

DEVELOPMENT APPLICATION

6A Robertson Place, Jamisontown NSW 2750

DRAWING SCHEDULE

| Dwg No: | Description | Scale | Sheet Size | Revision | Date |
|---------|----------------------------|-------------|------------|----------|----------|
| DA101 | Site Plan | 1:200 | A3 | A | 05/12/17 |
| DA102 | Erosion & Sediment Control | 1:200 | A3 | A | 05/12/17 |
| DA103 | Landscape Plan | 1:200 | A3 | A | 0/12/17 |
| DA104 | GA Ground Unit-1 | 1:100 | A3 | A | 05/12/17 |
| DA105 | GA Mezzanine | 1:100 | A3 | A | 05/12/17 |
| DA106 | GA Ground Unit-2 | 1:100 | A3 | A | 05/12/17 |
| DA107 | GA Ground Unit-3 | 1:100 | A3 | A | 05/12/17 |
| DA201 | Elevations | 1:100 | A3 | A | 05/12/17 |
| DA202 | Elevations | 1:100, 1:50 | A3 | A | 05/12/17 |
| DA301 | Sections | 1:100 | A3 | A | 05/12/17 |
| DA302 | Sections | 1:100 | A3 | A | 05/12/17 |



Schedule of Finishes

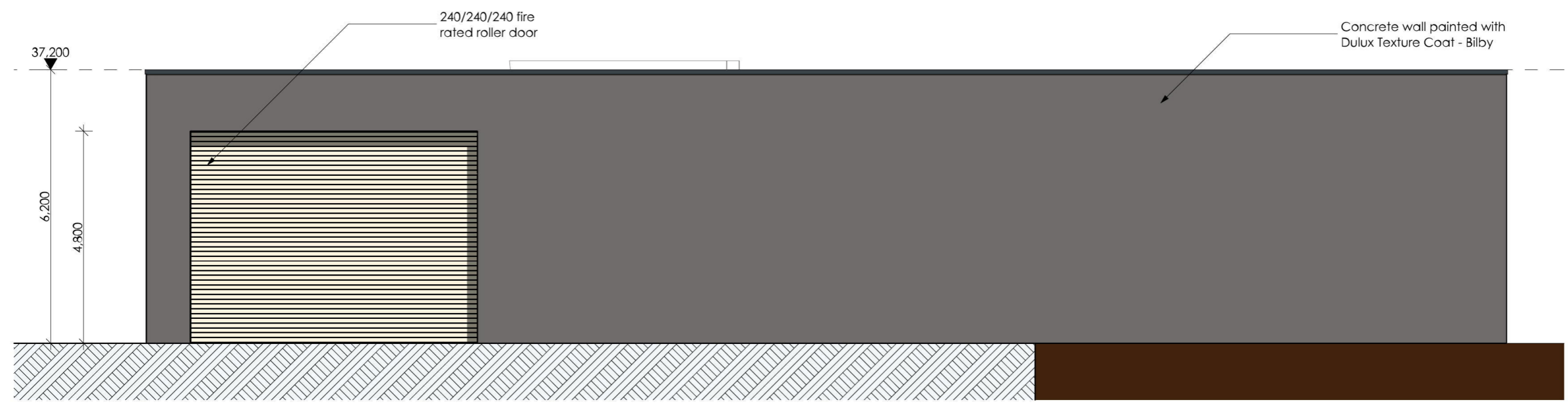
| Name | Location | Item | Code | Supplier | Image |
|-------|---|--|-------------------|-----------|---|
| CB-01 | Roller Doors | Colorbond roller doors | Surfmist | Colorbond |  |
| P-01 | Unit 1 & 2 exterior wall | Texture coat paint over concrete wall panels | Diplomatic P41D8 | Dulux |  |
| P-02 | Unit 3 exterior wall | Texture coat paint over concrete wall panels | Bilby PG2B6 | Dulux |  |
| P-03 | Mezzanine exterior & interior wall, columns | Texture coat paint over concrete wall panels | Vivid White PN2E1 | Dulux |  |
| WT-01 | Front facade surround | Composite timber decking | Sahara Smooth | ModWood |  |

LOCATION MAP





1 North Elevation
1:100



2 East Elevation
1:100



| | |
|---|---|
| Client | J & M Costa |
| Job Title | PROPOSED WAREHOUSE |
| 6A Robertson Place Jamisontown NSW 2750 | P: 02 8011 3411 E: info@arrowfield.net.au W www.arrowfield.net.au |

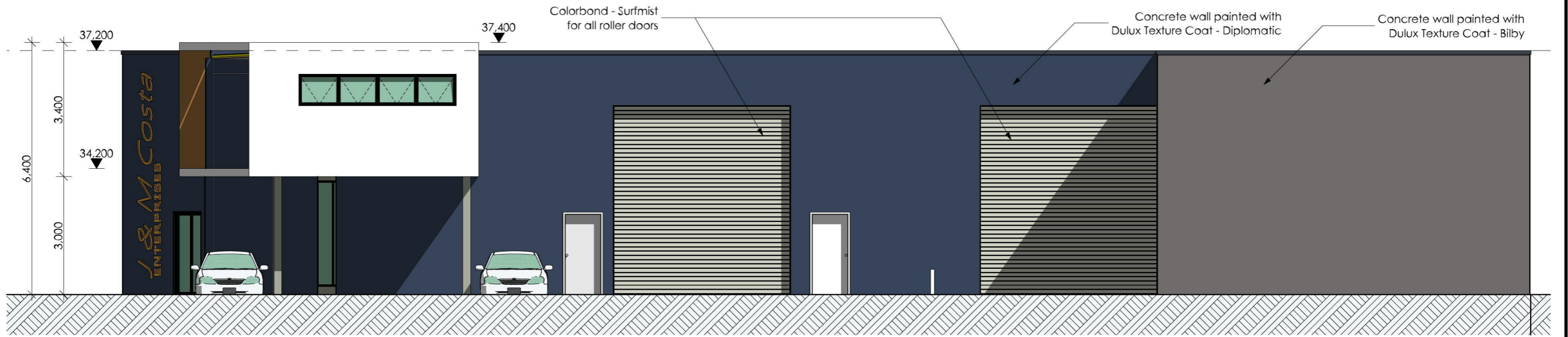
| | |
|-------------|--|
| Orientation | |
|-------------|--|

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

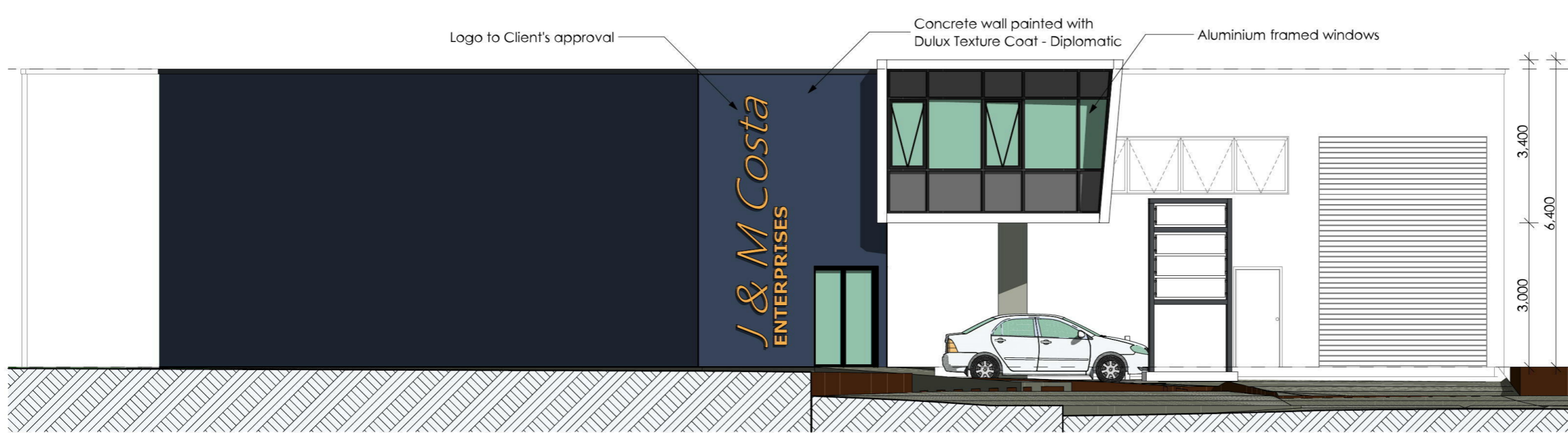
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|---------------|-------------------|
| Notes: | |
| Drawn by: | GG |
| Checked by: | SD |
| Date: | 05/12/2017 |
| Drawing scale | 1:100 |
| Sheet size | A3 |

| | |
|----------------|--|
| Drawing Name | North Elevation, East Elevation |
| Drawing Status | DEVELOPMENT APPLICATION |

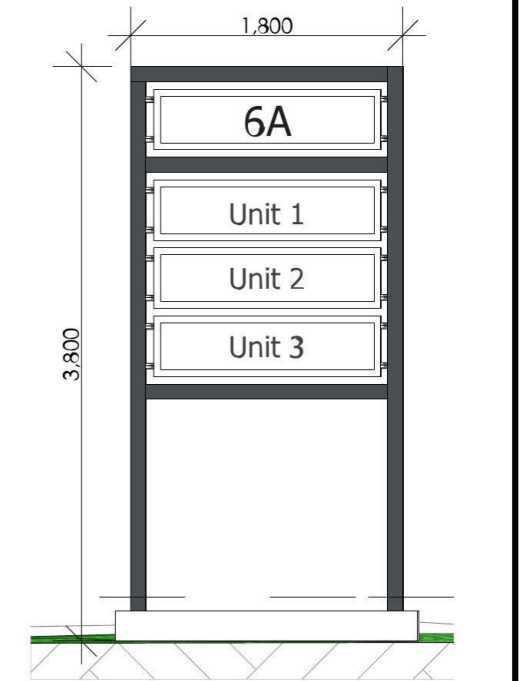
| | |
|-----------|--------------|
| Layout ID | DA201 |
| Revision | A |



1 South Elevation
1:100



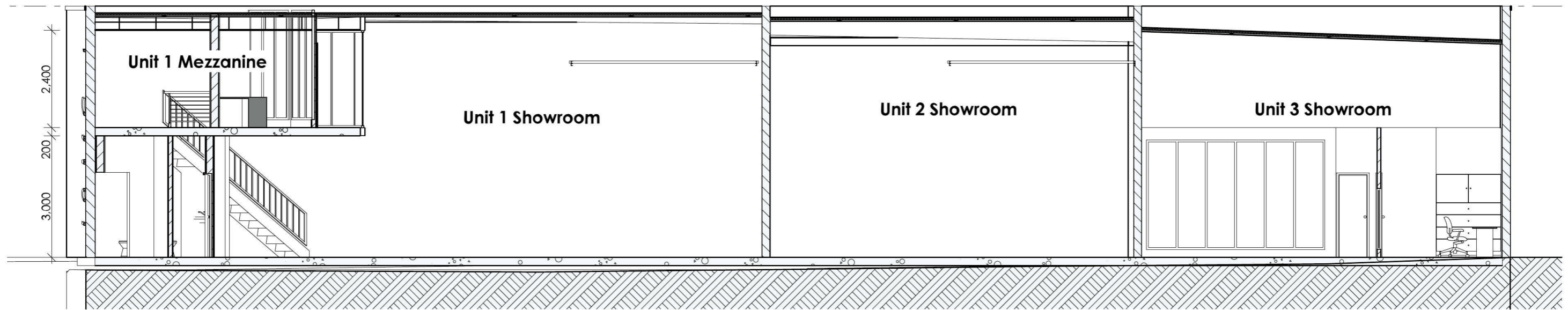
2 West Elevation
1:100



3 Main ID Sign
1:50



| | | | | | | | |
|--|---|--|--------|---------------|--------------------|--|---------------------------|
| Client J & M Costa | Orientation | The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction. | Notes: | Drawn by: | GG | Drawing Name South Elevation, West Elevation, Main ID Sign | Layout ID DA202 |
| | | | | Checked by: | SD | | |
| Job Title PROPOSED WAREHOUSE | 6A Robertson Place Jamisontown NSW 2750 | | | Date: | 05/12/2017 | Drawing Status DEVELOPMENT APPLICATION | Revision A |
| | | | | Drawing scale | 1:100, 1:50 | | |
| | | | | Sheet size | A3 | | |



1 Section 1
1:100



| | |
|-----------|---|
| Client | J & M Costa |
| Job Title | PROPOSED WAREHOUSE |
| | 6A Robertson Place Jamisontown NSW 2750 |

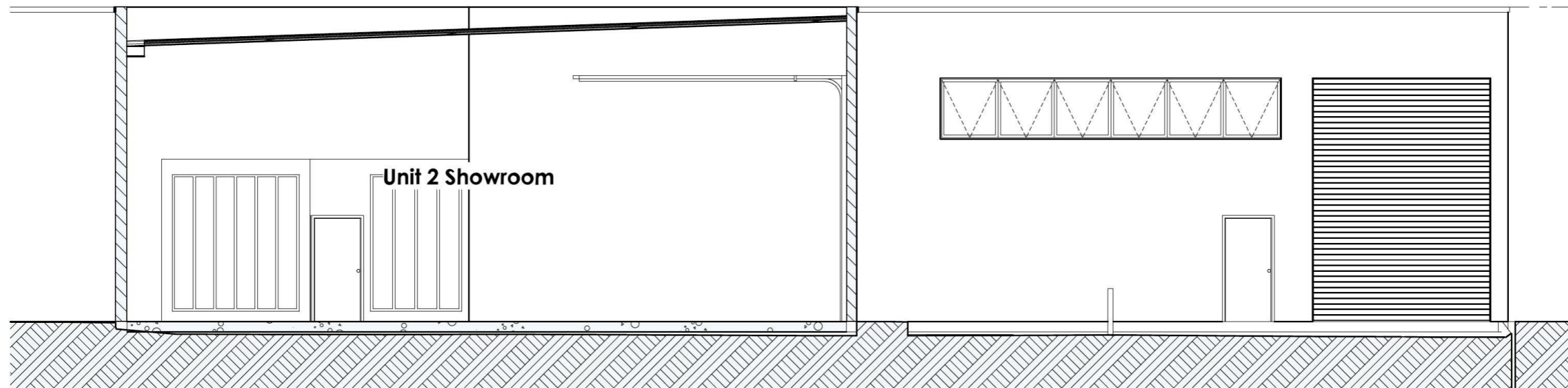
| | |
|-------------|--|
| Orientation | |
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The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

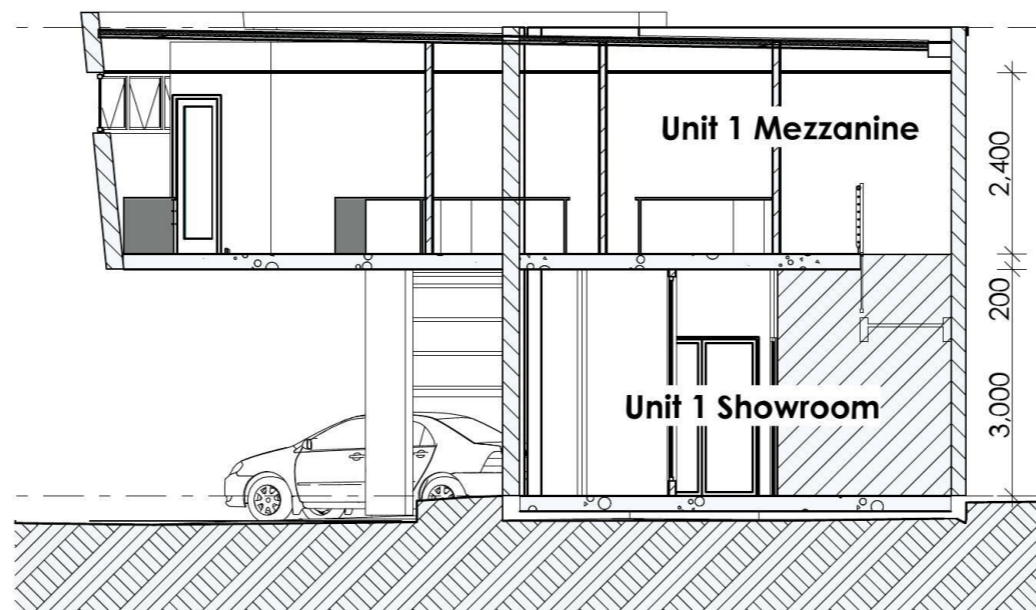
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|---------------|-------------------|
| Notes: | |
| Drawn by: | GG |
| Checked by: | SD |
| Date: | 05/12/2017 |
| Drawing scale | 1:100 |
| Sheet size | A3 |

| | |
|----------------|--------------------------------|
| Drawing Name | Section 1 |
| Drawing Status | DEVELOPMENT APPLICATION |

| | |
|-----------|--------------|
| Layout ID | DA301 |
| Revision | A |



1 Section 2
1:100



2 Section 3
1:100



| | | | | | | | |
|--|---|--|--------|---------------|-------------------|--|---------------------------|
| Client J & M Costa | Orientation | The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction. | Notes: | Drawn by: | GG | Drawing Name Section 2, Section 3 | Layout ID DA302 |
| | | | | Checked by: | SD | | |
| Job Title PROPOSED WAREHOUSE | 6A Robertson Place Jamisontown NSW 2750 | | | Date: | 05/12/2017 | Drawing Status DEVELOPMENT APPLICATION | Revision A |
| | | | | Drawing scale | 1:100 | | |
| | | | | Sheet size | A3 | | |

GENERAL NOTES:-

- * LANDSCAPE CONTRACTOR TO CHECK CERTIFICATION LETTER AND STAMPED LANDSCAPE PLAN BEFORE COMMENCING WORKS TO ENSURE NO ADDITIONS / AMENDMENTS TO PLAN.
- * PREMIUM ORGANIC GARDEN MIX TO BE USED
- * MULCH PLANTING BEDS TO BE A MINIMUM DEPTH OF 70MM AS SELECTED
- * CONTRACTORS RESPONSIBILITY TO CHECK AND ADJUST SOIL pH AS REQUIRED
- * PROVIDE TIMBER EDGE AS A MINIMUM BENEATH FENCING / GATES TO DEFINE TURF AND GARDEN BEDS / PATHWAYS. EDGING TO BE PROVIDED TO ALL AREAS WHERE DIFFERING MATERIALS MEET, IE TURF / GARDEN, TURF / GRAVEL PATH ETC.
- * WEEDMAT BENEATH GRAVEL PATHWAYS SUGGESTED
- * ALL PLANTS TO BE HEALTHY AND VIGOROUS
- * BUFFALO TURF SUGGESTED
- * GARDEN BEDS IN OSD BASIN TO CONSIST OF NON FLOATABLE DECORATIVE GRAVEL
- * CONTRACTORS RESPONSIBILITY TO MAKE GOOD TURF ON NATURE STRIP AFTER CONSTRUCTION
- * REFER TO HYDRAULICS PLAN FOR OSD DETAILS
- * DO NOT SCALE ARCHITECTURALS OFF DRAWING
- * EXISTING TREE SPREAD APPROXIMATE ONLY
- * SITE SURVEY PROVIDED BY OTHERS

PLANTING AND MAINTENANCE NOTES

- * GLAZED OR POLISHED PLANTING HOLES, PARTICULARLY IN CLAY SHOULD BE AVOIDED.
- * PLANTS SHOULD BE PLANTED STRAIGHT, WITH THE TOP OF THE ROOT BALL LEVEL WITH OR SLIGHTLY LOWER THAN THE SOIL SURFACE.
- * PLANTS SHOULD BE WATERED AS SOON AS POSSIBLE AFTER PLANTING.
- * PLANTING SHOULD BE AVOIDED AT THE HEIGHT OF SUMMER (DECEMBER - JANUARY)
- * PLANTS SHOULD BE WATERED AT LEAST WEEKLY FOR SIX WEEKS TO AID ESTABLISHMENT. WATER CRYSTALS MAY BE USED TO REDUCE THE AMOUNT OF WATER REQUIRED.
- * IF A FERTILISER IS TO BE APPLIED, A SLOW RELEASE 8 - 9 MONTH PLANT FOOD WOULD BE APPROPRIATE, AT A RATE OF 5 - 10 GRAMS PER PLANT.
- * ONLY SPECIES WITHIN THE LANDSCAPE PLAN SHOULD BE PLANTED. PERMISSION SHOULD BE SOUGHT BEFORE ALTERING THE PLANT SPECIES LIST.
- * STOCK SHOULD BE FREE OF PESTS, DISEASE AND WEEDS. PLANTS SHOULD BE ACTIVELY GROWING WITH ROOTS HEALTHY, WHITE AND NOT POT BOUND.
- * REPLACEMENT PLANTS SHOULD BE MADE AVAILABLE FOR ANY LOSSES OF PLANT STOCK THAT MAY OCCUR FOR A MINIMUM 12 MONTH PERIOD.
- * WEEDS SHOULD BE REMOVED ON A FORTNIGHTLY BASIS.
- * PEST OR DISEASE SAMPLES TO THE LOCAL NURSERY FOR IDENTIFICATION AND APPROPRIATE REMEDY.

| PLANT SCHEDULE | | | | | | |
|----------------|--|-----|-----|----------|--------|---------|
| | BOTANIC NAME | KEY | QTY | POT SIZE | HT (M) | WTH (M) |
| TREES | ANGOPHORA BAKERI* (NARROW LEAVED APPLE) | AB | 1 | 75L | 6 | 4 |
| SHRUBS | LOMANDRA MULTIFLORA* (MANY-FLOWERED MAT-LILY) | LM | 27 | 150mm | 0.60 | 1.20 |
| | WESTRINGIA 'MUNDI' (DWARF COST ROSEMARY) | WM | 27 | 200mm | 0.50 | 1.20 |
| GROUND COVER | MICROLEANA STIPOIDES* (WEeping GRASS) | MS | 17 | 150mm | 0.30 | 0.60 |

* = NATIVE SPECIES

NORTH:

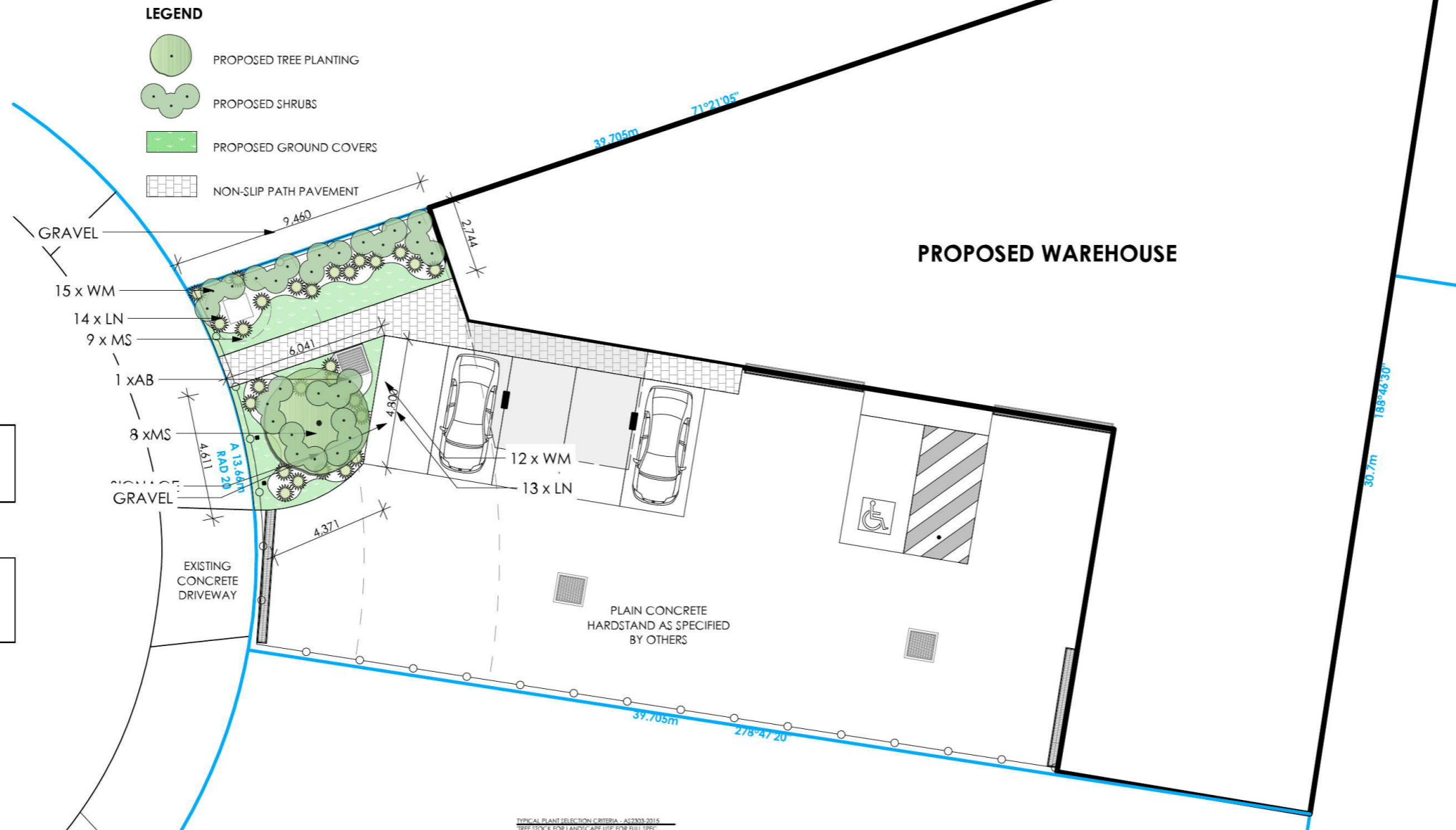


NOTES:

STREET TREES AND TURF TO BE PROTECTED DURING CONSTRUCTION (NOT SHOWN ON CONTOUR PLANS PROVIDED). ANY DAMAGE TO TURF AND STREET TREE TO BE RECTIFIED AS PART OF THE LANDSCAPE WORKS. THE METHODS OF TREE PROTECTION SHALL COMPLY WITH AUSTRALIAN STANDARD 4970-2009 - 'PROTECTION OF TREES ON DEVELOPMENT SITES' (IF A DETAILED ARBORICULTURAL IMPACT REPORT IS REQUIRED).

TREES AND SHRUBS TO NOT COMPROMISE 'ASPECTS SUCH AS SIGHT DISTANCES TO BOTH PEDESTRIANS AND OTHER VEHICLES...DURING THE LIFE OF THE PLANTINGS' - AS 2890.1-2004

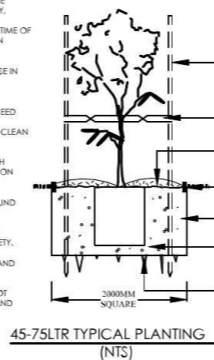
REFER TO HYDRAULICS ENGINEERS PLAN FOR OSD / DWARF WALL - MULCH OSD WITH NON FLOATABLE DECORATIVE GRAVEL. ALL FINISHED GROUND LEVELS AS PER HYDRAULICS ENGINEERS DETAILS.



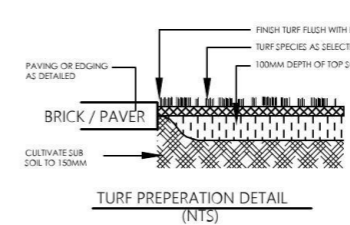
1 Landscape Plan 1:200

TYPICAL PLANT SELECTION CRITERIA - A22333-2015

- ENSURE GOOD HEALTH AND VIGOUR. ENSURE FREEDOM FROM PESTS, DISEASES AND INJURY.
- SPECIMENS SHOULD BE SELF SUPPORTING AT TIME OF PLANTING - STAKING ONLY TO BE USED WHEN NECESSARY - 1 GROWING SEASON MAX.
- ENSURE EVIDENCE OF STEM TAPER - (INCREASE IN CALIPER DOWN THE STEM).
- PRUNING:
 - *ENSURE CLEAN STEM HEIGHT DOES NOT EXCEED 40% OF PLANT HEIGHT.
 - *ENSURE CUTS ARE AT BRANCH COLLAR ARE CLEAN WITH NO TEARS.
- ENSURE APICAL DOMINANCE FOR TREES WITH TYPICAL EXCURRENT FORM - LEADER DEVIATION 45°
- ENSURE GOOD CROWN SYMMETRY AND SOUND STEM JUNCTIONS - NO INCLUDED BARK.
- ENSURE SPECIMENS / BATCHES ARE CLEARLY LABELED - NOTING SPECIES CULTIVAR / VARIETY.
- ENSURE SPECIMENS ARE FREE OF GIRDLING AND SUCKERING ROOTS.
- ENSURE TRUNK POSITION IS WITHIN 10% OF POT CENTRE. IF TREE IS GRATED ENSURE SCION AND ROOTSTOCK ARE SOUND.



- TYPICAL PLANTING CRITERIA**
- *SEEK ADVICE BEFORE SUBSTITUTING SPECIES
- *REPLACEMENTS TO BE MADE WITHIN 12 MONTHS
- 3 x 40MM HARDWOOD STAKES AS REQUIRED. DON'T Pierce ROOT BALL
- (NOTE: ONLY REQUIRED IN WINDY ENVIRONMENTS, VERY SANDY SOIL AND VERY WET CLAY - IF STAKING REQUIRED - REMOVE AS SOON AS PRACTICALLY POSSIBLE).
- 50MM WIDE JUTE WEBBING - TWIST ONCE AND GAL STAPLE TO OUTSIDE OF STAKE. ENSURE TREE HAS AMPLE MOVEMENT
- 75 - 100MM SELECTED MULCH - 50% AROUND BASE OF TRUNK, TOP OF ROOT BALL TO FINISH FLUSH WITH TOP OF SOIL
- SELECTED EDGING - REFER TO DETAIL
- EXCAVATE HOLE AND INCORPORATE SOIL AMENDMENTS TO 30% MAX. IF REQUIRED.
- TAMP SOIL GENTLY AROUND AND BENEATH ROOT BALL SO ROOT BALL DOES NOT MOVE - WATER WEEKLY FOR MINIMUM 4 WEEKS TO ESTABLISH.
- SCARIFY SUB SOIL AND SIDES TO 100MM MINIMUM IN HEAVY CLAY SOILS. MAY BE REQUIRED TO MOUND PLANT.

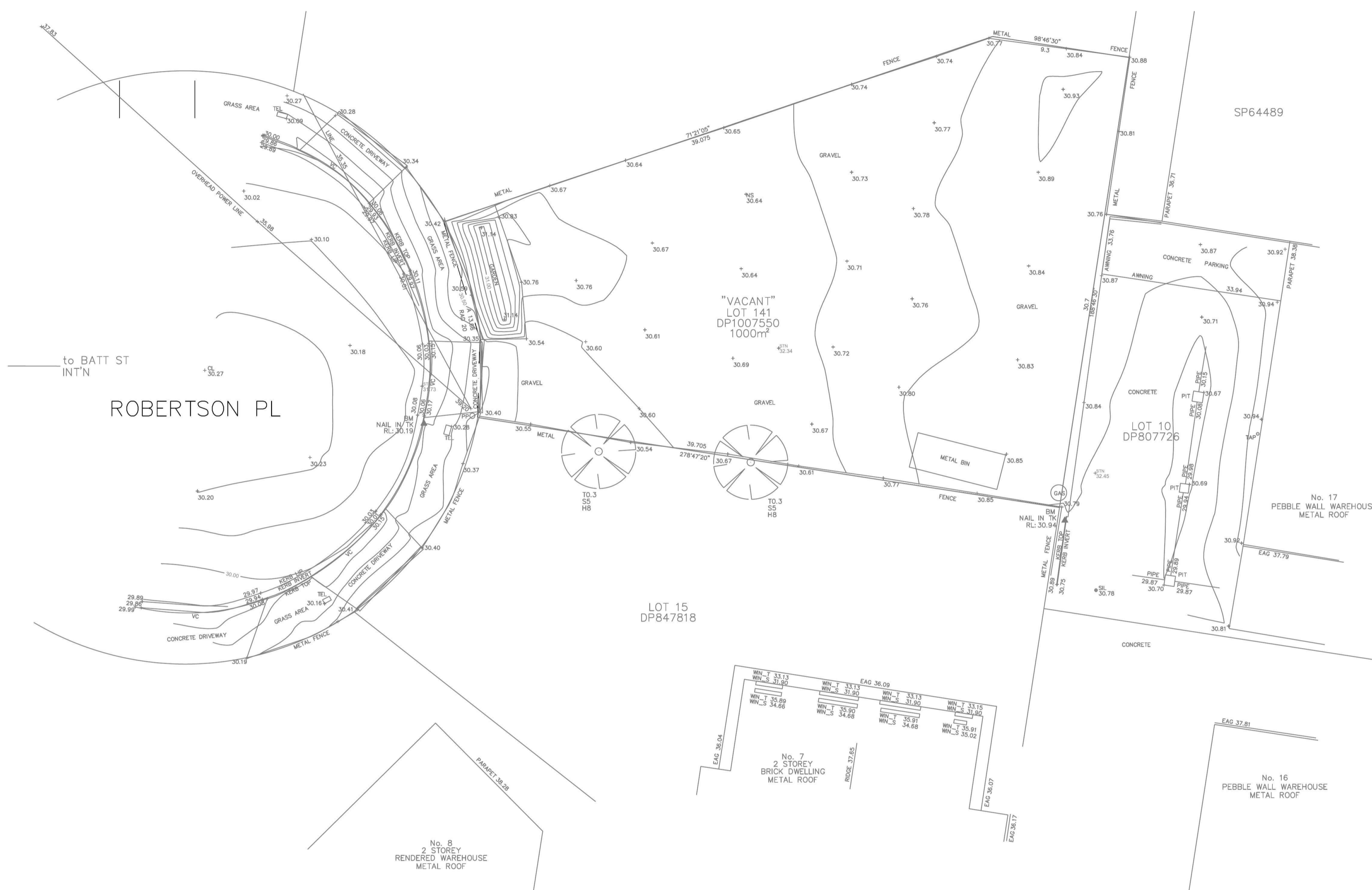


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ARROWFIELD
CONSTRUCTION — REFURBISHMENT — FITOUT
1/291 Forbes St P: 02 9011 3411
Darlinghurst E: info@arrowfield.net.au
NSW 2010 W www.arrowfield.net.au

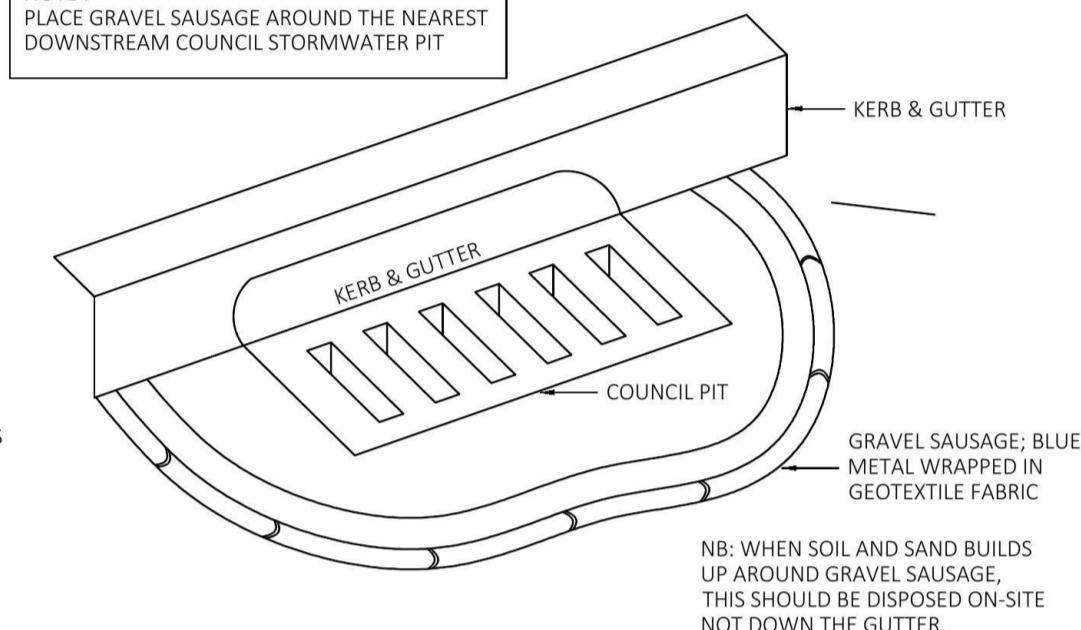
Client **J & M Costa**
Job Title **PROPOSED WAREHOUSE**
6A Robertson Place
Jamisontown
NSW 2750
Drawing Name

| | | |
|---|----------------------|------------------------|
| Drawing Status DEVELOPMENT APPLICATION | | |
| Drawn by GG | Checked SD | Date 05/12/2017 |
| Drawing Scale 1:200 | Sheet Size A3 | |
| Layout ID DA103 | Revision A | |

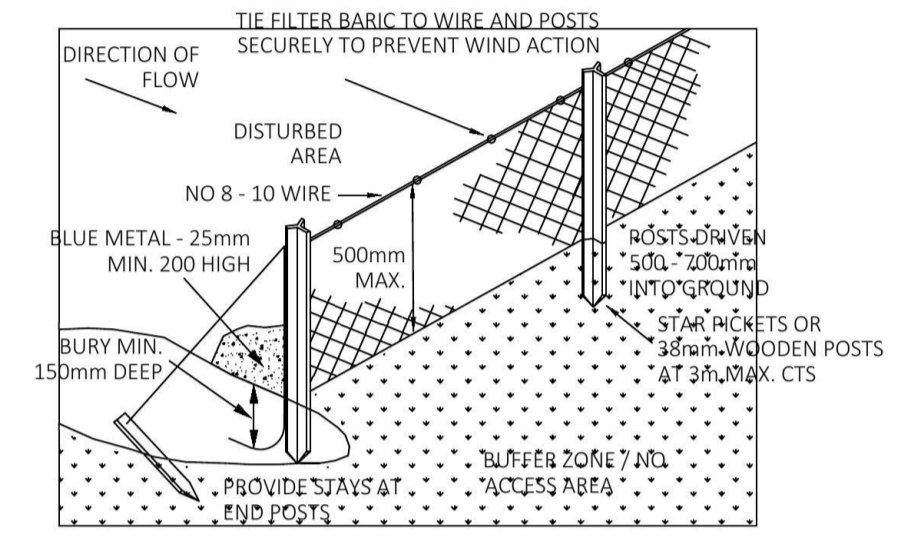


EROSION AND SEDIMENT CONTROL PLAN
SCALE 1 : 200

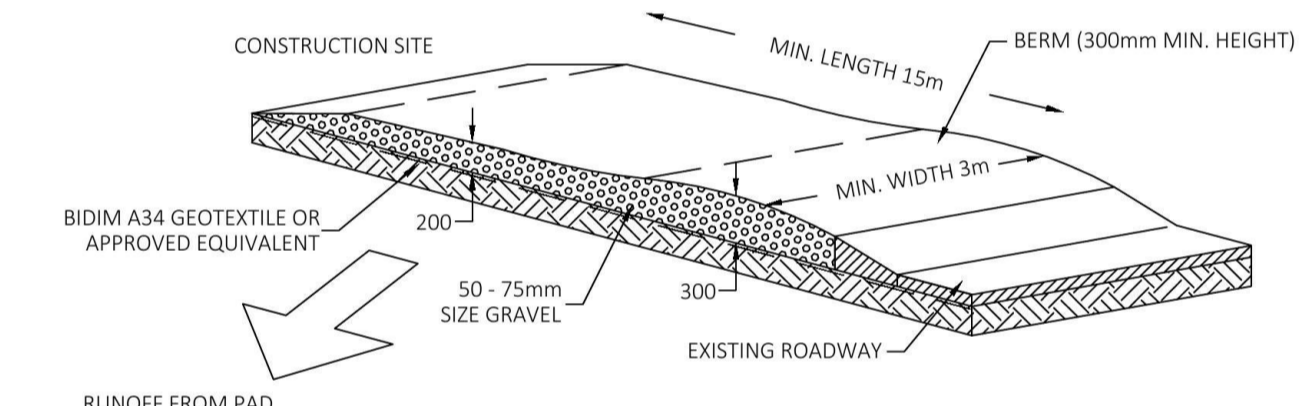
NOTE : PLACE GRAVEL SAUSAGE AROUND THE NEAREST DOWNSTREAM COUNCIL STORMWATER PIT



GRAVEL SAUSAGE - GUTTER PROTECTION
NOT TO SCALE



TYPICAL SILT FENCE DETAIL
NOT TO SCALE



TEMPORARY CONSTRUCTION ENTRANCE / EXIT
NOT TO SCALE

EROSION AND SEDIMENT CONTROL

1. ALL SEDIMENT AND EROSION CONTROL SHALL BE IN ACCORDANCE WITH "MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION FOURTH EDITION 2004 VOLUME 1" PREPARED BY LANDCOM.
2. ALL SEDIMENT CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF ANY CLEARING AND EARTHWORKS ON THE SITE. THE SEDIMENT CONTROL DEVICES ARE TO BE MAINTAINED REGULARLY DURING CONSTRUCTION.
3. ALL STORMWATER INLET PITS ARE TO BE PROTECTED FILTER FABRIC DROP INLET SEDIMENT TRAPS OR GRAVEL SAUSAGE, WHICH IS BLUE METAL WRAPPED IN GEOTEXTILE FABRIC.
4. STOCKPILED MATERIALS SHALL BE KEPT WITHIN THE SITE BOUNDARIES IN A POSITION NOT VULNERABLE TO CONCENTRATED SURFACE RUNOFF.

NOT FOR CONSTRUCTION

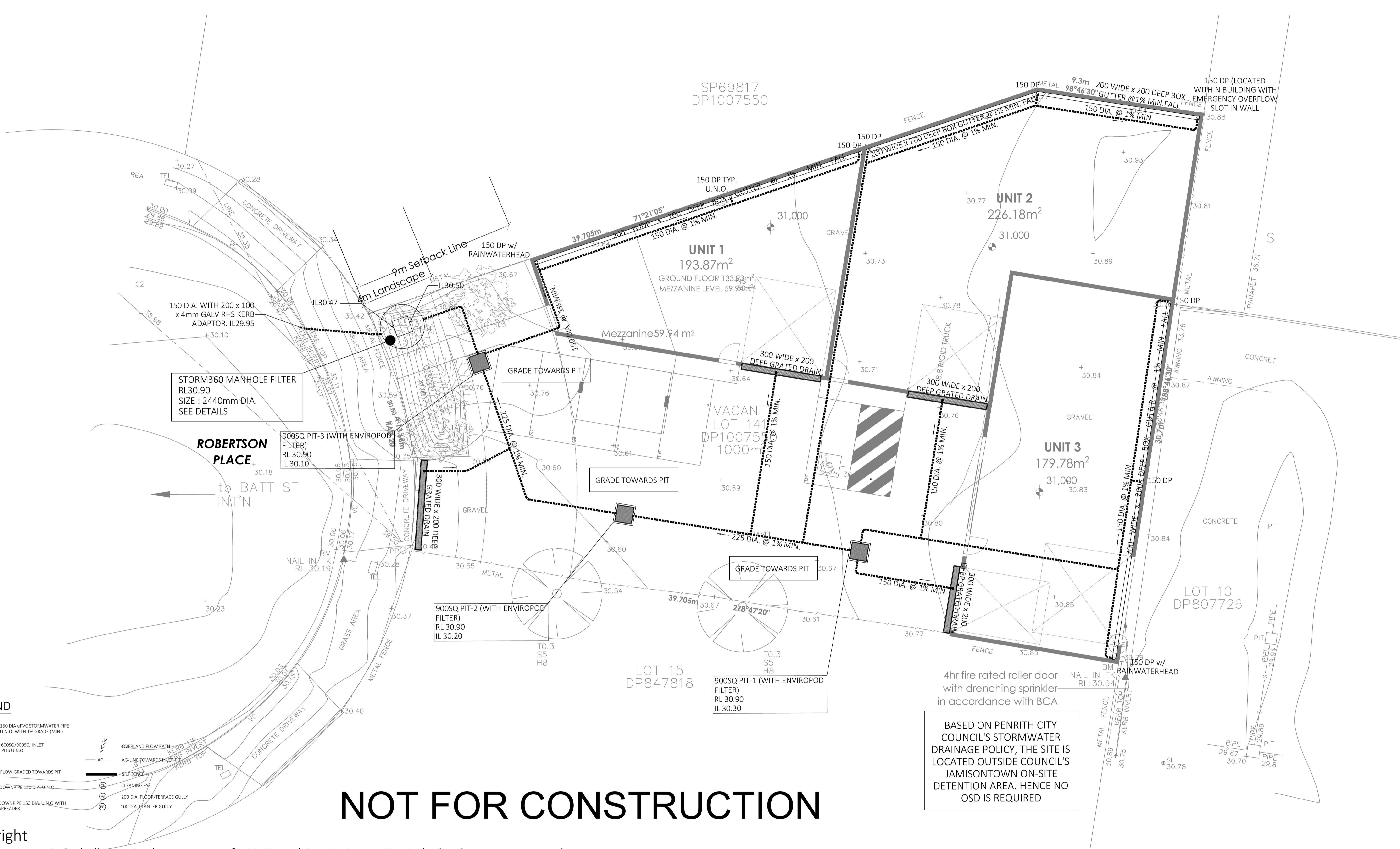
LEGEND

- 150 DIA UPVC STORMWATER PIPE U.N.O. WITH 1% GRADE (MIN.)
- 600SQ/900SQ INLET PITS U.N.O.
- FLOW GRADED TOWARDS PIT
- DOWNPIPE 150 DIA. U.N.O.
- DOWNPIPE 150 DIA. U.N.O WITH SPREADER
- OVERLAND FLOW PATH
- AG-LINE TOWARDS INLET PIT
- SILT FENCE
- CLEANING EYE
- 200 DIA. FLOOR/TERRACE GULLY
- 100 DIA. PLANTER GULLY

VERIFY ALL DISCREPANCIES WITH PROJECT ARCHITECT/ MANAGER PRIOR TO PROCEEDING WITH ANY WORKS. **Do not scale off drawings.**

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| | | | | | | | |
|--------------|-------------------------|---|--|---|--------------------------------------|--|--|
| | | Drawn & Designed By : K. Koh | | Designed By ING CONSULTING ENGINEERS PTY LTD P. O BOX 1543 BAULKHAM HILLS NSW 1755 F : (02) 8807 5656 M: 0433 778 109 E : ken@ingengineers.com.au | Project Proposed 3 Unit Warehouse | Drawing Title Erosion and Sediment Control Plan | |
| | | Checked By : N. Evans | | At 6A Robertson Place Jamisontown NSW 2750 | Date November 2017 | Scale As Shown @ A1 | |
| | | Approved By : Kenneth T. NG MIEAust CPEng NER RPEQ (Reg. No. 2206352) Accredited Certifier (Cat. C1-C4, C6 & C15)(BPB No. 0827) | | Client | Project No. 078102017DA | Drawing & Sheet No./Issue 07810-01/3 / A | |
| A | Development Application | 18 Nov. 2017 | | | | | |
| Issue | Description | Date of Drawing | | | | | |



NOT FOR CONSTRUCTION

BASED ON PENRITH CITY COUNCIL'S STORMWATER DRAINAGE POLICY, THE SITE IS LOCATED OUTSIDE COUNCIL'S JAMISONTOWN ON-SITE DETENTION AREA. HENCE NO OSD IS REQUIRED

- LEGEND**
- 150 DIA. uPVC STORMWATER PIPE U.N.O. WITH 1% GRADE (MIN.)
 - 600SQ/900SQ. INLET PITS U.N.O.
 - FLOW GRADED TOWARDS PIT
 - DOWNPIPE 150 DIA. U.N.O.
 - DOWNPIPE 150 DIA. U.N.O. WITH SPREADER
 - OVERLAND FLOW PATH
 - AG - AG-LINE TOWARDS INLET PIT
 - SILT BERTH
 - CLEANING EYE
 - 200 DIA. FLOOR/TERRACE GULLY
 - 100 DIA. PLANTER GULLY

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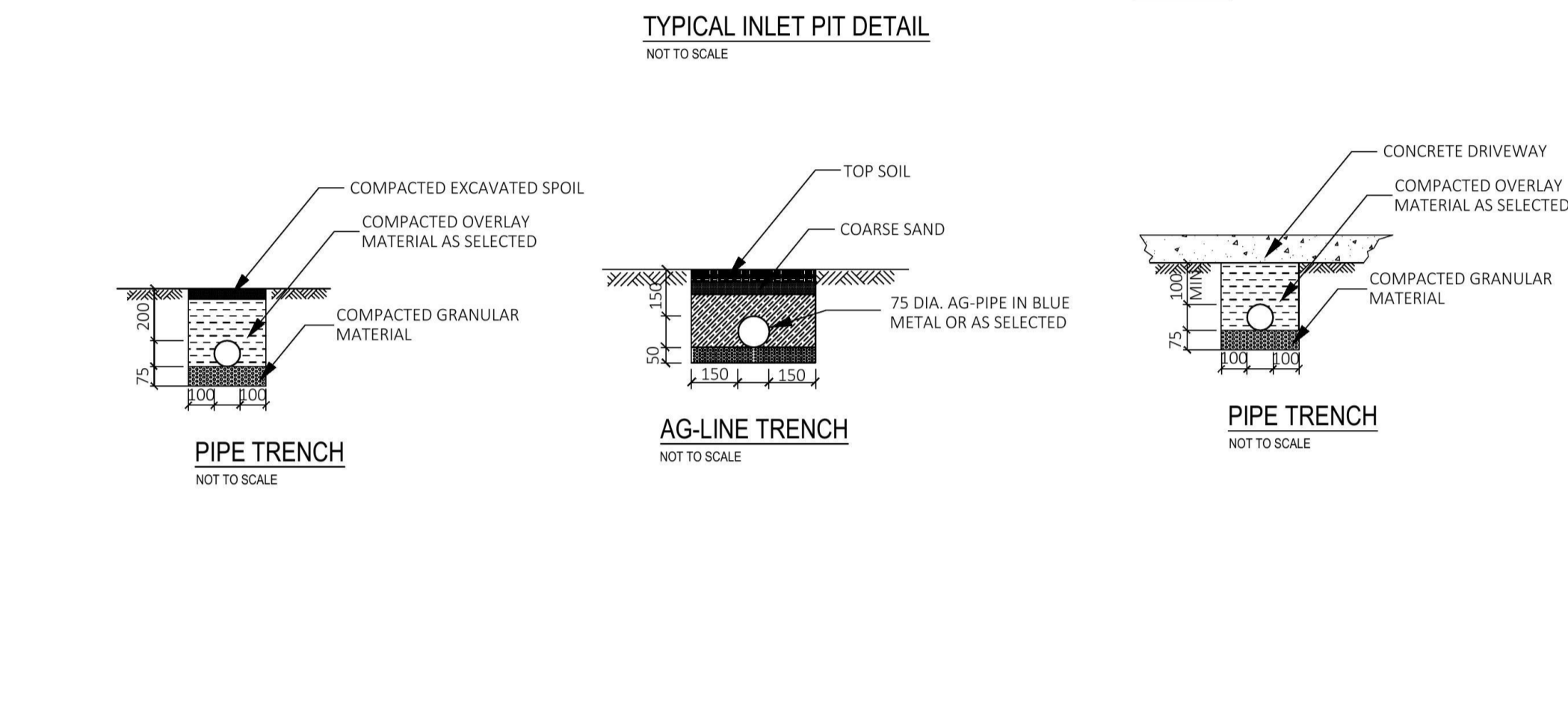
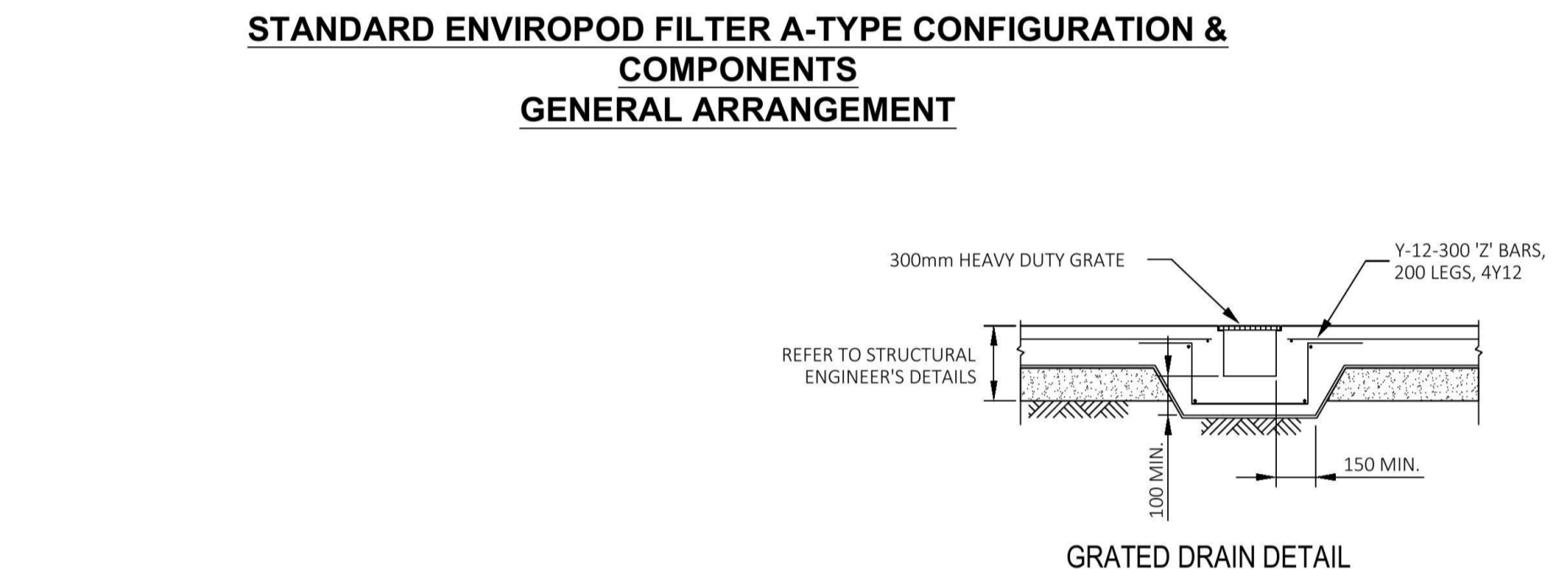
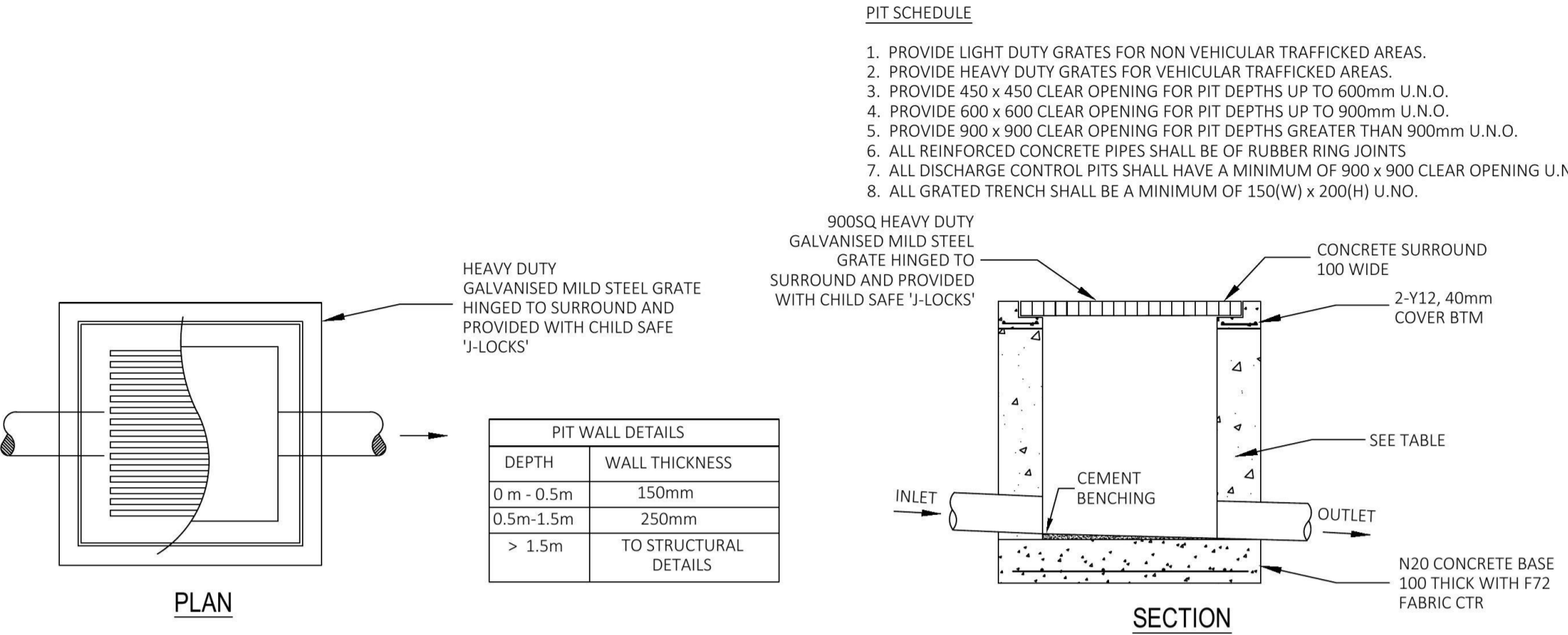
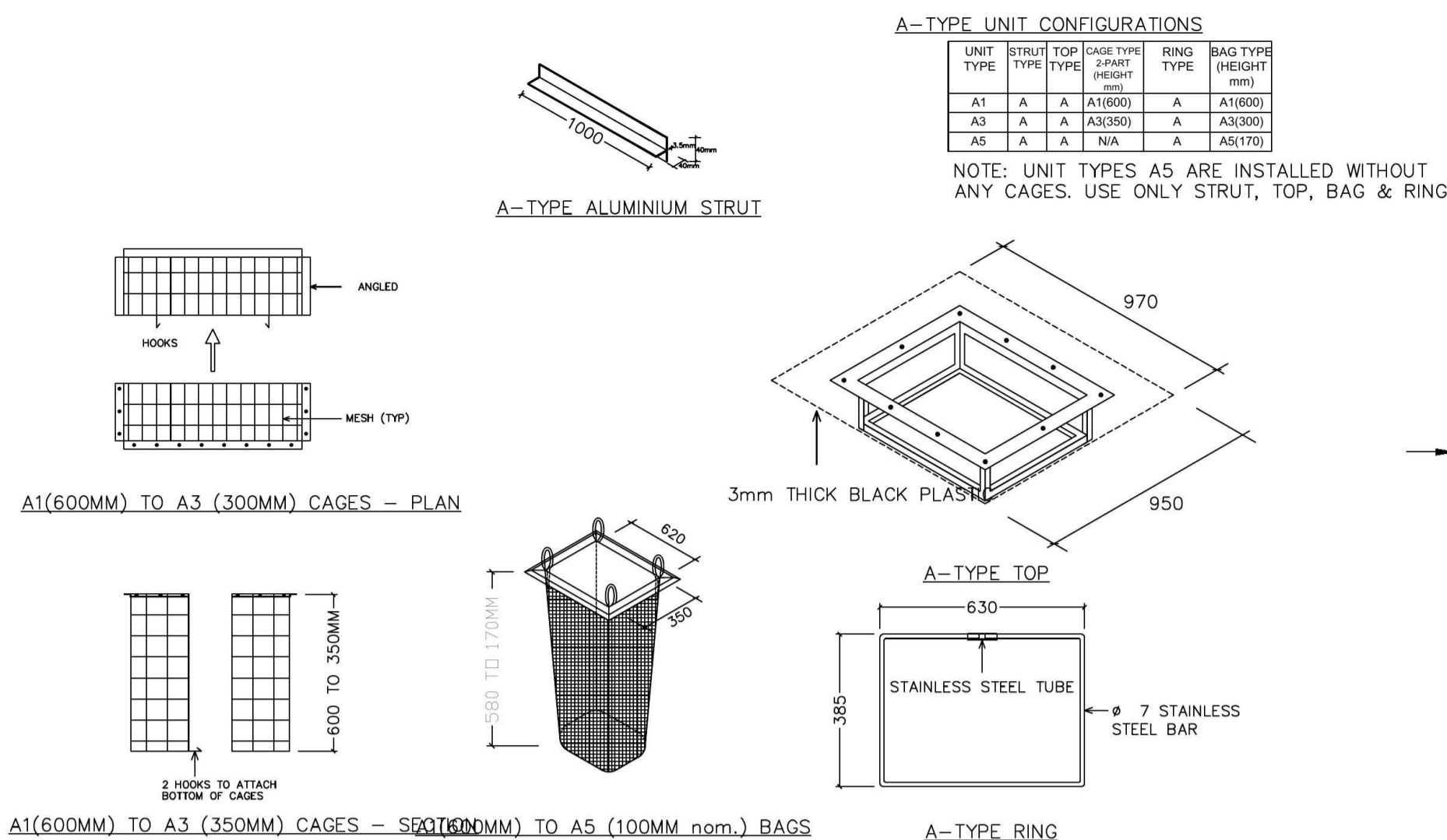
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| | | Drawn & Designed By : K. Koh | | Designed By | ING CONSULTING ENGINEERS PTY LTD P. O BOX 1543 BAULKHAM HILLS NSW 1755 F : (02) 8807 5656 M: 0433 778 109 E : ken@ingengineers.com.au | Project | | Proposed 3 Unit Warehouse | | Drawing Title | | Site Plan | | |
| | | Checked By : N. Evans | | At | | 6A Robertson Place Jamisontown NSW 2750 | | Date | November 2017 | | Scale | 1 : 100 @ A1 | | |
| | | Approved By : Kenneth T. NG MIEAust CPEng NER RPEQ (Reg. No. 2206352) Accredited Certifier (Cat. C1-C4, C6 & C15)(BPB No. 0827) | | Client | | | | Project No. | 078102017DA | | Drawing & Sheet No./Issue | 07810-02/3 / A | | |
| A | Development Application | 18 Nov. 2017 | | | | | | | | | | | | |
| Issue | Description | Date of Drawing | | | | | | | | | | | | |

GENERAL NOTES

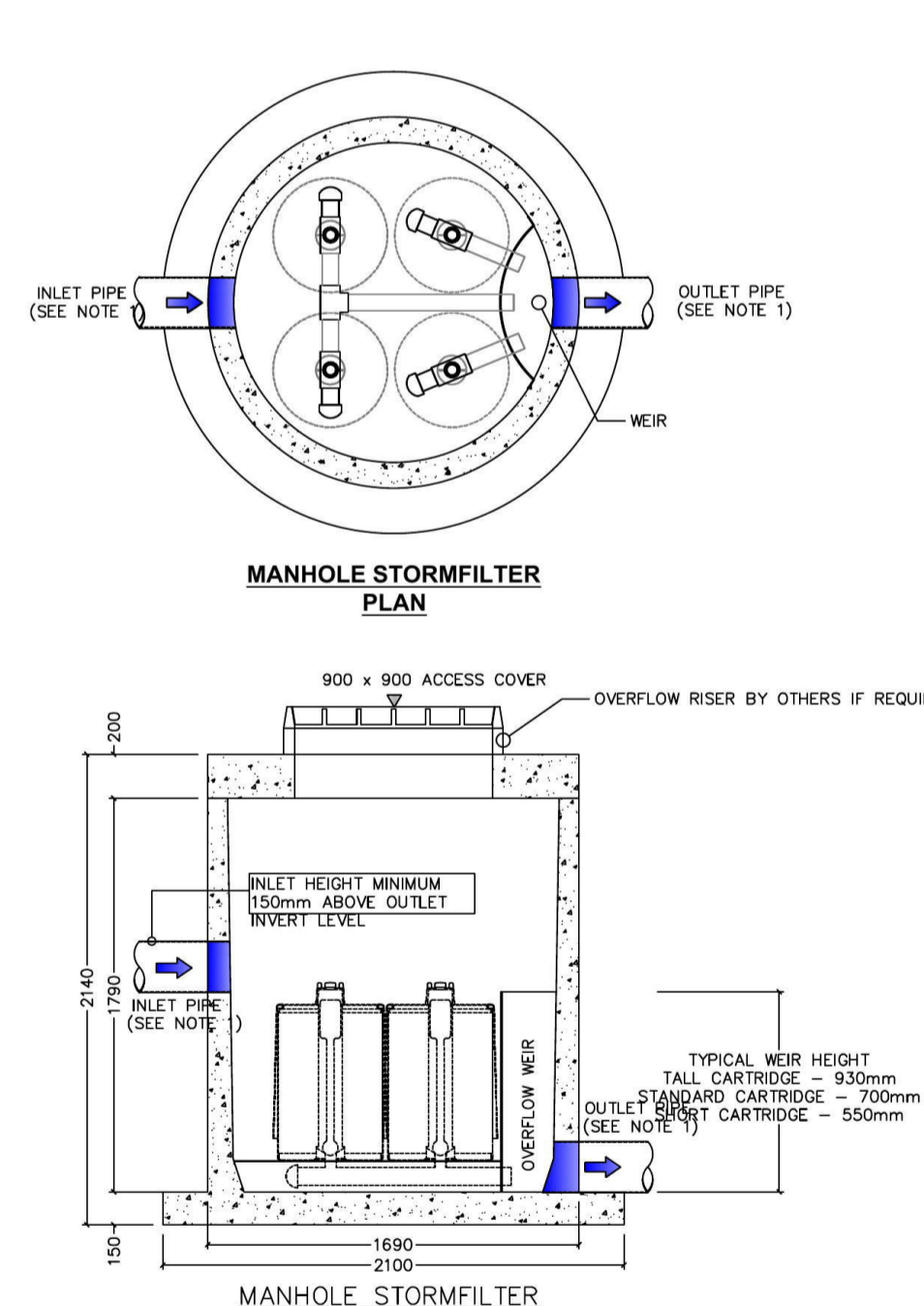
1. THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORKS.
2. ALL WORKS ARE TO BE CARRIED OUT TO THE DETAILS SHOWN ON THE DRAWINGS.
3. THESE PLANS ARE READ IN CONJUNCTION WITH APPROVED ARCHITECTURAL, STRUCTURAL, HYDRAULIC AND MECHANICAL DRAWINGS AND SPECIFICATIONS.
4. CARE IS TO BE TAKEN WHEN EXCAVATING NEAR SERVICES. NO MECHANICAL EXCAVATION ARE TO BE UNDERTAKEN OVER TELECOMMUNICATION OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS ONLY.
5. DIAL 1100 BEFORE YOU DIG FOR LOCATION OF UNDERGROUND SERVICES PRIOR TO ANY CONSTRUCTION WORKS.
6. SERVICES HAVE NOT BEEN SHOWN ON THIS PLAN. FIELD INVESTIGATIONS ARE TO BE CARRIED OUT SEPARATELY TO DETERMINE EXACT POSITIONS OF SERVICES OR INFORMATION IS TO BE PROVIDED BY THE PROPERTY PROPRIETOR. NOT WITHSTANDING THIS, ALL INFORMATION PROVIDED SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF CONSTRUCTION WORKS.
7. THESE DRAWINGS ARE ONLY APPROVED WHEN THEY ARE SIGNED WITH AN ORIGINAL SIGNATURE BY THE ENGINEER.

STORMWATER DRAINAGE

8. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH AS 3500 AND THE REQUIREMENTS OF THE LOCAL COUNCIL'S POLICIES AND CODES.
9. ALL BOX GUTTERS TO BE 300 x 150 MIN. AND DOWNPIPES TO BE 150 DIA. UNLESS OTHERWISE NOTED.
10. ALL PIPES TO BE 100mm uPVC SEWER GRADE UNLESS NOTED OTHERWISE.
11. ALL GRADIENTS FOR STORMWATER PIPES TO BE NOT LESS THAN 1.0% UNLESS NOTED OTHERWISE.
12. THE INVERTS OF ALL OUTLET PIPES ARE TO BE INSTALLED FLUSHED WITH THE BASE OF ALL STORMWATER/RAINWATER PIT.
13. ALL FENCES SHALL BE KEPT AT LEAST 100mm ABOVE THE GROUND LEVEL TO FACILITATE THE FREE PASSAGE FOR STORMWATER OVERLAND FLOW.
14. MANUFACTURER'S CERTIFICATE SHALL BE OBTAINED BY THE BUILDER FOR PIPES, PRE-CAST PITS AND GRATES FOR THE STRUCTURAL ADEQUACY RELATING TO ITS LOCATION.
15. AREAS SPREAD WITH BARK SHALL BE BARRICADED TO PREVENT BARK GETTING INTO THE PITS AND STORMWATER SYSTEMS.
16. MINIMUM SLOPE FOR PAVED AREAS SHALL BE 0.5%, FOR LANDSCAPED AREAS MINIMUM SLOPE SHALL BE 1% AND GRADED TOWARDS THE GRATED PITS.
17. ALL EXCAVATIONS WITHIN THE INFLUENCE OF BUILDINGS AND SERVICES SHALL BE UNDERTAKEN WITH THE KNOWLEDGE OF THE HYDRAULIC AND STRUCTURAL ENGINEER.
18. THE DETENTION AND DRAINAGE SYSTEM SHALL BE MAINTAINED AT REGULAR INTERVALS AND THE CONTRACTOR SHALL MAKE NECESSARY ARRANGEMENTS.
19. CONNECTION OF DISCHARGE PIPE TO EXISTING COUNCIL KERB AND GUTTER, PIPE OR KERB INLET PIT SHALL BE CARRIED OUT IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS.
20. PROVIDE STEP-IRONS 'MASCOT S1:104' OR SIMILAR STAGGERED TO GIVE SPACING 300 VERTICAL AND 220 HORIZONTAL TO ALL PIT DEEPER THAN 1m .
21. SUITABLE AG-LINES SHALL BE PROVIDED AND CONNECTED TO STORMWATER SYSTEM OR AS INSTRUCTED BY THE ENGINEER ON SITE PRIOR TO BACKFILLING.

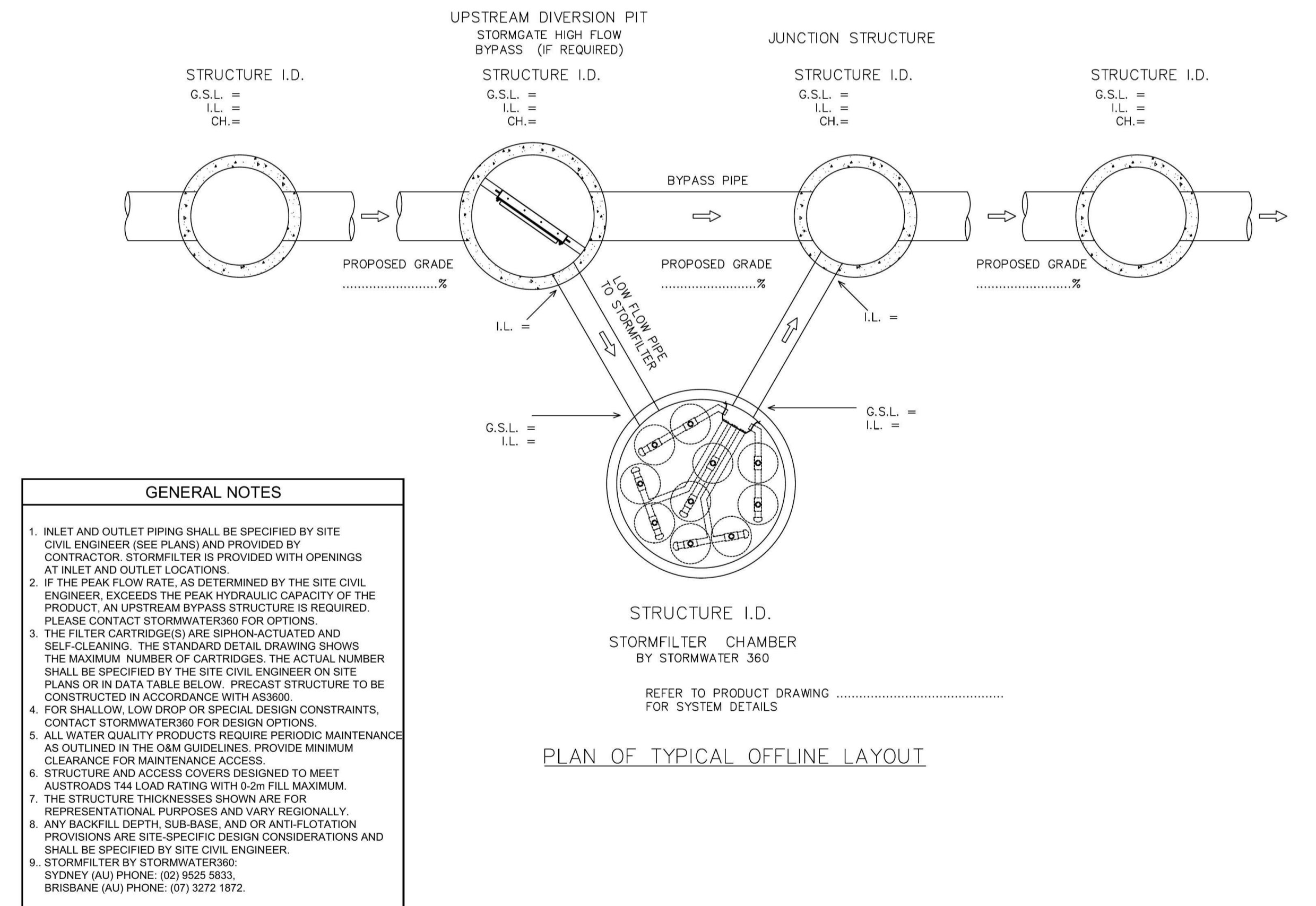
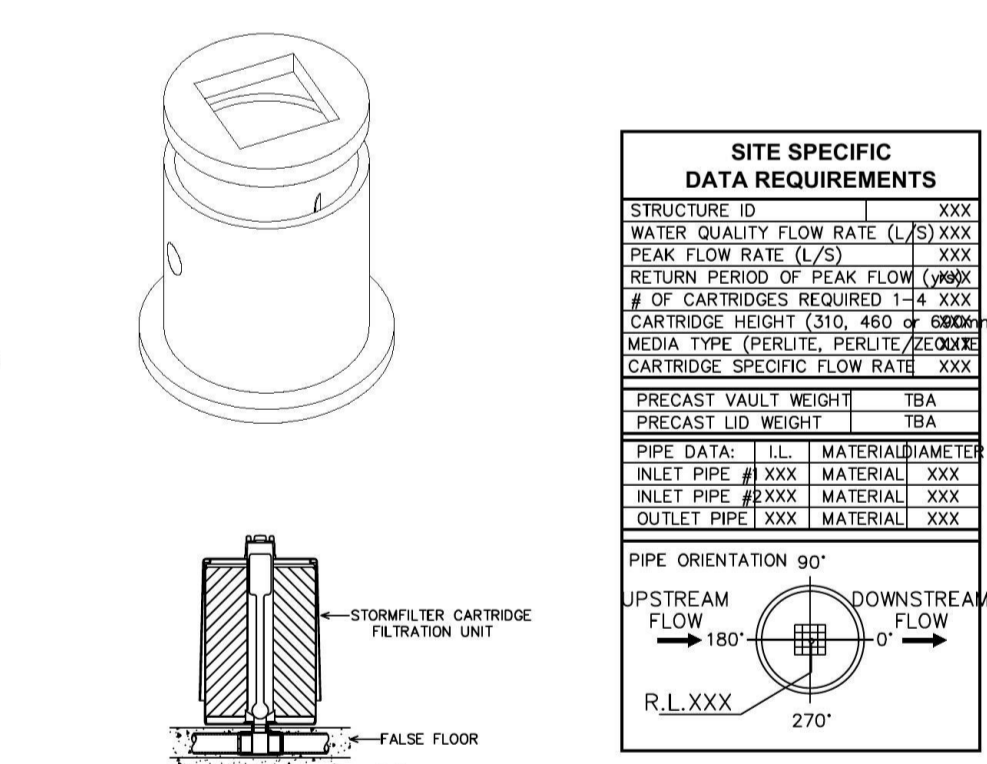


NOT FOR CONSTRUCTION



GENERAL NOTES

1. INLET AND OUTLET PIPING SHALL BE SPECIFIED BY SITE CIVIL ENGINEER (SEE PLANS) AND PROVIDED BY CONTRACTOR. STORMFILTER IS PROVIDED WITH OPENINGS AT INLET AND OUTLET LOCATIONS.
2. IF THE PEAK FLOW RATE, AS DETERMINED BY THE SITE CIVIL ENGINEER, EXCEEDS THE PEAK HYDRAULIC CAPACITY OF THE PRODUCT, AN UPSTREAM BYPASS STRUCTURE IS REQUIRED. PLEASE CONTACT STORMWATER360 AUSTRALIA FOR OPTIONS.
3. THE FILTER CARTRIDGE(S) ARE SIPHON-ACTUATED AND SELF-CLEANING. THE ACTUAL NUMBER SHALL BE SPECIFIED BY THE SITE CIVIL ENGINEER ON-SITE PLANS OR IN DATA TABLE BELOW. PRECAST STRUCTURE TO BE CONSTRUCTED BY STORMWATER360 AUSTRALIA IN ACCORDANCE WITH AS3600.
4. FOR SHALLOW, LOW DROP OR SPECIAL DESIGN CONSTRAINTS, CONTACT STORMWATER360 FOR OPTIONS.
5. ALL WATER QUALITY PRODUCTS REQUIRE PERIODIC MAINTENANCE AS OUTLINED IN THE O&M GUIDELINES. PROVIDE MINIMUM CLEARANCE FOR MAINTENANCE ACCESS.
6. STRUCTURE AND ACCESS COVERS DESIGNED TO MEET AUSTRROADS T44 LOAD RATING WITH 0-2m FILL MAXIMUM.
7. THE STRUCTURE THICKNESSES SHOWN ARE FOR REPRESENTATIONAL PURPOSES ONLY.
8. ANY BACKFILL DEPTH, SUB-BASE, AND OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY SITE CIVIL ENGINEER.
9. STORMFILTER BY STORMWATER360 AUSTRALIA. PHONE: 1300 344 722 OR WWW.STORMWATER360.COM.AU



VERIFY ALL DISCREPANCIES WITH PROJECT ARCHITECT/ MANAGER PRIOR TO PROCEEDING WITH ANY WORKS. **Do not scale off drawings.**

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| | | | | | | | |
|-------|-------------------------|-----------------|---|--|---------------------------|-----------------|--|
| | | | Drawn & Designed By : K. Koh | Designed By | Project | Drawing Title | |
| | | | Checked By : N. Evans | ING CONSULTING ENGINEERS PTY LTD P. O BOX 1543 BAULKHAM HILLS NSW 1755 F : (02) 8807 5656 M: 0433 778 109 E : ken@ingengineers.com.au | Proposed 3 Unit Warehouse | Notes & Details | |
| | | | Approved By : Kenneth T. NG MIEAust CPEng NER RPEQ (Reg. No. 2206352) Accredited Certifier (Cat. C1-C4, C6 & C15)(BPB No. 0827) | | | At | 6A Robertson Place Jamisontown NSW 2750 |
| A | Development Application | 18 Nov. 2017 | | | | November 2017 | As Shown @ A1 |
| Issue | Description | Date of Drawing | | | Client | Project No. | Drawing & Sheet No./Issue |
| | | | | | | 078102017DA | 07810-03/3 / A |

NORTH:



NOTES:

The builder shall check and verify all dimensions and verify all errors and omissions to the Designer. Do not scale the drawings. Drawings shall not be used for construction purposes until issued by the Architect for construction.

ARROWFIELD
CONSTRUCTION — REFURBISHMENT — FITOUT
1/291 Forbes St Darlinghurst NSW 2010
P: 02 9011 3411
E: info@arrowfield.net.au
W www.arrowfield.net.au

Client: **J & M Costa**
Job Title: **PROPOSED WAREHOUSE**
6A Robertson Place
Jamisontown
NSW 2750
Drawing Name:

Site Plan

Drawing Status: **DEVELOPMENT APPLICATION**

| | | |
|----------|---------|------------|
| Drawn by | Checked | Date |
| GG | SD | 05/12/2017 |

| | |
|---------------|------------|
| Drawing Scale | Sheet Size |
| 1:200 | A3 |

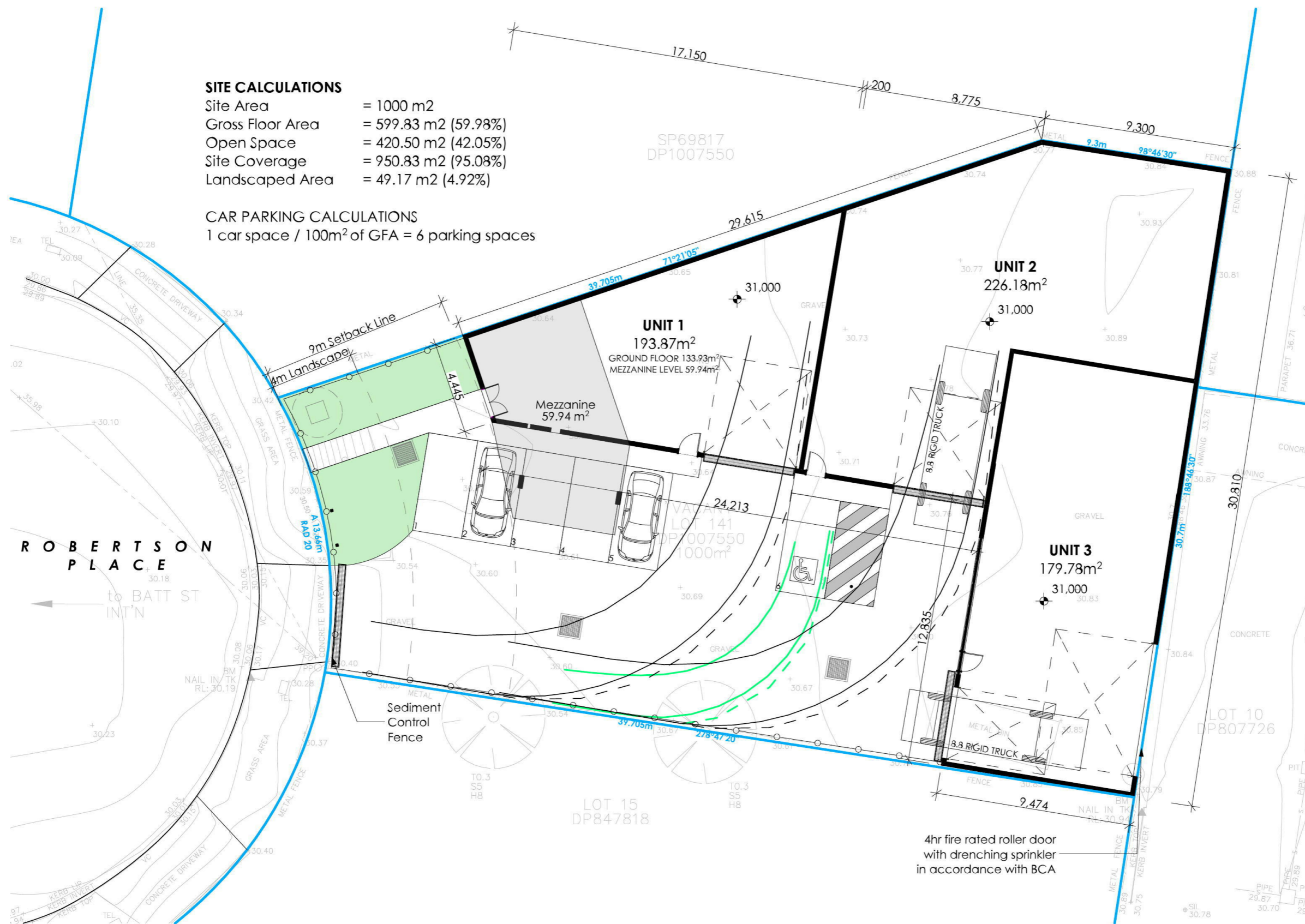
| | |
|-----------|----------|
| Layout ID | Revision |
| DA101 | A |

SITE CALCULATIONS

Site Area = 1000 m²
 Gross Floor Area = 599.83 m² (59.98%)
 Open Space = 420.50 m² (42.05%)
 Site Coverage = 950.83 m² (95.08%)
 Landscaped Area = 49.17 m² (4.92%)

CAR PARKING CALCULATIONS

1 car space / 100m² of GFA = 6 parking spaces



ROBERTSON PLACE

to BATT ST INT'N

1

Site Plan
1:200

LOT 15
DP847818

LOT 10
DP807726

SP69817
DP1007550

LOT 141
DP1007550
1000m²

4hr fire rated roller door
with drenching sprinkler
in accordance with BCA