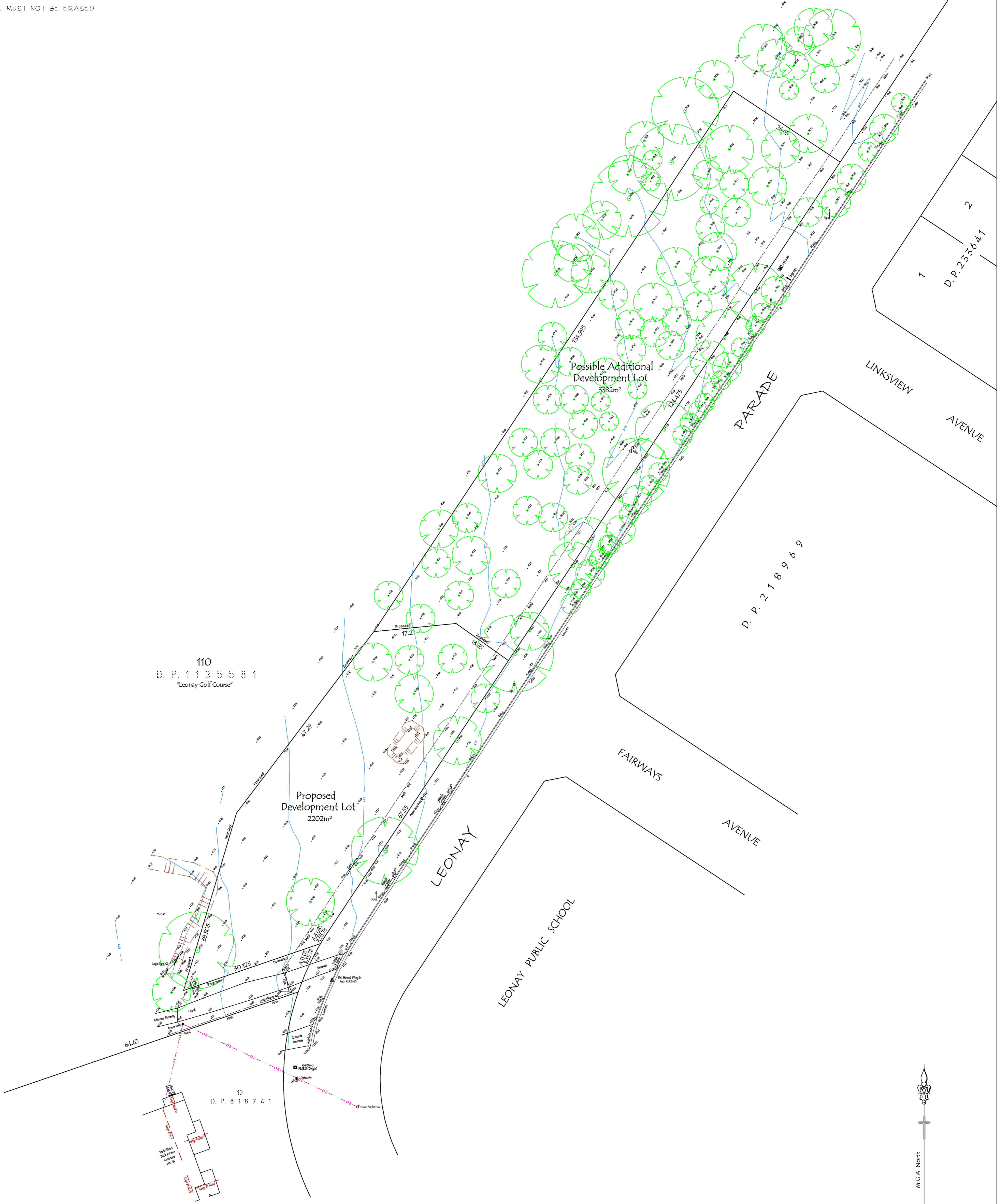


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THIS NOTICE MUST NOT BE ERASED



110
 D. P. 1135581
 "Leonay Golf Course"

Proposed
 Development Lot
 2202m²

Possible Additional
 Development Lot
 3382m²

LINKSVIEW
 AVENUE

D. P. 218969

FAIRWAYS
 AVENUE

LEONAY

LEONAY PUBLIC SCHOOL

12
 D. P. 818741



wt - DENOTES WINDOW TOP
 wb - DENOTES WINDOW BOTTOM
 ---OE--- DENOTES OVERHEAD ELECTRICITY
 ---SE--- DENOTES SEWERMAIN (Approx. position only)

NOTE: SPREAD OF TREES IS APPROXIMATE ONLY
 LOCATION OF FENCES ARE APPROXIMATE ONLY
 ONLY VISIBLE SERVICES HAVE BEEN LOCATED ACCURATELY
 NO UNDERGROUND SERVICES SEARCH HAS BEEN CARRIED OUT
 BOUNDARY DIMENSIONS AND AREA ARE BY TITLE ONLY.
 t/k DENOTES TOP OF KERB

Client:

Leonay Links Pty Limited as trustee Fairways Unit Trust

ARCHITECTURAL CONSULTANTS
DEVELOPMENT CONSULTANTS

Proposed SEPP Housing for Seniors or People with a Disability 2004

Part of Lot 110 in DP1135581, (Leonay Golf Course) 1a Leonay Parade, LEONAY

Development Application - June 2018



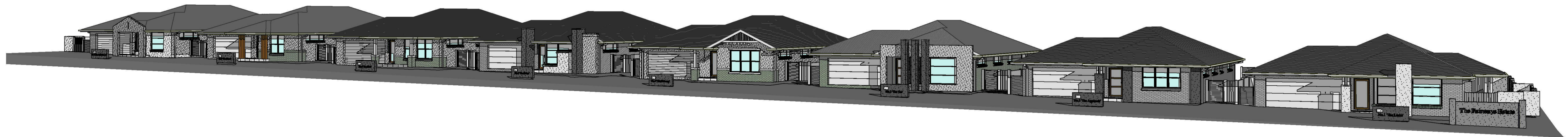
PreTech Pty Ltd - Architects
John Hepworth Nominated Architect Reg. No 5036
Level 1, Suite 2/86 Henry Street
Penrith NSW 2750 Australia
PO Box 301 Penrith NSW 2751

T - (02) 4732 5100

E - admin@pretech.com.au

ARCHITECTURAL DRAWING SCHEDULE

SITE PLAN, GROUND FLOOR PLANS & DEVELOPMENT CALCULATIONS	1 : 250	A 01
SITE PLAN & ROOF PLANS	1 : 250	A 02
ELEVATIONS	1 : 200	A 03
ELEVATIONS, SECTION & THERMAL PERFORMANCE SPECIFICATION	1 : 200	A 04
SITE ANALYSIS PLAN	1 : 350	A 05
SHADOW ANALYSIS (June 22, 9.0am, 12.0 & 3.0pm)	1 : 400	A 06



Leonay Parade Facade

SURVEY LEGEND & NOTES

wt - DENOTES WINDOW TOP
wb - DENOTES WINDOW BOTTOM

DENOTES OVERHEAD ELECTRICITY

DENOTES SEWERMAIN (approx. position only)

uk DENOTES TOP OF KERB

NOTE: SPREAD OF TREES IS APPROXIMATE ONLY

NATHERS - THERMAL COMFORT SUMMARY

Address: Lot 1100 Leonay Pde, Leonary NSW 2750

Building Elements	Material	Detail
External walls	Brick Veneer	R2.0 bulk insulation (excluding garage)
Internal walls	Plasterboard on studs	R2.0 bulk insulation to walls adjacent to garage
Ceiling	Plasterboard	R3.5 bulk insulation to ceilings with roof above (excluding garage)
Floors	Concrete	Waftre Pool
Roof	Roof Tiles / Metal Roof - Dark Colour	Foil (insulation) to underside of roof
Doors/Windows	Awning windows & French door	U value 6.70 or less and SHGC 0.57 +/- 10%
	Sliding doors, Double, Heavy windows & fixed windows	U value 6.70 or less and SHGC 0.70 +/- 10%
	Aluminum frame, single glazed clear	U value 6.70 or less and SHGC 0.57 +/- 10%
	Aluminum frame, single glazed clear	U value 6.70 or less and SHGC 0.70 +/- 10%

Lighting: Each dwelling has been rated with non-ventilated LED downlights as per NATHERS Certificate.
Note: Insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA.
Note: In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
Note: Self-closing damper to all exhaust fans.

BASIX COMMITMENTS NOTES

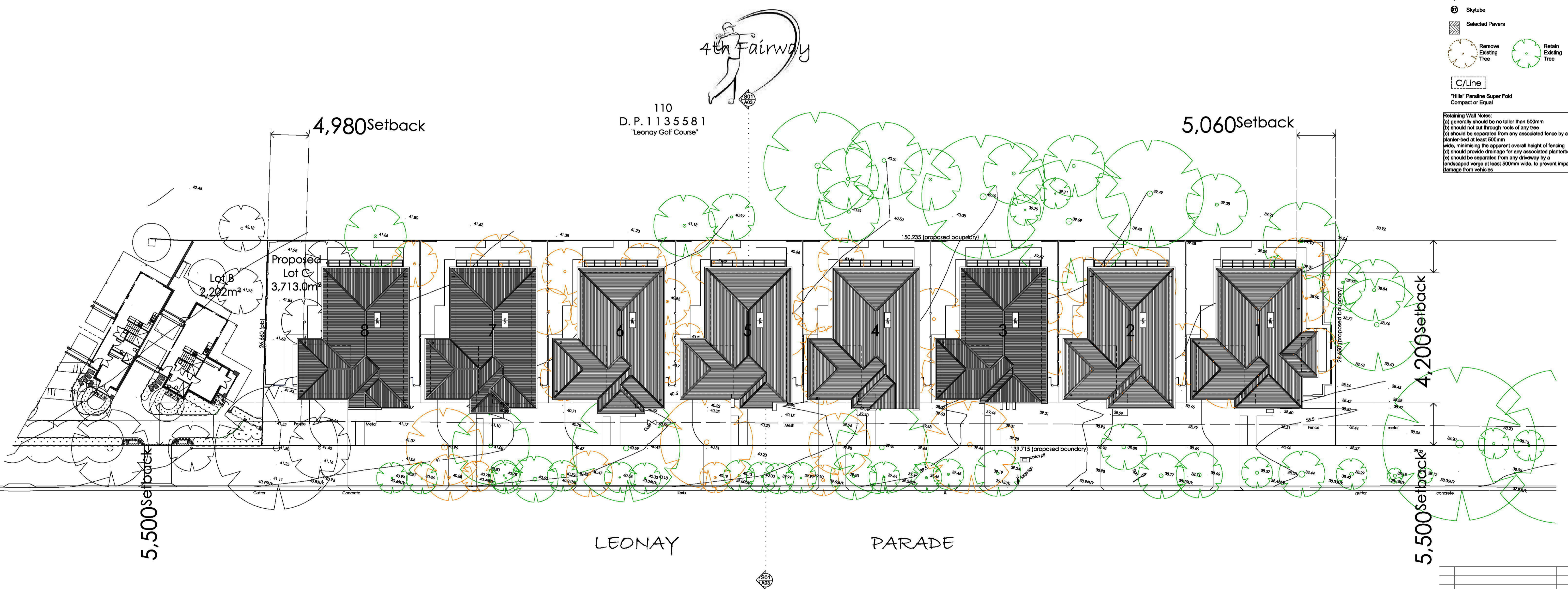
WATER	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps
Fixtures	2 star (1.8 l per 15 seconds)	4 star	4 star	4 star
Alternative water source	The applicant must connect the rainwater tank to:			
	Landscape connection	Toilet connection	Laundry connection	Pool top up
	Yes	Yes	YES	N/A
ENERGY	Hot water system: Gas instantaneous with a performance of 5 stars			
	Bathroom ventilation system: Individual fan, ducted to facade or roof, manual switch on/off			
	Kitchen ventilation system: Individual fan, ducted to facade or roof, manual switch on/off			
	Laundry ventilation system: Individual fan, ducted to facade or roof, manual switch on/off			
	Cooling system: 1 Phase air-conditioning EER 2.5 - 3.0 in at least 1 living/bed area (zoned)			
	Heating system: 1 Phase air-conditioning EER 2.5 - 3.0 in at least 1 living/bed area (zoned)			
	Natural lighting: As per BASIX			
	Artificial lighting: As per BASIX			
	Alternative energy: Must install a photovoltaic system with the capacity to generate at least 1.0 peak kilowatts of electricity.			
	Must install a gas cooktop and electric oven.			
	Must install a fixed outdoor clothes drying line as part of the development.			

NOTE: THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATION, THE STRUCTURAL ENGINEER'S DETAILS AND ANY OTHER DOCUMENT THAT MAY BE ISSUED DURING THE COURSE OF CONSTRUCTION.
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ALL DIMENSIONS SHALL BE VERIFIED BY THE BUILDER ON SITE. ANY DISCREPANCY SHALL BE REFERRED TO THE DESIGNER BEFORE ANY CONSTRUCTION OR FABRICATION IS COMMENCED.

LEGEND

- Existing Surveyors Spot Level
- Proposed Related Level
- UGB/WAT
- Selected under ground pre-fabricated water tank 1,500L x 1,250W x 1,010H or equal
- Smoke Detector
- Roof Access
- Electric Hot Water System
- Gas Hot Water
- Exhaust Fan/Light
- Skytube
- Selected Pavers
- Remove Existing Tree
- Retain Existing Tree
- C/Line
- *Hills* Paraline Super Fold Compact or Equal

Retaining Wall Notes:
(a) generally should be no taller than 500mm
(b) should not cut through roots of any tree
(c) should be separated from any associated fence by a planter-bed at least 500mm wide, minimising the apparent overall height of fencing
(d) should provide drainage for any associated planterbed
(e) should be separated from any driveway by a landscaped verge at least 500mm wide, to prevent impact damage from vehicles



DEVELOPMENT CALCULATIONS		4. UNIT FLOOR AREAS		5. COURTYARD AREAS		6. DEEP SOIL ZONE AREA	
1. SITE AREA = 3,713.0m²		UNIT 1	Living Area = 146.23m²	Unit 1	= 188.14m²	Min. required 15.0%	= 568.20m²
2. PARKING REQUIREMENTS		Garage	= 39.55m²	Unit 2	= 150.41m²	Actual Area 30.05%	= 1,138.30m²
2.0 space per every 3 bed unit (88 units), plus 6 visitor.	= 24.0 Spaces	Pergola	= 18.49m²	Unit 3	= 150.41m²		
Total provided = 24.0 Spaces		Verandah	= 6.27m²	Unit 4	= 150.41m²		
		Porch	= 2.72m²	Unit 5	= 150.41m²	7. FSR (Floor Space Ratio)	Required 0.5:1 = 1,866.50m²
		Total Area	= 211.26m²	Unit 6	= 150.41m²	Actual 0.31:1 = 1,149.33m²	
3. LANDSCAPED OPEN AREA				Unit 7	= 150.41m²		
Min. required 30.0%	= 1,136.40m²	UNIT 2&3	Living Area = 143.59m²	Unit 8	= 160.41m²		
Actual Area 39.42%	= 1,483.22m²	Garage	= 39.55m²		= 217.34m²		
		Pergola	= 18.49m²				
		Porch	= 2.72m²				
		Total Area	= 202.30m²				
		UNIT 4	Living Area = 143.12m²				
		Garage	= 39.55m²				
		Pergola	= 18.49m²				
		Porch	= 2.53m²				
		Total Area	= 201.69m²				
		UNIT 5	Living Area = 143.54m²				
		Garage	= 39.55m²				
		Pergola	= 18.49m²				
		Porch	= 1.89m²				
		Total Area	= 201.43m²				
		UNIT 6	Living Area = 143.12m²				
		Garage	= 39.55m²				
		Pergola	= 18.49m²				
		Porch	= 4.30m²				
		Total Area	= 203.46m²				

A	Development Application	20.05.18
Issue	Amendment	Date

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John Hayworth Nominated Architect Reg. No 5036
Level 1, Suite 2-28 Harry Street
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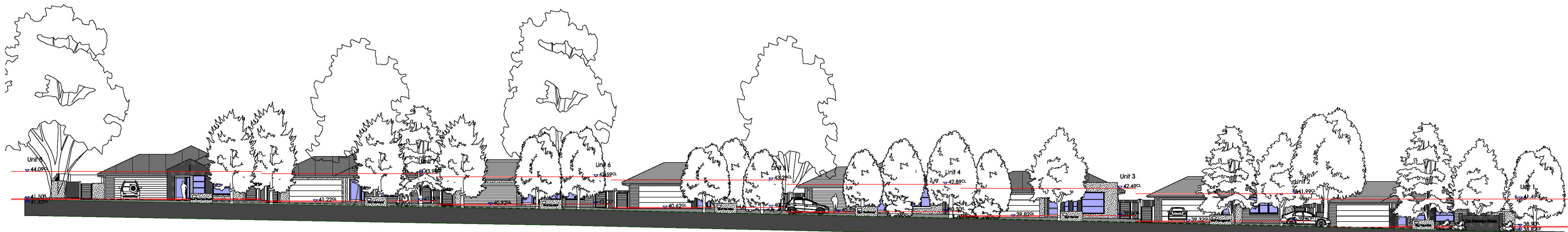
Project:
Proposed SEPP 2004 Housing
Leonay Golf Course, 1a Leonay Parade, LEONAY
Client: Leonay Links Pty Ltd Trustee Fairways Unit Trust

Author	Drawn	Date
S.Vlangos	S.Vlangos	Oct 2016

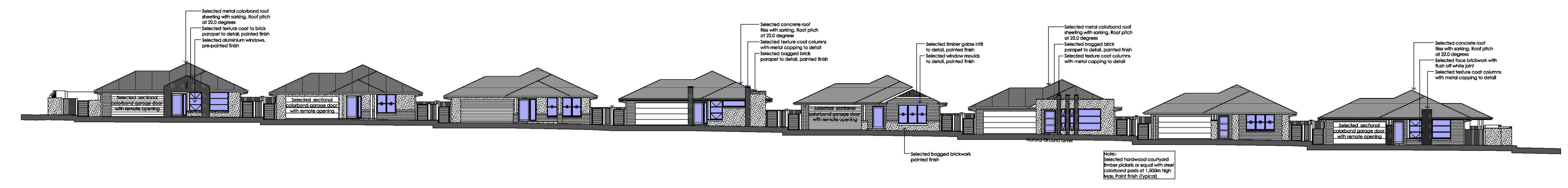
Site Plan & Roof Plan

No. in Set	Dwg. No.	Issue
06	A02	A

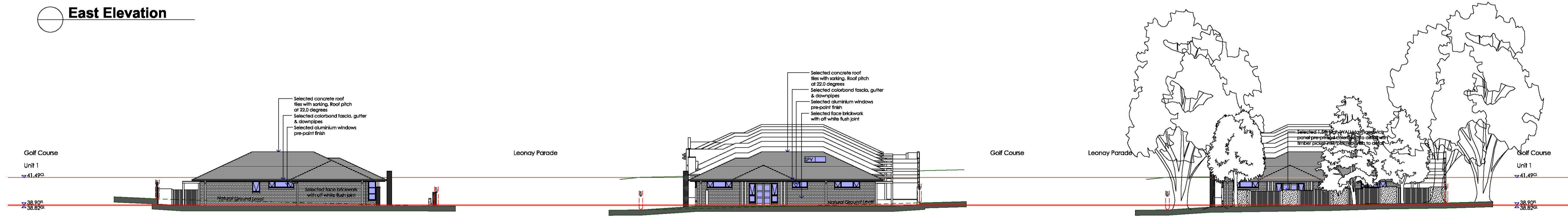
NOTE:
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East Elevation
 Leonay Parade



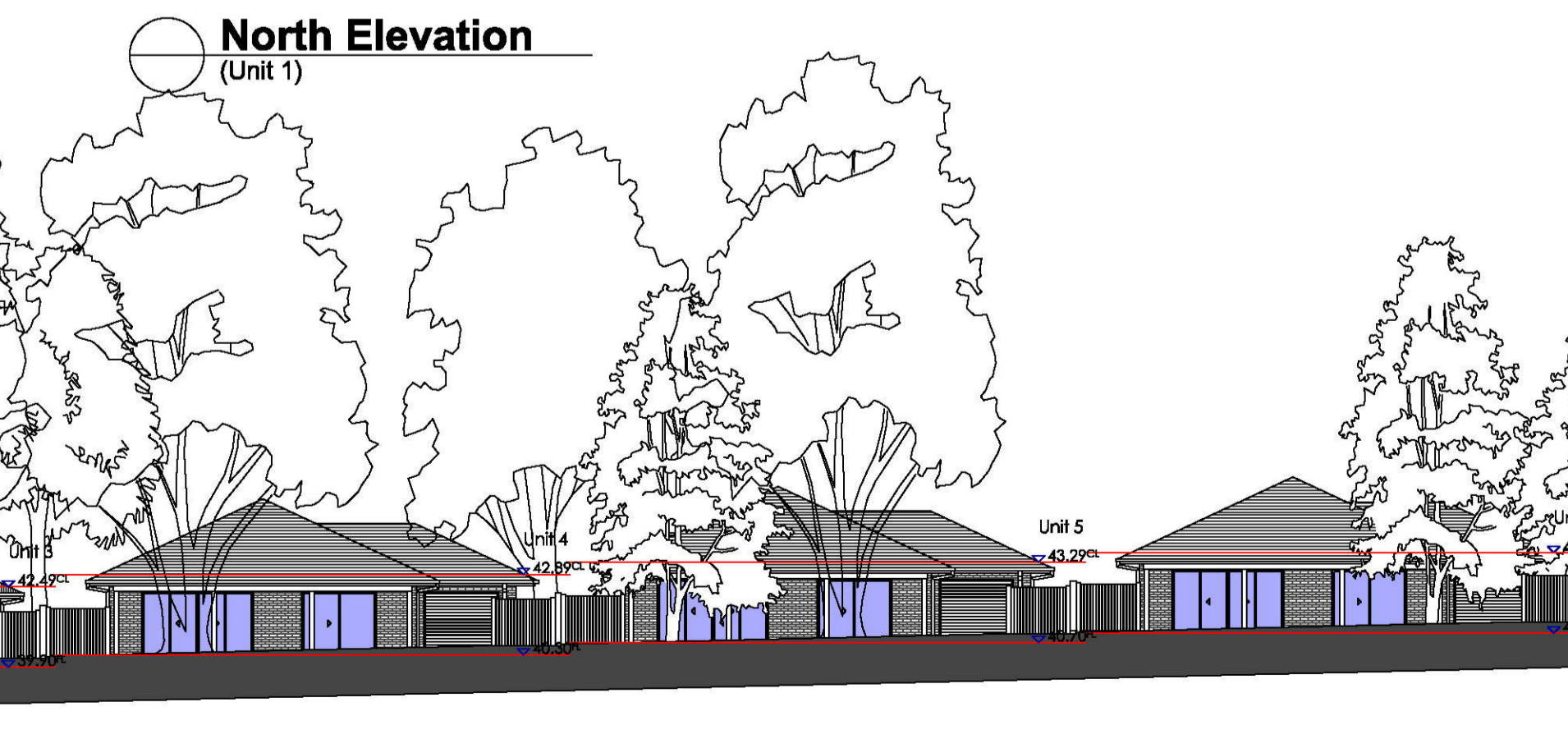
East Elevation



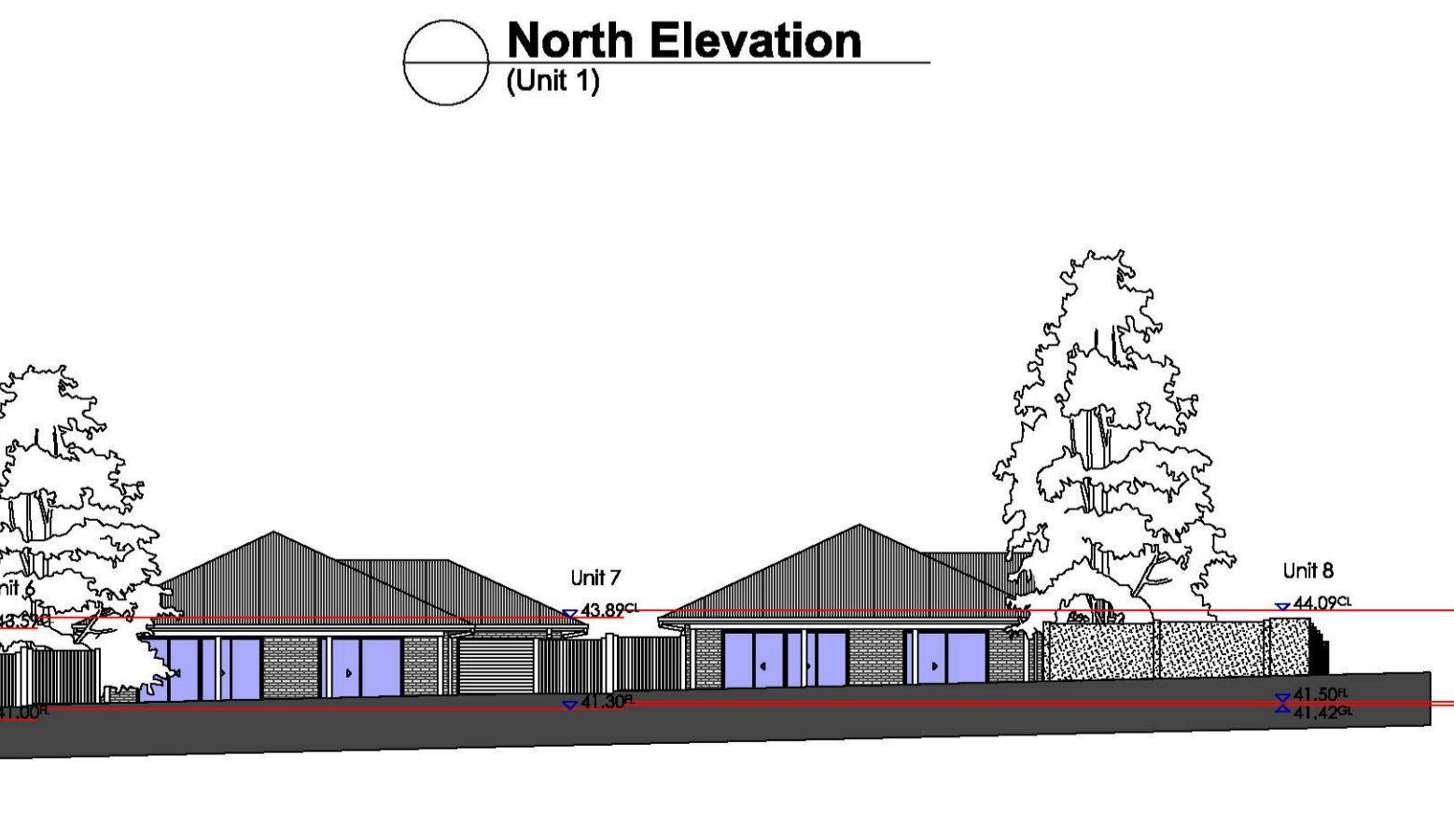
South Elevation
 (Unit 1)



North Elevation
 (Unit 1)



North Elevation
 (Unit 1)

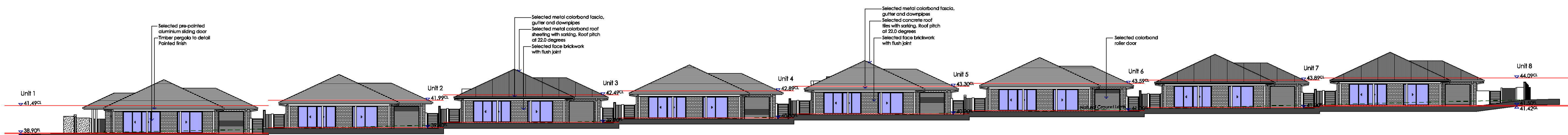


West Elevation
 Golf Course



A Development Application		22.05.18
Issue Amendment		Date
PreTech Pty Ltd - Architects John Hayworth Nominated Architect Reg. No 5036 Level 1, Suite 2-88 Henry Street Parramatta, NSW 2150 Telephone: (02) 4732 5100 Email: admin@pretech.com.au		
Project: Proposed SEPP 2004 Housing Leonay Golf Course, 1a Leonay Parade, LEONAY Client: Leonay Links Pty Ltd Trustee Fairways Unit Trust		
Job No: 00372	Scale: 1:250	Date: May 2018
Author: S.Vlangos	Drawn: S.Vlangos	Date: May 2018
Drawing: Elevations		
No. in Set: 06	Dwg. No.:	Issue: A

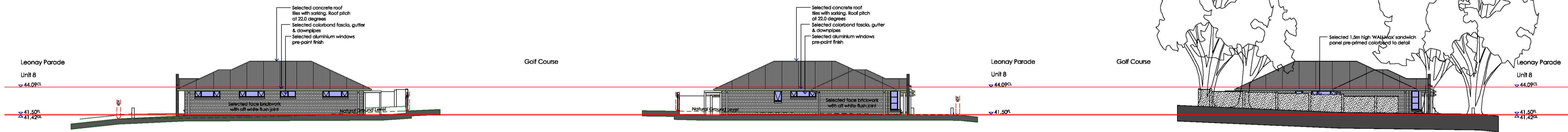
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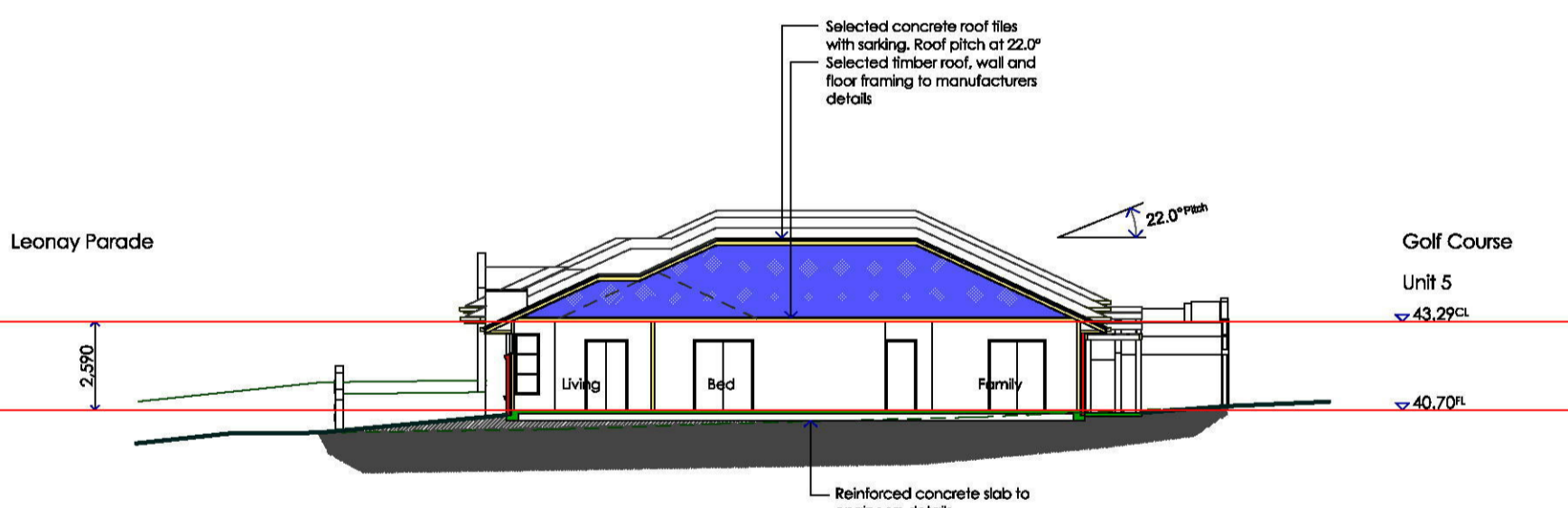
North Elevation (Unit 8)

South Elevation (Unit 8)

South Elevation (Unit 8)



West Elevation



S01 Section (Unit 5)

NatHERS - THERMAL COMFORT SUMMARY

Address: Lot 1100 Leonay Pde, Leonay NSW 2750

Building Elements	Material	Detail
External walls	Brick Veneer	R2.0 bulk insulation (excluding garage)
Internal walls	Plasterboard on studs	R2.0 bulk insulation to walls adjacent to garage
Ceiling	Plasterboard	R3.5 bulk insulation to ceilings with roof above (excluding garage)
Floors	Concrete	Waffle Pod
Roof	Roof Tiles / Metal Roof - Dark Colour Solar Absorbance > 0.70	Foil (isolation) to underside of roof
Doors/Windows	Aluminium windows & French door: Aluminium frame, single glazed clear Sliding doors, Double Hung windows & fixed windows: Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.57 +/- 10%

Lighting: Each dwelling has been rated with non-ventilated LED downlights as per NatHERS Certificate.

Note: Insulation specified must be installed in accordance with Part 3.12.1.1 of the BCA.

Note: In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Note: Self-closing damper to all exhaust fans.

BASIX COMMITMENTS NOTES

WATER	ENERGY																
<table border="1"> <tr> <td>All Shower Heads</td> <td>All toilet flushing systems</td> <td>All kitchen taps</td> <td>All bathroom taps</td> </tr> <tr> <td>3 star (or better) = 7.3 L/min</td> <td>4 star</td> <td>4 star</td> <td>4 star</td> </tr> </table> <p>Individual rainwater tank to collect run off from at least 90m² of roof area - Tank size min 2000 litres</p> <p>The applicant must connect the rainwater tank to:</p> <table border="1"> <tr> <td>Landscape connection</td> <td>Toilet connection</td> <td>Laundry connection</td> <td>Pool top up</td> </tr> <tr> <td>Yes</td> <td>Yes</td> <td>YES</td> <td>N/A</td> </tr> </table>	All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps	3 star (or better) = 7.3 L/min	4 star	4 star	4 star	Landscape connection	Toilet connection	Laundry connection	Pool top up	Yes	Yes	YES	N/A	<p>Hot water system: Gas instantaneous with a performance of 5 stars</p> <p>Bathroom ventilation system: Individual fan, ducted to façade or roof, manual switch on/off</p> <p>Kitchen ventilation system: Individual fan, ducted to façade or roof, manual switch on/off</p> <p>Laundry ventilation system: Individual fan, ducted to façade or roof, manual switch on/off</p> <p>Cooling system: 1 Phase air-conditioning EER 2.5 - 3.0 in at least 1 living/bed area (zoned)</p> <p>Heating system: 1 Phase air-conditioning EER 2.5 - 3.0 in at least 1 living/bed area (zoned)</p> <p>Natural lighting: As per BASIX</p> <p>Artificial lighting: As per BASIX</p> <p>Alternative energy: Must install a photovoltaic system with the capacity to generate at least 1.0 peak kilowatts of electricity.</p> <p>Must install a gas cooking and electric oven.</p> <p>Must install a fixed outdoor clothes drying line as part of the development.</p>
All Shower Heads	All toilet flushing systems	All kitchen taps	All bathroom taps														
3 star (or better) = 7.3 L/min	4 star	4 star	4 star														
Landscape connection	Toilet connection	Laundry connection	Pool top up														
Yes	Yes	YES	N/A														

External Colour Schedule

Unit 1 'The Links'

- Concrete Roof Tiles Colour_'Atura' Camelot
- Metal fascia Colour_'Colorbond 'Surtmist'
- Metal gutter & downpipes Colour_'Colorbond 'Surtmist'
- Feature Entry Door Dark stain natural timber
- Face Brickwork Austral 'Freedom' Everyday Life
- Feature Column_Brickwork Colour_'Colorbond 'Jasper'
- Aluminium windows and doors Colour_'White'
- Garage Metal Door Colour_'Colorbond 'Surtmist'
- External timber work Colour_'Off White (Dulux)'

Unit 2 'The Approach'

- Concrete Roof Tiles Colour_'Atura' Barramundi
- Metal fascia Colour_'Colorbond 'Windspray'
- Metal gutter & downpipes Colour_'Colorbond 'Windspray'
- Feature Entry Door Dark stain natural timber
- Face Brickwork Austral 'Pepper' Urban One
- Feature Column_Brickwork Colour_'Colorbond 'Ironstone'
- Aluminium windows and doors Colour_'White'
- Garage Metal Door Colour_'Colorbond 'Windspray'
- External timber work Colour_'Off White (Dulux)'

Unit 3 'The Tee'

- Metal Roof Sheeting Colour_'Colorbond 'Woodland Grey'
- Metal fascia Colour_'Colorbond 'Dune'
- Metal gutter & downpipes Colour_'Colorbond 'Dune'
- Feature Entry Door Dark stain natural timber
- Face Brickwork Austral 'Pepper' Urban One
- Feature Column_Brickwork Colour_'Colorbond 'Gully'
- Feature Column_Brickwork Colour_'Colorbond 'Jasper'
- Aluminium windows and doors Colour_'White'
- Garage Metal Door Colour_'White'
- External timber work Colour_'Off White (Dulux)'

Unit 4 'The Fairway'

- Concrete Roof Tiles Colour_'Atura' Camelot
- Metal fascia Colour_'Colorbond 'Dune'
- Metal gutter & downpipes Colour_'Colorbond 'Dune'
- Feature Entry Door Dark stain natural timber
- Face Brickwork Austral 'Leisure' Everyday Life
- Bagged & Painted Brickwork Colour_'Colorbond 'Dune'
- Aluminium windows and doors Colour_'White'
- Garage Metal Door Colour_'Colorbond 'Windspray'
- External timber work Colour_'Off White (Dulux)'

Unit 5 'The Drive'

- Concrete Roof Tiles Colour_'Atura' Camelot
- Metal fascia Colour_'Colorbond 'Monument'
- Metal gutter & downpipes Colour_'Colorbond 'Monument'
- Feature Entry Door Dark stain natural timber
- Face Brickwork Austral 'Rosewood' Wilderness Design
- Aluminium windows and doors Colour_'White'
- Garage Metal Door Colour_'Colorbond 'Dune'
- External timber work Colour_'Off White (Dulux)'

Unit 6 'The Pitch'

- Concrete Roof Tiles Colour_'Atura' Camelot
- Metal fascia Colour_'Colorbond 'Dune'
- Metal gutter & downpipes Colour_'Colorbond 'Dune'
- Feature Entry Door Dark stain natural timber
- Face Brickwork Austral 'Pepper' Urban One
- Aluminium windows and doors Colour_'White'
- Garage Metal Door Colour_'Colorbond 'Dune'
- External timber work Colour_'Off White (Dulux)'

Unit 7 'The Green'

- Metal Roof Sheeting Colour_'Colorbond 'Monument'
- Metal fascia Colour_'Colorbond 'Monument'
- Metal gutter & downpipes Colour_'Colorbond 'Monument'
- Feature Entry Door Dark stain natural timber
- Face Brickwork Austral 'Pepper' Urban One
- Aluminium windows and doors Colour_'White'
- Garage Metal Door Colour_'Colorbond 'Windspray'
- External timber work Colour_'Off White (Dulux)'

Unit 7 'The Club House'

- Metal Roof Sheeting Colour_'Colorbond 'Woodland Grey'
- Metal fascia Colour_'Colorbond 'Monument'
- Metal gutter & downpipes Colour_'Colorbond 'Monument'
- Feature Entry Door Dark stain natural timber
- Face Brickwork Austral 'Freedom' Everyday Life
- Aluminium windows and doors Colour_'White'
- Garage Metal Door Colour_'Colorbond 'Dune'
- External timber work Colour_'Off White (Dulux)'

Development Application
Amendment
22.05.18

PreTech
Working Together

PreTech Pty Ltd - Architects
John Hayworth Nominated Architect Reg. No 5036
Level 1, Suite 2-88 Henry Street
Parramatta, NSW 2750
Telephone: (02) 4732 5100 Email: admin@pretech.com.au

Proposed SEPP 2004 Housing
Leonay Golf Course, 1a Leonay Parade, LEONAY

Client: Leonay Links Pty Ltd Trustee Fairways Unit Trust

Issue No: 00372
Scale: 1:250
Date: May 2018

Elevations, Section & Thermal Commitments

No. in Set	Dwg. No.	Issue
06	A04	A

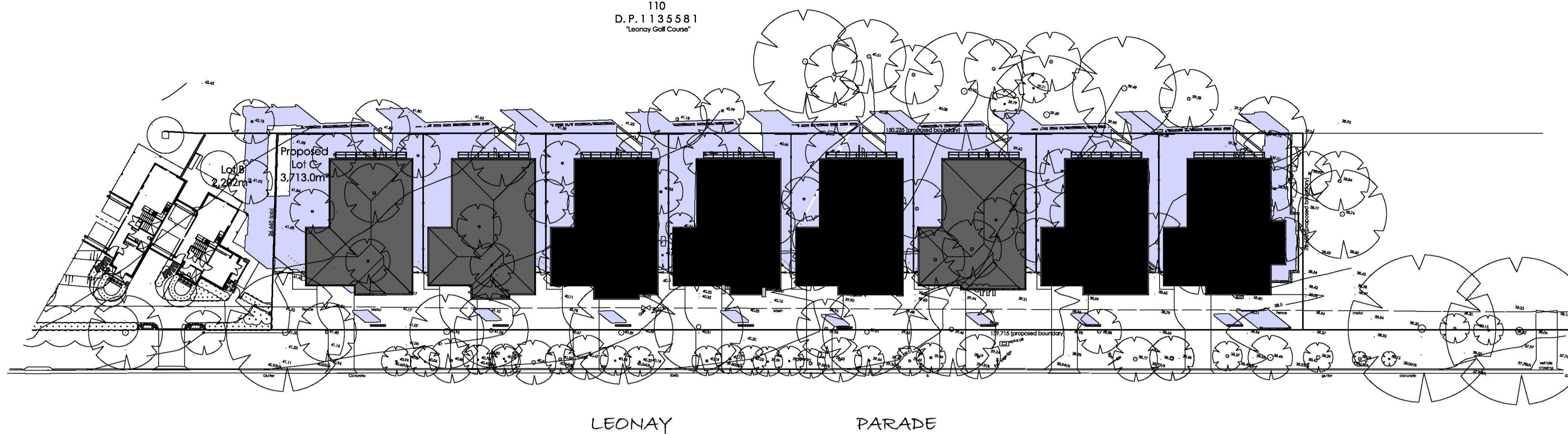
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Shadow Legend

- 9.0am
- 12.0
- 3.0pm

4th Fairway

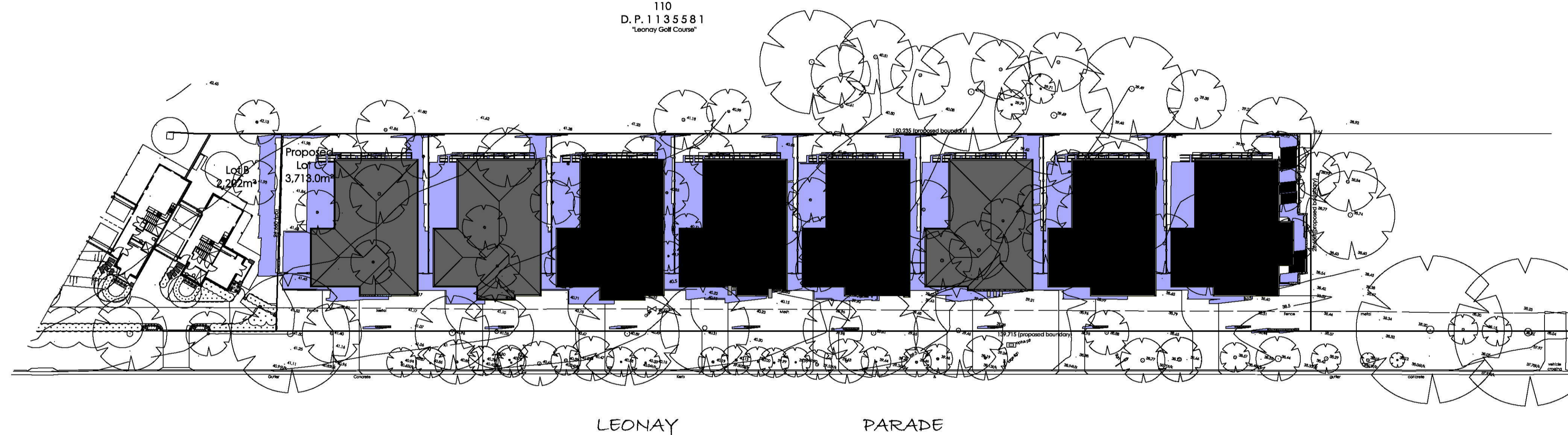
110
 D.P. 1135581
 "Leonay Golf Course"



Shadow Diagram
 9.0am

4th Fairway

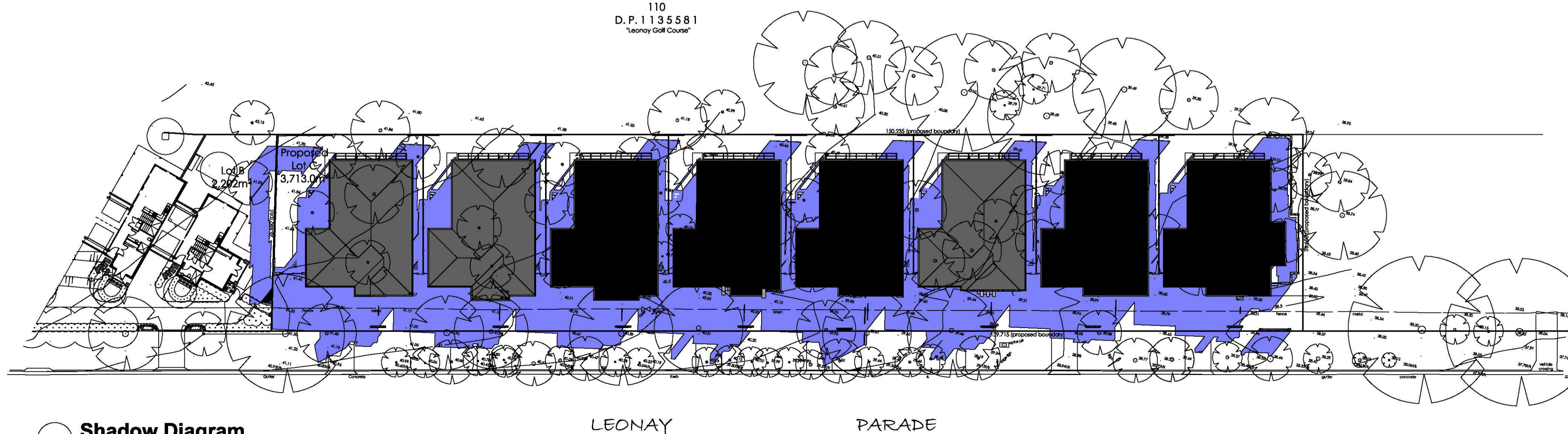
110
 D.P. 1135581
 "Leonay Golf Course"



Shadow Diagram
 12.0

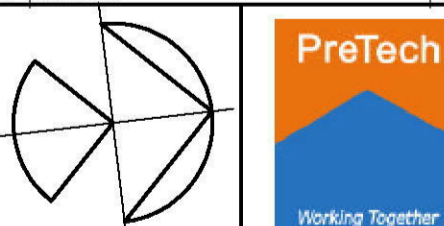
4th Fairway

110
 D.P. 1135581
 "Leonay Golf Course"



Shadow Diagram
 3.0pm

Issue	Amendment	Date
A	Development Application	22.05.18



PreTech Pty Ltd - Architects
 John Hayworth Nominated Architect Reg. No 5036
 Level 1, Suite 2-28 Henry Street
 Parramatta, NSW 2150
 Telephone: (02) 4732 5100 Email: admin@pretech.com.au

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Project:
 Proposed SEPP 2004 Housing
 Leonay Golf Course, 1a Leonay Parade, LEONAY
 Client: Leonay Links Pty Ltd Trustee Fairways Unit Trust

Lib. No. 00372	Scale 1:300
Author S.Vlangos	Drawn S.Vlangos
Date May 2018	

Shadow Analysis
 June 21, 9.0am, 12.0 & 3.0pm

No. in Set	Dwg. No.	Issue
06	A06	A