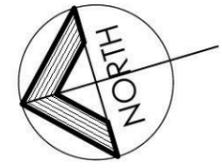


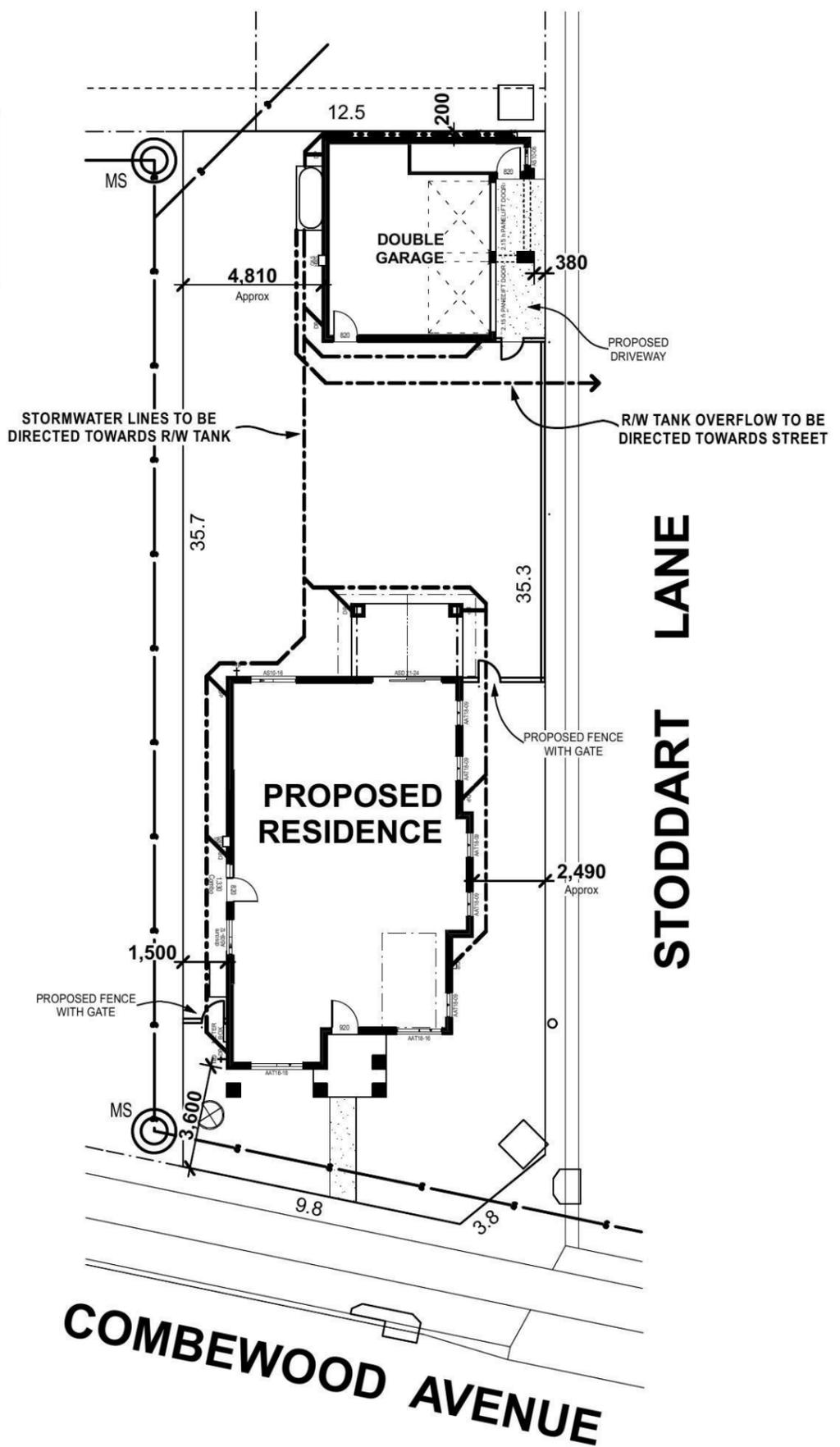
Proposed Site & Drainage Plan

SCALE 1:200

NOTE:
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



NORTH
LOT 2201
458.3m²



Energy Rating Certificate Number **15430308**
15430307
MAIN = 4.5
STUDIO = 3.5 stars
heating MAIN = 71.4 MJ/m²
STUDIO = 82.5 MJ/m²
cooling MAIN = 50.4 MJ/m²

single-dwelling rating
 multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number Luis Contigiani BDAV/13/1543
Assessor Signature *[Signature]* Date 06-05-2014

ALL GLAZING TO BE NFRC VALUE OF U_w = 6.66 OR LESS AND SHGC_w = 0.70 +/- 10 %
SARKING TO ALL ROOF
R 3.5 INSULATION TO ALL CEILING
R 1.5 BATTS TO ALL EXT. WALLS

ALL GLAZING TO BE NFRC VALUE OF U_w = 4.48 OR LESS AND SHGC_w = 0.46 +/- 10 %
SARKING TO ALL ROOF
R 2.0 TO ALL EXTERNAL WALLS
R 2.0 TO ALL INTERNAL WALLS

SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED
Wind Speed category is TO BE CONFIRMED

SLAB SETDOWNS FROM ENTRY.

EDGE REBATES	-	172mm x 150mm WIDE
GARAGE	+100	mm FROM F.F.L.
FRONT PORCH/VERANDAH	170	mm FROM F.F.L.
BALCONY	130	mm FROM F.F.L.

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Design : Custom Design		
Drawn : MT	Date : 27.03.14	
C	03.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
B	12.05.14	BASIX INFO ADDED - MT
A	27.03.14	CONTRACT DRAWINGS - MT
Rev.No.	Date	Amendment

Proposed Residence
For: **Champion Homes**
At: Lot 2201, Combewood Avenue.
Penrith, (Thornton)

Plot Date Wed 11 Jun 2014	Sheet Size: A3	Job 3154N
		Sheet 1 of 13

Champion Homes
Simply the Best

Suite 1, Level 1.
600 Hoxton Park Rd,
Hoxton Park. N.S.W. 2171.
P.O. Box 95 Hoxton Park.
N.S.W. 2171.

Telephone (02) 9825 8000
Fax (02) 9825 8110
Builders Licence No. 92732C

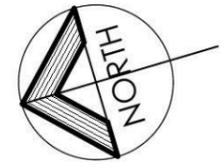
NOTE:
FINAL LOCATION & SHAPE OF ALL LANDSCAPING WORKS, INCLUDING DRIVEWAY, IS TO BE DETERMINED ON SITE AT THE DIRECTION OF THE BUILDER.

FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.
Document Set ID: 6025320
Version: 1, Version Date: 03/07/2014

Proposed Site Analysis Plan

SCALE 1:200

NOTE:
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



NORTH
LOT 2201
458.3m²

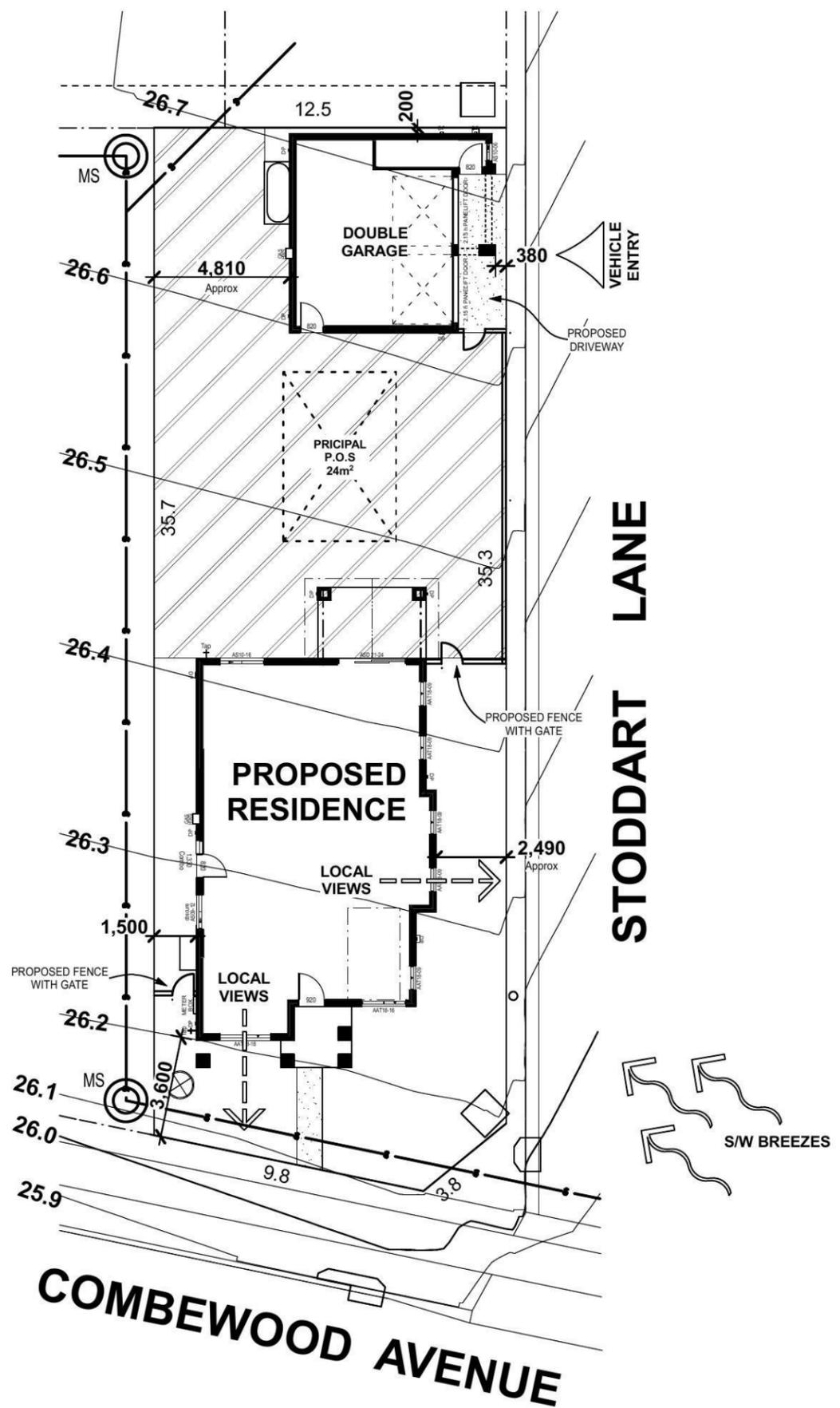
NORTH PENRITH "THORTON" REQUIREMENTS:

SITE AREA: 458.30m²

PRIVATE OPEN SPACE:
REQUIRED: 20% or 73.16m²
ACHIEVED: 38% or 176.10m²

LANDSCAPE AREA:
ACHIEVED: 56% or 256.09m²

CARPARKING:
REQUIRED: 2 SPACES
ACHIEVED: 2 SPACES



Energy Rating Certificate Number **15430308**
15430307

single-dwelling rating
 multi-unit development (attach listing of ratings)

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number Luis Contigiani BDAV/13/1543
Assessor Signature *[Signature]* Date **06-05-2014**

heating **MAIN = 83.9** STUDIO = 83.9
cooling **MAIN = 82.5** STUDIO = 82.5

ALL GLAZING TO BE NFRC VALUE OF U_w = 6.66 OR LESS AND SHGC_w = 0.70 +/- 10 %
SARKING TO ALL ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTYS TO ALL EXT. WALLS

ALL GLAZING TO BE NFRC VALUE OF U_w = 4.48 OR LESS AND SHGC_w = 0.46 +/- 10 %
SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 2.0 TO ALL INTERNAL WALLS

SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED

Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY.

EDGE REBATES	-	172mm x 150mm WIDE
GARAGE	+100	mm FROM F.F.L.
FRONT PORCH/VERANDAH	170	mm FROM F.F.L.
BALCONY	130	mm FROM F.F.L.

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Proposed Residence
For: **Champion Homes**
At: Lot 2201, Combewood Avenue.
Penrith, (Thornton)

Plot Date Wed 11 Jun 2014	Sheet Size: A3	Job 3154N
		Sheet 2 of 13

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Document Set ID: 6025320
Version: 1, Version Date: 03/07/2014

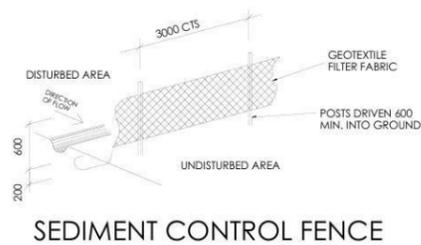
Erosion & Sediment Control Plan

SCALE 1:200

NOTE:
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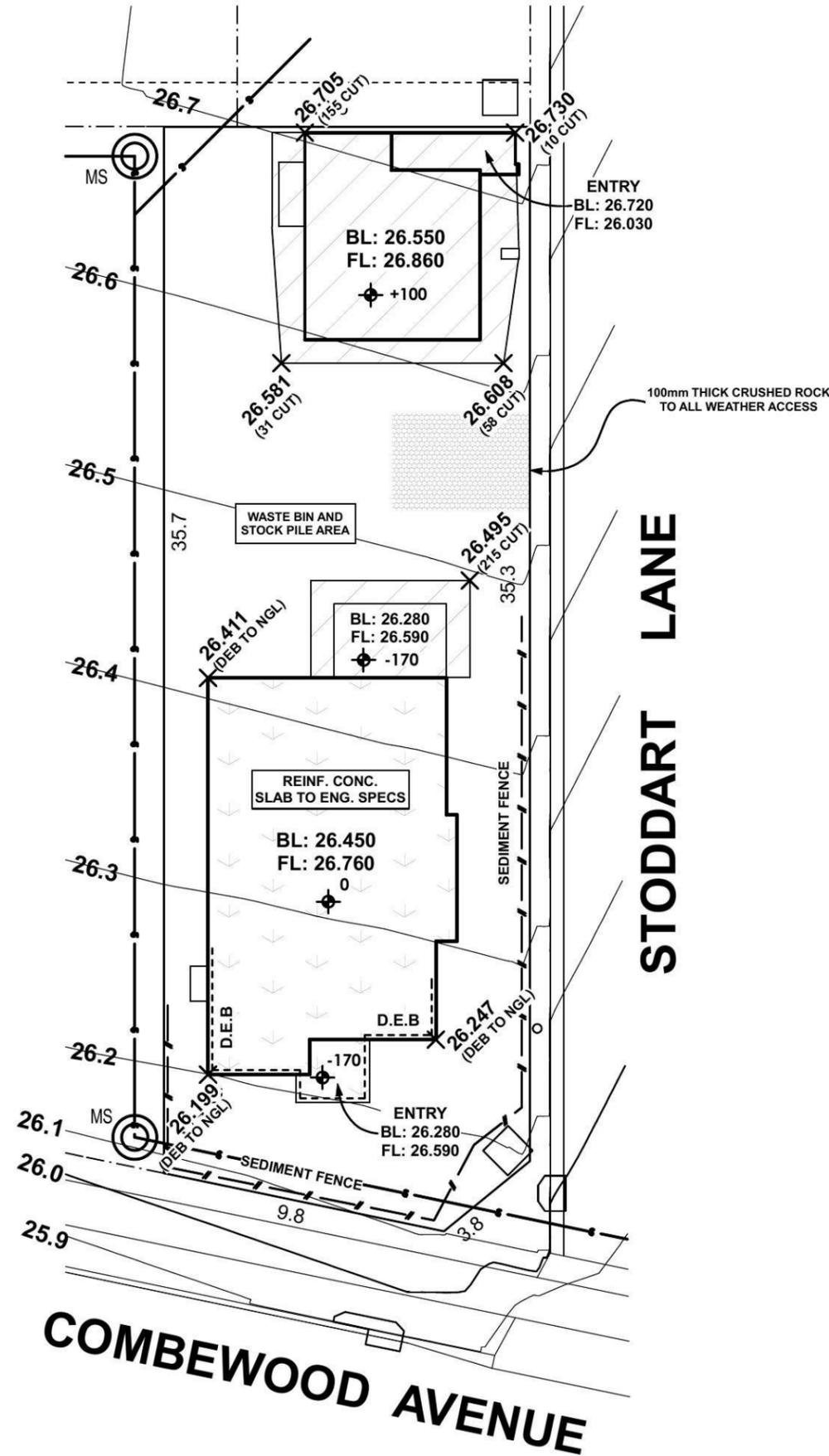
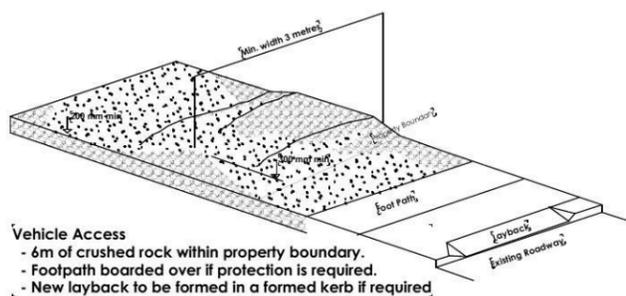


NORTH
LOT 2201
458.3m²



SITE PLAN

ALL SITING AND LEVELS INDICATED ARE ILLUSTRATIVE ONLY.
FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT.
SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS
REMAIN AT THE DISCRETION OF THE BUILDER.



Energy Rating Certificate Number 15430308
15430307

single-dwelling rating MAIN = 4.5
STUDIO = 3.5 stars

multi-unit development (attach listing of ratings) heating MAIN = 71.4 MJ/m²
STUDIO = 83.9
cooling MAIN = 50.4 MJ/m²
STUDIO = 82.5

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number Luis Contigiani BDAV/13/1543
Assessor Signature *[Signature]* Date 06-05-2014

MAIN DWELLING =
ALL GLAZING TO BE NFRC VALUE OF U_w = 0.66 OR LESS AND SHGC_w = 0.70 +/- 10% SARKING TO ALL ROOF R 3.8 INSULATION TO ALL CEILING R 1.5 BATTS TO ALL EXT. WALLS

STUDIO =
ALL GLAZING TO BE NFRC VALUE OF U_w = 0.48 OR LESS AND SHGC_w = 0.46 +/- 10% SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 2.0 TO ALL INTERNAL WALLS

SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED

Wind Speed category is TO BE CONFIRMED

SLAB SETDOWNS FROM ENTRY.

EDGE REBATES	172mm x 150mm WIDE
GARAGE	+100 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	130 mm FROM F.F.L.

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Proposed Residence
For: **Champion Homes**
At: Lot 2201, Combewood Avenue.
Penrith, (Thornton)

Plot Date Wed 11 Jun 2014	Sheet Size: A3	Job 3154N
		Sheet 3 of 13

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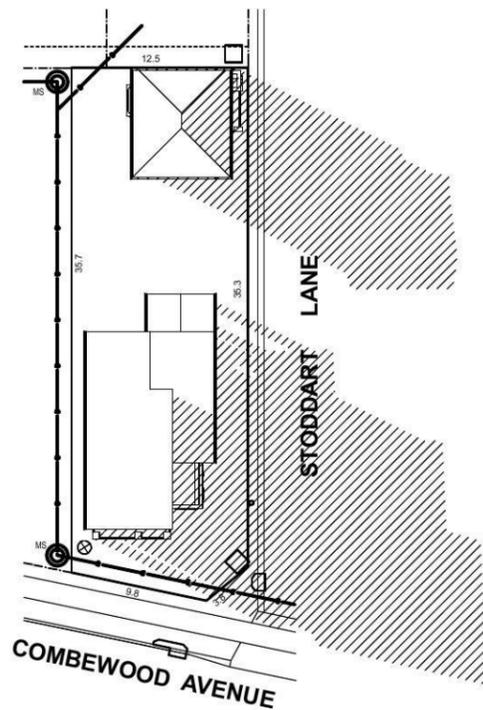
Telephone (02) 9825 8000
Fax (02) 9825 8110
Builders Licence No. 92732C

Shadow Diagrams

NOTE:
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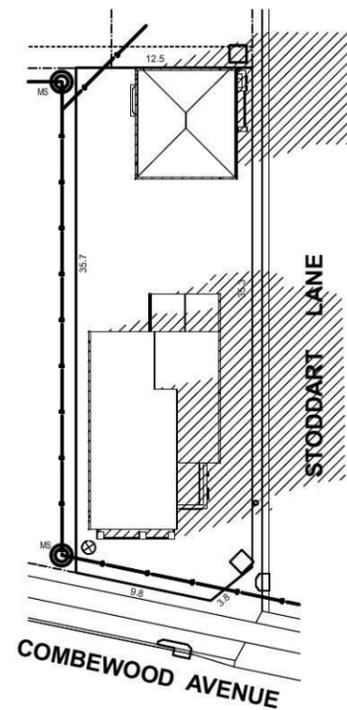
NORTH
LOT 2201
458.3m²



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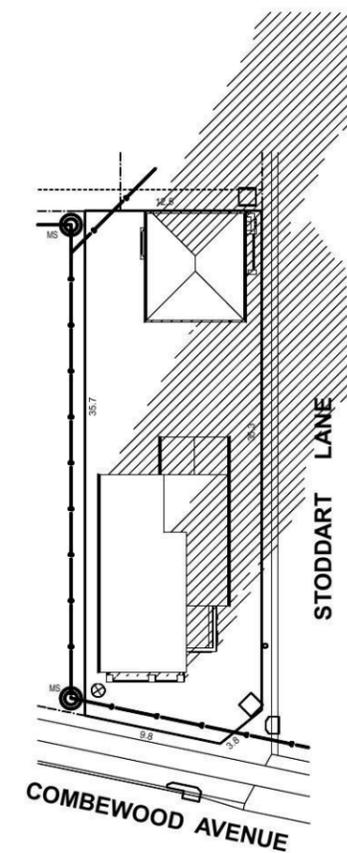
NORTH
LOT 2201
458.3m²



NOTE:
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BY BUILDER'S SURVEYOR



NORTH
LOT 2201
458.3m²



June 21st - 9am

SCALE 1:500

June 21st - 12noon

SCALE 1:500

June 21st - 3pm

SCALE 1:500

Energy Rating		Certificate Number 15430308 15430307
<input type="checkbox"/> single-dwelling rating	MAIN = 4.5	STUDIO = 3.5 stars
<input checked="" type="checkbox"/> multi-unit development (attach listing of ratings) <small>If selected, data specified is the average across the entire development</small>	heating MAIN = 71.4 MJ/m ²	STUDIO = 82.5 MJ/m ²
	cooling MAIN = 56.4 MJ/m ²	
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number Luis Contigiani BDAV/13/1543		Date 06-05-2014
ALL GLAZING TO BE NFRC VALUE OF U _W = 0.55 OR LESS AND SHGC = 0.70 +/- 10% SAVING TO ALL ROOF R 1.5 BATTYS TO ALL EXT. WALLS		
ALL GLAZING TO BE NFRC VALUE OF U _W = 0.48 OR LESS AND SHGC = 0.46 +/- 10% SAVING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 2.0 TO ALL INTERNAL WALLS		

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

Plot Date
Wed 11 Jun 2014

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED
Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	- 172mm x 150mm WIDE
GARAGE	+100 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	130 mm FROM F.F.L.



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Builders Licence No. 92732C

Revision	Date	Amendment
C	03.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
B	12.05.14	BASIX INFO ADDED - MT
A	27.03.14	CONTRACT DRAWINGS - MT

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Proposed Residence
at Lot: 2201,
Combewood Avenue,
Penrith, (Thornton)

Client:
Champion Homes
Sheet Size: A3 Date: 27.03.14 Drawn: MT
Design:
Custom Design
Job No. **3154N** Sheet 4 of 13

Description of project

The tables below describe the dwellings and common areas within the project

BASIX TEMPLATE

Single dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)	Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
DWELL 4 or more bedrooms	4	160.0	13.0	256.09	0	STUDI 1	1	27.0	4.0	0	0

Dwelling no.	Fixtures				Appliances		Individual pool			Individual spa				
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 7.5 but <= 9 L/min)	4 star	4 star	4 star	no	-	-	-	-	-	-	-	-	-

Alternative water source								
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
All dwellings	central water tank (no. 1)	See central systems	See central systems	yes	yes	yes	no	no
None	-	-	-	-	-	-	-	-

Dwelling no.	Hot water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control	
DWELL	gas instantaneous 5 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	natural ventilation only, or no laundry	-	
STUDI	gas instantaneous 5 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	

Dwelling no.	Cooling		Heating		Artificial lighting					Natural lighting		
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
DWELL	1-phase airconditioning EER 2.5 - 3.0 (zoned)	4	0	no	no	no	no	3	yes			
STUDI	1-phase airconditioning EER 2.5 - 3.0 (zoned)	1	0	no	no	no	no	1	no			

MAIN DWELLING =
ALL GLAZING TO BE NFRC VALUE OF Uw = 6.66 OR LESS AND SHGCw = 0.70 + / - 10 %
SARKING TO ALL ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTS TO ALL EXT. WALLS

STUDIO =
ALL GLAZING TO BE NFRC VALUE OF Uw = 4.48 OR LESS AND SHGCw = 0.46 + / - 10 %
SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 2.0 TO ALL INTERNAL WALLS

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SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED
 Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
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Revision	Date	Amendment
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Proposed Residence at Lot: 2201, Combewood Avenue, Penrith, (Thornton)

Plot Date
 Wed 11 Jun 2014

Client:
Champion Homes

Sheet Size: A3 Date: 27.03.14 Drawn: MT

Design:
Custom Design

Job No. **3154N** Sheet 5 of 13

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	no	-	-	-	no	yes

Thermal loads		
Dwelling no.	Area adjusted heating load (in MJ/m ² /yr)	Area adjusted cooling load (in MJ/m ² /yr)
DWELL	71.4	50.4
All other dwellings	83.9	82.5

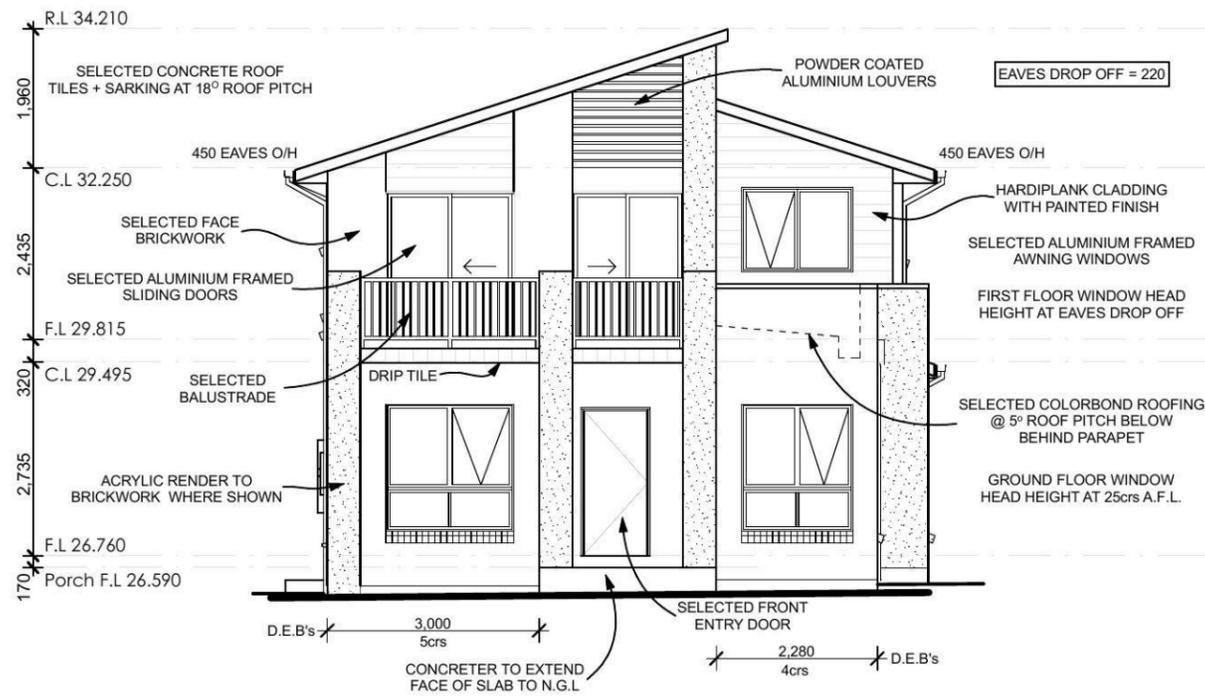
Dwelling no.	Construction of floors and walls				
	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
DWELL	94	-	-	-	No
All other dwellings	-	-	-	31	No

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Central water tank - rainwater or stormwater (No. 1)	3000	To collect run-off from at least: - 180 square metres of roof area of buildings in the development - 0 square metres of impervious area in the development - 0 square metres of garden/lawn area in the development - 0 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system).	-

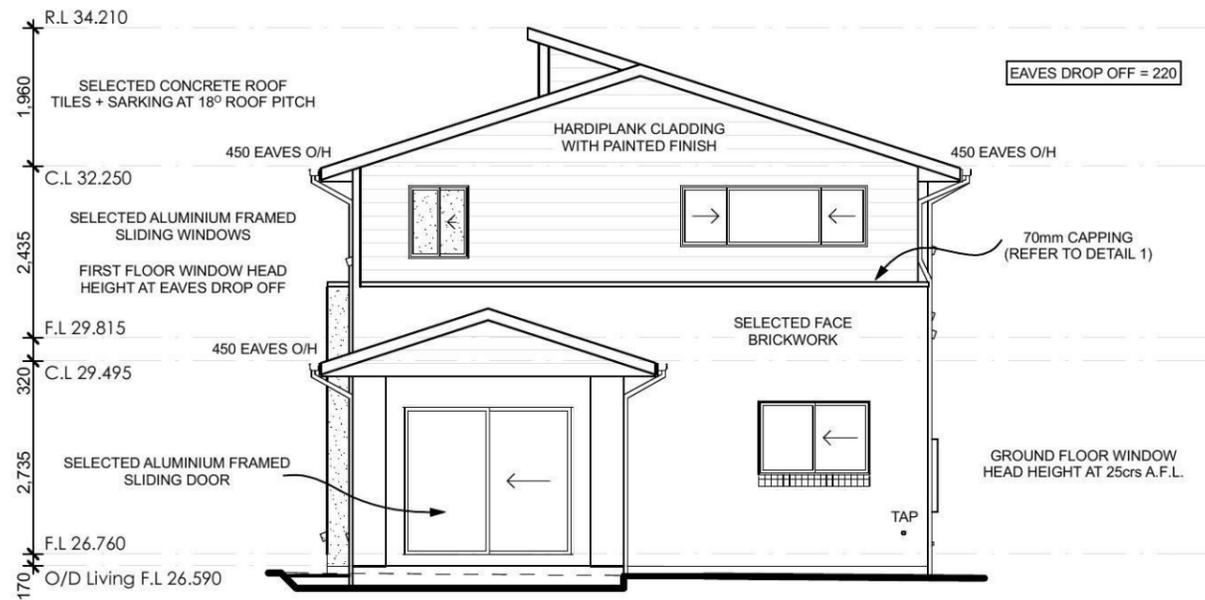
SUPPLEMENTARY B.C.A ENERGY EFFICIENCY CLAUSES FOR NatHERS / BASIX ASSESSMENTS

3.12.1.1	Building fabric thermal insulation	Any Insulation installation required by plans must be fitted in alignment with this clause.
3.12.1.2 (e)		Recompense for any reduced ceiling insulation is required to comply with this clause (any downlights installed must be non - ventilated). Recompense for loss of any ceiling insulation is not necessary when suitable approved non - ventilated down light covers are supplied, as these provide continuous flow of insulation.
3.12.3.3	External Windows & Doors	The sealing of any windows or doors must be in conformity with this clause.
3.12.3.4	Exhaust Fans	Refer to Current B.C.A for Detailed specification
3.12.3.5	Construction of Roofs, Walls & Floors	The sealing of roofs , walls and / or floors must align with this clause.
3.12.5.0	Acceptable Construction Manuals	Installation of any hot water systems must abide by this clause.
3.12.5.1	Insulation of Services	Installation of any services must observe requirements of this clause.
3.12.5.3	Heating & Cooling Ductwork	Ductwork insulation to cooling & heating systems must abide by this clause.



Western Elevation

SCALE 1:100



Eastern Elevation

SCALE 1:100

Energy Rating Certificate Number **15430308**
15430307
MAIN = 4.5
STUDIO = 3.5 stars
 heating **MAIN = 71.4** MJ/m²
 cooling **MAIN = 50.4** MJ/m²
 single-dwelling rating
 multi-unit development (attach listing of ratings)
 Recessed downlights confirmation: Rated with Rated without
 Assessor Name/Number **Luis Contigiani** BDAV/13/1543
 Assessor Signature *[Signature]* Date **06-05-2014**

MAIN DWELLING =
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 R 3.5 INSULATION TO ALL CEILING
 R 1.5 BATTES TO ALL EXT. WALLS

STUDIO =
 ALL GLAZING TO BE NFRC VALUE OF U_w = 4.48 OR LESS AND SHGC_w = 0.46 +/- 10%
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 R 2.0 TO ALL EXTERNAL WALLS
 R 2.0 TO ALL INTERNAL WALLS

PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm

Figured dimensions to be used in preference to scaling this drawing. Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION
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 Wind Speed category is **TO BE CONFIRMED**

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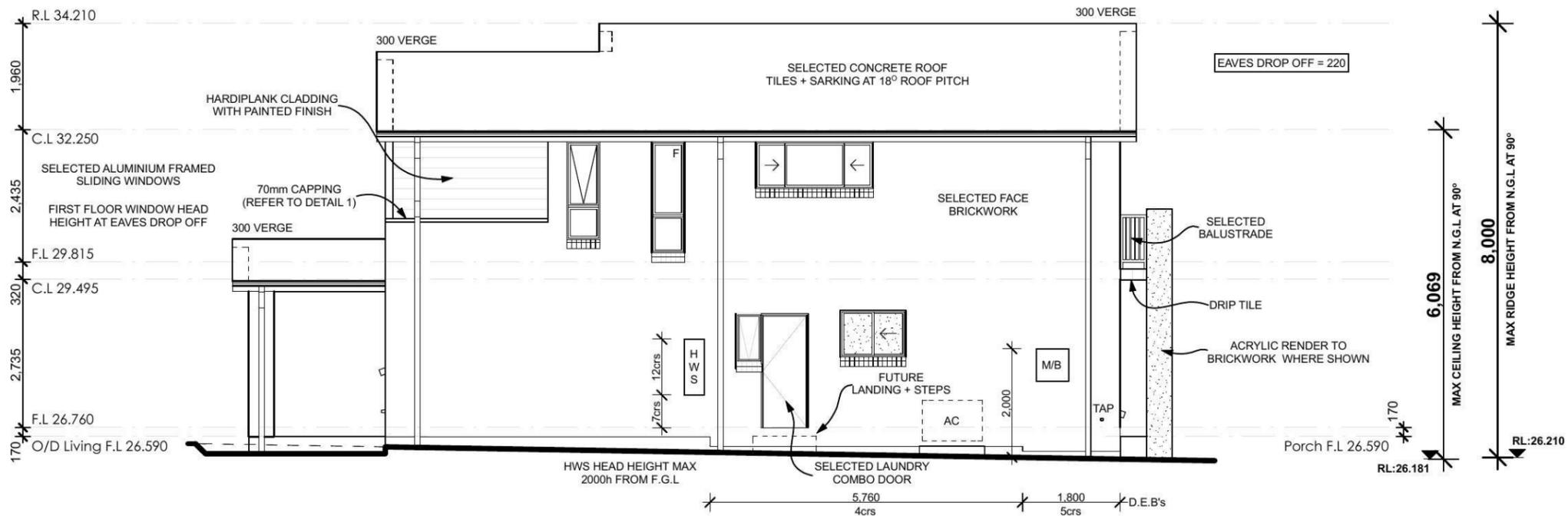
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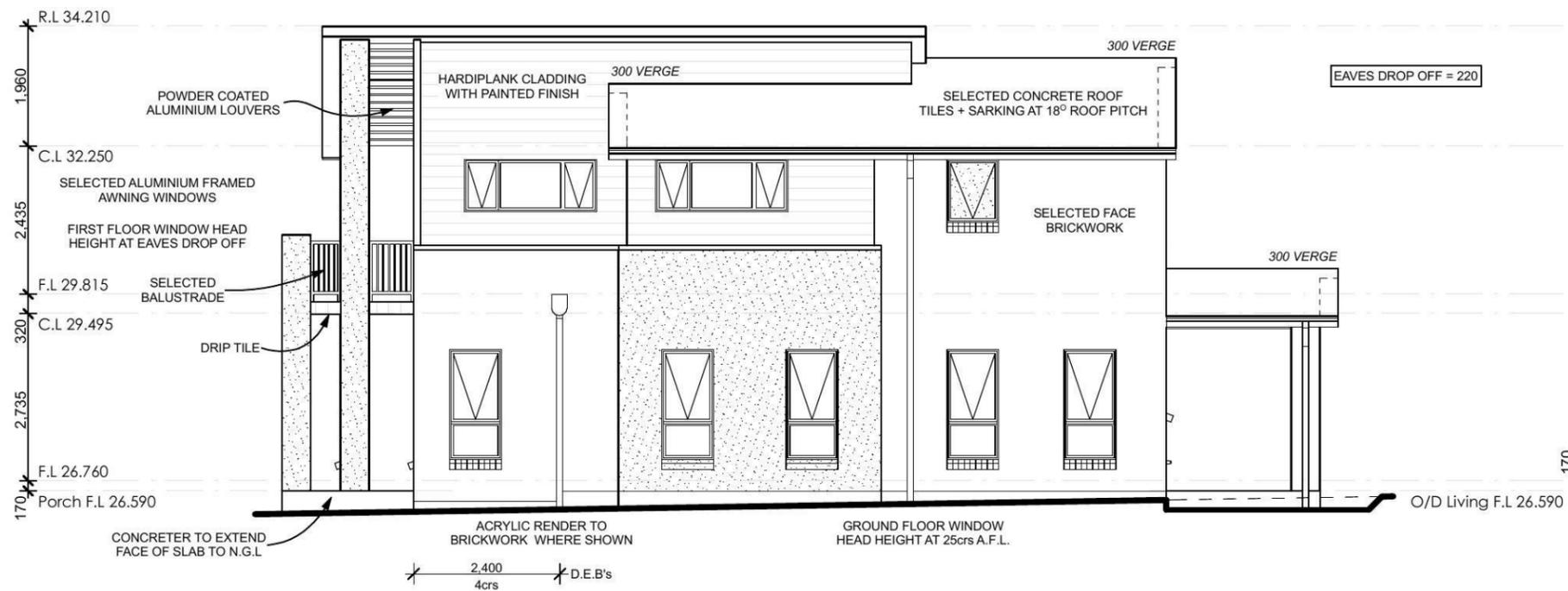
Plot Date
 Wed 11 Jun 2014

Client:
Champion Homes
 Sheet Size: A3 Date: 27.03.14 Drawn: MT
 Design:
Custom Design
 Job No. **3154N** Sheet 9 of 13



Northern Elevation

SCALE 1:100



Southern Elevation

SCALE 1:100

Energy Rating Certificate Number **15430308**
 15430307
MAIN = 4.5
STUDIO = 3.5 stars
 heating **MAIN = 71.4** MJ/m²
 cooling **MAIN = 50.4** MJ/m²

single-dwelling rating
 multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number **Luis Contigiani** BDAV/13/1543
 Assessor Signature *[Signature]* Date **06-05-2014**

MAIN DWELLING =
 ALL GLAZING TO BE NFRC VALUE
 OF U_w = 0.88 OR LESS AND
 SHGC_w = 0.70 + / - 10 %
 SARKING TO ALL ROOF
 R 3.5 INSULATION TO ALL CEILING
 R 1.5 BATTES TO ALL EXT. WALLS

STUDIO =
 ALL GLAZING TO BE NFRC VALUE
 OF U_w = 4.48 OR LESS AND
 SHGC_w = 0.46 + / - 10 %
 SARKING TO ALL ROOF
 R 2.0 TO ALL EXTERNAL WALLS
 R 2.0 TO ALL INTERNAL WALLS

Figured dimensions to be used in preference to scaling this drawing.
 Do not assume - if in doubt ASK.

PROTECTION OF OPENABLE WINDOWS AS PER B.C.A CONDITION 3.9.2.5

A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm

Plot Date
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SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED
 Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	+100 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	130 mm FROM F.F.L.



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Revision	Date	Amendment
C	03.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
B	12.05.14	BASIX INFO ADDED - MT
A	27.03.14	CONTRACT DRAWINGS - MT

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Proposed Residence
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 Combewood Avenue.
 Penrith, (Thornton)

Client:
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 Sheet Size: A3 Date: 27.03.14 Drawn: MT
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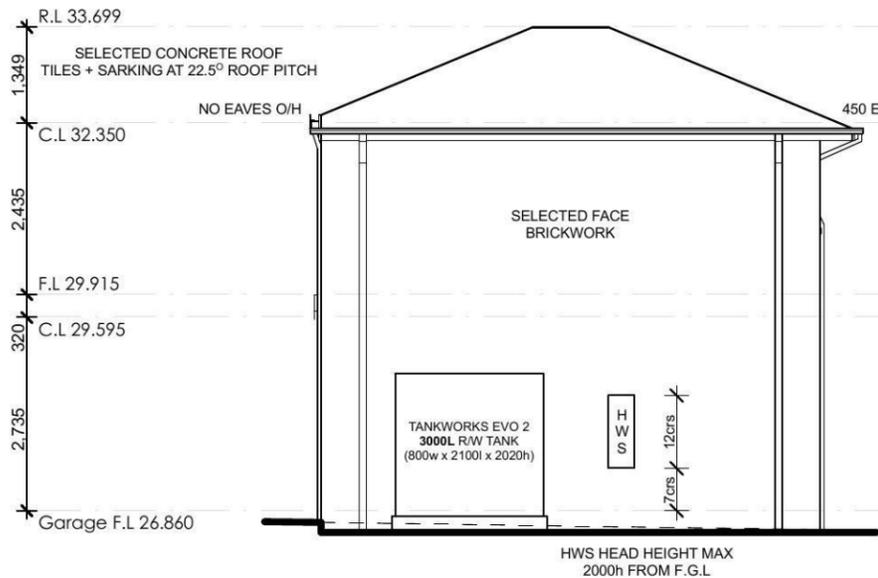
Southern Elevation

SCALE 1:100



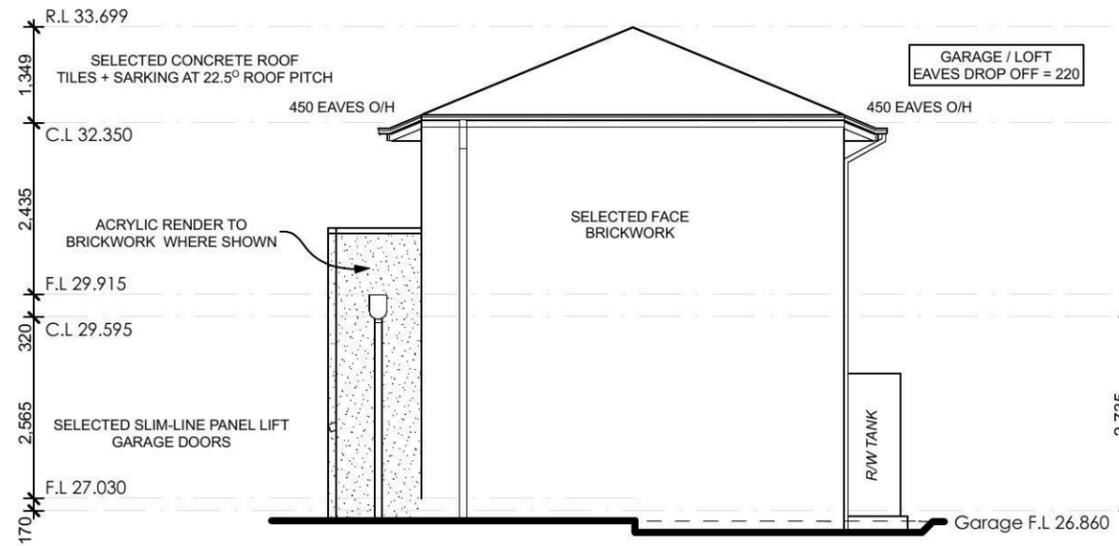
Western Elevation

SCALE 1:100



Northern Elevation

SCALE 1:100



Eastern Elevation

SCALE 1:100

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single-dwelling rating
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 Assessor Signature: _____ Date: **06-05-2014**

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 ALL GLAZING TO BE NFRC VALUE OF U_w = 0.85 OR LESS AND SHGC_w = 0.70 +/- 10% SARKING TO ALL ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTS TO ALL EXT. WALLS

STUDIO =
 ALL GLAZING TO BE NFRC VALUE OF U_w = 0.45 OR LESS AND SHGC_w = 0.46 +/- 10% SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 2.0 TO ALL INTERNAL WALLS

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SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED
 Wind Speed category is **TO BE CONFIRMED**

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BALCONY	130 mm FROM F.F.L.



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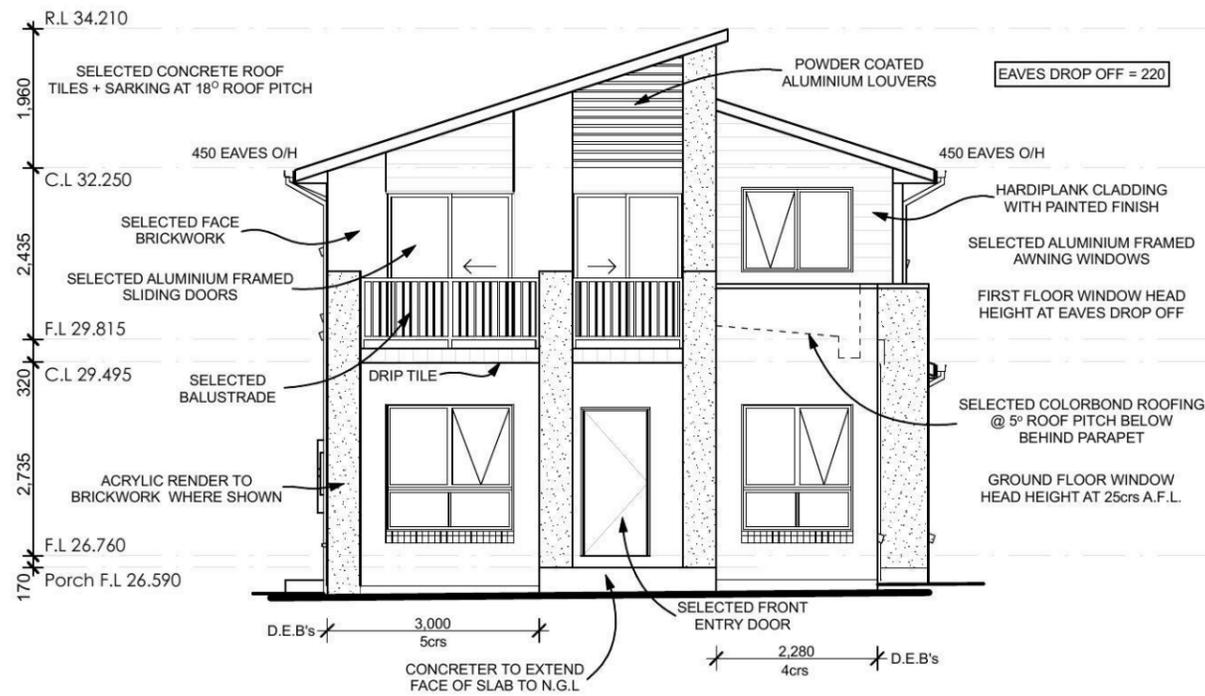
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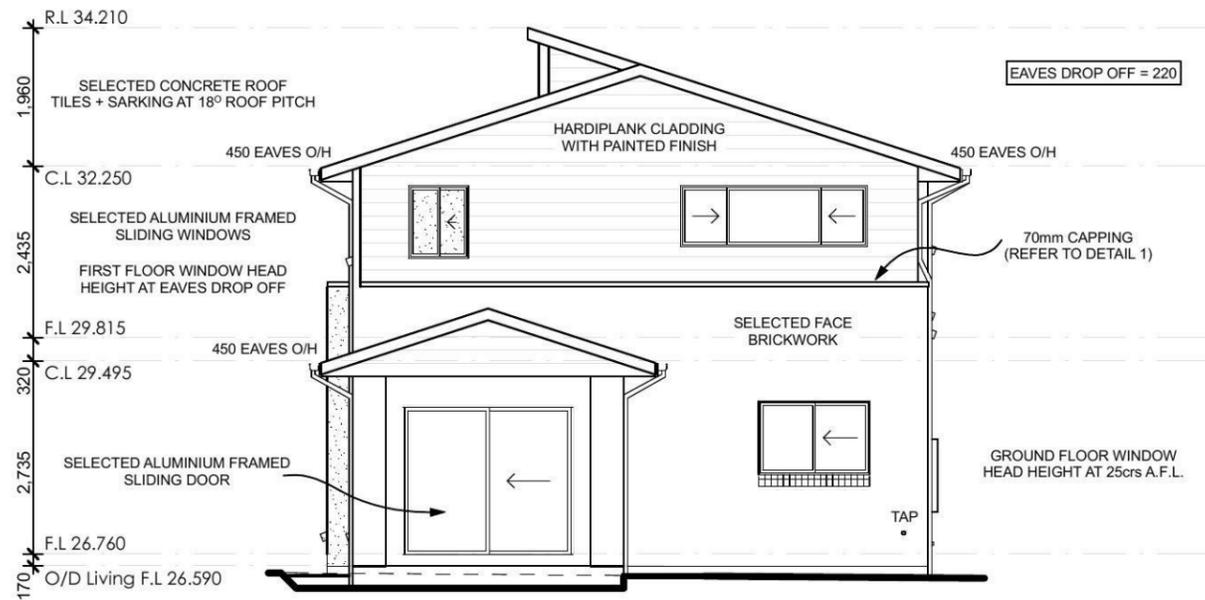
Design:
Custom Design

Job No. **3154N** Sheet **11 of 13**



Western Elevation

SCALE 1:100



Eastern Elevation

SCALE 1:100

Energy Rating		Certificate Number	15430308
		15430307	
<input type="checkbox"/> single-dwelling rating		MAIN	4.5
<input checked="" type="checkbox"/> multi-unit development (attach listing of ratings)		STUDIO	3.5 stars
If selected, data specified is the average across the entire development		heating MAIN	71.4 MJ/m ²
		STUDIO	62.3
		cooling MAIN	50.4 MJ/m ²
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without			
Assessor Name/Number		Luis Contigiani	BDAV/13/1543
Assessor Signature		<i>[Signature]</i>	Date
			06-05-2014

ALL GLAZING TO BE NFRC VALUE OF U_w = 0.88 OR LESS AND SHGC_w = 0.70 +/- 10% SARKING TO ALL ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTES TO ALL EXT. WALLS

MAIN DWELLING =

ALL GLAZING TO BE NFRC VALUE OF U_w = 4.48 OR LESS AND SHGC_w = 0.46 +/- 10% SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 2.0 TO ALL INTERNAL WALLS

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Champion Homes

Sheet Size: A3 Date: 27.03.14 Drawn: MT

Design:
Custom Design

Job No. **3154N** Sheet 9 of 13

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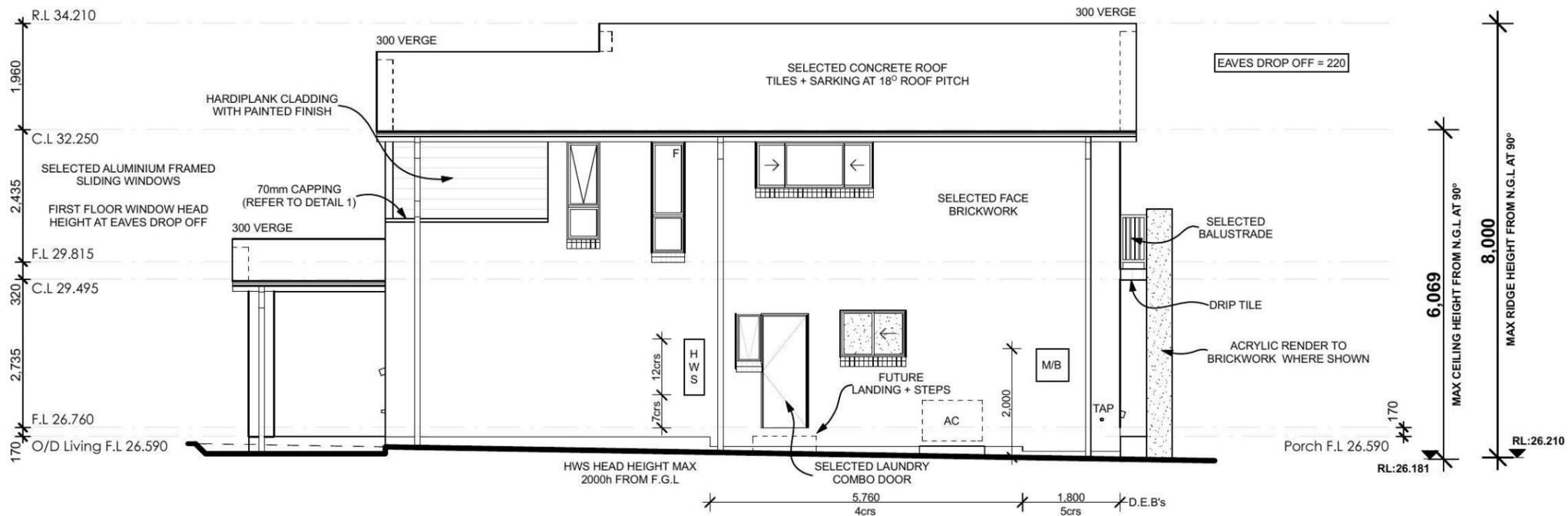
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at Lot: 2201,
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SITE & SLAB
CLASSIFICATION

IS TO BE CONFIRMED

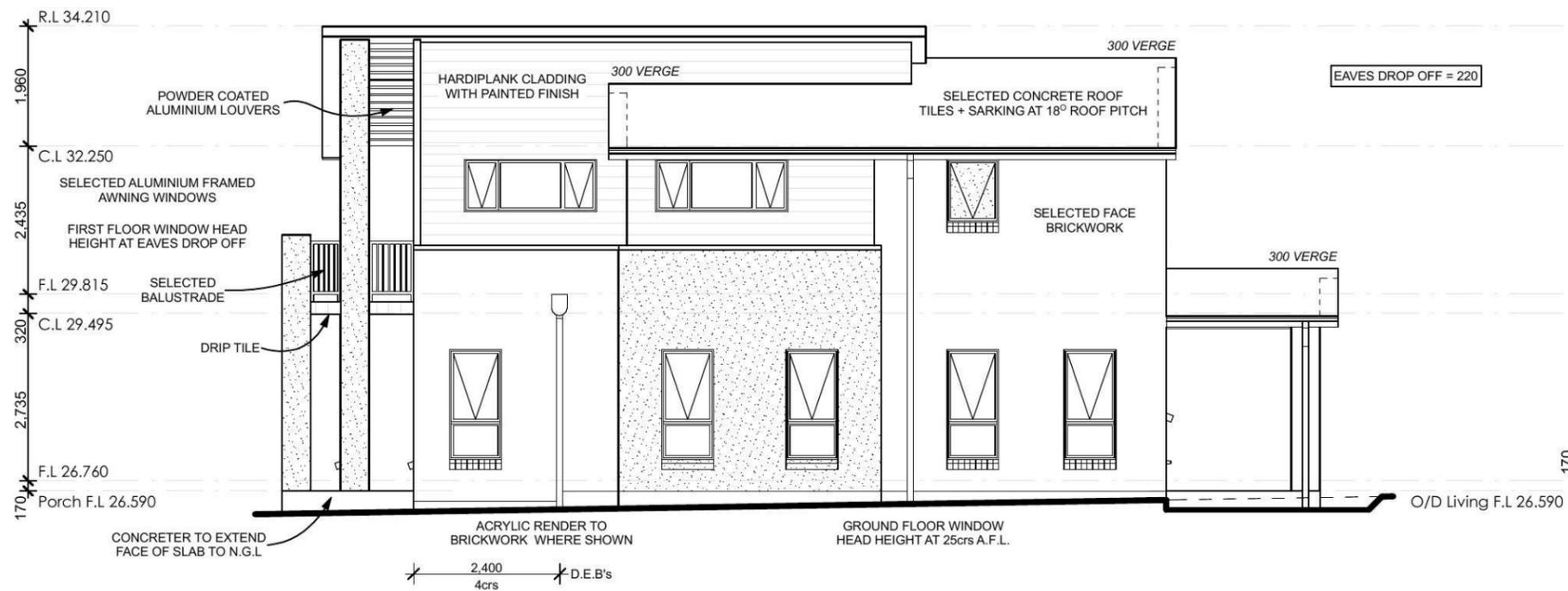
Wind Speed category is
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SLAB SETDOWNS FROM ENTRY.	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	+100 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	130 mm FROM F.F.L.



Northern Elevation

SCALE 1:100



Southern Elevation

SCALE 1:100

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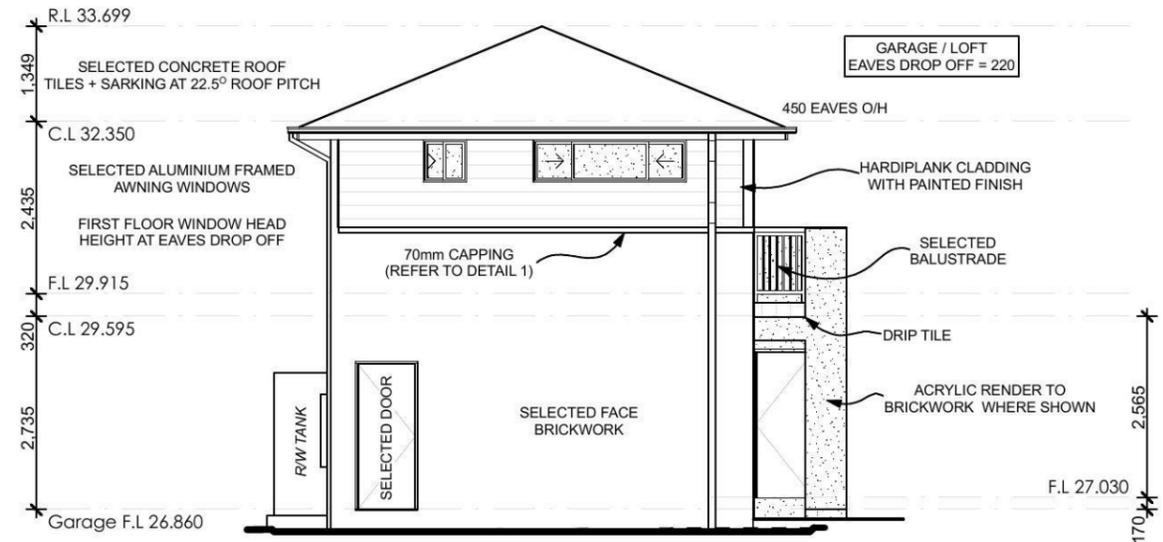
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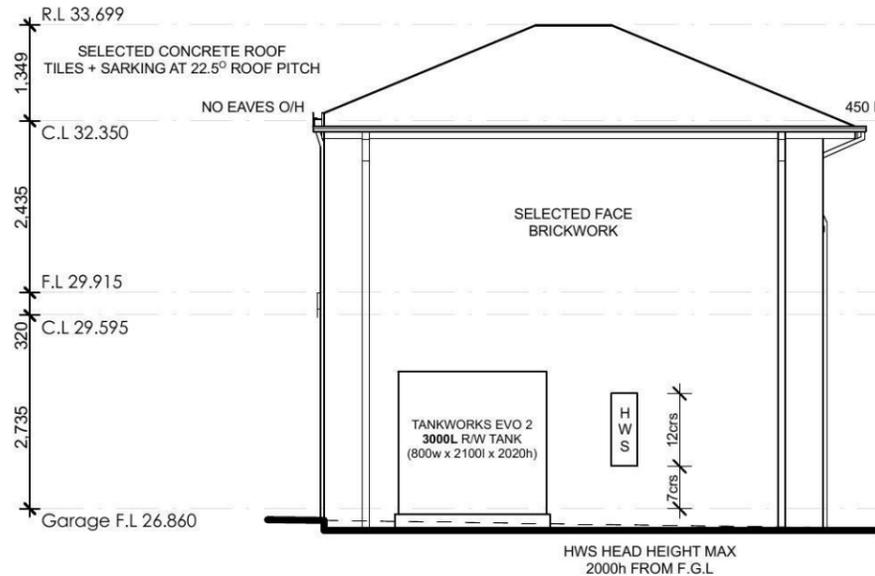
Southern Elevation

SCALE 1:100



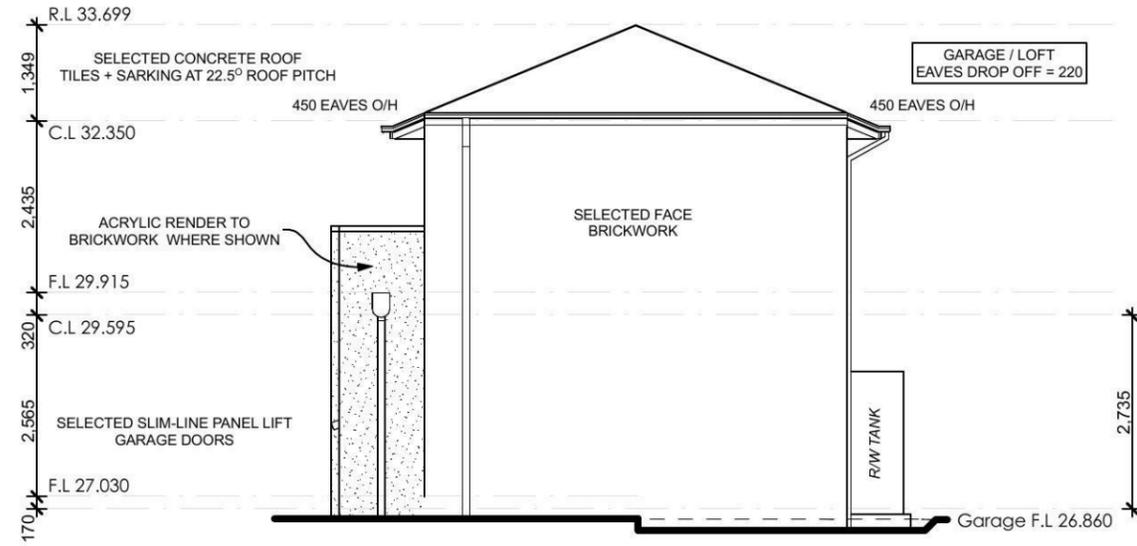
Western Elevation

SCALE 1:100



Northern Elevation

SCALE 1:100



Eastern Elevation

SCALE 1:100

Energy Rating Certificate Number **15430308**
15430307
MAIN = 4.5
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Recessed downlights confirmation: Rated with Rated without

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MAIN DWELLING =

STUDIO =

ALL GLAZING TO BE NFRC VALUE OF Uw = 0.45 OR LESS AND SHGCw = 0.46 +/- 10% SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 2.0 TO ALL INTERNAL WALLS

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Simply the Best

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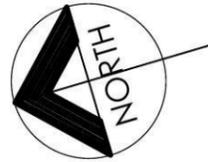
Design:
Custom Design

Job No. **3154N** Sheet 11 of 13

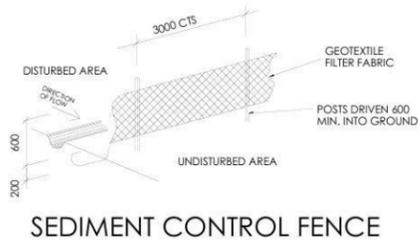
Erosion & Sediment Control Plan

SCALE 1:200

NOTE:
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR

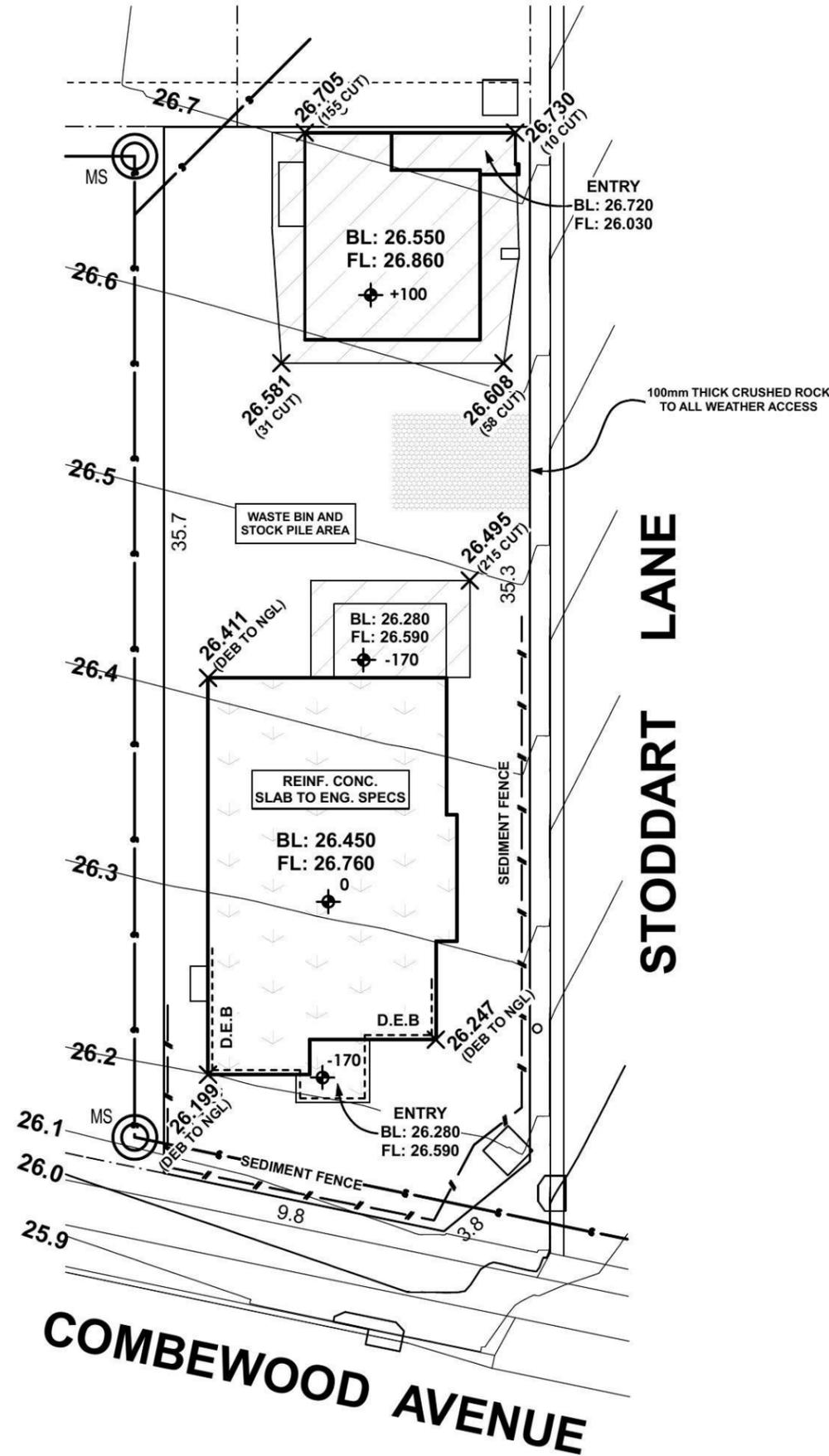
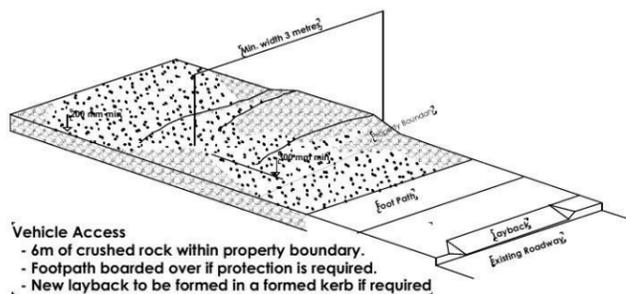


NORTH
LOT 2201
458.3m²



SITE PLAN

ALL SITING AND LEVELS INDICATED ARE ILLUSTRATIVE ONLY.
FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT.
SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS REMAIN AT THE DISCRETION OF THE BUILDER.



Energy Rating Certificate Number 15430308
15430307

single-dwelling rating MAIN = 4.5
STUDIO = 3.5 stars

multi-unit development (attach listing of ratings) heating MAIN = 71.4 MJ/m²
STUDIO = 83.9
cooling MAIN = 50.4 MJ/m²
STUDIO = 82.5

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Assessor Name/Number Luis Contigiani BDAV/13/1543
Assessor Signature *[Signature]* Date 06-05-2014

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Lot 2201 Combwood

PLANT SCHEDULE Prepared by ecodeign Pty Ltd

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Aw	Agapanthus 'White'	White Agapanthus	40	200mm	0.5m
Dg	Dietes grandiflora	Wild Iris	9	200mm	1m
Gfs	Gardenia 'Four Seasons'	Four Seasons Gardenia	3	200mm	1m
Li	Lagerstroemia indica 'Natchez'	White Crepe Myrtle	1	75L	8m
Lwt	Liriope muscari 'Monroe's White'	Liriope (white flowering)	23	200mm	0.45m
Mgk	Magnolia grandiflora 'Kay Paris'	Evergreen Magnolia	1	75L	4m
Vo	Viburnum odoratissimum	Sweet Viburnum	22	300mm	2.5m

STODDARD LANE - Supply + installation by BUILDER

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Lix	Lagerstroemia 'Sioux'	Crepe Myrtle	1	75L	4m
Lcj	Lomandra confertifolia 'Crackerjack'	Fine-leaved Lomandra	24	200mm	0.45m

STODDARD LANE CROSS-OVER - Supply + construction by BUILDER

MATERIAL SCHEDULE

HEADER COURSE

	Area m ² URBANGROWTH*	Area m ² BUILDER*
Concrete pavers 'Adbri Quartzstone', 300x300x50mm in 'Cradle' colour, laid in stackbond pattern	1.84	2.37

IN-FILL PAVEMENT

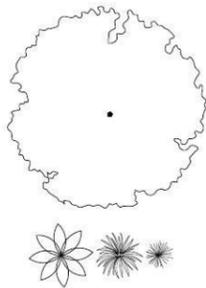
Concrete pavers 'Adbri Havenbrick', 200x100x50mm in 'Brushwood' colour, laid in herringbone pattern	1.99	6.82
Total area	3.83	9.19

*Area's outside of the allotment boundary. **Area's inside of the allotment boundary

LOT PLANTING SUMMARY

Total Plants	Total Fence Hedging	Street Planting	Other Shrubs/ground-covers	Total Trees
99	22	40	37	2

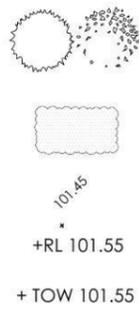
Minimum of 1 tree and 20 shrubs / groundcovers to each front / side yard (excluding fence hedging)



LEGEND

Proposed trees - refer to plant schedule

Proposed accents & grasses - refer to plant schedule



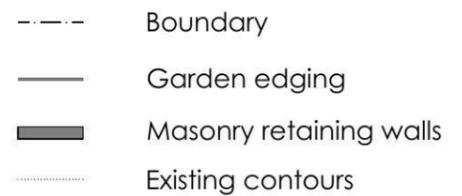
Proposed shrubs - refer to plant schedule

Proposed groundcovers and grasses - refer to plant schedule

Existing levels

Proposed levels

Proposed Top Of Wall levels

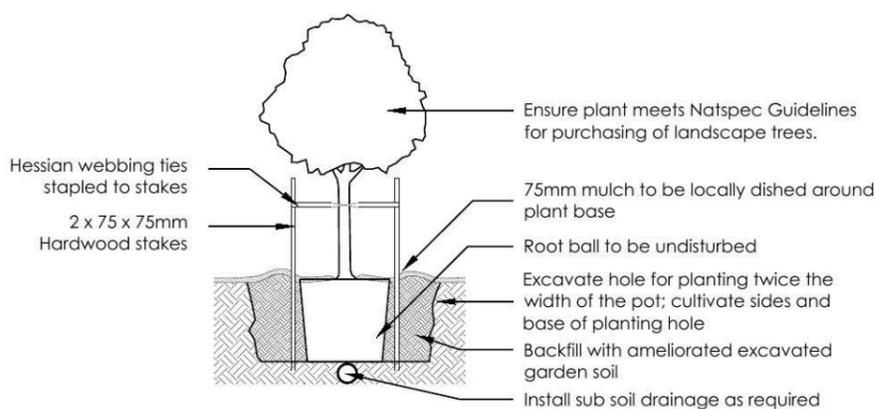


Boundary

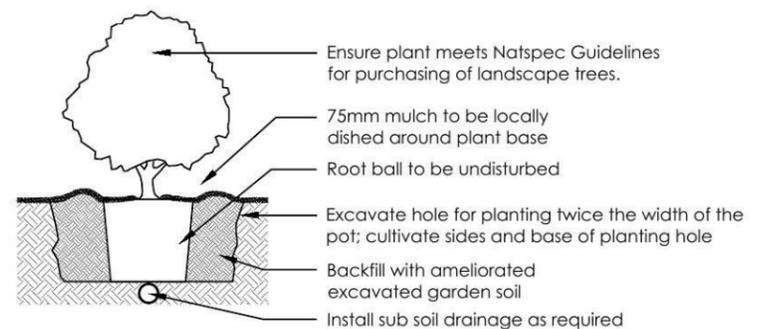
Garden edging

Masonry retaining walls

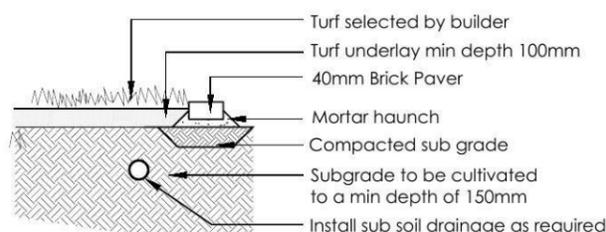
Existing contours



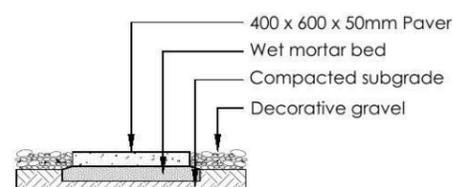
1 Tree Planting Detail
NTS 25L - 100L Pot Size



2 Planting Detail
NTS 150mm, 200mm Pot Size



3 Turf Detail
NTS Brick Paver Edge



4 Stepping stones in gravel
NTS Low traffic zone

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLAN FOR CLIENT REVIEW	RS	BT	30.04.14
B	ISSUE DA PLAN FOR CLIENT REVIEW	RS	RS	01.05.14
C	AMEND ROOM DIMENSIONS FOR GUEST + GARAGE	RS	RS	02.05.14

ecodeign
outdoor living environments

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Email: info@ecodeign.com.au
Web: www.ecodeign.com.au

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ADDRESS: **LOT 2201 COMBWOOD AVE, PENRITH**

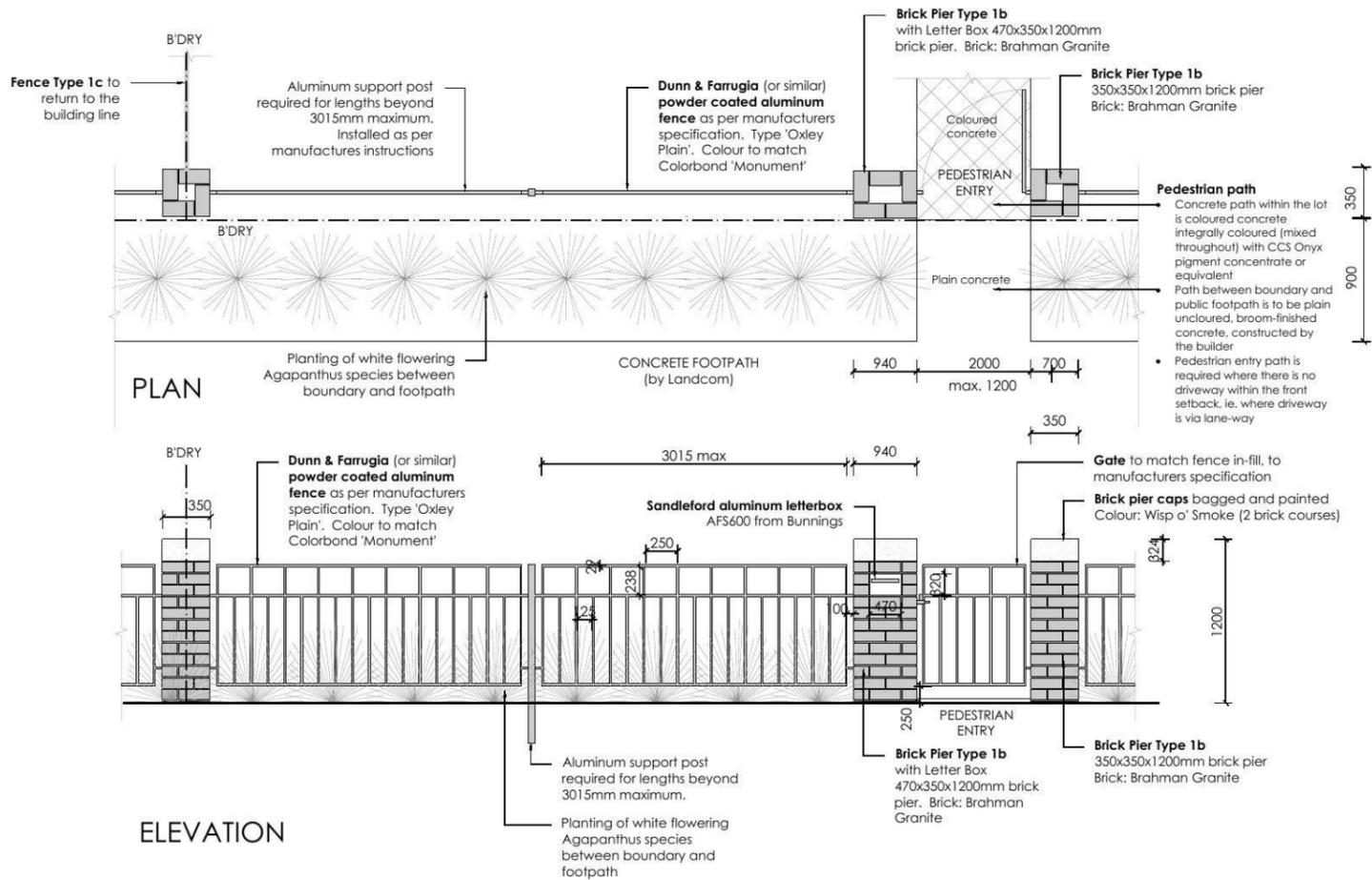
CLIENT: **CHAMPION HOMES**

PROJECT: **NEW RESIDENCE**

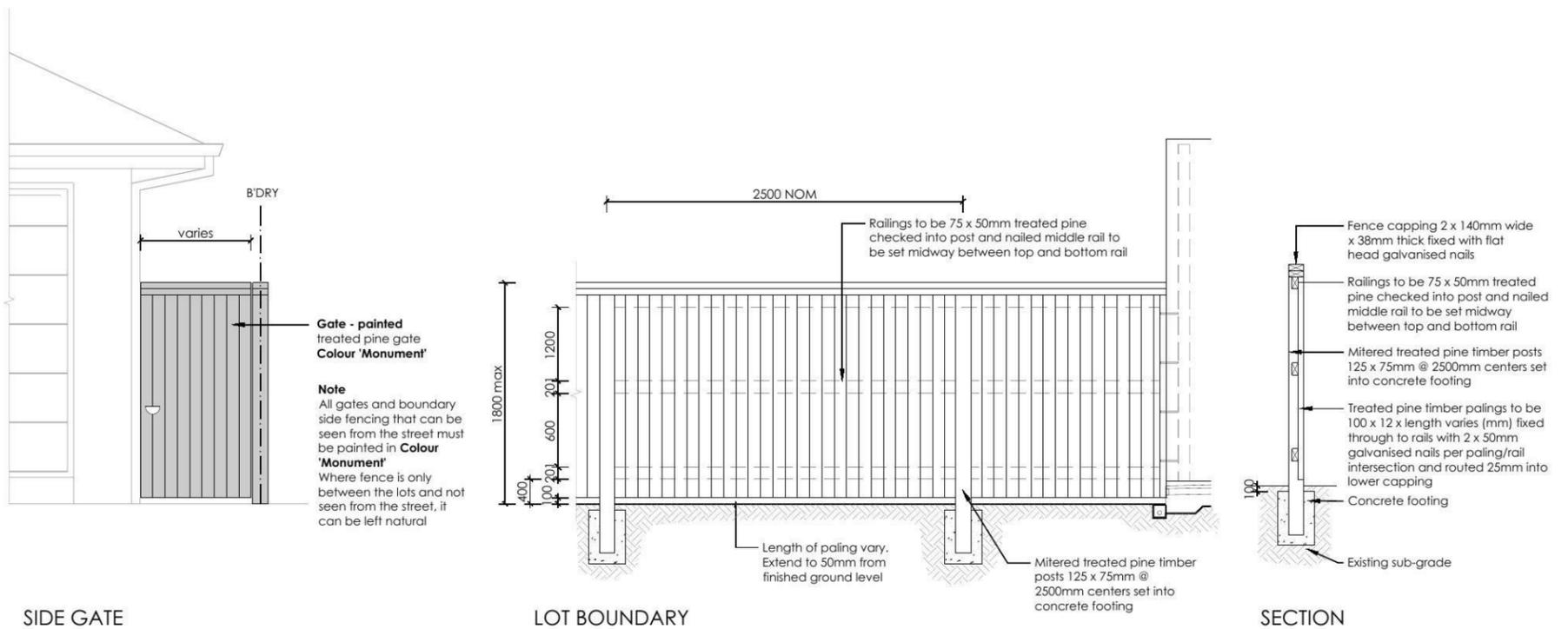
DRAWING: **LANDSCAPE PLAN**

SCALE: **1:100 @ A3** DRAWN: **DA** SHEET: **02**

DRAWN: **RS** CHECK: **RS** DATE: **02-05-14** REVISION: **C**



5 **FENCE TYPE 1b - Front Fence**
1:50 Typical detail



6 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLAN FOR CLIENT REVIEW	RS	BT	30-04-14
B	ISSUE DA PLAN FOR CLIENT REVIEW	RS	RS	01-05-14
C	AMEND ROOM DIMENSIONS FOR GUEST + GARAGE	RS	RS	02-05-14

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PROJECT: **NEW RESIDENCE**

DRAWING: **LANDSCAPE PLAN**

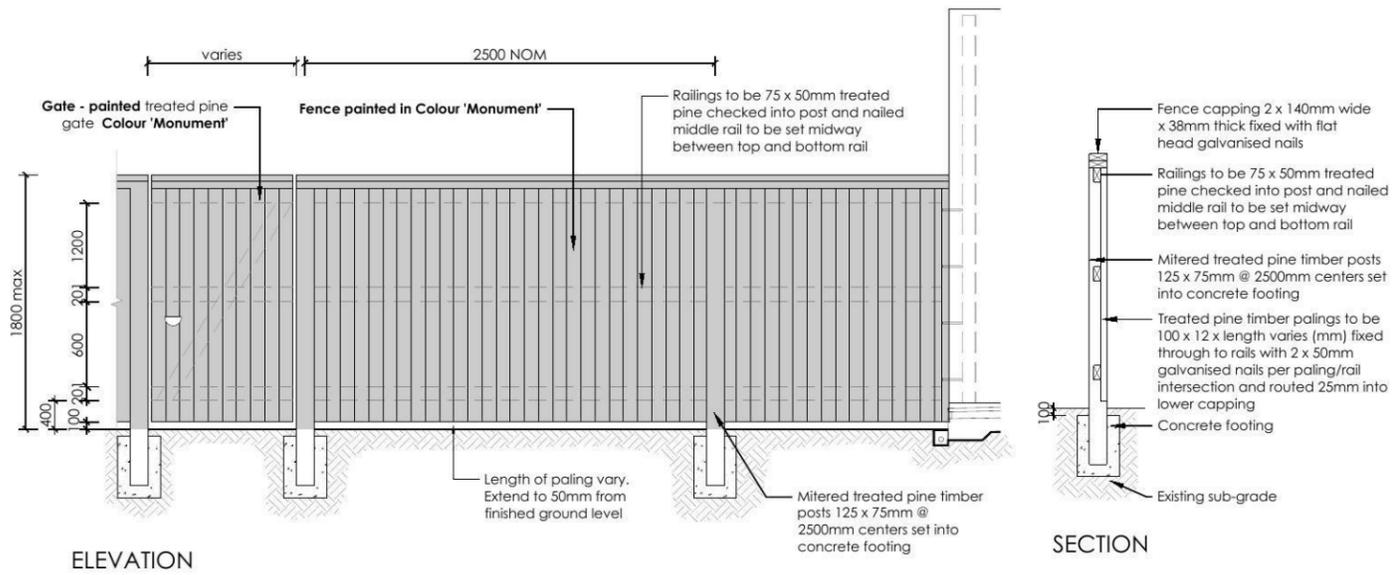
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CLIENT: **CHAMPION HOMES**

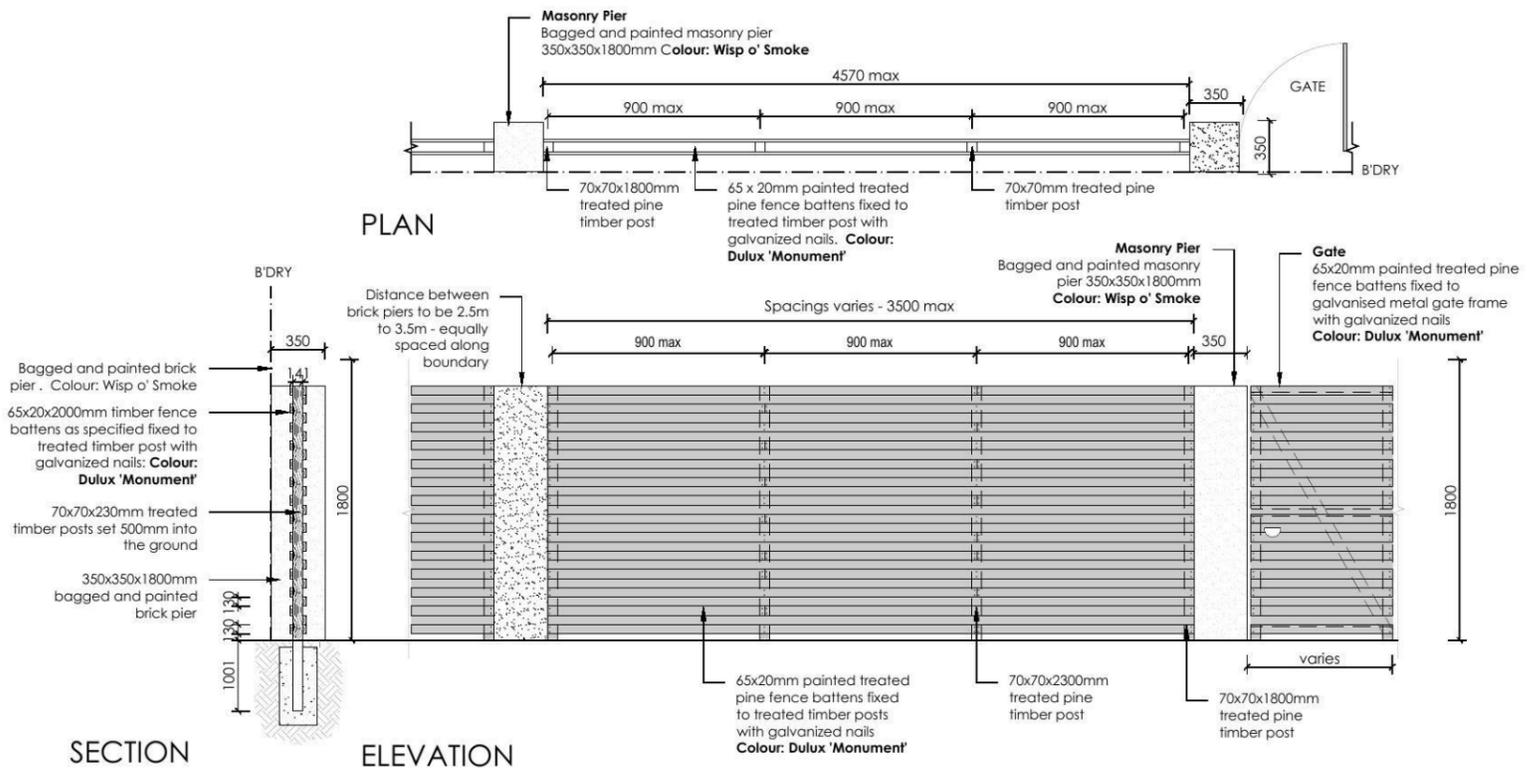
DATE: **02-05-14**

DRAWN	CHECK	DATE	REVISION
RS	RS	02-05-14	C





7 **FENCE TYPE 4b - Rear Boundary**
 1:50 All Laneways (except Barlett Lane)
 Typical detail



8 **FENCE TYPE 2a - Secondary Street Fencing**
 1:50 Typical detail

REVISION	DESCRIPTION	DRAWN	CHECK	DATE
A	ISSUE COLOUR PLAN FOR CLIENT REVIEW	RS	BT	30-04-14
B	ISSUE DA PLAN FOR CLIENT REVIEW	RS	RS	01-05-14
C	AMEND ROOM DIMENSIONS FOR GUEST + GARAGE	RS	RS	02-05-14

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PROJECT: NEW RESIDENCE

ADDRESS: LOT 2201 COMBWOOD AVE, PENRITH

CLIENT: CHAMPION HOMES

SCALE: 1:100 @ A3

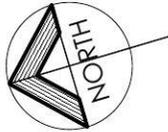
DATE: 02-05-14

SHEET: 04

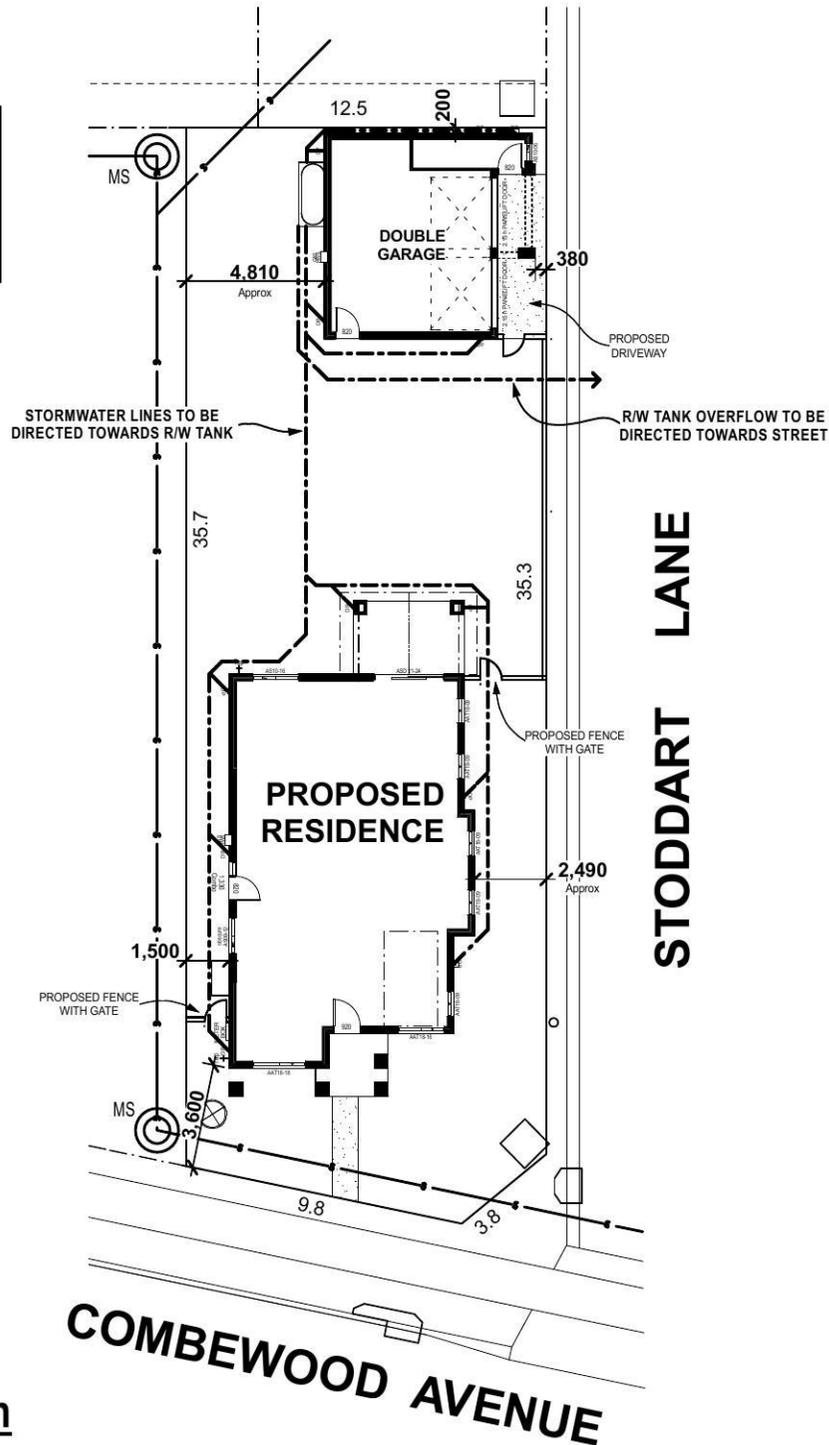
REVISION: C



NOTE:
FINAL SITING AND LEVELS OF
PROPOSED RESIDENCE, TO BE
CONFIRMED UPON RECEIPT OF
CONTOUR SURVEY PREPARED
BY BUILDER'S SURVEYOR



NORTH
LOT 2201
458.3m²



Proposed Site Plan
 Not To Scale

NOTIFICATION PLAN

Proposed Residence
 At: Lot 2201, Combewood Avenue,
 Penrith, (Thornton)

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Western Elevation
Not To Scale



Northern Elevation
Not To Scale



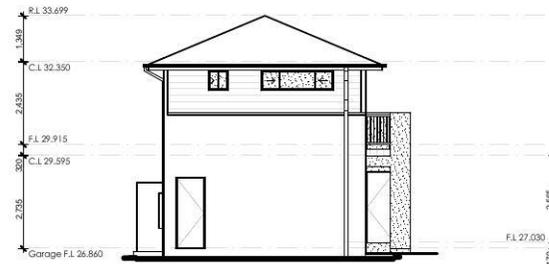
Eastern Elevation
Not To Scale



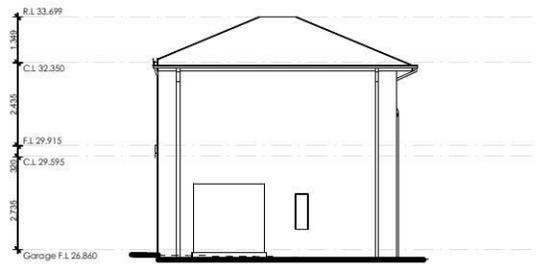
Southern Elevation
Not To Scale



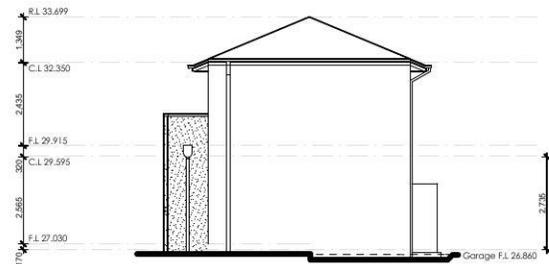
Southern Elevation
Not To Scale



Western Elevation
Not To Scale



Northern Elevation
Not To Scale



Eastern Elevation
Not To Scale

NOTIFICATION PLAN

Proposed Residence
At: Lot 2201, Combewood Avenue.
Penrith, (Thornton)

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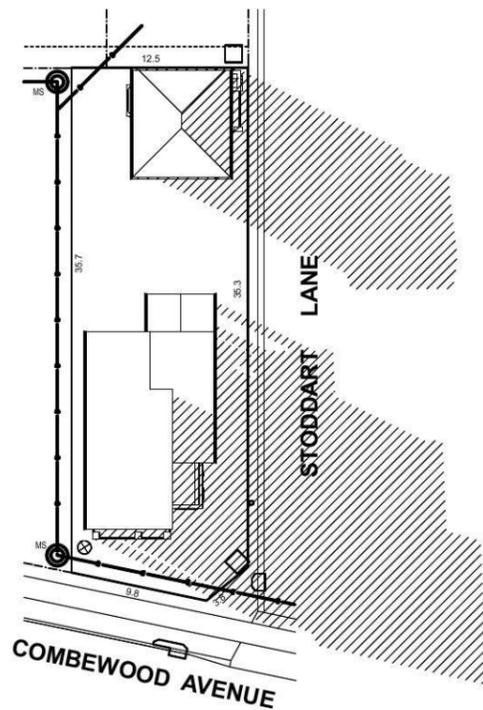
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Shadow Diagrams

NOTE:
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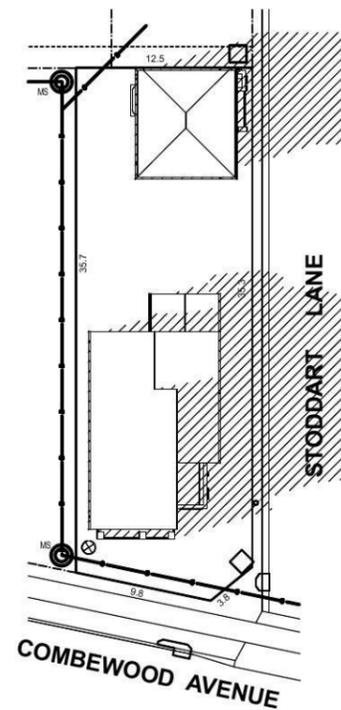
NORTH
LOT 2201
458.3m²



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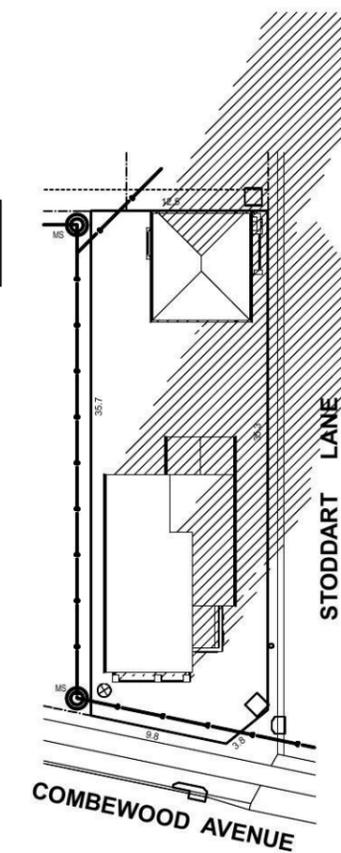
NORTH
LOT 2201
458.3m²



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NORTH
LOT 2201
458.3m²



June 21st - 9am

SCALE 1:500

June 21st - 12noon

SCALE 1:500

June 21st - 3pm

SCALE 1:500

Energy Rating		Certificate Number 15430308 15430307
<input type="checkbox"/> single-dwelling rating	MAIN = 4.5	STUDIO = 3.5 stars
<input checked="" type="checkbox"/> multi-unit development (attach listing of ratings) <small>If selected, data specified is the average across the entire development</small>	heating MAIN = 71.4 MJ/m ²	STUDIO = 82.5 MJ/m ²
	cooling MAIN = 56.4 MJ/m ²	
Recessed downlights confirmation: <input checked="" type="checkbox"/> Rated with <input type="checkbox"/> Rated without		
Assessor Name/Number	Luis Contigiani	BDAV/13/1543
Assessor Signature		Date 06-05-2014
<small>ALL GLAZING TO BE NFRC VALUE OF U/W = 0.85 OR LESS AND SHGC = 0.70 +/- 10% SAVING TO ALL ROOF R 2.0 INSULATION TO ALL CEILING R 1.9 BATTYS TO ALL EXT. WALLS</small>		
<small>ALL GLAZING TO BE NFRC VALUE OF U/W = 4.48 OR LESS AND SHGC = 0.46 +/- 10% SAVING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 2.0 TO ALL INTERNAL WALLS</small>		

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

SITE & SLAB CLASSIFICATION
IS TO BE CONFIRMED
Wind Speed category is **TO BE CONFIRMED**

SLAB SETDOWNS FROM ENTRY:	
EDGE REBATES	- 172mm x 150mm WIDE
GARAGE	+100 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY	130 mm FROM F.F.L.



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Builders Licence No. 92732C

Revision	Date	Amendment
C	03.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
B	12.05.14	BASIX INFO ADDED - MT
A	27.03.14	CONTRACT DRAWINGS - MT

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Proposed Residence
at Lot: 2201,
Combewood Avenue.
Penrith, (Thornton)

Plot Date
Wed 11 Jun 2014

Client:
Champion Homes

Sheet Size: A3 Date: 27.03.14 Drawn: MT

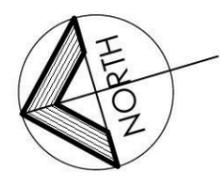
Design:
Custom Design

Job No. **3154N** Sheet 4 of 13

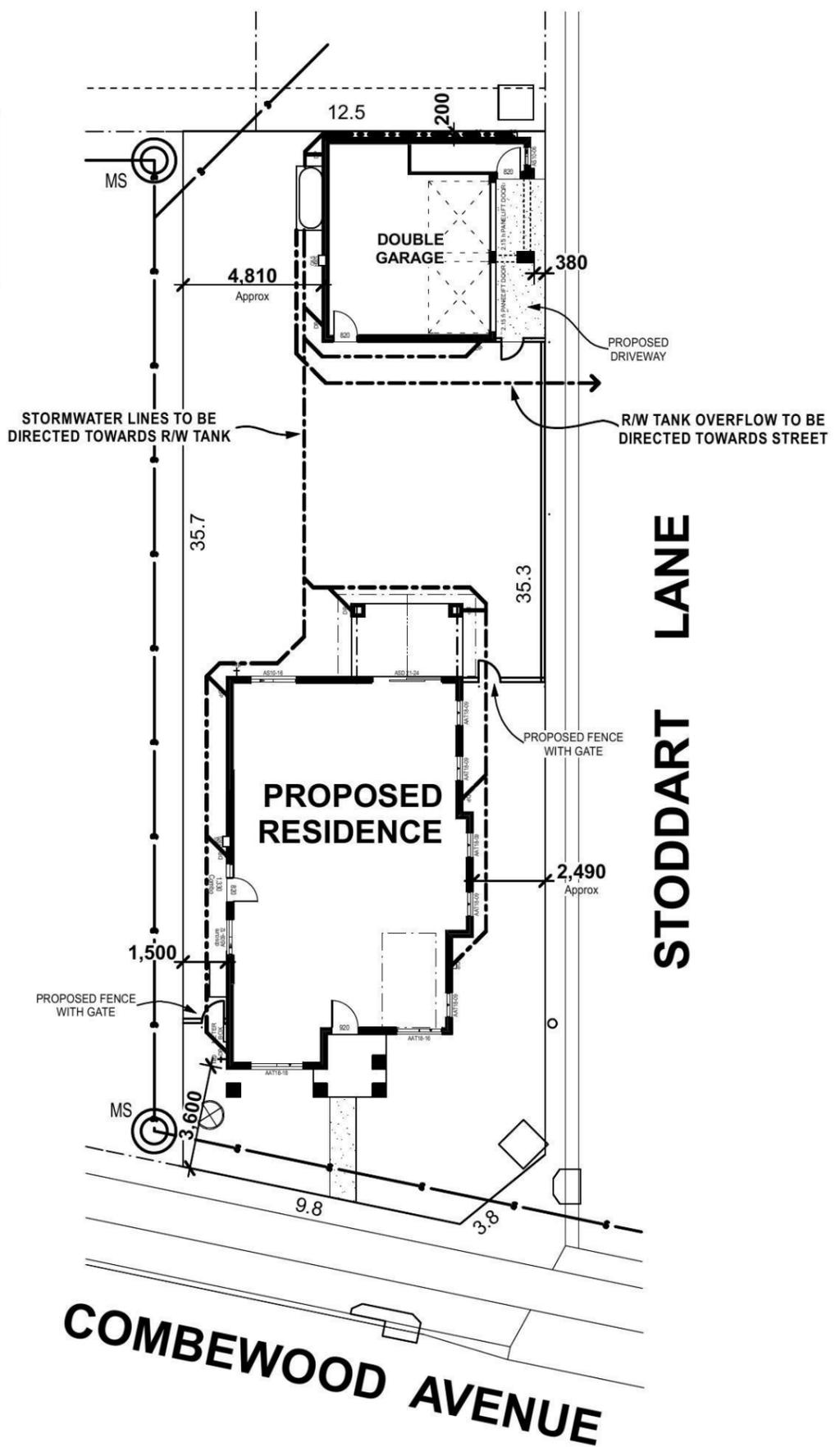
Proposed Site & Drainage Plan

SCALE 1:200

NOTE:
FINAL SITING AND LEVELS OF PROPOSED RESIDENCE, TO BE CONFIRMED UPON RECEIPT OF CONTOUR SURVEY PREPARED BY BUILDER'S SURVEYOR



NORTH
LOT 2201
458.3m²



Energy Rating Certificate Number **15430308**
15430307
MAIN = 4.5
STUDIO = 3.5 stars
heating MAIN = 71.4 MJ/m²
STUDIO = 82.5
cooling MAIN = 50.4 MJ/m²

single-dwelling rating
 multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number Luis Contigiani BDAV/13/1543
Assessor Signature *[Signature]* Date 06-05-2014

ALL GLAZING TO BE NFRC VALUE OF U_w = 6.66 OR LESS AND SHGC_w = 0.70 +/- 10 %
SARKING TO ALL ROOF
R 3.5 INSULATION TO ALL CEILING
R 1.5 BATTS TO ALL EXT. WALLS

ALL GLAZING TO BE NFRC VALUE OF U_w = 4.48 OR LESS AND SHGC_w = 0.46 +/- 10 %
SARKING TO ALL ROOF
R 2.0 TO ALL EXTERNAL WALLS
R 2.0 TO ALL INTERNAL WALLS

SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED
Wind Speed category is TO BE CONFIRMED

SLAB SETDOWNS FROM ENTRY.

EDGE REBATES	-	172mm x 150mm WIDE
GARAGE	+100	mm FROM F.F.L.
FRONT PORCH/VERANDAH	170	mm FROM F.F.L.
BALCONY	130	mm FROM F.F.L.

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Design : Custom Design		
Drawn : MT	Date : 27.03.14	
C	03.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
B	12.05.14	BASIX INFO ADDED - MT
A	27.03.14	CONTRACT DRAWINGS - MT
Rev.No.	Date	Amendment

Proposed Residence
For: **Champion Homes**
At: Lot 2201, Combewood Avenue.
Penrith, (Thornton)

Plot Date Wed 11 Jun 2014	Sheet Size: A3	Job 3154N
		Sheet 1 of 13

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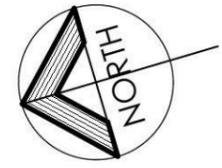
NOTE:
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FINAL RIDGE AND FLOOR LEVELS ARE ACCEPTED TO VARY BY ±100mm FROM THE APPROVED DOCUMENTS, ALL DUE TO CONDITIONS ENCOUNTERED ON SITE DURING BUILDING WORKS.
Document Set ID: 6025320
Version: 1, Version Date: 03/07/2014

Proposed Site Analysis Plan

SCALE 1:200

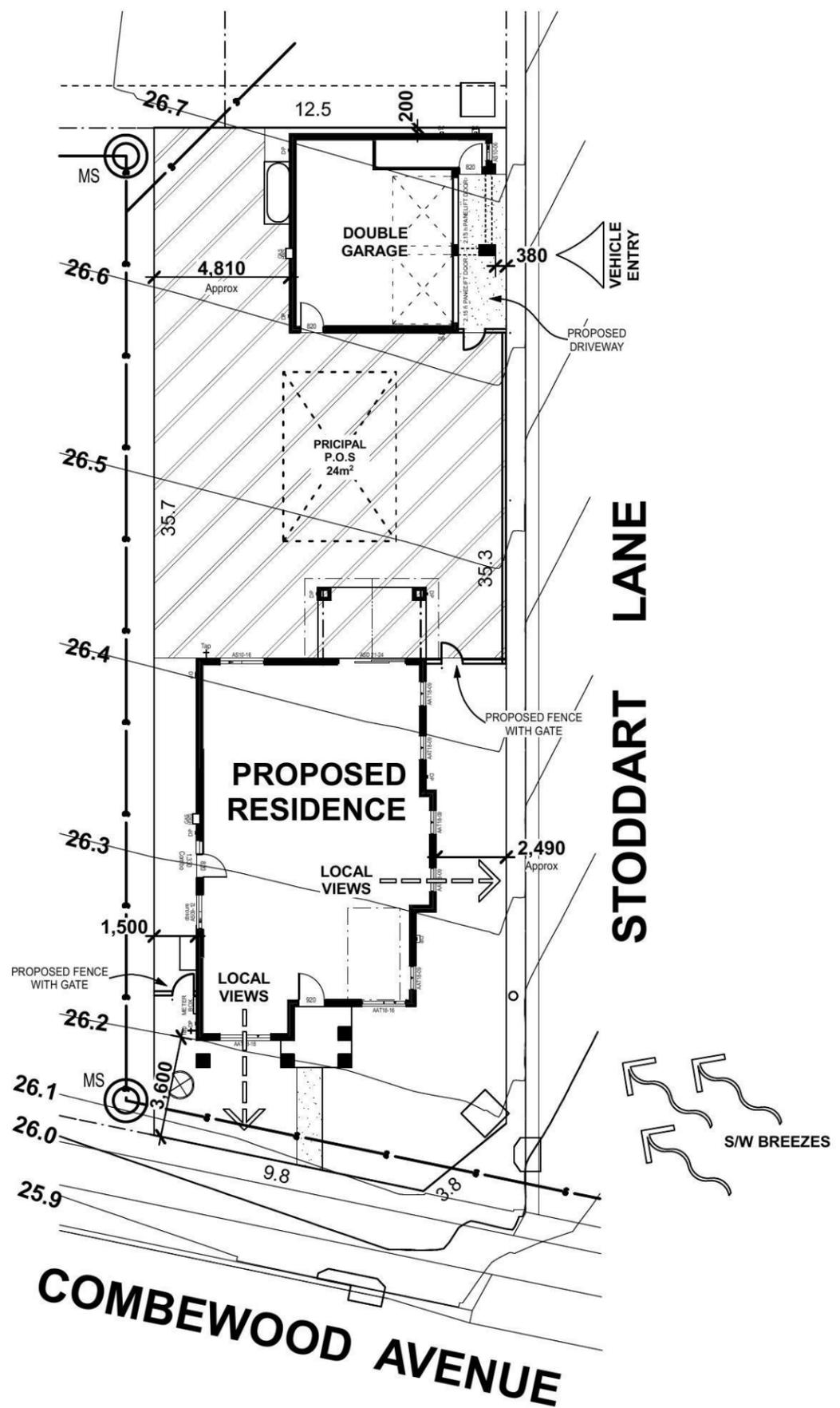
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NORTH
LOT 2201
458.3m²

NORTH PENRITH "THORTON" REQUIREMENTS:

SITE AREA:	458.30m ²
PRIVATE OPEN SPACE:	REQUIRED: 20% or 73.16m ² ACHIEVED: 38% or 176.10m ²
LANDSCAPE AREA:	ACHIEVED: 56% or 256.09m ²
CARPARKING:	REQUIRED: 2 SPACES ACHIEVED: 2 SPACES



Energy Rating Certificate Number **15430308**
15430307

single-dwelling rating
 multi-unit development (attach listing of ratings)

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number Luis Contigiani BDAV/13/1543
Assessor Signature *[Signature]* Date **06-05-2014**

heating **MAIN = 71.4** MJ/m²
cooling **MAIN = 50.4** MJ/m²
STUDIO = 3.5 stars
MAIN = 4.5

ALL GLAZING TO BE NFRC VALUE OF U_w = 6.66 OR LESS AND SHGC_w = 0.70 +/- 10 %
SARKING TO ALL ROOF R 3.5 INSULATION TO ALL CEILING R 1.5 BATTYS TO ALL EXT. WALLS

ALL GLAZING TO BE NFRC VALUE OF U_w = 4.48 OR LESS AND SHGC_w = 0.46 +/- 10 %
SARKING TO ALL ROOF R 2.0 TO ALL EXTERNAL WALLS R 2.0 TO ALL INTERNAL WALLS

SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED
Wind Speed category is TO BE CONFIRMED

SLAB SETDOWNS FROM ENTRY.

EDGE REBATES	-	172mm x 150mm WIDE
GARAGE	+100	mm FROM F.F.L.
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Drawn : MT	Date : 27.03.14	
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B	12.05.14	BASIX INFO ADDED - MT
A	27.03.14	CONTRACT DRAWINGS - MT
Rev.No.	Date	Amendment

Proposed Residence
For: **Champion Homes**
At: Lot 2201, Combewood Avenue.
Penrith, (Thornton)

Plot Date Wed 11 Jun 2014	Sheet Size: A3	Job 3154N
		Sheet 2 of 13



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Version: 1, Version Date: 03/07/2014