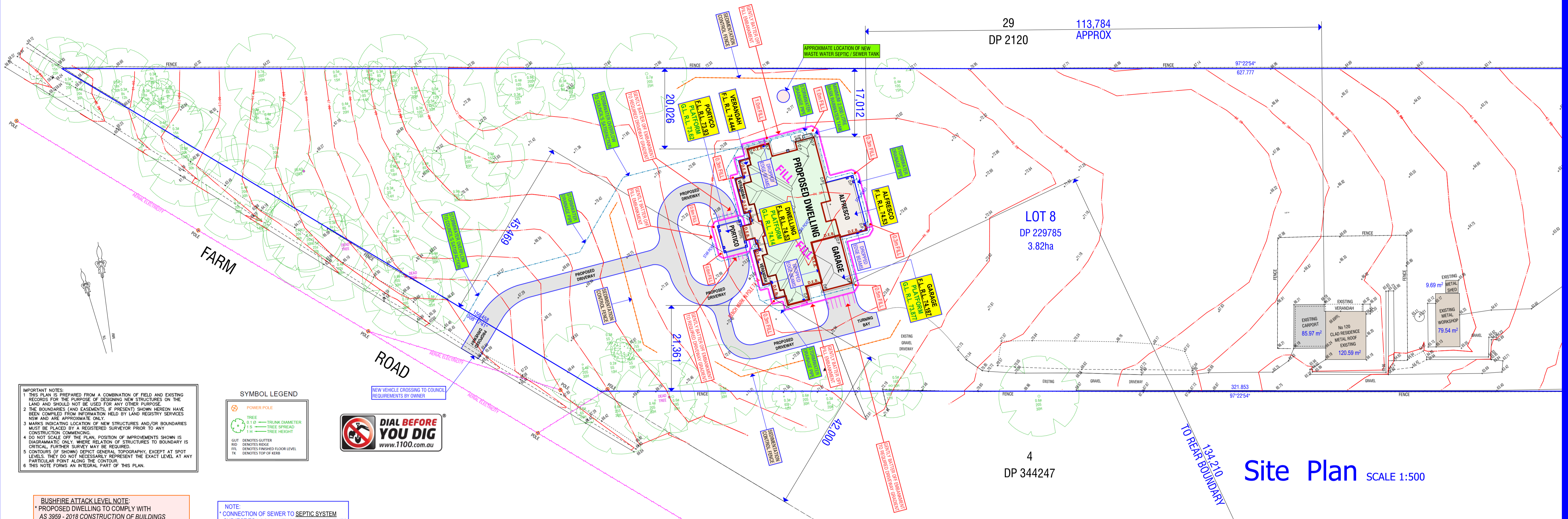
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 - * REINFORCED CONCRETE SLAB AND FOOTINGS, STEEL BEAMS AND RETAINING WALLS TO SEPARATE ENGINEERS DETAIL.
 - * PREFABRICATED ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS.
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 - * WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE. ALL DIMENSIONS TO BE CONFIRMED BY THE BUILDER AND SURVEYOR PRIOR TO CONSTRUCTION.
 - * WET AREAS IN ACCORDANCE WITH N.C.C. - B.C.A. REQUIREMENTS.

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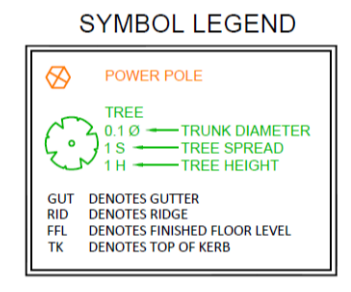
ISSUE:	AMENDMENTS:	DATE:

WORKING DRAWINGS - DA/CC
PROJECT: PROPOSED BRICK VENEER DWELLING
FOR: MR & MRS FARRUGIA
AT: Lot: 8, No. 120-134 FARM ROAD, MULGOA NSW 2745

DATE: 1/04/21	SCALE: (A1 SHEET) 1:100	SHEET NUMBER: A04
JOB No.: PYR 726	DRAWN: D. Cirina	(SHEET 5 of 7)
ISSUE: A	CHECKED: D. Cirina	



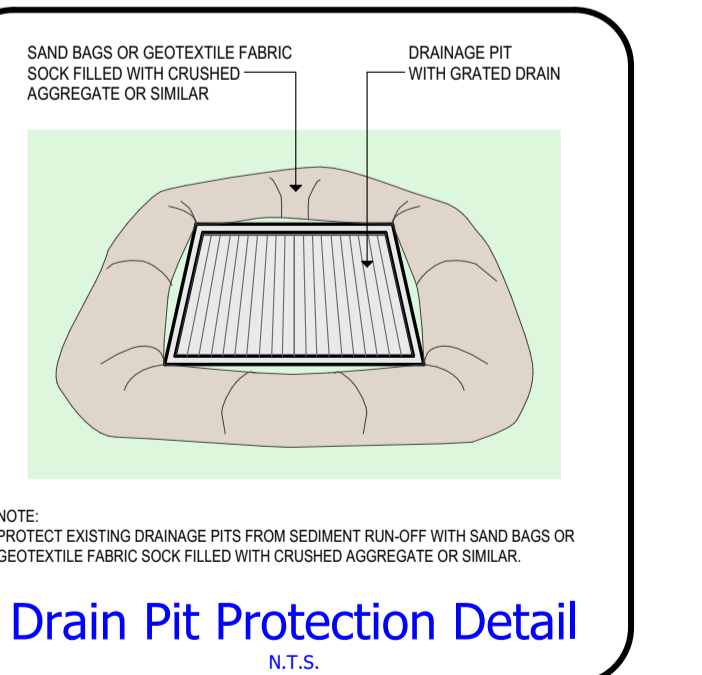
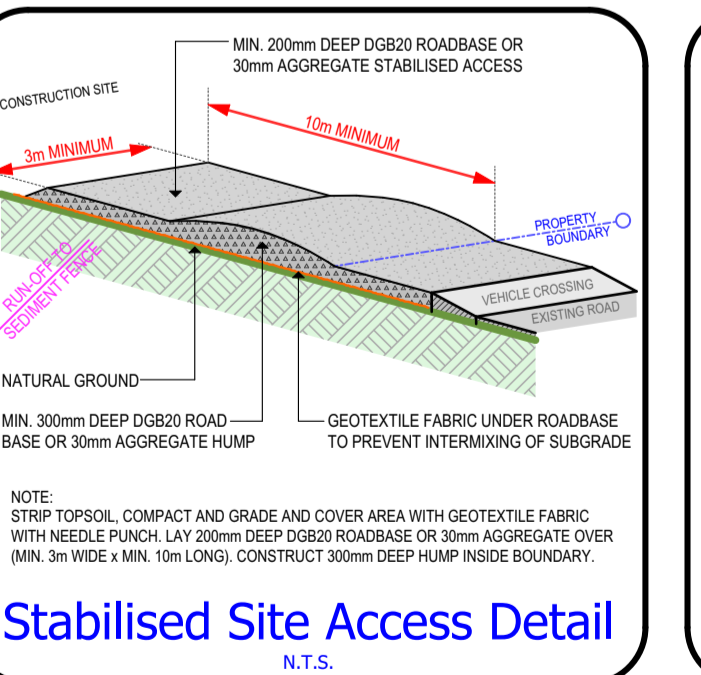
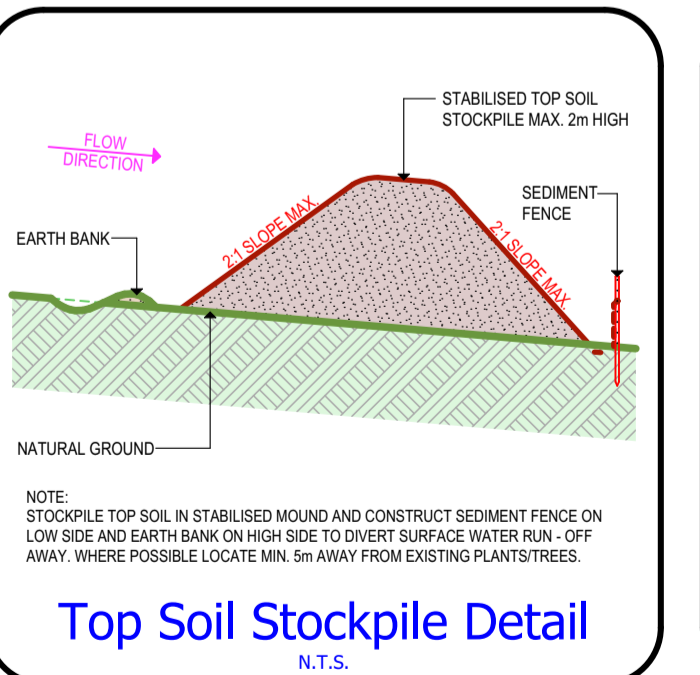
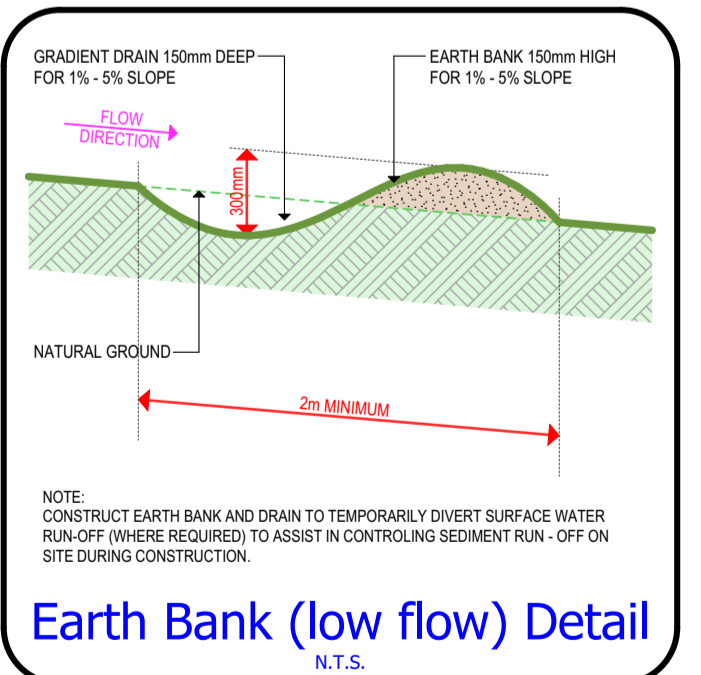
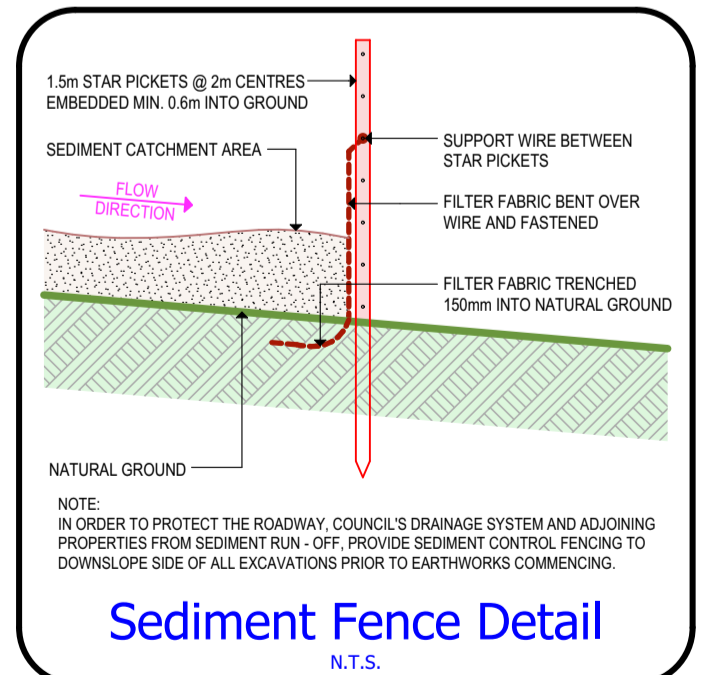
IMPORTANT NOTES:
 1. THIS PLAN IS PREPARED FROM A COMBINATION OF FIELD AND EXISTING RECORDS FOR THE PURPOSE OF DESIGNING NEW STRUCTURES ON THE LAND AND SHOULD NOT BE USED FOR ANY OTHER PURPOSE.
 2. THE BOUNDARIES (AND EASEMENTS, IF PRESENT) SHOWN HEREON HAVE BEEN COMPILED FROM INFORMATION HELD BY LAND REGISTRY SERVICES NSW AND ARE APPROXIMATE ONLY.
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BUSHFIRE ATTACK LEVEL NOTE:
 * PROPOSED DWELLING TO COMPLY WITH AS 3959 - 2018 CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS (IN PARTICULAR BUSHFIRE ATTACK LEVEL BAL (19) & PLANNING FOR BUSHFIRE PROTECTION - SECTION 7.5 (ADDITIONAL CONSTRUCTION REQUIREMENTS)
 * REFER TO THE APPROVED BUSHFIRE HAZARD ASSESSMENT REPORT

NOTE:
 * CONNECTION OF SEWER TO SEPTIC SYSTEM SUBJECT TO LOCAL AUTHORITY REQUIREMENTS

NOTE:
 * CONNECTION OF STORMWATER DRAINAGE TO BASIX RAINWATER TANK WITH OVERFLOW SUBJECT TO LOCAL AUTHORITY REQUIREMENTS



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SITE DATA :
 LOT No. : 8
 D.P. No. : 229785
 COUNCIL : PENRITH
 DATUM : AHD
 Contour Interval : 1.0 m

SURVEYOR :
 ENSURE CONSULTING PTY LTD
 PH: 0412 757 706
 JOB REF: 210796 DE-01

SITE PLAN LEGEND :
 SEWER MAIN
 STORMWATER
 SEDIMENT FENCE
 RETAINING WALL
 DROP EDGE BEAM
 EXISTING FENCE
 POOL FENCE
 CUT BATTER
 PLATFORM RL
 FILL BATTER

DEVELOPMENT DATA :

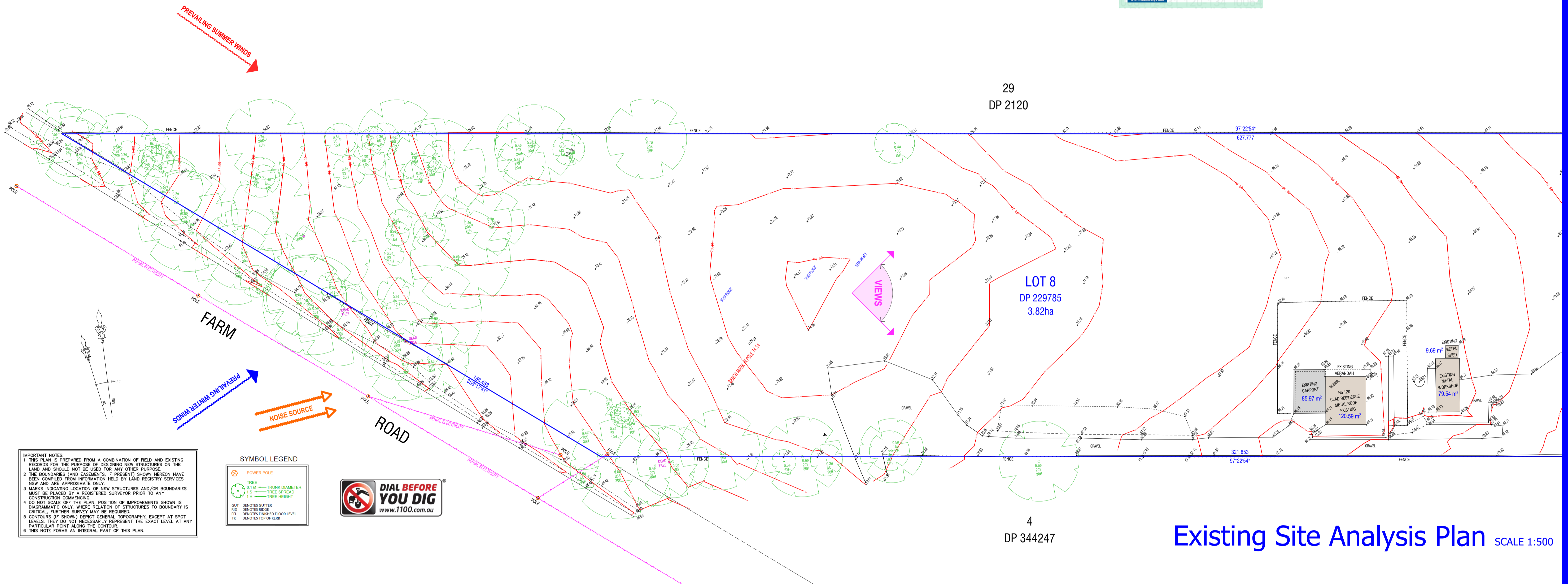
SITE AREA :	3.82 ha
SITE COVERAGE :	
PROPOSED DWELLING	= 721.18 m ²
EXISTING DWELLING	= 120.59 m ²
EXISTING CARPORT	= 85.97 m ²
EXISTING WORKSHOP	= 79.54 m ²
EXISTING SHED	= 9.69 m ²
TOTAL	= 1,016.97 m ²

(EXCLUDES VERANDAH, PORCH AND ALFRESCO)

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 Mobile : 0412 186 275 Kurrajong NSW 2758
 Email: pyramid@buildingdesign.net.au

DRAWING :
WORKING DRAWINGS - DA/CC
PROJECT :
PROPOSED BRICK VENEER DWELLING
 FOR : MR & MRS FARRUGIA
 AT : Lot : 8, No. 120 - 134 FARM ROAD, MULGOA NSW 2745

DATE : 1/04/21 SCALE : 1:500 SHEET NUMBER :
 (A1 SHEET)
 JOB No. : PYR 726 DRAWN : D. Grima
 ISSUE : A CHECKED : D. Grima
 (SHEET 6 of 7)



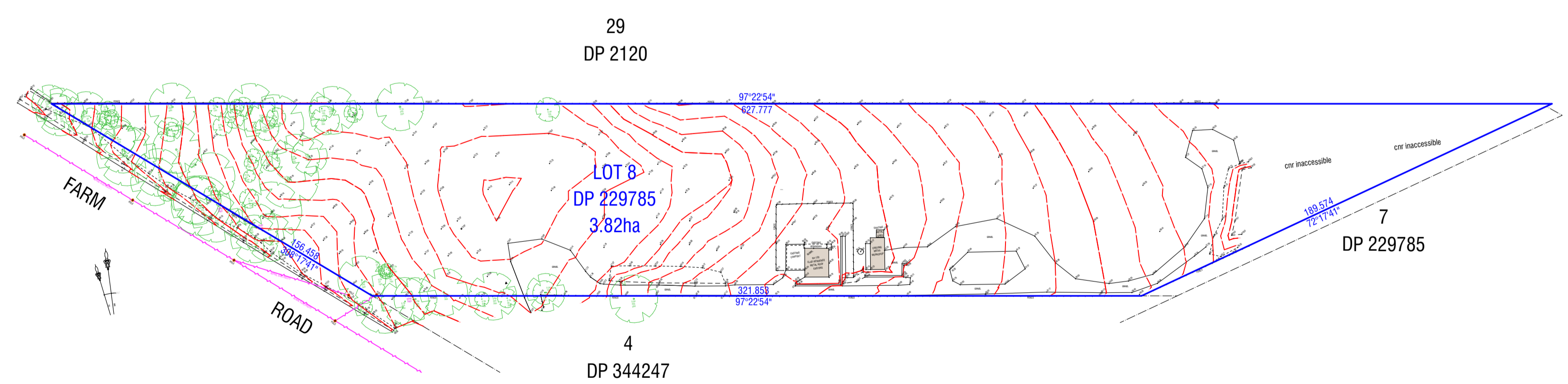
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SYMBOL LEGEND

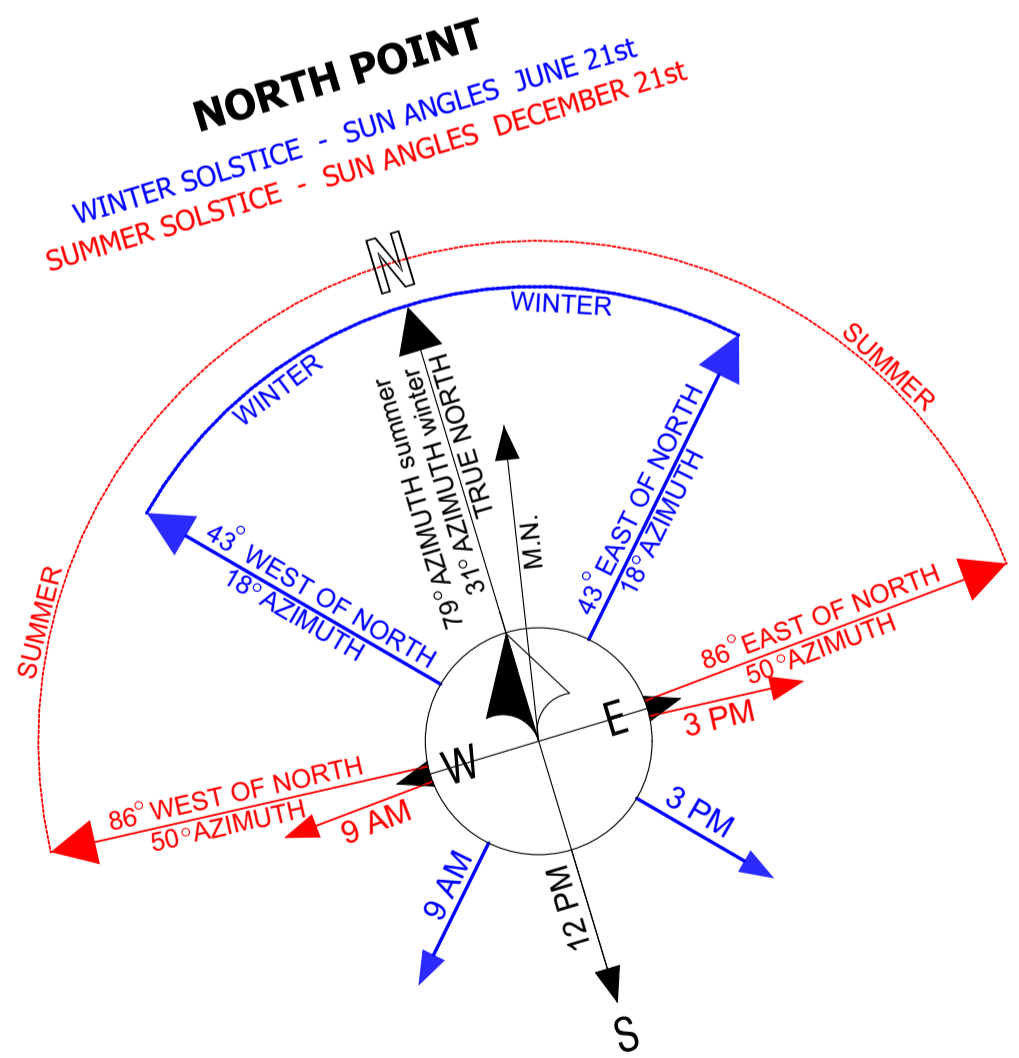
	POWER POLE
	TREE
	TRUNK DIAMETER
	TREE SPREAD
	TREE HEIGHT
	SPOT
	DESIGNATES GUTTER
	DESIGNATES RIDGE
	DESIGNATES FINISHED FLOOR LEVEL
	DESIGNATES TOP OF KERB



Existing Site Analysis Plan SCALE 1:500



Locality Site Plan SCALE 1:1500



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COUNCIL :	PENRITH
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Contour Interval :	1.0 m

SURVEYOR :
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ISSUE:	AMENDMENTS:	DATE:

DRAWING :
WORKING DRAWINGS - DA/CC
 PROJECT:
PROPOSED BRICK VENEER DWELLING
 FOR: MR & MRS FARRUGIA
 AT: Lot: 8, No. 120-134 FARM ROAD,
 MULGOA NSW 2745

DATE:	1/04/21	SCALE:	:500 & 1:1500 (A1 SHEET)	SHEET NUMBER:	A06 (SHEET 7 of 7)
JOB No.:	PYR 726	DRAWN:	D. Grima	CHECKED:	D. Grima
ISSUE:	A				