

# PENRITH CITY COUNCIL

## MAJOR ASSESSMENT REPORT

|                              |  |
|------------------------------|--|
| <b>Application number:</b>   | DA21/1000  |
| <b>Proposed development:</b> | Minor Alterations to an Existing Approved Child Care Facility, Minor External Car Parking Works and Erection of a Wall Sign  |
| <b>Property address:</b>     | 41 Cook Parade, ST CLAIR NSW 2759<br>37 Cook Parade, ST CLAIR NSW 2759   |
| <b>Property description:</b> | Lot 672 DP 739138<br>Lot 68 DP 702772  |
| <b>Date received:</b>        | 22 December 2021   |
| <b>Assessing officer</b>     | Donna Clarke   |
| <b>Zoning:</b>               | SEPP WSA - Affected by Obstacle Limitation<br>SEPP WSA - Affected by Wildlife Buffer Zone<br>Zone B1 Neighbourhood Centre - LEP 2010<br>RE1 Public Recreation - LEP 2010 |
| <b>Class of building:</b>    | Class 9b   |
| <b>Recommendations:</b>      | Approve  |

## Executive Summary

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Council is in receipt of a Development Application from Penrith City Council (the applicant) proposing alterations and additions to an existing childcare centre at 37 and 41 Cook Parade, St Clair.

The subject site is zoned RE1 Public Recreation and B1 Neighbourhood Centre under Penrith Local Environmental Plan 2010. The proposal is defined as a centre-based child care facility which is permissible with consent.

The application has been referred to the Local Planning Panel for determination in accordance with the direction given by the Minister for Planning under Section 9.1 of the Environmental Planning and Assessment Act 1979 dated 23 February 2018 as the subject site is owned by Penrith City Council, and the applicant is also Penrith City Council.

The development application was advertised in the local newspaper and notified to owners and occupiers of adjoining and nearby properties between 24 January 2022 to 7 February 2022. During this period, Council received no submissions.

Key issues identified for the proposed development include car parking, upgrade of the accessibility of the existing facility, waste management and safety and security. The applicant has confirmed that there is no increase in child numbers from 40 as already licenced, and no change to hours of operation.

The plans were amended during the assessment to confirm no tree removal and delete a proposed pathway.

As the subject site is owned and operated by Penrith City Council, the Penrith Local Planning Panel is the determining authority for the development application in accordance with Schedule 2 of the Minister's Local Planning Panels Direction.

An assessment under Section 4.15 of the Environmental Planning and Assessment Act 1979 has been undertaken and the application is recommended for approval subject to conditions.



## Site & Surrounds

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The subject site contains an existing child care centre known as "Cook Parade Centre", which is owned and operated by the Children's Services Division of Penrith City Council. The site is identified as Lot 68 in DP 702772 which contains the existing child care centre and other open space including tennis courts and Lot 672 DP 739138 which contains car park for the centre.

The site area of Lot 68 in DP 702772 is approx. 9745m<sup>2</sup>, however the centre and play area occupies only approx 1,777m<sup>2</sup>. Lot 672 DP 739138 is 1,743m<sup>2</sup> and contains the car park for the centre.

The centre is located within a public reserve which includes a playground and has good separation to the adjoining residents being 44m and 83m at the closest point from the residential fences to the north and east to the centre respectively.

The centre caters for 40 children per day, as per the existing licence.

The existing hours of operation are as follows:

- 7am-6pm Monday to Friday

On-site parking facilities are available as follows:

- 19 vehicle spaces including staff parking

## Proposal

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The subject application proposes alterations and additions to the existing building. The proposed works include the following:

- Upgrade to existing child care centre.
- Interior alterations and additions, including upgrade to bathrooms, staff room, foyer, kitchen and office.
- Upgrade internal lighting and ducted air conditioning.
- External alterations and additions including cladding to southern and western wall and new lighting.
- Upgrade the existing car park to provide accessible car parking and access to the facility, adjacent to the entry.
- Penrith City Council's corporate colours (brown, orange and grey) will be utilised.
- New building identification sign on the eastern elevation, with 3D illuminated acrylic letters (back lit) linked to external light with wording 'Cook Parade Children's Centre Penrith City Council' and logo.
- No change to existing children numbers being 40 per day as per the existing licence.
- No changes to the existing car park numbers from 19 spaces. Re-marking of the accessible car parking spaces is proposed over a hardstand area adjacent to the building entry and the existing maneuvering and directional signage within the car park will remain.
- No changes are proposed to the existing hours of operation.
- The floor area will remain unchanged.
- The plans were amended during the assessment to confirm no tree removal and delete a proposed pathway.

## Plans that apply

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- Local Environmental Plan 2010
- Development Control Plan 2014
- State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017
- State Environmental Planning Policy No 55—Remediation of Land
- State Environmental Planning Policy No 64—Advertising and Signage
- Sydney Regional Environmental Plan No.20 - Hawkesbury Nepean River

## Planning Assessment

- **Section 4.15 - Evaluation**

The development has been assessed in accordance with the matters for consideration under Section 4.15 of the Environmental Planning and Assessment Act 1979, and having regard to those matters, the following issues have been identified for further consideration:

- **Section 7.12 - Developer Contributions**

Council's Amendment 1 - Penrith City Section 7.12 Development Contributions Plan does not apply as the non-residential works will not result in an intensification or enlargement of the current land use.

### Section 4.15(1)(a)(i) The provisions of any environmental planning instrument

#### State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017

An assessment against the relevant criteria under State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017 has been undertaken and a detailed discussion is provided below.

- **Clause 22 Centre-based child care facility—concurrence of Regulatory Authority required for certain development**

The proposal complies with regulation 107 (indoor unencumbered space requirements) of the Education and Care Services National Regulations. The proposal also complies with the outdoor space requirements under regulation 108 (outdoor unencumbered space requirements) of the Education and Care Services National Regulations. The proposal provides 148.2m<sup>2</sup> of indoor unencumbered space (130m<sup>2</sup> is required) and provides 950m<sup>2</sup> of unencumbered outdoor space (280m<sup>2</sup> is required). Accordingly, in this instance Clause 22 does not apply to the proposal and concurrence of the Regulatory Authority is not required. Further, this application does not alter indoor or outdoor spaces.

- **Clause 23 Centre-based child care facility—matters for consideration by consent authorities**

Clause 23 requires that before determining a development application for development for the purpose of a centre-based child care facility, the consent authority must take into consideration any applicable provisions of the Child Care Planning Guideline. An assessment was undertaken against the provision of the Child Care Planning Guideline dated August 2017, and details are summarised below:

| Child Care Planning Guideline August 2017 |  |  |
|---|--|--|
| Section                                   | Objectives   | Proposed   |
| 3.1 Site Selection and Location           | <ul style="list-style-type: none"> <li>• To ensure that appropriate zone considerations are assessed when selecting a site;</li> <li>• To ensure that the site selected for a proposed child care</li> </ul> | <ul style="list-style-type: none"> <li>• The proposed use is a permitted land use in the zone with Council consent,</li> <li>• The site is considered suitable for the development for the following reasons:               <ul style="list-style-type: none"> <li>- The site is not identified as being affected by flooding, land slope, bushfires, coastal hazards and other environmental hazards. The existing building is located outside of the flood planning</li> </ul> </li> </ul> |

facility is suitable for the use.

- To ensure the site for child care facilities are appropriately located;
- To ensure that sites for child care facilities do not incur risks from environmental, health or safety hazards.

area and PMF.

- The site is not located along a major collector road.
- Located adjacent to a playground, open space and residential dwellings further away, the proposal is near compatible social uses.
- The site is of a sufficient size and width to accommodate the proposed centre-based child care facility.
- The application has demonstrated that the site is suitable in respect to environmental impacts, specifically acoustic, privacy and excavation impacts, and does not incur risks from environmental hazards i.e. contamination.

|   |  |   |
|---|--|---|
| <b>3.2 Local Character, streetscape and the public domain interface</b> | <ul style="list-style-type: none"> <li>• <i>To ensure that the child care facility is compatible with the local character and surrounding streetscape;</i></li> <li>• <i>To ensure clear delineation between the child care facility and public spaces;</i></li> <li>• <i>To ensure front fences and retaining walls respond to and complement the context and character of the area and do not dominate the public domain.</i></li> </ul> | <ul style="list-style-type: none"> <li>• The proposal provides an appropriate design response within the RE1 Public Recreation and B1 Neighbourhood Centre zones, and contributes to the local area by being designed in character with the locality and existing streetscape.</li> <li>• Specifically, the proposal provides minor changes to an existing single storey building that will be consistent and compatible with the existing low density characteristics of the subject area.</li> <li>• The proposal complies with the prescribed height control under the LEP and provides front and rear setbacks consistent with the surrounding development.</li> <li>• Clear delineation between the facility and the street remains, along with a clear access path from the street to the legible entry.</li> <li>• The proposed landscaping within the front setback results in appropriate opportunities for landscaping.</li> <li>• The location and design of existing parking areas is consistent with the character of the locality.</li> </ul> |
| <b>3.3 Building Orientation, envelope and design</b>                    | <ul style="list-style-type: none"> <li>• <i>To respond to the streetscape, while optimising solar access and opportunities for shade;</i></li> <li>• <i>To ensure that child care facilities are designed to be accessible by all potential users;</i></li> <li>• <i>To ensure that buildings are designed to create safe environments for all users.</i></li> </ul>   | <ul style="list-style-type: none"> <li>• As aforementioned, the existing built form and minor changes responds to the predominant built form, height and landscaped setbacks in the area to respond to the streetscape quality.</li> <li>• The existing play areas and internal rooms of the centre remain and the minor changes will improve the functionality of the centre.</li> </ul>   |
| <b>3.4 Landscaping</b>  | <ul style="list-style-type: none"> <li>• <i>To provide landscape design that contributes to streetscape and amenity.</i></li> </ul>  | <ul style="list-style-type: none"> <li>• The existing streetscape and future desired character, remains suitable and will update an aging facility.</li> </ul>  |
| <b>3.5 Visual and Acoustic Privacy</b>                                  | <ul style="list-style-type: none"> <li>• <i>To protect the privacy and security of children attending the facility;</i></li> <li>• <i>To minimise impacts on privacy of adjoining properties;</i></li> <li>• <i>To minimise the</i></li> </ul>   | <ul style="list-style-type: none"> <li>• The proposed centre and proposed changes minimise direct overlooking of indoor rooms and outdoor play spaces from public areas.</li> <li>• There is no additional acoustic impacts envisaged as there is no change in children numbers proposed.</li> </ul>  |

|  |  |  |
|--|--|--|
|  | <ul style="list-style-type: none"> <li>To minimise the impact of child care facilities on the acoustic privacy of neighbouring residential developments.</li> </ul>  |  |
| <b>3.6 Noise and Air Pollution</b>                     | <ul style="list-style-type: none"> <li>To adopt design solution to minimise the impacts of noise on the children;</li> <li>To ensure that outside noise levels on the facility are minimised to acceptable levels</li> </ul>   | <ul style="list-style-type: none"> <li>The subject site is not located near major roads, rail lines, beneath flight paths or other noisy environments.</li> <li>Appropriate design measures have been undertaken with respect to the proposed changes to minimise acoustic impacts to neighbouring properties.</li> <li>The site is not located closed to any major roads or industrial areas and is therefore not exposed to major sources of air pollution.</li> </ul>               |
| <b>3.7 Hours of Operation</b>                          | <ul style="list-style-type: none"> <li>Hours of operation within areas where the predominant land use is residential should be confined to the core hours of 7.00am to 7.00pm weekdays.</li> </ul>   | <ul style="list-style-type: none"> <li>No change is proposed to the existing operating hours, being Monday to Friday 7:00am to 6:00pm,.</li> </ul>   |
| <b>3.8 Traffic, Parking and Pedestrian Circulation</b> | <ul style="list-style-type: none"> <li>To provide parking that satisfies the needs of users and demand generated by the centre;</li> <li>To provide vehicle access from the street in a safe environment that does not disrupt traffic flows;</li> <li>To provide a safe and connected environment for pedestrians both on and around the site.</li> </ul> | <ul style="list-style-type: none"> <li>Under Penrith Development Control Plan 2014, child care centres are required to provide 1 space per 10 children, plus 1 space per employee.</li> <li>The development employs 12 individuals and provide for 40 children requiring 16 car spaces be provided on site. The proposal complies with this requirement with 19 existing parking bays in place. One new accessible space will be provided in an area adjacent to the entry.</li> </ul> |

**Clause 25 Centre-based child care facility - non-discretionary development standards**

The non-discretionary development standards which, if complied with, prevent a consent authority from requiring more onerous standards. These matters relate to location, indoor and outdoor space, site area and dimensions and the colour of building materials and shade structures, which as previously indicated in this report are considered compliant.

**Clause 26 Centre-based child care facility - development control plans**

The SEPP includes provisions in development control plans that cannot be applied to development of child care centres, such as hours of operation, demonstrated need for services, proximity to other facilities, or any matter set out in the *Child Care Planning Guideline*. Council's DCP does contain specific development standards related to the matters described in Clauses 25 and 26, which are rendered obsolete by the function of the SEPP.

## **State Environmental Planning Policy No 55—Remediation of Land**

*State Environmental Planning Policy No. 55 – Remediation of Land* (SEPP 55) provides aims to promote the remediation of contaminated land for the purpose of reducing the risk of harm to human health or any other aspect of the environment. Under Clause 7 of SEPP 55, it must be considered as to whether the land is contaminated, and if so, Council must be satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which development is proposed to be carried out.

In this regard, the subject site has been used as an existing child care centre for a number of years and the nature of the use will continue to be as such. It is noted that aerial observation mapping has not identified any evidence of potential land contaminating activities or imported fill material. Further, the minor works proposed are unlikely to pose any land contamination risks.

## **State Environmental Planning Policy No 64—Advertising and Signage**

The application includes two proposed signs in association with the operation of the building comprising a new building identification sign on the eastern elevation, with 3D illuminated acrylic letters (back lit) linked to external light with wording 'Cook Parade Children's Centre Penrith City Council' and logo.

An assessment has been undertaken of the application against relevant criteria with *State Environmental Planning Policy No 64—Advertising and Signage* and the application is satisfactory as detailed below:

### **1 Character of the area**

The proposal is considered compatible with the existing and desired future character of the area in that the signage clearly identifies the building as the proposed child care centre.

### **2 Special areas**

The proposed development is not located within any environmentally sensitive areas, heritage areas, natural or other conservation areas, open space areas, waterways, rural landscapes or residential areas.

### **3 Views and vistas**

The proposal does not obscure or compromise important views, dominate the skyline, or reduce the quality of vistas.

### **4 Streetscape, setting or landscape**

The scale, proportion and form of the proposal is appropriate for the setting and does not dominate the façade. The signage is clear and minimalist, and in keeping with the overall design of the child care centre.

### **5 Site and building**

The proposal is compatible with the scale and proportion of the building and reflects the colours and materials used in the design of the development.

### **6 Associated devices and logos with advertisements and advertising structures**

No associated devices are proposed as part of the signage due to location of the structure and nature of the use. Penrith City Council's logo is included, at a very small scale and is deemed appropriate.

### **7 Illumination**

Illumination of the signage is proposed, with the letters backlit. Given the location of the centre and its open surrounds, there is not expected to be light spill issues from the sign.

### **8 Safety**

The wall signage proposed is fixed to the building. As such, the signage suitably blends with the wall structure and is not considered to reduce the safety for the public road, pedestrians, cyclists or obscure sightlines.

Should the application be approved, any determination is to include a condition indicating that a separate development application for the erection of any additional signs or advertising structures, other than those listed as exempt development, is to be submitted to Penrith City Council.

## **Sydney Regional Environmental Plan No.20 - Hawkesbury Nepean River**

An assessment has been undertaken of the application against relevant criteria with Sydney Regional Environmental Plan No 20—Hawkesbury-Nepean River (No 2—1997) and the application is considerable capable of complying subject to conditions regarding sediment and erosion control.



## Local Environmental Plan 2010

| Provision                          | Compliance                |
|------------------------------------|---------------------------|
| Clause 1.2 Aims of the plan        | Complies                  |
| Clause 2.3 Permissibility          | Complies - See discussion |
| Clause 2.3 Zone objectives         | Complies - See discussion |
| Clause 4.3 Height of buildings     | Complies - See discussion |
| Clause 7.1 Earthworks              | Complies                  |
| Clause 7.4 Sustainable development | Complies - See discussion |
| Clause 7.6 Salinity                | Complies                  |
| Clause 7.7 Servicing               | Complies                  |

### Clause 2.3 Permissibility

The subject portion of the land containing the child care centre subject to this application is zoned RE1 Public Recreation and the portion containing the car park is zoned B1 Neighbourhood Centre under Penrith LEP 2010.

The proposal is defined as follows:

***'centre-based child care facility means:***

*(a) a building or place used for the education and care of children that provides any one or more of the following:*

- (i) long day care,*
- (ii) occasional child care,*
- (iii) out-of-school-hours care (including vacation care),*
- (iv) preschool care, or*

*(b) an approved family day care venue (within the meaning of the Children (Education and Care Services) National Law (NSW))'*

The proposal is a permissible land use in the zones with Council consent.

### Clause 2.3 Zone objectives

The objectives of the RE1 Public Recreation zone are:

- *To enable land to be used for public open space or recreational purposes.*
- *To provide a range of recreational settings and activities and compatible land uses.*
- *To protect and enhance the natural environment for recreational purposes.*
- *To ensure that development is secondary and complementary to the use of land as public open space, and enhances public use, and access to, the open space.*
- *To provide land for the development of services and facilities by public authorities for the benefit of the community.*

The proposed use is considered compliant with the objectives of the RE1 zone, with the existing and modified child care centre being of benefit for the local community. Amenity is not reduced to the nearby residents, who are not in immediate proximity of the centre.

The objectives of the B1 Neighbourhood Centre zone are:

- *To provide a range of small-scale retail, business and community uses that serve the needs of people who live or work in the surrounding neighbourhood.*
- *To provide retail facilities for the local community commensurate with the centre's role in the local and regional retail hierarchy.*
- *To create opportunities to improve the public domain and encourage the integration of centres with public transport and pedestrian networks.*
- *To ensure that development reflects the desired future character and dwelling densities of the area.*

The proposal continues to be in keeping with the B1 zone, providing community uses to service the people in the surrounding neighbourhood.

#### **Clause 4.3 Height of buildings**

The site on which the centre is located is not identified on the Height of Building Map as having a limit. Notwithstanding this, the proposal remains within the existing building height.

#### **Clause 7.4 Sustainable development**

The proposal satisfies the LEP in that it incorporates design elements to increase energy efficiency and reduce the consumption of natural resources through the upgrade of the aging facilities.

### **Section 4.15(1)(a)(ii) The provisions of any draft environmental planning instrument**

The only Draft State Environmental Planning Policy that is applicable to the proposed development is the Draft Remediation of Land SEPP. The intention of this draft SEPP was to repeal SEPP 55 however the Draft EPI has not progressed since its public exhibition in 2018. The draft provisions do not alter requirements for development to demonstrate that the land is suitable or can be made suitable, and therefore the Draft Instrument has no further considerations beyond what has already been addressed within commentary against SEPP 55 in this report.

## Section 4.15(1)(a)(iii) The provisions of any development control plan

### Development Control Plan 2014

| Provision                                      | Compliance  |
|--|---|
| DCP Principles                                 | Complies  |
| C1 Site Planning and Design Principles         | Complies - see Appendix - Development Control Plan Compliance |
| C2 Vegetation Management                       | Complies - see Appendix - Development Control Plan Compliance |
| C3 Water Management                            | Complies - see Appendix - Development Control Plan Compliance |
| C4 Land Management                             | Complies - see Appendix - Development Control Plan Compliance |
| C5 Waste Management                            | Complies  |
| C6 Landscape Design                            | Complies - see Appendix - Development Control Plan Compliance |
| C7 Culture and Heritage                        | N/A   |
| C8 Public Domain                               | Complies  |
| C9 Advertising and Signage                     | Complies - see Appendix - Development Control Plan Compliance |
| C10 Transport, Access and Parking              | Complies - see Appendix - Development Control Plan Compliance |
| C11 Subdivision                                | N/A   |
| C12 Noise and Vibration                        | Complies - see Appendix - Development Control Plan Compliance |
| C13 Infrastructure and Services                | Complies  |
| D5.1. Application of Certification System      | N/A   |
| D5.2. Child Care Centres                       | Complies - see Appendix - Development Control Plan Compliance |
| D5.3. Health Consulting Rooms                  | N/A   |
| D5.4. Educational Establishments               | N/A   |
| D5.5 Parent Friendly Amenities                 | N/A   |
| D5.6. Places of Public Worship                 | N/A   |
| D5.7. Vehicle Repair Stations                  | N/A   |
| D5.8. Cemeteries, Crematoria and Funeral Homes | N/A   |
| D5.9. Extractive Industries                    | N/A   |
| D5.10 Telecommunication Facilities             | N/A   |
| D5.11 Boarding Houses                          | N/A   |

## Section 4.15(1)(a)(iiia) The provisions of any planning agreement

There are no planning agreements applying to this application.

### **Section 4.15(1)(a)(iv) The provisions of the regulations**

The application has been referred to Council's Building Surveyors for assessment and the proposal complies with the requirements of the Regulations subject to conditions, including requirements for compliance with the Building Code of Australia and fire safety requirements.

### **Section 4.15(1)(b) The likely impacts of the development**

#### ***Context and Setting***

The proposed minor changes to the existing building have been designed to respect the location and siting of the surrounding residential area.

#### ***Noise Impacts***

The proposal does not alter the children numbers from the current licence and as such, the development is not considered to have an adverse noise impact on the surrounding locality. No additional acoustic measures are required.

#### ***Traffic, Access and Parking***

Given there is no change to children numbers, but rather the proposal involves minor changes to the existing aged centre, no additional traffic is expected to be generated by the development and is unlikely to result in any considerable impacts to the local road network.

The centre provides 19 parking spaces and proposes 1 new accessible parking space, exceeding the rates specified in Penrith Development Control Plan 2014.

No adverse traffic generation impacts are expected from the development and that the local road network has adequate capacity to cater for the traffic volumes generated by the development.

#### ***Waste***

The existing waste management operations will continue on site. Construction waste and on-going operational waste can be dealt with by conditions of consent.

#### ***Water Management***

A condition will be recommended regarding the provision of suitable erosion and sediment controls during the construction phase.

#### ***Crime Prevention through Environmental Design (CPTED) and Community Safety Principles***

The operational hours of the centre are restricted and it is considered that the users of the centre are safe during the operation hours.

#### ***Socio-Economic Impacts***

The proposal seeks to undertake minor changes to the existing building for the benefit of the local community.

### **Section 4.15(1)(c) The suitability of the site for the development**

The site is suitable for the following reasons:

- The site is zoned to permit the proposed use.
- The upgrade of an existing facility will improve the functionality and sustainability of the existing centre.
- The use is compatible with surrounding/adjoining land uses.

## Section 4.15(1)(d) Any Submissions

### Community Consultation

The development application was advertised in the local newspaper and notified to owners and occupiers of adjoining and nearby properties between 24 January 2022 to 7 February 2022. During this period, Council received no submissions.

### Referrals

The application was referred to the following stakeholders and their comments have formed part of the assessment:

| Referral Body           | Comments Received                     |
|-------------------------|---------------------------------------|
| Building Surveyor       | No objections - subject to conditions |
| Development Engineer    | No objections                         |
| Tree Management Officer | No objections                         |

## Section 4.15(1)(e)The public interest

The proposed development will not generate any significant issues of public interest.

## Conclusion

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In assessing this application against the relevant environmental planning policies, being Penrith Local Environmental Plan 2010 and Penrith Development Control Plan 2014, the proposal satisfies the aims, objectives and provisions of these policies. The site is suitable for the proposed development, the proposal is in the public interest, and there is unlikely to be negative impacts arising from the proposed development. Therefore, the application is worthy of support, subject to recommended conditions.

## Recommendation

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That DA 21/1000 for alterations and additions to the childcare centre at 37 & 41 Cook Parade, St Clair, be approved subject to the attached conditions.

## CONDITIONS

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### General

1 [A001](#)

The development must be implemented substantially in accordance with the following plans approved by Council, the application form and any supporting information received with the application, except as may be amended in red on the approved plans and by the following conditions.

| Description                             | Drawing No | Rev | Prepared by                          | Dated   |
|---|------------|-----|--------------------------------------|---------|
| Location Plan & Drawing List            | A000       | C   | Barbara Tarnawski Architects Pty Ltd | 19/1/22 |
| Site Survey & External Works            | A001       | C   | Barbara Tarnawski Architects Pty Ltd | 19/1/22 |
| Site Plan Details                       | A002       | C   | Barbara Tarnawski Architects Pty Ltd | 19/1/22 |
| Specifications                          | A003       | B   | Barbara Tarnawski Architects Pty Ltd | 11/8/21 |
| Demolition Plan                         | A101       | B   | Barbara Tarnawski Architects Pty Ltd | 11/8/21 |
| Ground Floor Plan                       | A102       | B   | Barbara Tarnawski Architects Pty Ltd | 11/8/21 |
| Roof                                    | A103       | B   | Barbara Tarnawski Architects Pty Ltd | 11/8/21 |
| Ground Floor RCP                        | A200       | B   | Barbara Tarnawski Architects Pty Ltd | 11/8/21 |
| Section S-01                            | A300       | B   | Barbara Tarnawski Architects Pty Ltd | 11/8/21 |
| Elevation - 01                          | A400       | B   | Barbara Tarnawski Architects Pty Ltd | 11/8/21 |
| Elevation - 02                          | A401       | B   | Barbara Tarnawski Architects Pty Ltd | 11/8/21 |
| Door Schedule                           | A500       | B   | Barbara Tarnawski Architects Pty Ltd | 11/8/21 |
| Window Schedule                         | A501       | B   | Barbara Tarnawski Architects Pty Ltd | 11/8/21 |
| Details - Accessible Bathroom / Kitchen | A600       | B   | Barbara Tarnawski Architects Pty Ltd | 11/8/21 |
| Details - Staff Kitchen / Store         | A601       | B   | Barbara Tarnawski Architects Pty Ltd | 11/8/21 |
| Details - Office / Joinery / Laundry    | A602       | B   | Barbara Tarnawski Architects Pty Ltd | 11/8/21 |

2 [A019 - OCCUPATION CERTIFICATE](#)

**The development shall not be used or occupied until an Occupation Certificate has been issued.**

3 [A026 - Advertising sign \(not for residential\)](#)

A separate development application for the erection of a sign or advertising structure, other than signage or advertising approved by this consent or listed as exempt development, is to be submitted to Penrith City Council, complying with the requirements of Penrith Development Control Plan 2014.

#### 4 [A038 - LIGHTING LOCATIONS](#)

Any lighting system shall be installed for the development is to provide uniform lighting across common areas and driveways.

Exterior lighting shall be located and directed in such a manner so as not to create a nuisance to surrounding land uses. The lighting shall be the minimum level of illumination necessary for safe operation. The lighting shall be in accordance with AS 4282 "Control of the obtrusive effects of outdoor lighting" (1997).

#### 5 [A039 - Graffiti](#)

The finishes of all structures and buildings are to be maintained at all times and any graffiti or vandalism immediately removed/repaired.

#### 6 [A046 - Obtain Construction Certificate before commencement of works](#)

A **Construction Certificate** shall be obtained prior to commencement of any building works.

#### 7 [A Special BLANK](#)

A smoke detection and alarm system complying with AS1670.1-2018 is to be installed throughout the existing building and configured to shut down any air conditioning system in accordance with NSW Table E2.2b of the Building Code of Australia. Details of the proposed system are to be provided **prior to the issue of the Construction Certificate**.

Certification for the installation is to be provided **prior to the issue of an Occupation Certificate**.

### BCA Issues

#### 8 [E001 - BCA compliance](#)

All aspects of the building design shall comply with the applicable performance requirements of the Building Code of Australia so as to achieve and maintain acceptable standards of structural sufficiency, safety (including fire safety), health and amenity for the on-going benefit of the community. Compliance with the performance requirements can only be achieved by:

- (a) complying with the deemed to satisfy provisions, or
- (b) formulating an alternative solution which:
  - complies with the performance requirements, or
  - is shown to be at least equivalent to the deemed to satisfy provision, or
- (c) a combination of (a) and (b).

#### 9 [E01A - BCA compliance for Class 2-9](#)

All aspects of the building design shall comply with the applicable performance requirements of the Building Code of Australia so as to achieve and maintain acceptable standards of structural sufficiency, safety (including fire safety), health and amenity for the on-going benefit of the community. Compliance with the performance requirements can only be achieved by:

- (a) complying with the deemed to satisfy provisions, or
- (b) formulating an alternative solution which:
  - complies with the performance requirements, or
  - is shown to be at least equivalent to the deemed to satisfy provision, or
- (c) a combination of (a) and (b).

It is the owner's responsibility to place on display, in a prominent position within the building at all times, a copy of the latest fire safety schedule and fire safety certificate/ statement for the building.

### Engineering

10 [K201 - Infrastructure Bond](#)

An Infrastructure Restoration Bond is to be lodged with Penrith City Council for development involving works around Penrith City Council's Public Infrastructure Assets. The bond is to be lodged with Penrith City Council prior to commencement of any works on site or prior to the issue of any Construction Certificate or Subdivision Works Certificate, whichever occurs first. The bond and applicable fees are in accordance with Council's adopted Fees and Charges.

An application form together with an information sheet and conditions are available on Council's website.

Contact Penrith City Council's Asset Management Department on 4732 7777 or visit Penrith City Council's website for more information.

11 [K301 - Sediment & Erosion Control](#)

Prior to commencement of any works associated with the development, sediment and erosion control measures shall be installed in accordance with the approved Construction Certificate and to ensure compliance with the Protection of the Environment Operations Act 1997 and Managing Urban Stormwater series from the Office of Environment and Heritage.

The erosion and sediment control measures shall remain in place and be maintained until all disturbed areas have been rehabilitated and stabilised.

## Landscaping

12 [L008 - Tree Preservation Order](#)

No trees are to be removed, ringbarked, cut, topped or lopped or wilfully destroyed (other than those within the proposed building footprint or as shown on the approved plans) without the prior consent of Penrith City Council and in accordance with Council's Tree Preservation Order and Policy.

13 [L012 - Existing landscaping \(for existing development\)](#)

Existing landscaping is to be retained and maintained at all times.

## Certification

14 [Q01F - Notice of Commencement & Appointment of PCA2 \(use for Fast Light only\)](#)

Prior to the commencement of any earthworks or construction works on site, the proponent is to:

- (a) employ a Principal Certifying Authority to oversee that the said works carried out on the site are in accordance with the development consent and related Construction Certificate issued for the approved development, and with the relevant provisions of the Environmental Planning and Assessment Act and accompanying Regulation, and
- (b) submit a Notice of Commencement to Penrith City Council.

The Principal Certifier shall submit to Council an "Appointment of Principal Certifying Authority" in accordance with Section 6.6 of the Environmental Planning and Assessment Act 1979.

### Information to accompany the Notice of Commencement

Two (2) days before any earthworks or construction/demolition works are to commence on site (including the clearing site vegetation), the proponent shall submit a "Notice of Commencement" to Council in accordance with Section 6.6 of the Environmental Planning and Assessment Act 1979.



# Appendix - Development Control Plan Compliance

## Development Control Plan 2014

### Part C - City-wide Controls

The proposal has been assessed against the applicable provisions of Part C of the *Penrith Development Control Plan 2014*, relevantly as follows:

#### C1 Site Planning and Design Principles

The proposed alterations and additions to an existing centre is considered generally desirable as they will have minimal physical and visual impacts on the surrounding development. The proposed alterations will result in a modification of the existing external façade of the childcare centre, however, the proposed external colours and finishes are considered harmonious with the residential dwellings within the locality. The proposal will not alter the height of the existing building. As such, the alterations and additions will not conflict or visually dominate surrounding development.

#### C2 Vegetation Management

The proposal does not include the removal of any trees or vegetation.

#### C4 Land Management

The proposed external works are minor and are unlikely to negatively impact upon the natural landform or result in contamination of land. A condition of consent will be imposed to ensure that appropriate erosion and sedimentation controls measures are installed during all external works.

By viewing Council records and aerial photography of the site, it is unlikely that the land is contaminated. Council's records indicate that the site has been operating as a long term childcare centre in an established community open space area.

The alterations and additions will not result in significant cut or fill and is generally regarded to satisfy the objectives of Part C4 of the Penrith DCP 2014.

#### C6 Landscape Design

The proposal will maintain the existing vegetation within/adjacent to the childcare centre and adjacent to the car parking area.

#### C7 Culture and Heritage

The site is not identified as and is not in the vicinity of any site that is a heritage item, heritage conservation area or archaeological site under the provisions of Penrith LEP 2010.

#### C8 Public Domain

The proposed alterations continues to provide for opportunities for natural surveillance of the public domain.

#### C9 Advertising and signage

The proposal includes a new building identification sign on the eastern elevation, with 3D illuminated acrylic letters (back lit) linked to external light with wording 'Cook Parade Children's Centre Penrith City Council' and logo. An assessment has been undertaken against SEPP 64 and deemed acceptable. Given the location of the centre and distance to surrounding buildings and residences being substantial, no impacts are envisaged from the proposed signage.

### **C10 Transport, access and parking**

The proposed development is for internal renovations with minor access works on the edge of the existing car park near the building entry including line marking of an accessible parking space.

The proposal has been assessed against the provisions of this Section below.

#### *Clause 10.2 Car Parking Rates*

There are currently a total of 19 car parking spots servicing the subject childcare centre. The proposal will not alter this. The following parking requirements apply to Childcare Centres under the provisions of Penrith DCP 2014:

*'1 space per 10 children plus 1 per employee plus provision for any dwelling.'*

In this instance, the maximum number of children is proposed to be 40 at any one time, with 12 staff, resulting in 16 spaces required to satisfy the DCP standard. The car park contains 19 spaces.

Council's Traffic Engineer reviewed the application and concurs with the comments made in the parking assessment.

### **C12 Noise and vibration**

The proposal does not seek to alternate the maximum number of children attending the centre at any one time as per the issued Licence and does not alter the current operating hours.

It is also noted that the application was publicly notified to nearby and adjacent property owners with no submissions received.

### **C13 Infrastructure Services**

Not applicable, as the site is within an established area with adequate access to infrastructure and services.

## **D5 Other Land Uses**

Part 5.2 the DCP describes a number of development controls that apply to child care centres, however the operation of SEPP (Educational Establishments and Child Care Facilities) 2017, which include the application of the Child Care Planning Guidelines, effectively mitigates the application of a number of these controls.

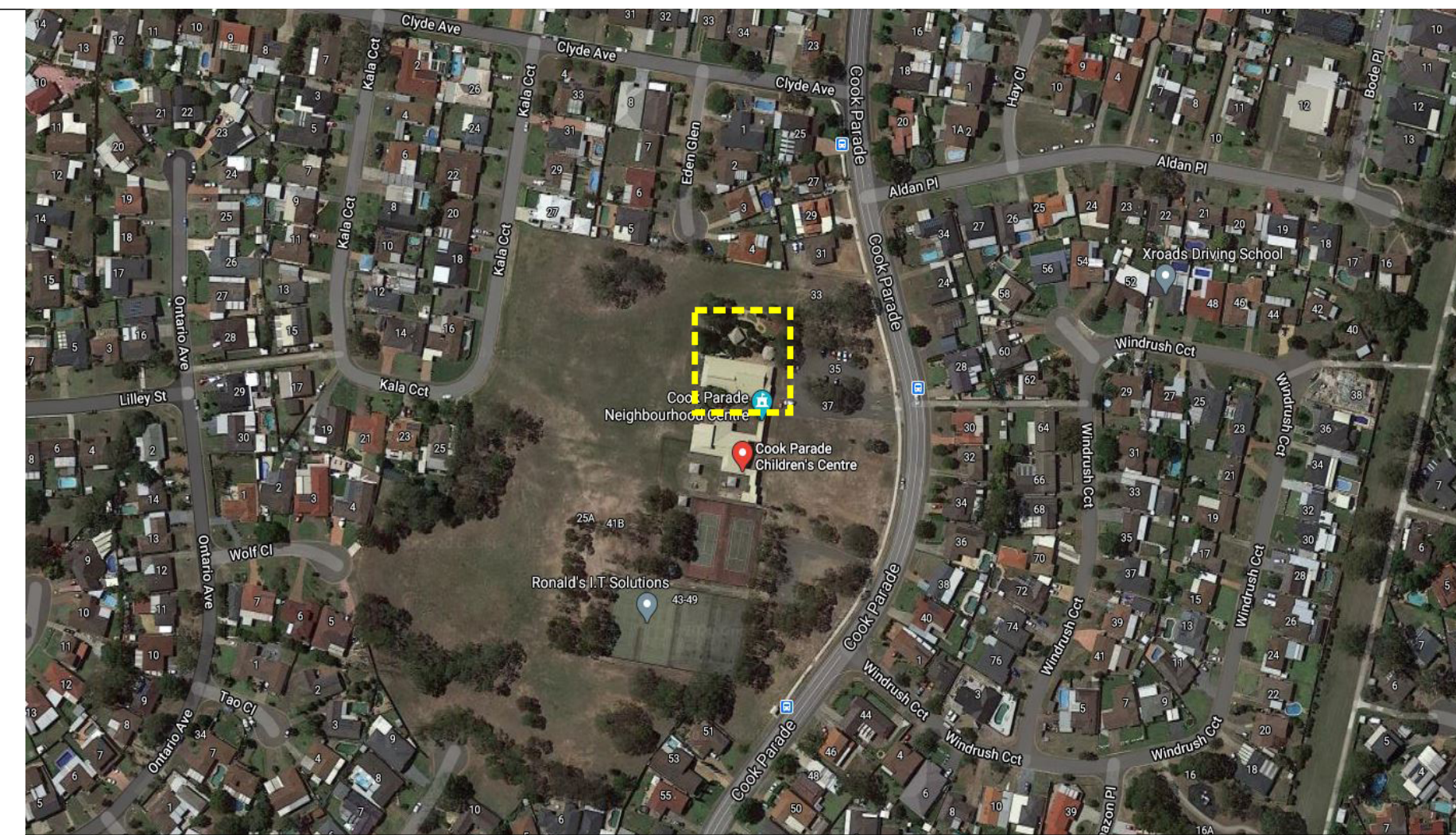
The Child Care Planning Guidelines include reference to local character, streetscape and the public domain interface, building form and scale which have been previously addressed.

The proposed alterations and additions to the existing childcare centre will not alter the services provided by the centre.

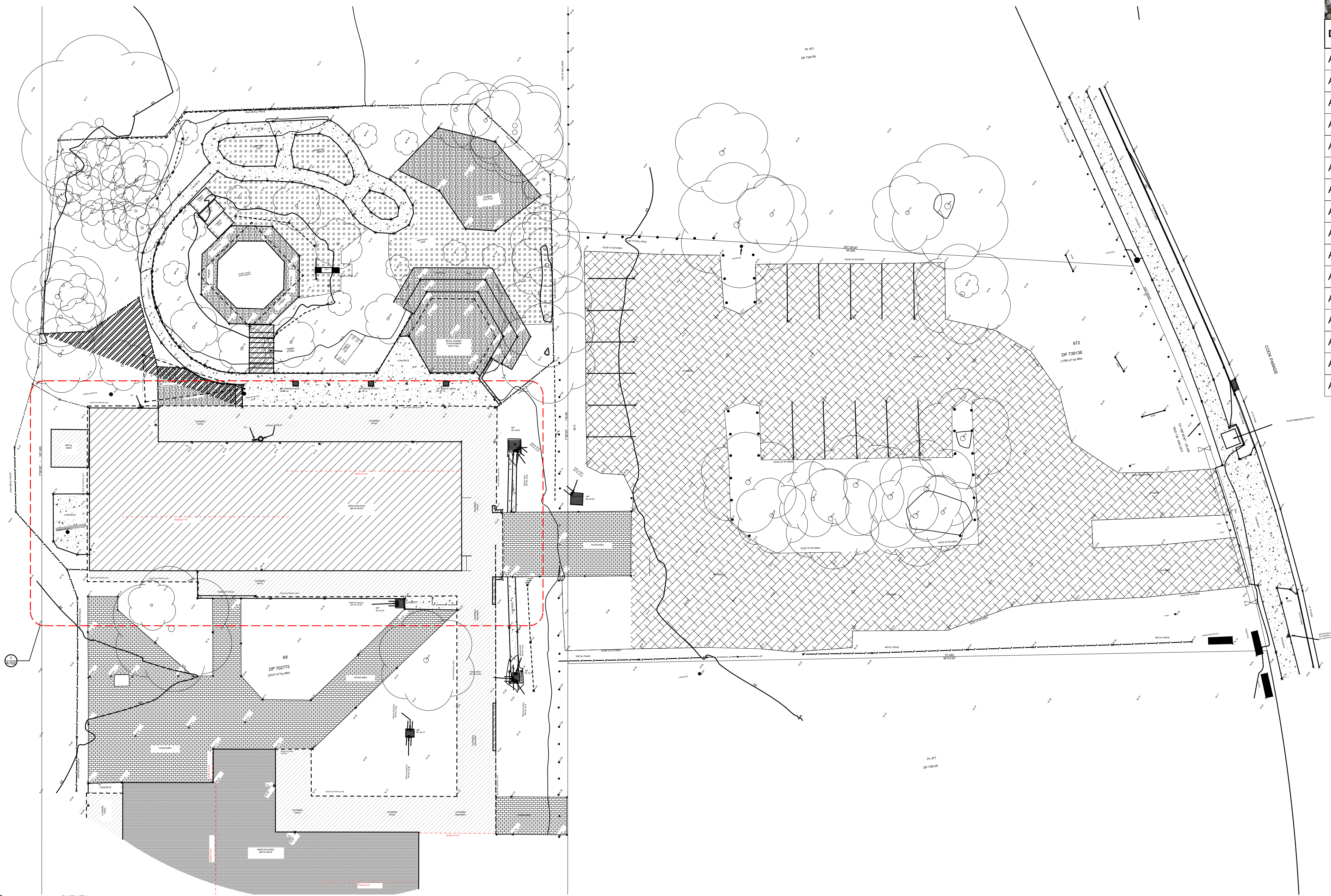
The scale and character of the development will remain consistent with the surrounding development. The DCP controls require that external façade of childcare centres shall incorporate building materials and colours that complement the surrounding development and that the use of bright or garish colours are discouraged. In this regard, the proposal seeks to modernise the external façade and the use of a variety of materials, colours and textures to enhance visual interest. The centre will predominantly complement the surrounding land uses. The proposal also include the installation of business identification signage in Council's corporate logo, which will better define the public domain.

The proposal incorporates CPTED design principals and the entry is limited to one secure point.





| DWG. No. | DESCRIPTION                             | STATUS                            | ISSUE |
|----------|---|-----------------------------------|-------|
| A000     | LOCATION PLAN + DRAWING LIST            | ISSUE FOR DEVELOPMENT APPLICATION | C     |
| A001     | SITE SURVEY AND EXTERNAL WORKS          | ISSUE FOR DEVELOPMENT APPLICATION | C     |
| A002     | SITE PLAN DETAILS                       | ISSUE FOR DEVELOPMENT APPLICATION | C     |
| A003     | SPECIFICATION                           | ISSUE FOR DEVELOPMENT APPLICATION | B     |
| A101     | DEMOLITION PLAN                         | ISSUE FOR DEVELOPMENT APPLICATION | B     |
| A102     | GROUND FLOOR PLAN                       | ISSUE FOR DEVELOPMENT APPLICATION | B     |
| A103     | ROOF                                    | ISSUE FOR DEVELOPMENT APPLICATION | B     |
| A200     | GROUND FLOOR RCP                        | ISSUE FOR DEVELOPMENT APPLICATION | B     |
| A300     | SECTION S-01                            | ISSUE FOR DEVELOPMENT APPLICATION | B     |
| A400     | ELEVATION-01                            | ISSUE FOR DEVELOPMENT APPLICATION | B     |
| A401     | ELEVATION-02                            | ISSUE FOR DEVELOPMENT APPLICATION | B     |
| A500     | DOOR SCHEDULE                           | ISSUE FOR DEVELOPMENT APPLICATION | B     |
| A501     | WINDOW SCHEDULE                         | ISSUE FOR DEVELOPMENT APPLICATION | B     |
| A600     | DETAILS - ACCESSIBLE BATHROOM / KITCHEN | ISSUE FOR DEVELOPMENT APPLICATION | B     |
| A601     | DETAILS - STAFF KITCHEN / STOREROOMS    | ISSUE FOR DEVELOPMENT APPLICATION | B     |
| A602     | DETAILS - OFFICE / JOINERY / LAUNDRY    | ISSUE FOR DEVELOPMENT APPLICATION | B     |



SURVEY  
1:200

| Issue | Date       | Amendments  |
|-------|------------|---|
| A     | 25/05/2021 | ISSUED FOR APPROVAL   |
| B     | 11/08/2021 | ISSUED FOR APPROVAL   |
| C     | 19/01/2022 | Survey added, concrete pathway deleted to garbage bin store |

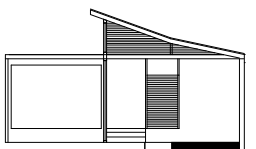
**NOTES**  
Structural engineering as required for all structural works, including paths, slabs, new walls, roof, columns, beams.  
Refer to Access report for accessibility requirements.  
Refer to Specifications.  
NOTE - tempering valves to all hot water provisions. Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.

**PENRITH CITY COUNCIL**  
Client  
**Penrith City Council**  
601 High Street Penrith

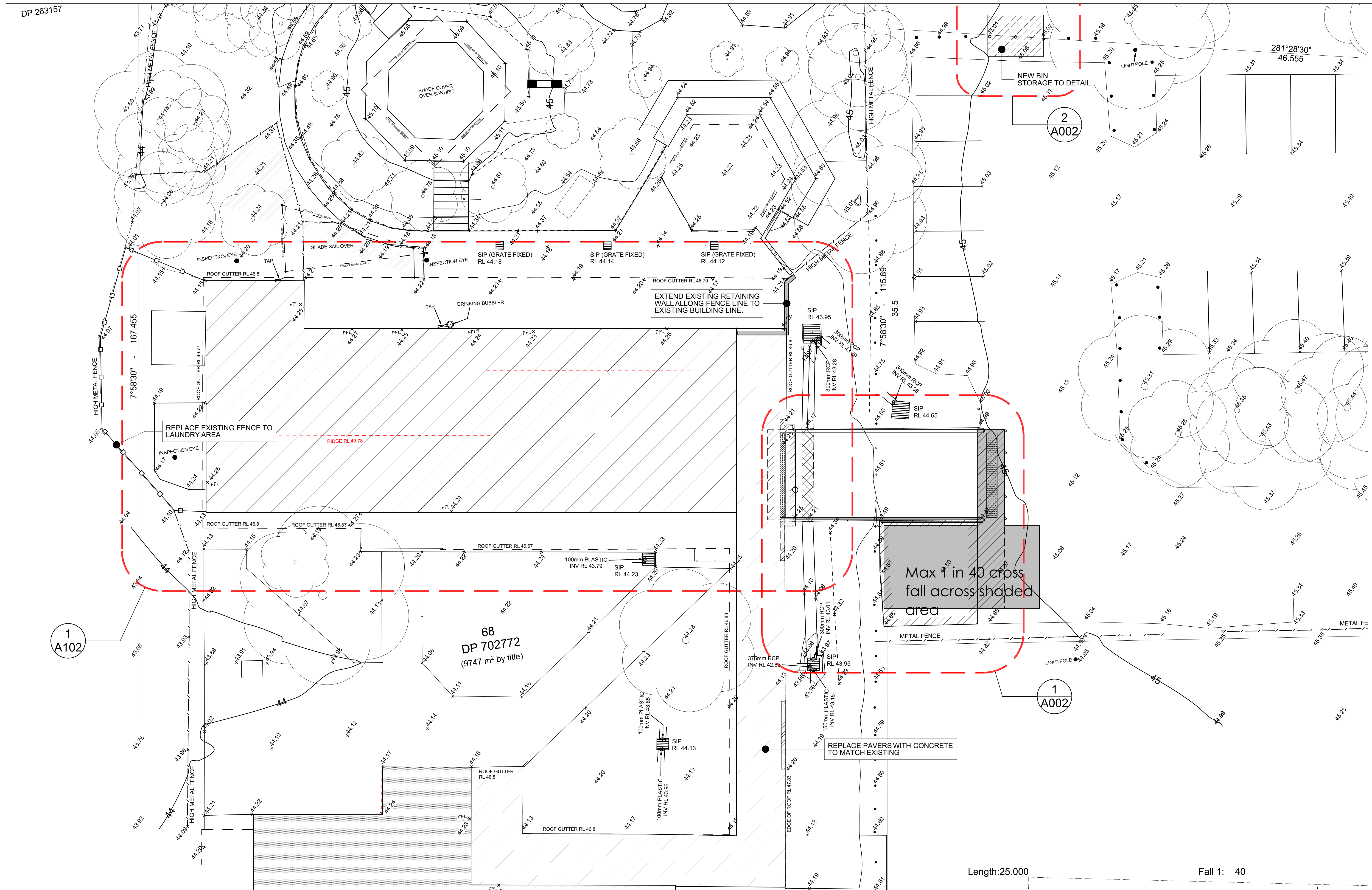
Project  
**Cook Parade Child Care Centre**  
41 Cook Parade St Clair NSW 2760

Stage  
**Development Application**  
Drawing Title  
**LOCATION PLAN + DRAWING LIST**  
Drawing No.  
**200203 - A000**  
Date  
**05/05/21**  
Drawn by  
**WLM**  
Original Sheet size  
**A1**  
Project No.  
**200505**  
Issue  
**C**

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www.btarchitects.com.au  
**Barbara Tarnawski Architects Pty Ltd**  
CHECK ALL DIMENSIONS ON SITE.  
REFER ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORKS.







Length: 25.000

Fall 1: 40

| Issue | Date       | Amendments                                    |
|-------|------------|---|
| A     | 25/05/2021 | ISSUED FOR APPROVAL                           |
| B     | 11/08/2021 | ISSUED FOR APPROVAL                           |
| C     | 19/01/2022 | Concrete pathway deleted to garbage bin store |

SCALE 1:100 @A1  
SCALE 1:200 @A3

**NOTES**  
Structural engineering as required for all structural works, including paths, slabs, new walls, roof, columns, beams.  
Refer to Access report for accessibility requirements.  
Refer to Specifications.  
NOTE - tempering valves to all hot water provisions. Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc.

**PENRITH CITY COUNCIL**  
Client  
**Penrith City Council**  
601 High Street Penrith

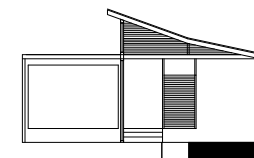
Project  
**Cook Parade Child Care Centre**  
41 Cook Parade St Clair NSW 2760

| Stage  |          | Original Sheet size |             | Project No.                         |  | Issue |  |
|--|----------|---------------------|-------------|-------------------------------------|--|-------|--|
| Development Application                                |          | A1                  |             | 200505                              |  | C     |  |
| Drawing Title<br><b>SITE SURVEY AND EXTERNAL WORKS</b> |          |                     |             | Drawing No.<br><b>200203 - A001</b> |  |       |  |
| Date   | Drawn by | Original Sheet size | Project No. | Issue                               |  |       |  |
| 05/05/21   | WLM      | A1                  | 200505      | C                                   |  |       |  |

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- NOTES:
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  - \* DATUM DERIVED USING RTK GNSS TECHNIQUES, VERIFIED AGAINST PM178491, RL 32.079 (SOURCE SCIMS DATED 03-09-2020)
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  - \* LOT 68 IN DP702772 IS AFFECTED COVENANT [V533278]. NO INVESTIGATION OF THE TERMS OF THE ENCUMBRANCE HAS BEEN MADE BY THIS SURVEY.

**PENRITH CITY COUNCIL**  
 801 High Street  
 Penrith N.S.W. 2750

BAR SCALE  
 0 1 2 3 4 6 8 10  
 Scale 1:100

HEADING: **DETAIL SURVEY OVER LOT 672 IN DP739138 & PART OF LOT 68 IN DP702772 41 COOK PARADE ST CLAIR**

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|   |                        |                           |                                  |
|---|------------------------|---------------------------|----------------------------------|
| CLIENT: DESIGN & PROJECTS                     | HOR. SCALE @ A0: 1:100 | VERTICAL DATUM: AHD       | DATE OF SURVEY: 01-09-2020       |
| PROJECT NAME: NOT AVAILABLE AT DATE OF SURVEY | SURVEYOR: WS           | HORIZONTAL DATUM: MGA2020 | SHEET 1 OF 2 SHEETS              |
| PROJECT NUMBER: MP94143                       | DRAWN BY: WS           | CONTOUR INTERVAL: 0.5m    | SURVEY REFERENCE NUMBER: SURV029 |
| ASSET NUMBER: B0320                           | CHECKED BY: WS         | STORIED                   |                                  |

| REV. | DESCRIPTION    | DATE REV. ISSUED |
|------|----------------|------------------|
| 00   | ORIGINAL ISSUE | 03-09-2020       |
|      |                |                  |
|      |                |                  |
|      |                |                  |
|      |                |                  |



| WINDOW No. | TOP OF WINDOW RL        | SILL OF WINDOW RL |
|------------|-------------------------|-------------------|
| (1)        | 47.99                   | 47.32             |
| (2)        | 47.98                   | 46.96             |
| (3)        | 47.98 (TOP OF DOOR)     | -                 |
| (4)        | 47.98                   | 47.01             |
| (5)        | 47.92 (TOP OF DOOR)     | -                 |
| (6)        | 47.98                   | 46.82             |
| (7)        | 47.05 (TOP SHADE BLIND) | NOT VISIBLE       |
| (8)        | 47.05 (TOP SHADE BLIND) | NOT VISIBLE       |
| (9)        | 47.05                   | NOT VISIBLE       |
| (10)       | 47.05 (TOP SHADE BLIND) | NOT VISIBLE       |
| (11)       | 47.05                   | 46.47             |

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**PENRITH CITY COUNCIL**  
 601 High Street  
 Penrith N.S.W. 2750

BAR SCALE  
 0 1 2 3 4 6 8 10  
 Scale 1:100

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CLIENT: DESIGN & PROJECTS

PROJECT NAME: NOT AVAILABLE AT DATE OF SURVEY

PROJECT NUMBER: MPP4143

ASSET NUMBER: B0320

HOR. SCALE @ A0: 1:100

SURVEYOR: WS

DRAWN BY: WS

CHECKED BY: WS

VERTICAL DATUM: AHD

HORIZONTAL DATUM: MGA2020

CONTOUR INTERVAL: 0.5m

SURVEY REFERENCE NUMBER: SURV029

DATE OF SURVEY: 01-09-2020

SHEET 2 OF 2 SHEETS

REV. 00 DESCRIPTION ORIGINAL ISSUE DATE REV. ISSUED 03-09-2020



| Item   | Manufacturer                    | Product Number / Model Number   | Details  | Finishes /                                      | Notes   |
|--|---------------------------------|---|--|---|---|
| <b>GENERAL</b>                                       |                                 |   |  |   |   |
| Floor - Tiles (carpet)                               | Tarkett                         | Essence Structure Probosc B399-9503 710400010   |  | Medium Grey                                     |   |
| Floor - Vinyl (Wood Look)                            | Tarkett                         | Accent Ruby - Oak Grey - 25098036   |  | Grey Oak  |   |
| Door - Electronic Door Opener with Biometric Control | Argus Global                    | MPH-MFV-BIO (IP65 finger vein access device), MPH-MSO-x10 (finger vein desktop enrolment unit), MPH-SW-MGR (software), ARG-PS-ENG (professional Services) | MPH-MFV-BIO (IP65 finger vein access device), MPH-MSO-x10 (finger vein desktop enrolment unit), MPH-SW-MGR (software), ARG-PS-ENG (professional Services)                      |   | Biometrics Finger Print Technology for main entry door, allow for CAT 5 cabling   |
| Door - Gates (front)                                 | Penrith Wrought Iron            |   | Double gate front entry setup with pool latch auto close   |   |   |
| Window - Blinds                                      | Riverland                       | Roller Blind  |  |   | Colour to suit centre   |
| Window - security screen                             | Vandal Proof Mesh               |   |  |   | Provide antivandal screws rather than propriety system  |
| Skirting-aluminium flat                              | Brushed Aluminium Skirting      |   | to hallways and traffic areas to prevent damage to traditional timber skirting   |   |   |
| Skirting - aluminium ducted                          | Skittec                         | 35x150mm - Anodised Aluminium   | 3xchannel  |   |   |
| Wall - Corner Protection                             |                                 | Clear Corner Edge Protection Strips   |  |   | secured to all corners in high traffic areas to prevent damage to walls and paintwork   |
| Playroom Gates                                       |                                 | Pool fence type gate 1.2m high  |  |   |   |
| External - Decking                                   | Modwood                         | 90x19mm   |  |   | frame built to code in all H4 treated pine timber   |
| External - Tiles                                     |                                 |   |  |   |   |
| Painting - Ceiling                                   |                                 |   |  | Ceiling white - colour - white, finish - matt   |   |
| Painting - Walls                                     | Dulux                           | Wash and wear- Low Sheen  |  | Colour - Hogs Bristle 1/2                       |   |
| Painting - Timber                                    | Dulux                           | High enamel gloss   |  | Colour - 30% difference to wall colour          |   |
| Walls Internal sheeting below chair rail             | James Hardie                    | Scyon Axon Cladding - Product Number - 404419 (9mm thick 400mm wide grooved sheet smooth finish)  | To be installed on the lower section of the wall to 1000mm high, this will prevent damage in the future and to be painted with semi gloss paint for easy cleaning.             |   |   |
| Chair Rail   | Porta                           | IN 81319 - 40x8mm Tasmanian Oak Round Edge Coverstrap Moulding  | Round edge moulding for chair rail, can use similar moulding with rounded edges but must be hardwood   |   |   |
| Cupboards  |                                 | 16mm laminate cupboards white with 2mm PVC edge strip   | Adjustable shelving. Upper cupboards to have bulkhead to ceiling where possible  | Chauk White cabinets, brook pebble Cabinet tops | Pencil round edge to all general joinery. Office joinery is all in select beech. Allow for 2mm PVC impact resistant PVC edging and any shelving over 900 wide to be 25mm thick. |
| Cupboard door and drawer handles                     | Prestige                        | 192mm SCP0932036  |  |   |   |
| Cupboard hinges                                      |                                 |   |  |   |   |
| Drawer runners                                       |                                 |   |  |   |   |
| <b>BATHROOM</b>                                      |                                 |   |  |   |   |
| Soap Dispenser                                       | Dispenser Washroom Instant Foam | IFS1LDS   | Note: All toilets to be concealed cisterns where possible to reduce cleaning requirements and improve aesthetics.  |   |   |
| Hand Sanitiser                                       | Deb Stoko Sanitiser             | SAN1LDS   |  |   |   |
| Paper Towel Dispenser                                | Interleaved                     | DIS1005   |  |   |   |
| Toilet Paper Dispenser                               | Livi                            | 5602 - Twin Toilet Roll Dispenser Side by Side  |  |   |   |
| Taps Basin Set                                       | Posh                            | 9502222 - Bristol Basin Lever Set   |  |   | Basin Set Lever Ceramic Disc  |
| Childrens Toilet Closed Couple Wall Faced            | Caroma                          | 766630W - Liano Junior Cleanflush Wall Faced Toilet Suite   |  |   | To be installed on silicon with a silicon joint installed around the pan and cisten and between the pan and cisten connection   |
| Floor  | Teraflake                       | Teraflake Epoxy Floor Coating   | 150mm covered epoxy floor coating  | grey  |   |
| Wall Tiling  |                                 | White 400x200mm ceramic tiles   |  | white   |   |
| Sleuth   | Caroma                          | 618320W   |  |   |   |
| Mirror   |                                 | aluminium framed mirror size to suit application  |  |   |   |
| Hydraulic Nappy Change                               | Reflex                          | SKU: RE KUBJAC  | easy push button battery operated scissor lift system nappy change table.  |   |   |
| Basin Wall Mounted                                   | Porcher                         | Studio Wall Basin 350mm - Single Hole flick mixer   |  |   |   |
| <b>KITCHEN</b>                                       |                                 |   |  |   |   |
| Benchtop   | Various                         |   | Stainless Steel Benchtops 33mm particleboard substrate with coved 140mm splash back to plywood backing to continue from benchtop surface to wall with no joints                |   |   |
| Cupboards  | Various                         | 16mm laminate cupboards white with 2mm PVC edge strip   |  |   | Upper cupboards to have bulkhead to ceiling where possible - Colour: White  |
| Plinth   |                                 |   | 150mm, solid construction (concrete filled)  |   |   |
| Drawers  |                                 |   |  |   |   |
| Cupboard and drawer handles                          |                                 |   |  |   |   |
| Cupboard hinges                                      |                                 | ms  |  |   |   |
| Drawer hinges  |                                 |   |  |   |   |
| Hand Wash Basin                                      | Clark                           | Orion main bowl overmount   |  |   |   |
| Double Bowl Sink                                     | Clark                           | Orion double bowl overmount   |  |   |   |
| Tap Single Bowl                                      | Enware                          | SLM606D   | single lever basin mixer with extended lever handle  |   | to be used on hand wash basin   |
| Tap Double Bowl                                      | Enware                          | SLM607D   | single lever basin mixer with extended lever handle  |   | to be used on kitchen sink  |
| Wall Tiling  |                                 | White 400x200mm ceramic tiles   |  | white   |   |
| Oven   | Westinghouse                    | WVE915SB  | 900mm under bench over   |   |   |
| Dishwasher   | Eswood                          | ES25  | pass through dishwasher  |   |   |
| Cooktop  | Westinghouse                    | WHC942BC  | 900mm electric ceramic cooktop   |   |   |
| Fridge / Freezer                                     | Westinghouse                    | WSE6200SA   | 620L Side by Side  |   |   |
| Fridge   | Westinghouse                    | WRB5004SA   | 501L upright fridge  |   |   |
| Rangehood  | Fisher & Paykel                 | HC120DCXB3  | 1200mm wall chimney box rangehood  |   |   |
| Microwave  | Westinghouse                    | WMS281SF  | 900w   |   |   |
| Freezer  | Westinghouse                    | WFB4204SA   | 425L verticle freezer  |   |   |
| Kitchen Floor  | Tarkett                         | R11 Slip Rated Vinyl  | R11 Slip Rated Commercial hot weld colour to match with vinyl coved min 25m radius in corners and continue up wall 150mm. Cove to have a preformed backing piece. Colour: Grey |   |   |

**GENERAL ACCESS SPECIFICATIONS 20074 C**

Applies to New areas, modified areas and areas within the affected path (ie from main entry doorways to the new and modified areas)

**All Doors:**

- Except for non-accessible sanitary facilities, all single hinged doors and in case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulations spaces as per AS1428.1-2009.
- When using sliding doors / bifold doors, flush transition is required so provide fully recessed floor tracks. Also, all sliding doors to have 530mm minimum available to latch side of the sliding door to enable access to door handle.
- All glazed doors and other glazed areas to have glazing strips. The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.
- All doorways to have a minimum luminance contrast of 30% provided between Door leaf and door jamb or Door leaf and adjacent wall or Architrave and wall or Door leaf and architrave or Door jamb and adjacent wall. The minimum width of the luminance contrast to be 50mm.
- All external doorways can either have flush door thresholds or can have a max drop of 35mm at threshold when used in combination with a doorway threshold ramp of 1:8 grade within 20mm of the door leaf.

**Door hardware requirements:**

- D shaped door handles to be used, located at 900-1100mm above FFL
- Clearance between the handle and the back plate or the door face at the center grip section of the handle to be between 35-45mm with a minimum of 20mm turn at the end of the handle
- Use either Lockwood or KABA commercial joinery – mortice locks where required with cylinder allowance to suit existing council abloy locks

**All stairways require the following:**

- All stairways to be compliant with: AS1428.1-2009, including but not limited to opaque risers, with 1M clear space (handrail to handrail /wall)
- Each tread to have a nosing strip between 50mm-75mm for the full width of the stair, which can be setback for a maximum of 15mm from the front of the nosing. This strip is to have a minimum luminance contrast of 30% to the background and to comply with any change in level requirements if attached on the treads.
- Handrails to be located between 865mm-1000mm above FFL, with no vertical sections. Diameter of handrails to be between 30mm-50mm and located not less than 50mm from adjacent walls with no obstructions to top 270' arc.
- Slip resistance to also comply with BCA Table D2.14 when tested in accordance with AS4586. For treads and landings, slip resistance of R11 / P4 and for nosing strips slip resistance of P4 should be provided when tested as per AS4586.

**In addition to the above all non-fire-isolated stairways require the following:**

- Handrails to be provided to both sides and to extend a minimum of 300mm horizontally past the nosing on the top riser. At the bottom of the stairs the handrail is to extend at least one tread depth parallel to the line of the nosing, plus a minimum of 300mm horizontally from the last riser.

**All 1:20 walkways require the following**

- For 1:20 grade walkways, 1.2M length (in direction of travel) landings are required every 15M.
- The floor surface abutting the sides of the walkway to be provided with a firm and level surface (of a different material) at the same level and grade of the walkway and extend horizontally for a minimum of 600mm unless one of the following is provided: kerb, kerb-rail and handrail or wall of minimum 450mm height.

**Braille / Tactile Signage as per BCA requirements to be provided to:**

- All doors nominated as Exit doors require signage
- All Sanitary Facilities and airlocks to sanitary facilities including accessible and ambulant toilets require signage
- All non-accessible entry points from the site boundary require signage with arrow pointing towards the accessible entry.

**TGSIs are required in the following locations (only to non-fire-isolated stairways and ramps):**

- At top and bottom landings, 600-800mm depth or min 12 discrete cones are required at 300+/-10mm from edge of hazard (unless the landings are less than 3M, in which case, provide 300mm depth)
- At mid landings, 300-400mm depth or min 6 discrete cones are required only where handrails are not continuous or landing or if landing is less than 3M.

**Compliance is required with AS1428.4.1. Luminance contrast requirements of TGSIs are to be as listed below.**

- Integrated TGSIs require min of 30%. Discrete TGSIs require min of 45%
- Discrete with 2 colours require the raised surface to have a min of 60%

**Floor or ground surfaces**

- The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability.
- Abutment of surfaces is to have a smooth transition (this includes door thresholds of accessible sanitary facilities).
- Construction tolerances to be +/- 3mm vertical or +/-5mm (provided the edges have a bevelled or rounded edge).
- Grates (if used in the accessible path of travel) are required to comply with AS1428.1.

**Accessible Car parking to fully comply with AS2890.6, including the following:**

- Dedicated space 2.4Mx5.4M, Shared space 2.4Mx5.4M to be at the same level
- Slip resistant flooring surface with maximum fall 1:40 in any direction or maximum 1:33 if bituminous and outdoors
- Central Bollard in shared space at 800+/-50mm from entry point
- Pavement marking in dedicated space by means of access symbol between 800mm-1000mm high placed on a blue rectangle of maximum 1200mm and between 500mm-600mm from its entry point (marking not required where allocated to an Adaptable unit)
- Minimum headroom of 2.2M at entrances and 2.5M is required over shared zones as well as dedicated spaces
- Non-trafficked area of the shared space to have yellow marking strips at 45', 150-200mm wide at 200mm-300mm spaces
- The pavement marking shall have the appropriate slip resistance for the location.

**Slip resistance requirements:**

- Slip resistance to be as per BCA Table D2.14 when tested in accordance with AS4586.
- Refer to guide HB 197/198 for details in regards to compliance requirements.

**Accessible toilet:**

- The Accessible toilet to be constructed as per requirements of AS1428.1-2009
- Setout of pan to be 800+/-10mm from rear wall and the c/d of pan is to be 450-460mm from side wall. Top of seat of WC pan is to be 460-480mm above FFL
- The top of the washbasin is to be between 800-830mm above FFL. Water taps to be lever or sensor with 50mm clear from any surface
- Seat to be full round, take 150kg weight and provide 30% luminance contrast to the background
- Backrest to be 150-200mm height, 350-400mm width and 120-150mm above the seat at an angle of 95'-100' back from seat hinge
- Flushing control to be proud of surface and located between 900-1100mm above FFL at back or side wall, clear of grabrail area
- Top of toilet paper dispenser is to be located maximum of 700mm above FFL and maximum of 300mm from edge of pan
- Grabrails, 30-40mm diameter, placed 50-60mm clearance from wall, with no obstructions to top 270' arc, are to be provided to rear and side wall (90' or 30' - 45'). Horizontal component to be 800-810mm above FFL. Fastenings and construction of grabrails to be capable to withstand 1100N of force.
- Mirror to start from 900mm above FFL, till minimum of 1850mm above FFL
- Clothes hanging device to be at height of 1200-1350mm above FFL and at least 600mm from any internal corner
- Shelf to be 300-400mm length and 120-150mm wide and located 900-1000mm above FFL
- Soap and paper towel dispensers where provided, to be installed with height of the operative component between 900-1100mm above FFL and no closer than 500mm from an internal corner.

Door to the Accessible toilet requires AS1428.1 compliant door circulation spaces. When door swings next to the washbasin a clear 300mm is required between the door swing and the washbasin.

**Accessible Shower:**

Showers for Accessible use are to be designed in accordance with AS1428.1.

- Flooring to be slip-resistant
- Folding seat to be self-draining, slip-resistant, corners rounded to 10-15mm, fold in upwards direction and fastenings, materials and construction to be able to withstand a force of 1100N
- Not less than 2 clothes hanging devices, one within 400+/-10mm and other within 600+/-10mm of the folding seat. Clothes hanging device to be at height of 1200-1350mm above FFL and at least 500mm from any internal corner
- The floor of shower recess to have a floor grade between 1:60 to 1:80 and the remainder area of bathroom to be between 1:80 and 1:100
- Waste outlet to be center of the shower recess, alternatively a strip drain against the wall is also permissible.
- Showerhead to be hand-held type adjustable between 1000-1800mm above FFL on shower head support rail
- Water outlet for shower and back flow prevention device to be located 700mm above FFL.

| FIXTURE +FITTINGS UNISEX ACCESS WC – ALL FIXTURES AND FITTINGS MUST COMPLY WITH AS1428 |   |
|--|---|
| <b>Common</b>  |   |
| <b>WC</b>  | Disabled toilet with closed couple cistern Caroma – Care 800 Cleanflush wall faced suite with backrest and Pedigree 11 Care single flap seat. To be installed on silicon with a silicon joint installed around the pan and cisten and between the pan and cisten connection |
| <b>HB</b>  | Caroma - Care 700 Wall Basin (873410W) Right/Left Hand Shelf (TBC on site) with Ceramic Shroud (632601)   |
| <b>Tap</b>   | Basin Set Caroma - Acqua Care Basin Mixer (PC: 90989C5A)  |
| <b>Grabrails</b>   | Caroma Virtu Comfort 840x700mm RH 140 deg Angle + Caroma Virtu Comfort 450mm Straight   |
| <b>Soap Dispenser</b>  | by council  |
| <b>Hand Sanitiser</b>  | by council  |
| <b>Paper Towel Dispenser</b>   | JD MacDonald – 10-0462-AD-9: SURFACE MOUNTED PAPER TOWEL DISPENSER & WASTE BIN 7.6L - TRADITIONAL COLLECTION  |
| <b>Toilet Paper Dispenser</b>  | by council  |
| <b>Mirror</b>  | JD MacDonald - Tempered Glass Mirror - Model No 10-0600-V1839 (460 x 990mm overall)   |
| <b>Shower Set</b>  | Caroma – Virtu Plus Starsafe II Inverted T Right hand Accessible Shower Set Caroma – Skandic Shower Mixer with Diverter   |
| <b>Shower</b>  | Seat Caroma – Virtu Comfort Shower Seat – 960 x 400mm   |
| <b>Shower Rail</b>   | RBA 4177-120 curtain rail and curtain   |

| Issue | Date       | Amendments          | NOTES   |
|-------|------------|---------------------|---|
| A     | 25/05/2021 | ISSUED FOR APPROVAL | Structural engineering as required for all structural works, including paths, slabs, new walls, roof, columns, beams.   |
| B     | 11/08/2021 | ISSUED FOR APPROVAL | Refer to Access report for accessibility requirements. Refer to Specifications.<br><br>NOTE - tempering valves to all hot water provisions. Backflow valves required next to all wash down hoses next to sluices, irrigation systems etc. |



Client  
**Penrith City Council**  
601 High Street Penrith

Project  
**Cook Parade Child Care Centre**  
41 Cook Parade St Clair NSW 2760

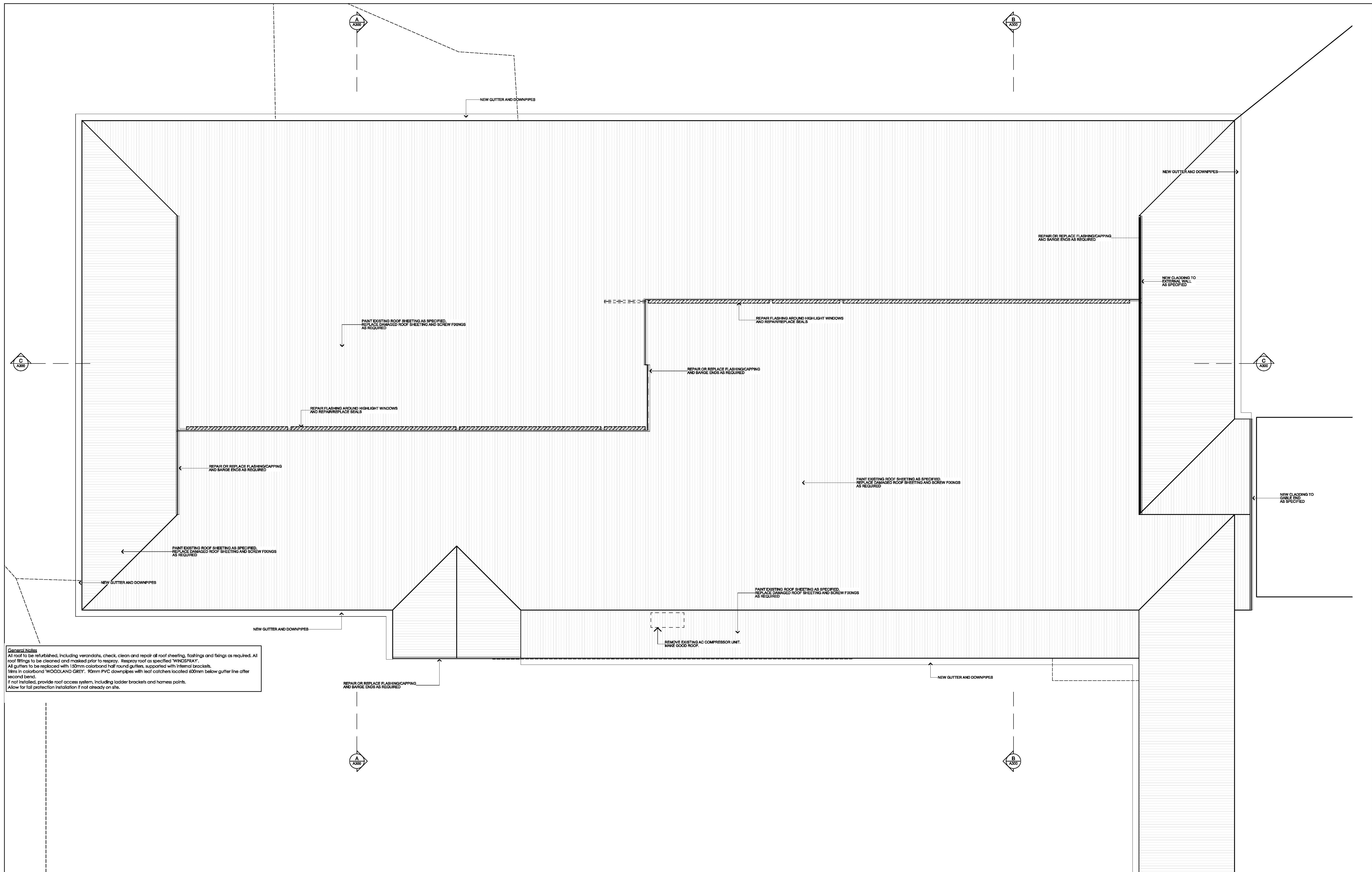
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|---------------------|---------------|-------------------------|--------|
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| Date                | 05/05/21      | Drawn by                | WLM    |
| Original Sheet size | A1            | Project No.             | 200505 |
| Issue               | B             | Issue                   | B      |

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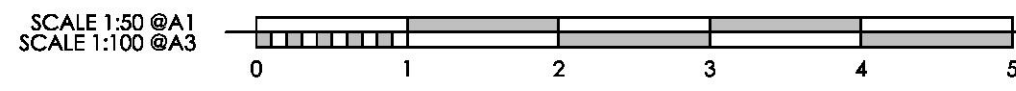
CHECK ALL DIMENSIONS ON SITE. REFER ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORKS.





**General Notes**  
 All roof to be refurbished, including verandahs, check, clean and repair all roof sheathing, flashings and fixings as required. All roof fixings to be cleaned and masked prior to respray. Respray roof as specified "WINDSPRAY".  
 All gutters to be replaced with 150mm colorbond half round gutters, supported with internal brackets.  
 Firms in colorbond "WOODLAND GREY". 90mm PVC downpipes with leaf catchers located 400mm below gutter line after second bend.  
 If not installed, provide roof access system, including ladder brackets and harness points.  
 Allow for fall protection installation if not already on site.

| Issue | Date       | Amendments          |
|-------|------------|---------------------|
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| B     | 11/08/2021 | ISSUED FOR APPROVAL |



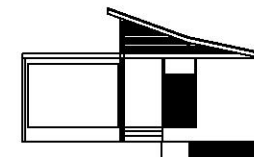
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Stage  
**Development Application**  
 Drawing Title  
**ROOF**  
 Drawing No.  
**200203 - A103**  
 Date  
**05/05/21**  
 Drawn by  
**WLM**  
 Original Sheet size  
**A1**  
 Project No.  
**200505**  
 Issue  
**B**

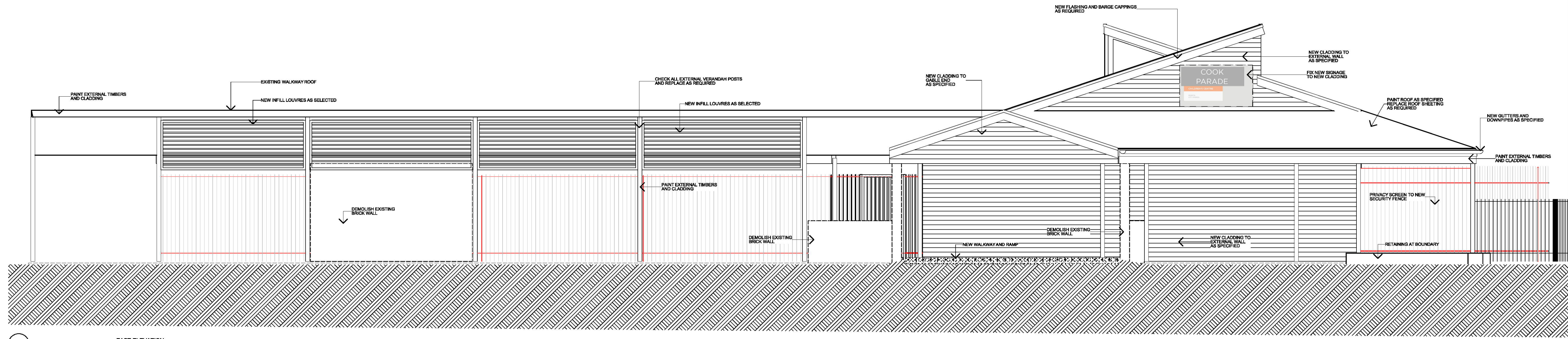
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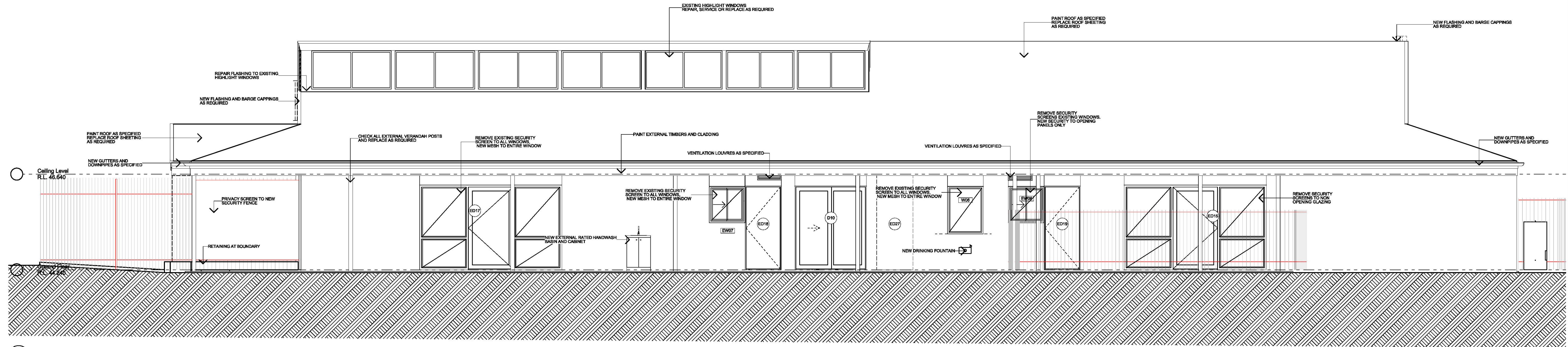






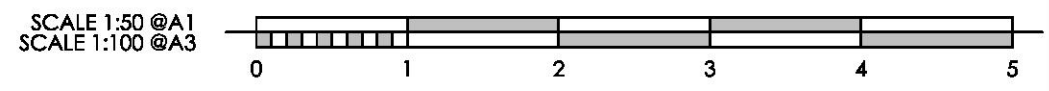


1 EAST ELEVATION 1:50



2 NORTH ELEVATION 1:50

D03 | W03 NEW DOOR/WINDOW  
ED03 | EW03 EXISTING DOOR/WINDOW



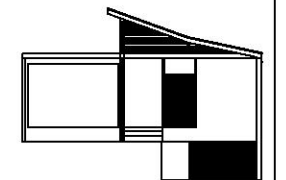
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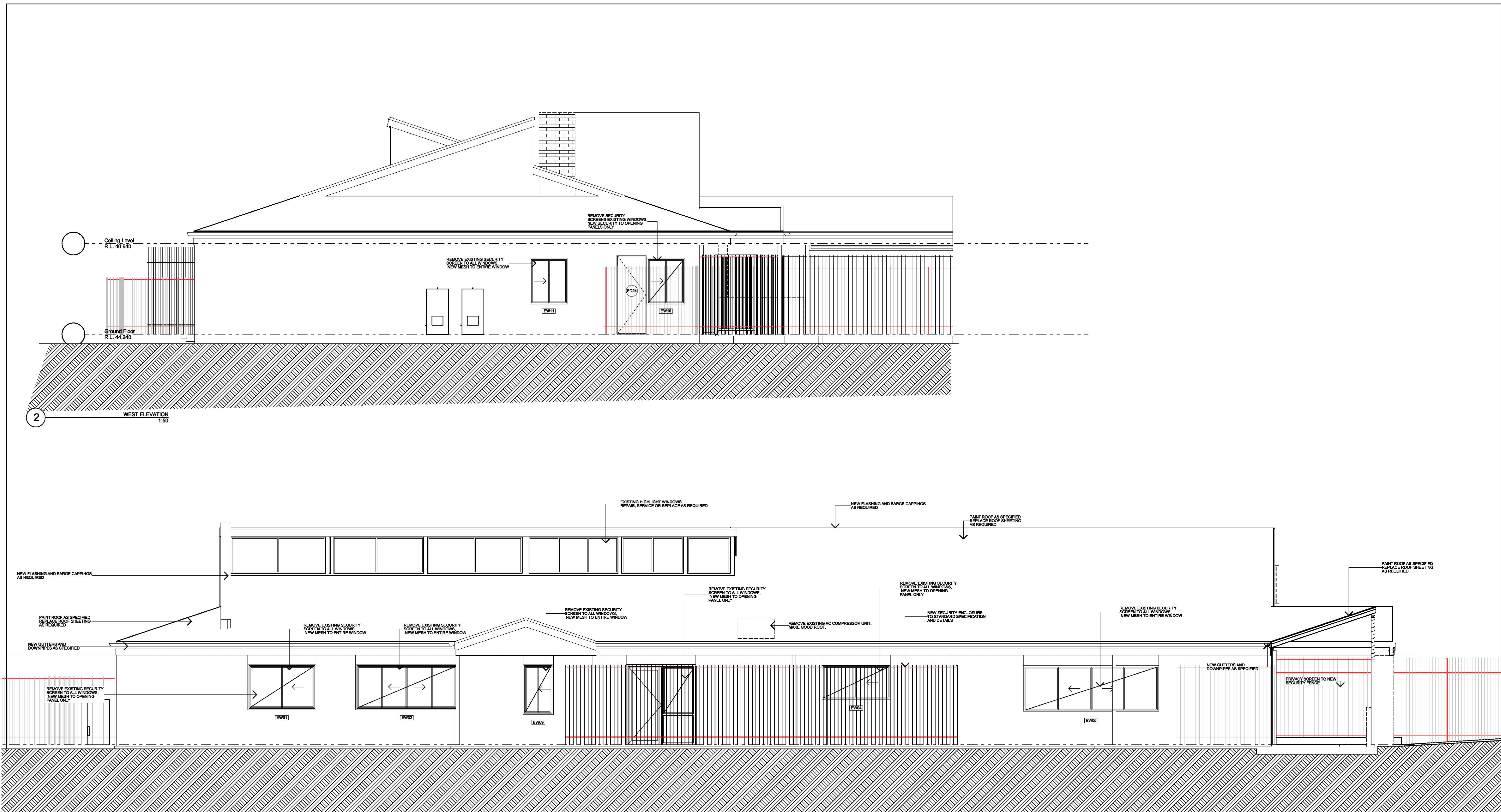
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Stage  
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Drawing Title  
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Drawing No.  
**200203 - A400**  
Date  
**05/05/21**  
Drawn by  
**WLM**  
Original Sheet Size  
**A1**  
Project No.  
**200505**  
Issue  
**B**

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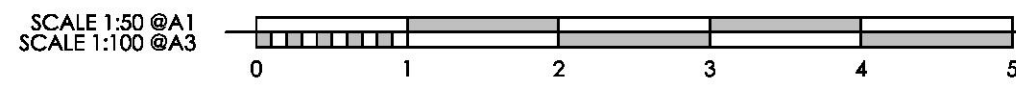






D03 W03 NEW DOOR/WINDOW  
ED03 EW03 EXISTING DOOR/WINDOW

| Issue | Date       | Amendments          |
|-------|------------|---------------------|
| A     | 25/05/2021 | ISSUED FOR APPROVAL |
| B     | 11/08/2021 | ISSUED FOR APPROVAL |

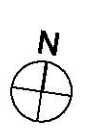


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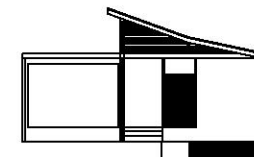
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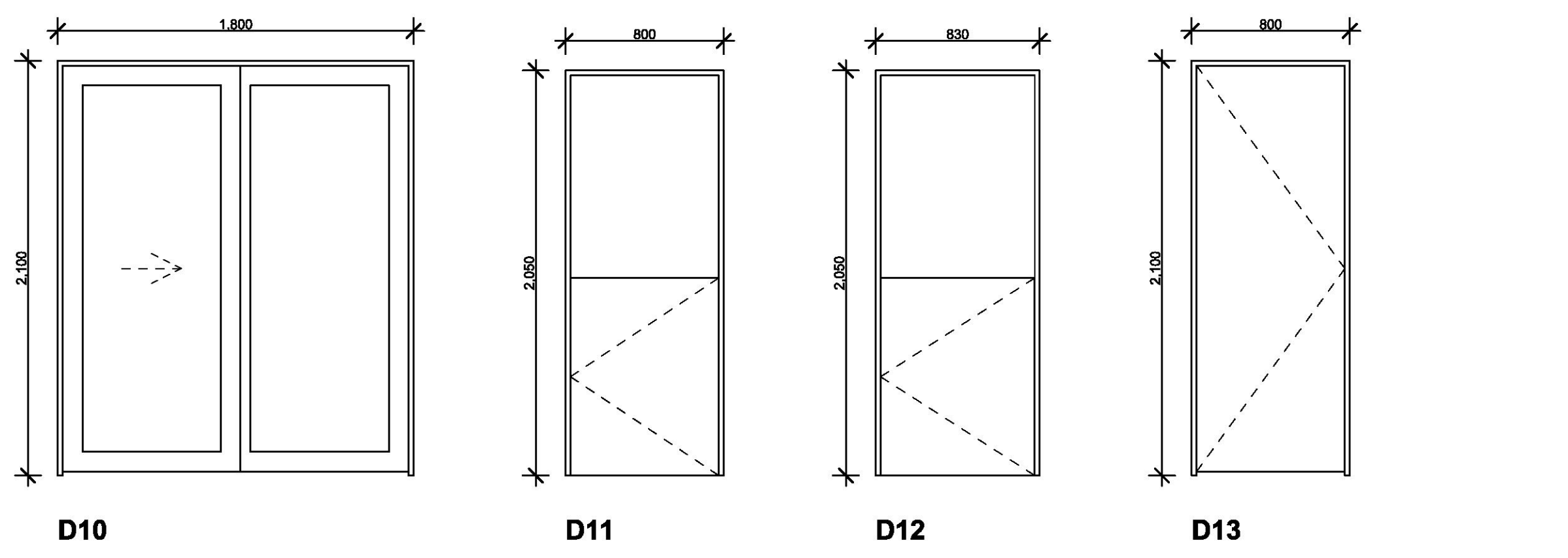
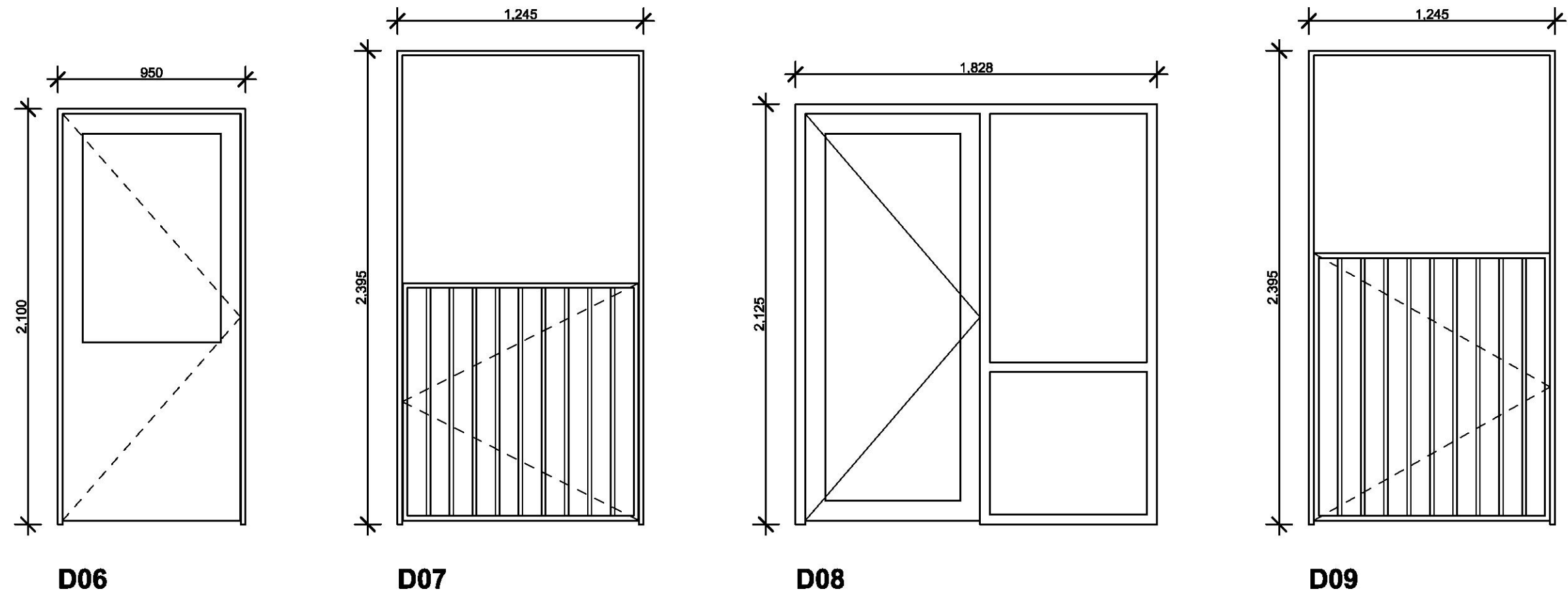
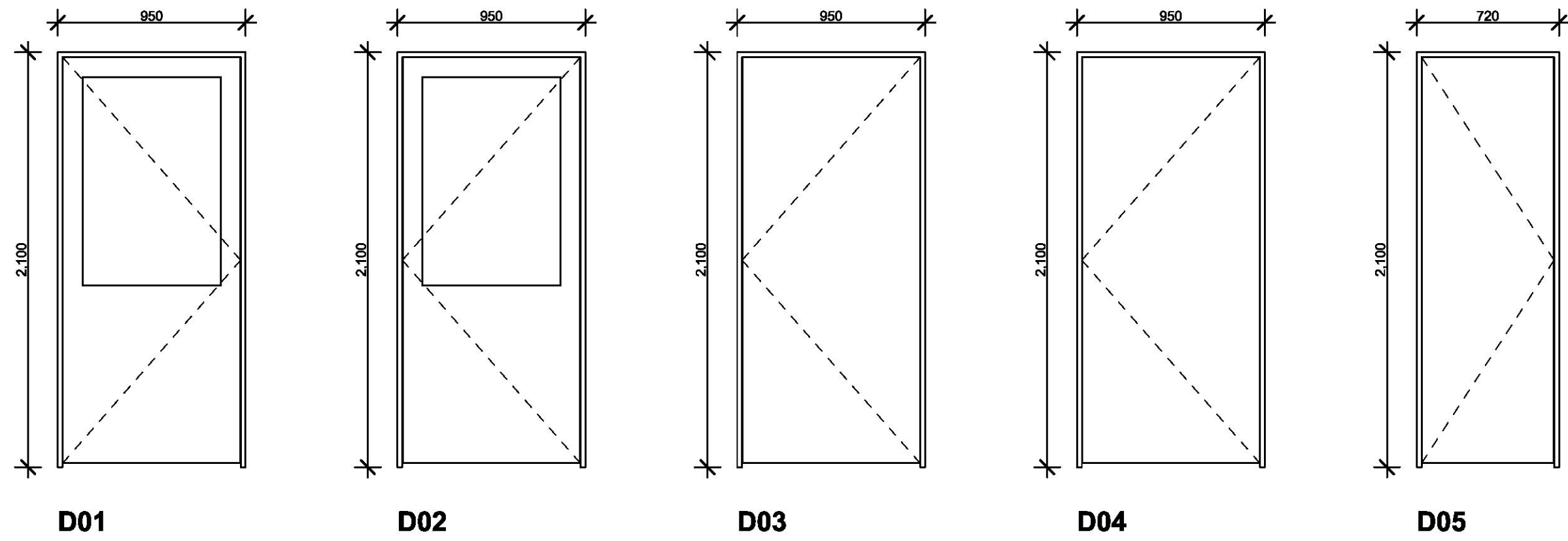
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Date  
**05/05/21**  
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Original Sheet Size  
**A1**  
Project No.  
**200505**  
Issue  
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**NEW DOOR LIST**

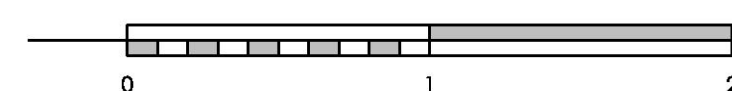
| ID   | Nominal W x H | Location                | General Notes        | Signage                   | Status           | Notes                                       |
|------|---------------|-------------------------|----------------------|---------------------------|------------------|---|
| D01  | 950x2,100     | Office                  | Include keylock      | 'Office - Staff Only'     | New              | Min. 850 clear opening, glazed              |
| D02  | 950x2,100     | Cot Room                |                      | 'Cot Room'                | New              | Min. 850 clear opening, glazed              |
| D03  | 1,597x2,100   | Staff Room              | Include keylock      |                           | New              |   |
| D03  | 950x2,100     | Staff Room              | Include keylock      | 'Staff Room - Staff Only' | New              | Min. 850 clear opening                      |
| D04  | 950x2,100     | Accessible WC           |                      | As to AS1428              | New              | Min. 850 clear opening                      |
| D05  | 720x2,100     | Pantry                  |                      |                           | New              | Pantry door                                 |
| D06  | 950x2,100     | Kitchen                 | Include keylock      | 'Kitchen'                 | New              | Min. 850 clear opening, glazed              |
| D07  | 1,000x2,395   | Playroom/Hall           | Pool fence type lock |                           | New              | To fit opening. child lock gate             |
| D08  | 1,828x2,125   | External Entry          | Include keylock      |                           | New              | External main entry door and sidelight      |
| D09  | 1,000x2,395   | Playroom/Hall           | Pool fence type lock |                           | New              | To fit opening. child lock gate             |
| D10  | 1,800x2,100   | Staff External Entry    | Include keylock      |                           | New              | External glazed sliding doors               |
| D11  | 800x2,050     | Internal Toilet 01      |                      |                           | New              | Min. 850 clear opening, half height WC door |
| D12  | 830x2,050     | Internal Toilet 02      |                      |                           | New              | Min. 850 clear opening, half height WC door |
| D13  | 800x2,100     | Store Room              | Include keylock      |                           | New              | Store Room Door                             |
| D14  | 950x2,100     | Laundry                 | Include keylock      | 'Laundry-staff only:      | New              | Min. 850 clear opening                      |
| D15  | 950x2,100     | Laundry                 | Include keylock      | 'Nappy Room'              | New              | Min. 850 clear opening                      |
| ED01 | 884x2,100     | Hallway                 |                      |                           | To Be Demolished |   |
| ED02 | 800x2,100     | Office                  |                      |                           | To Be Demolished |   |
| ED03 | 800x2,100     | Quiet Space             |                      |                           | To Be Demolished |   |
| ED04 | 800x2,100     | Cot Room                |                      |                           | To Be Demolished |   |
| ED05 | 800x2,050     | Toilet Internal         |                      |                           | To Be Demolished |   |
| ED06 | 800x2,100     | Office                  |                      |                           | To Be Demolished |   |
| ED07 | 830x2,100     | Toilet Internal         |                      |                           | To Be Demolished |   |
| ED08 | 800x2,100     | Cot Room                |                      |                           | To Be Demolished |   |
| ED09 | 800x2,100     | Store                   | Include keylock      | 'Store'                   | Existing         |   |
| ED11 | 800x2,100     | Staff Room              |                      |                           | To Be Demolished |   |
| ED12 | 800x2,100     | Store Room              |                      |                           | To Be Demolished |   |
| ED13 | 800x2,100     | Store Room              |                      |                           | To Be Demolished |   |
| ED14 | 800x2,100     | Cleaner                 |                      |                           | To Be Demolished |   |
| ED15 | 3,570x2,125   | External Playroom 0-2   | Include keylock      |                           | Existing         |   |
| ED16 | 800x2,100     | Ex, Staff Room          |                      |                           | To Be Demolished |   |
| ED17 | 3,570x2,125   | External Playroom 2-5   | Include keylock      |                           | Existing         |   |
| ED18 | 910x2,100     | Toilet External         | Include keylock      |                           | Existing         |   |
| ED19 | 910x2,100     | Toilet External         | Include keylock      |                           | Existing         |   |
| ED20 | 800x2,100     | Pantry                  |                      |                           | To Be Demolished |   |
| ED21 | 950x2,100     | Laundry                 |                      |                           | To Be Demolished |   |
| ED22 | 800x2,100     | Pantry                  |                      |                           | To Be Demolished |   |
| ED23 | 600x2,100     | Office                  |                      |                           | To Be Demolished |   |
| ED24 | 800x2,100     | Laundry Exterior        | Include keylock      |                           | Existing         |   |
| ED25 | 800x2,100     | Pantry                  |                      |                           | To Be Demolished |   |
| ED26 | 2,264x2,160   | External Store Roller   | Include keylock      |                           | Existing         |   |
| ED27 | 910x2,100     | Ex, Staff Entry         |                      |                           | To Be Demolished |   |
| ED28 | 962x2,100     | Existing External Entry |                      |                           | To Be Demolished |   |
| ED29 | 719x2,100     | Pantry                  |                      |                           | To Be Demolished |   |
| ED30 | 800x2,100     | Hall Cupboard           |                      |                           | To Be Demolished |   |
| ED31 | 950x2,100     | Laundry                 |                      |                           | To Be Demolished |   |



**Door Signage**  
Provide door signage as per image

| Issue | Date       | Amendments          |
|-------|------------|---------------------|
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SCALE 1:25 @A1  
SCALE 1:50 @A3



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**Penrith City Council**  
601 High Street Penrith

Project  
**Cook Parade Child Care Centre**  
41 Cook Parade St Clair NSW 2760

Stage  
**Development Application**

Drawing Title  
**DOOR SCHEDULE**

Drawing No.  
**200203 - A500**

Date  
**05/05/21**

Drawn by  
**WLM**

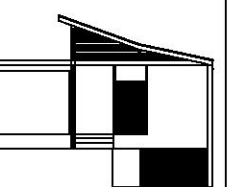
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Project No.  
**200505**

Issue  
**B**



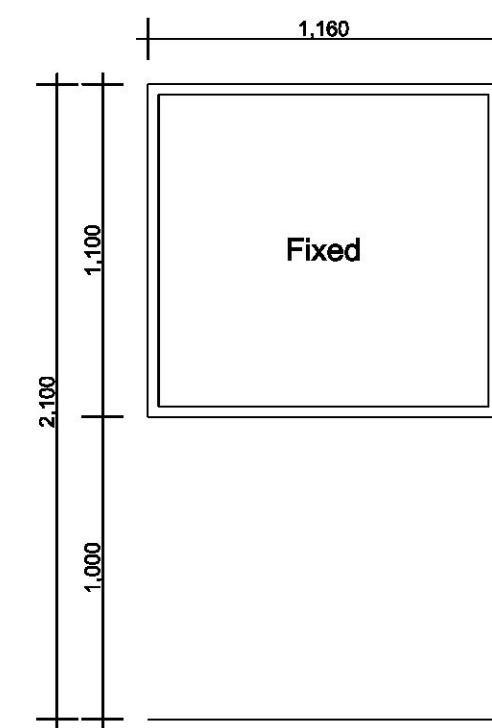
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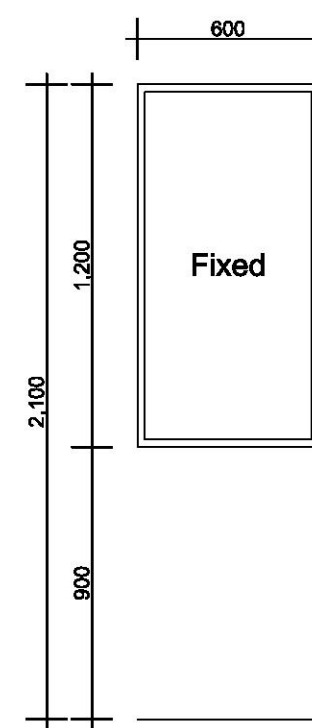
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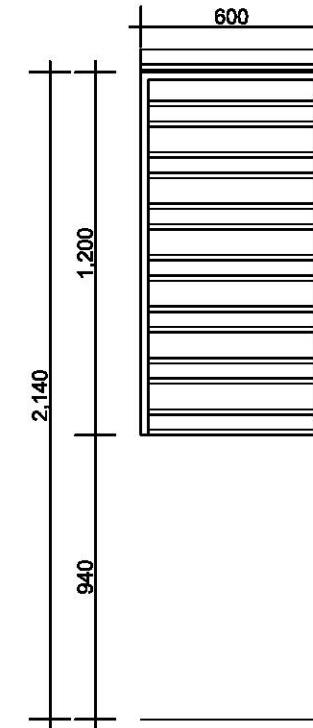




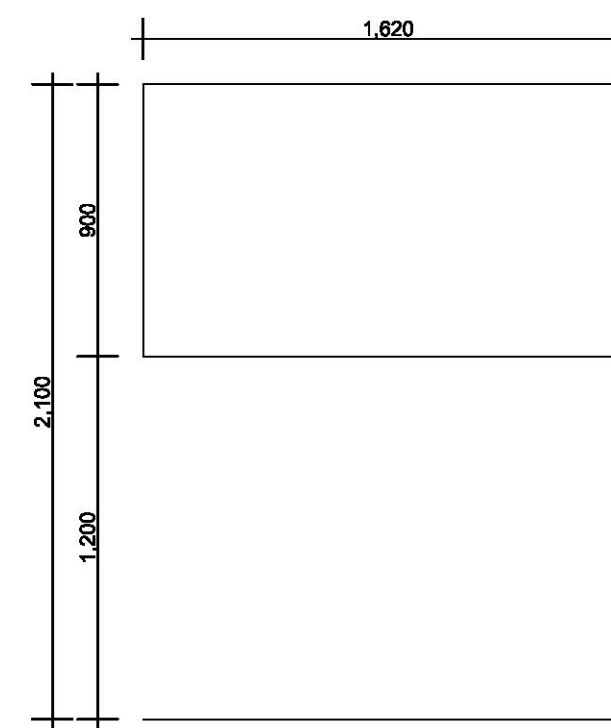
**W01**  
Fixed glass viewing panel  
Fit roller blinds to frame



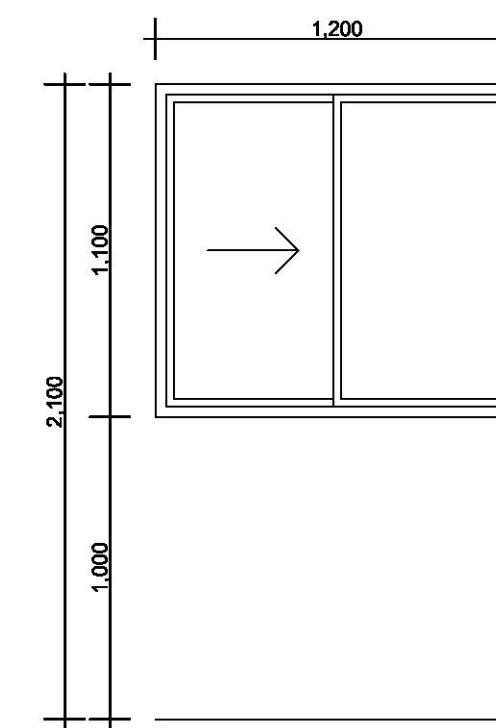
**W02**  
Fixed glass viewing panel  
Fit roller blinds to frame



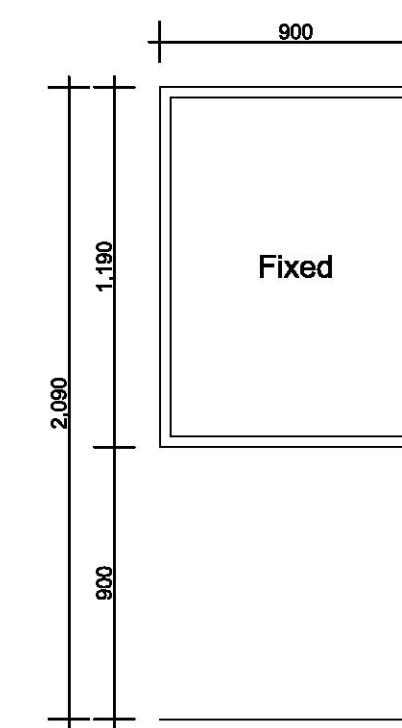
**W03**  
Roller shutter pass-thru



**W04**  
Empty Opening  
Make good stud wall surrounds



**W05**  
Sliding window  
Fit roller blinds to frame



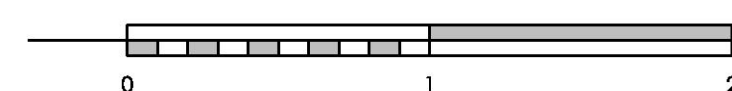
**W06**  
Fixed glass viewing panel

**NEW WINDOW LIST**

| No. | Nominal W x H | Notes                 |
|-----|---------------|-----------------------|
| W01 | 1,160x1,100   | Fixed glazing         |
| W02 | 600x1,200     | Fixed glazing         |
| W03 | 600x1,200     | Service roller window |
| W04 | 1,620x900     | Empty opening         |
| W05 | 1,200x1,100   | Sliding Window        |
| W06 | 900x1,190     | Fixed glazing         |

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SCALE 1:50 @A3



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**Penrith City Council**  
601 High Street Penrith

Project  
**Cook Parade Child Care Centre**  
41 Cook Parade St Clair NSW 2760

Stage  
**Development Application**

Drawing Title  
**WINDOW SCHEDULE**

Drawing No.  
**200203 - A501**

Date  
**05/05/21**

Drawn by  
**WLM**

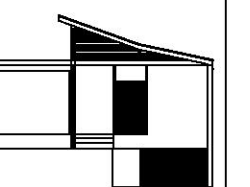
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Project No.  
**200505**

Issue  
**B**

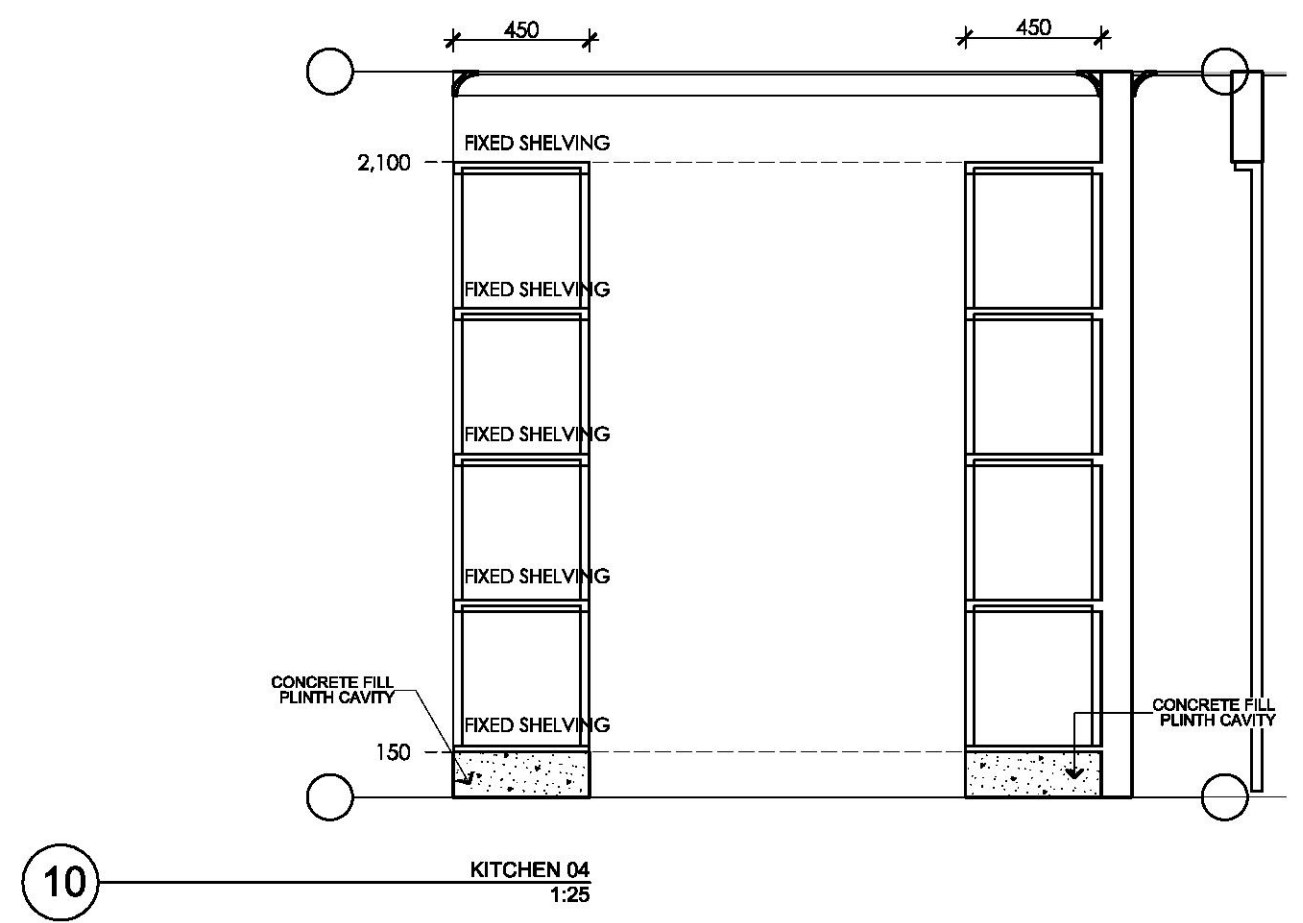
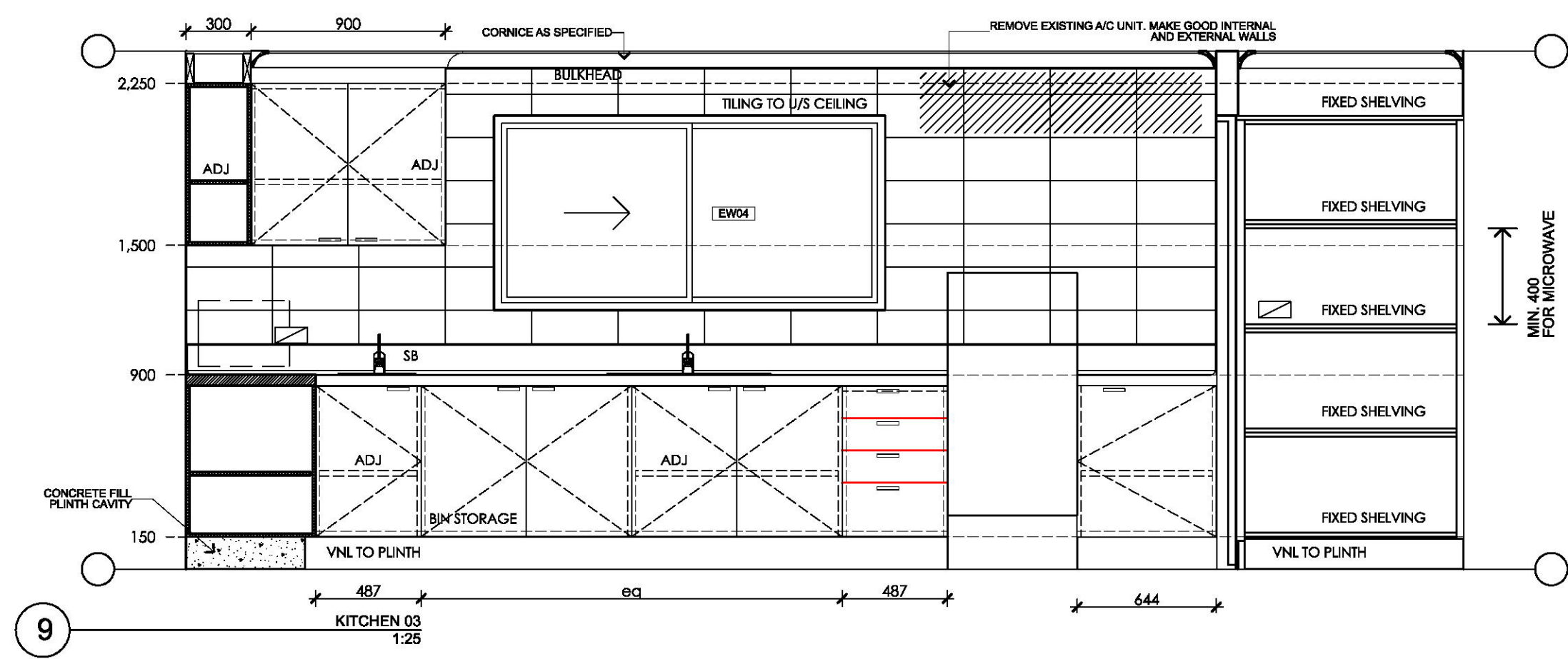
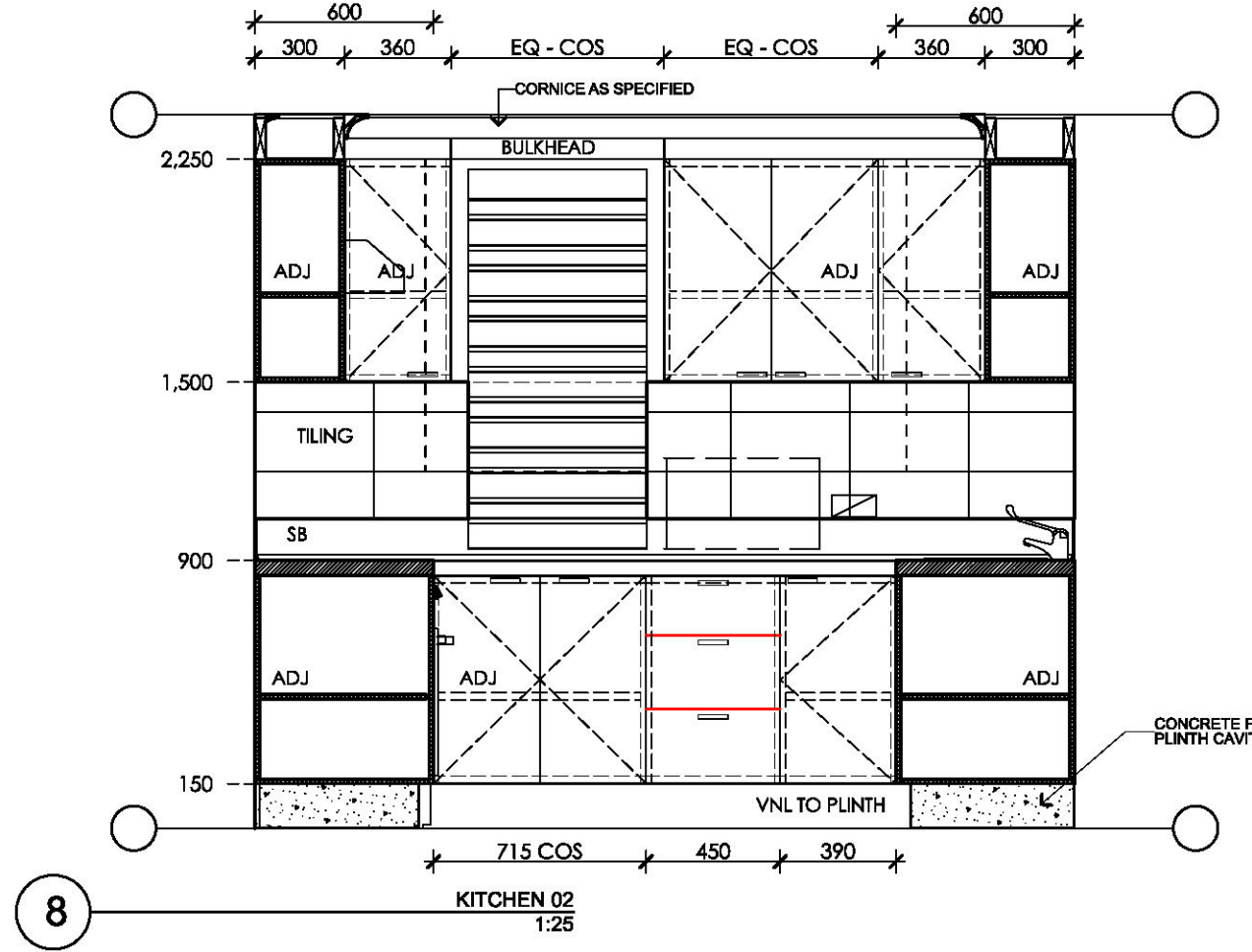
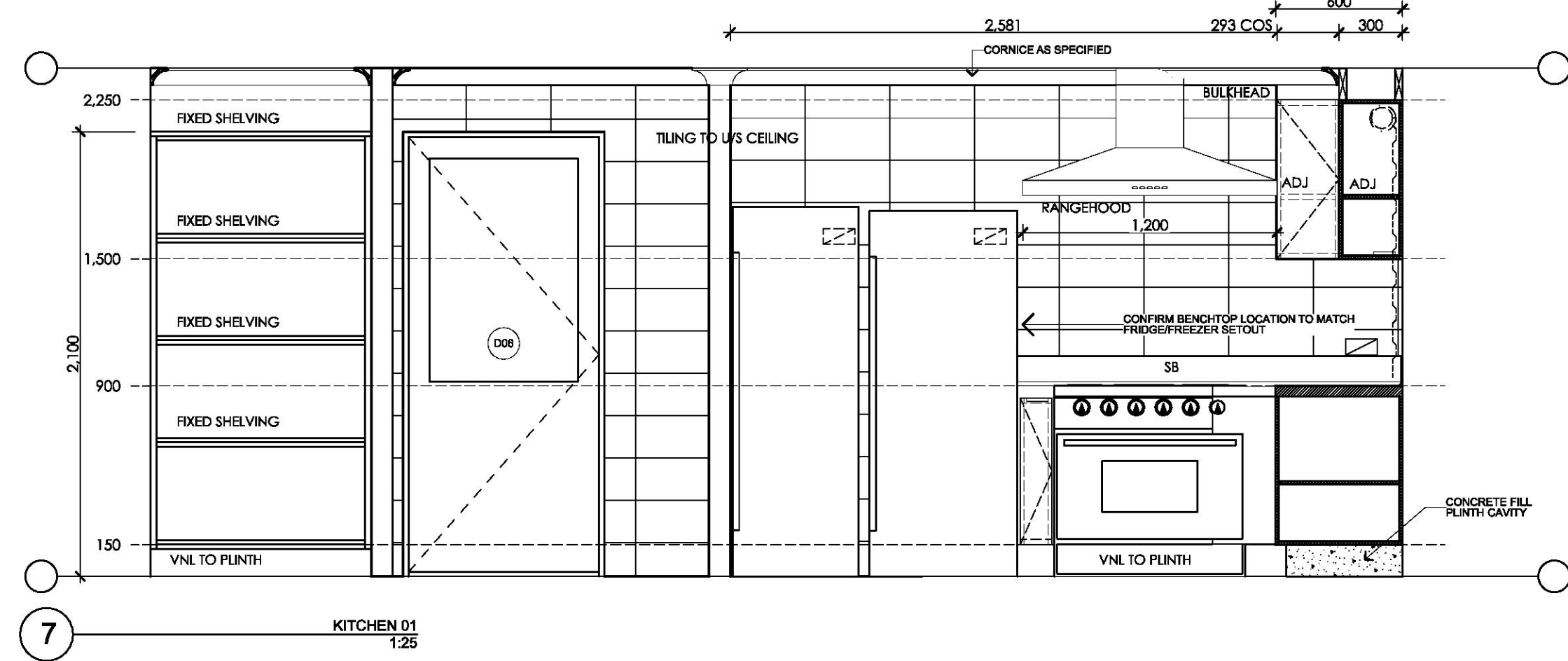
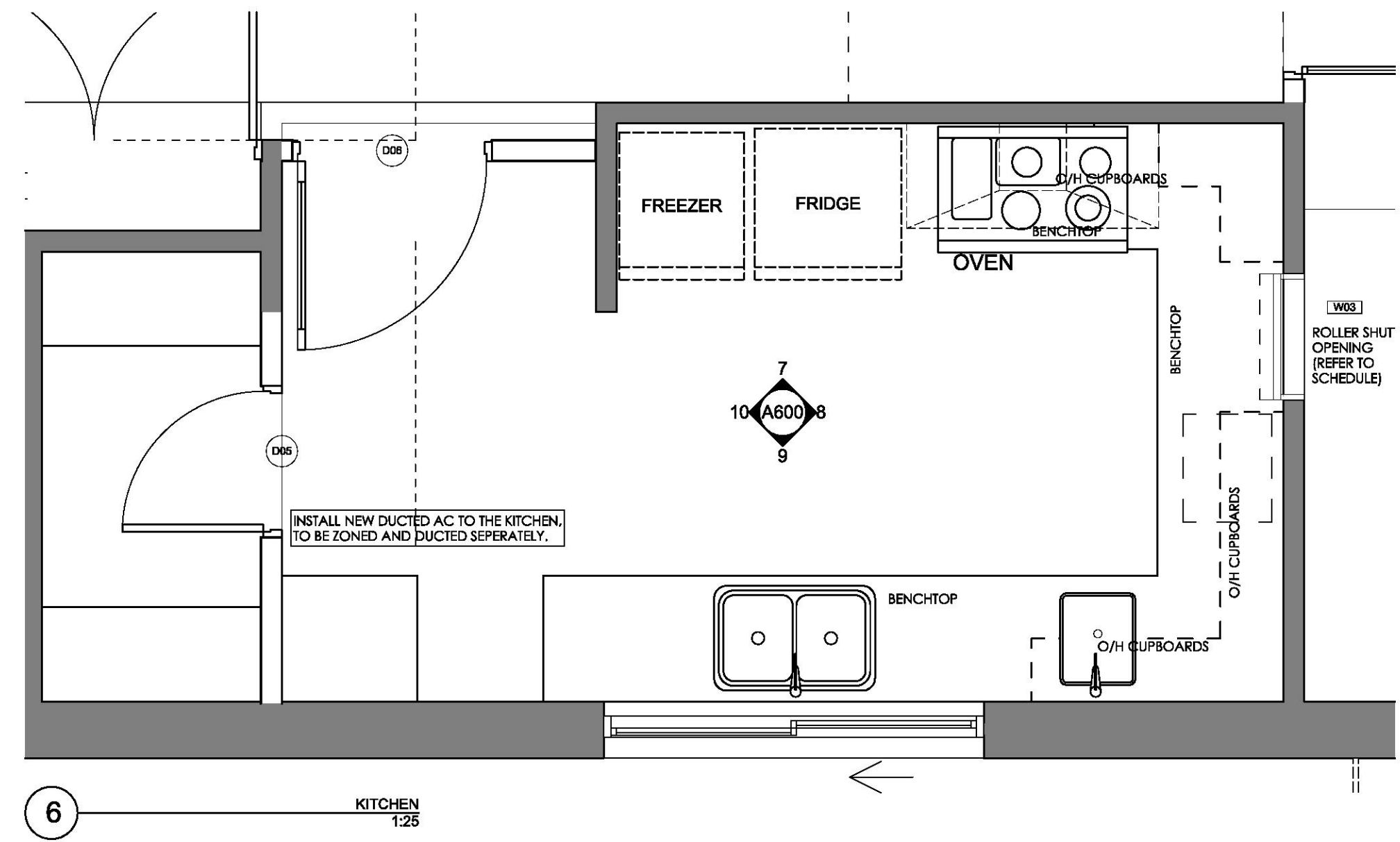
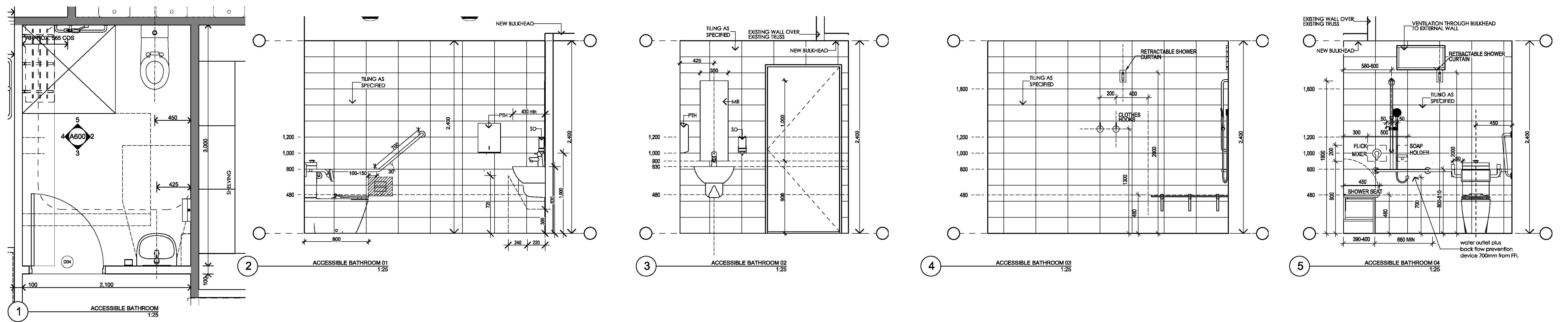
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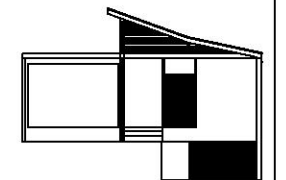
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Client  
**Penrith City Council**  
601 High Street Penrith

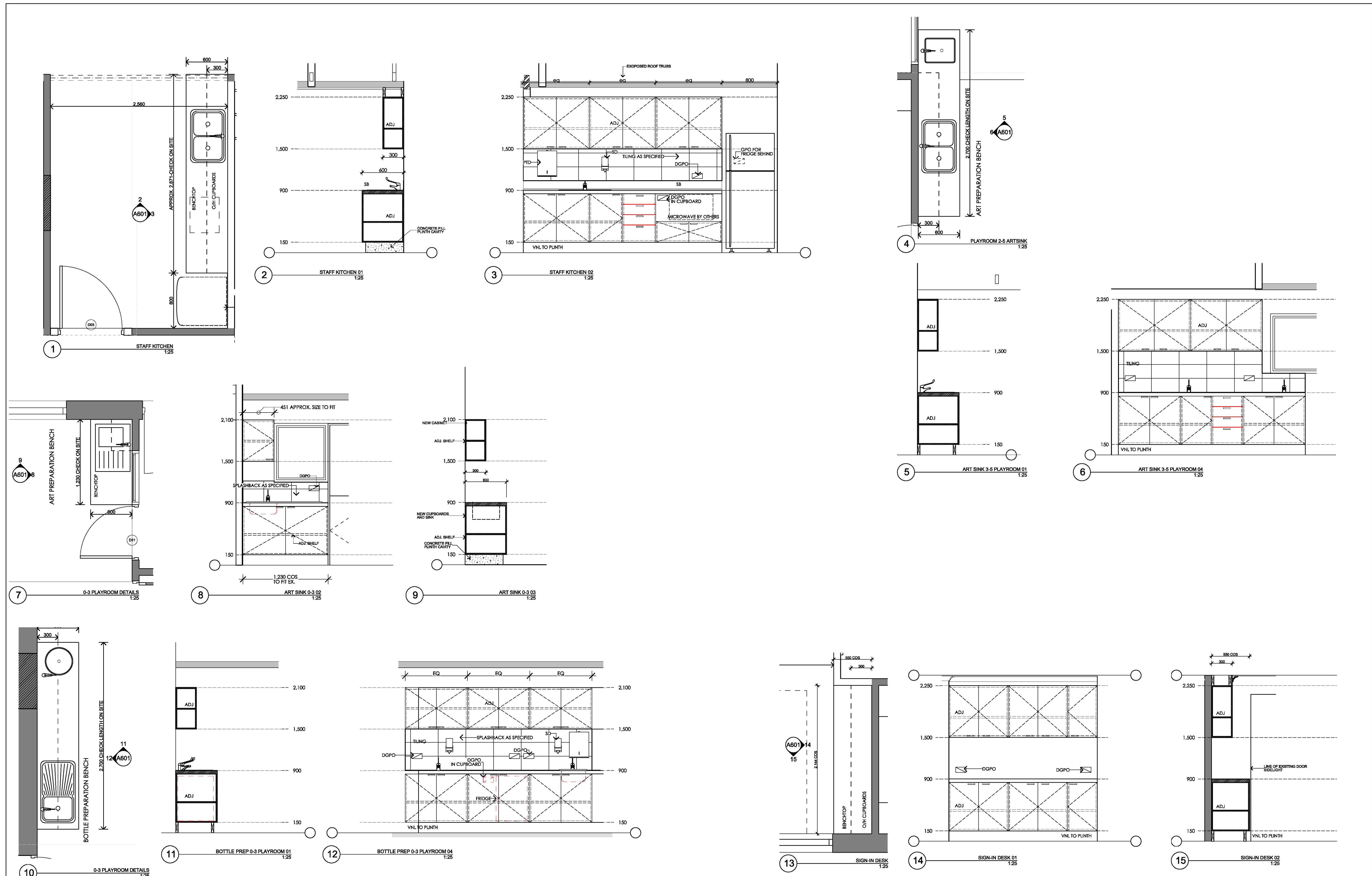
Project  
**Cook Parade Child Care Centre**  
41 Cook Parade St Clair NSW 2760

Stage  
**Development Application**  
Drawing Title  
**DETAILS - ACCESSIBLE BATHROOM / KITCHEN**  
Drawing No.  
**200203 - A600**

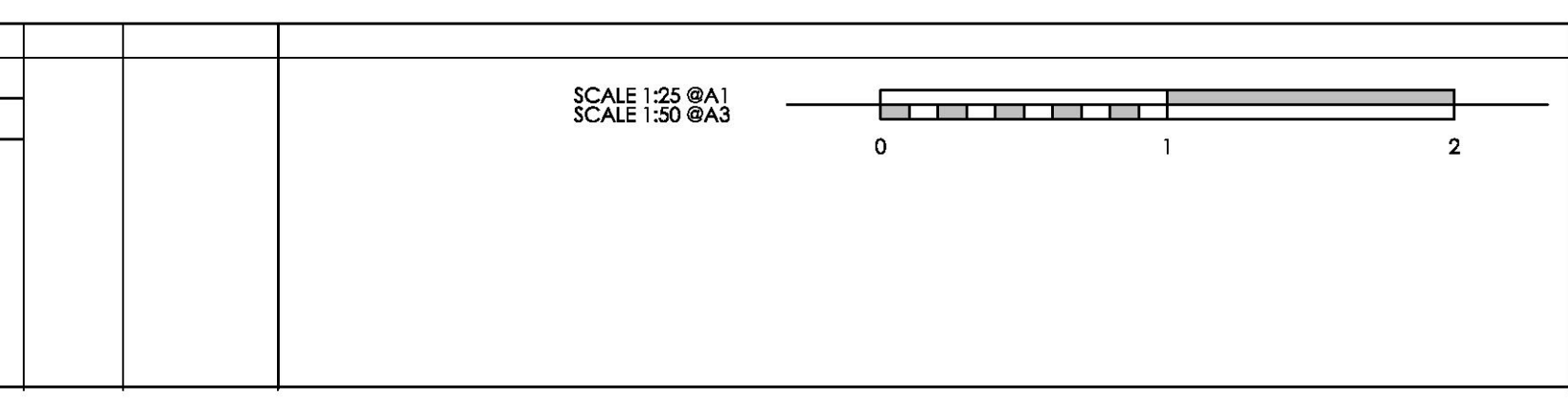
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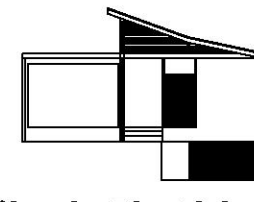
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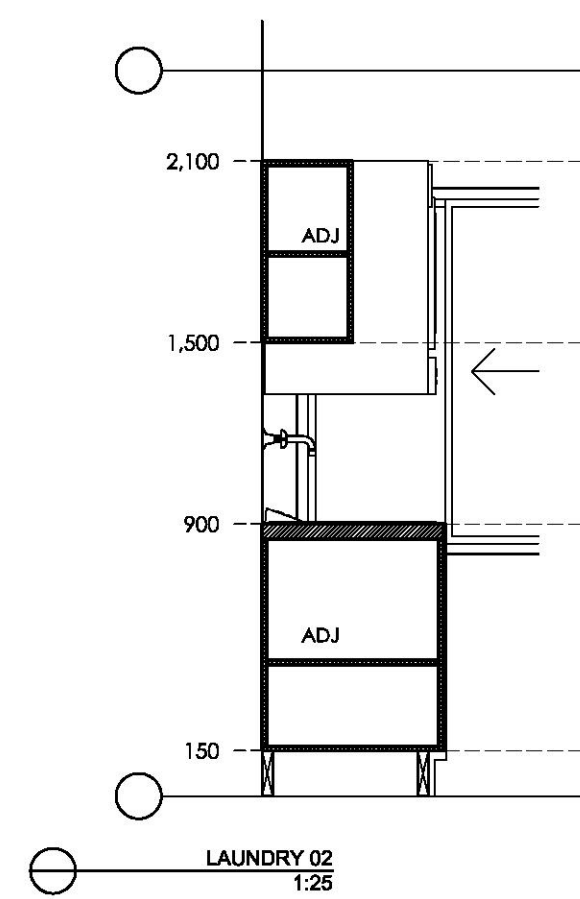
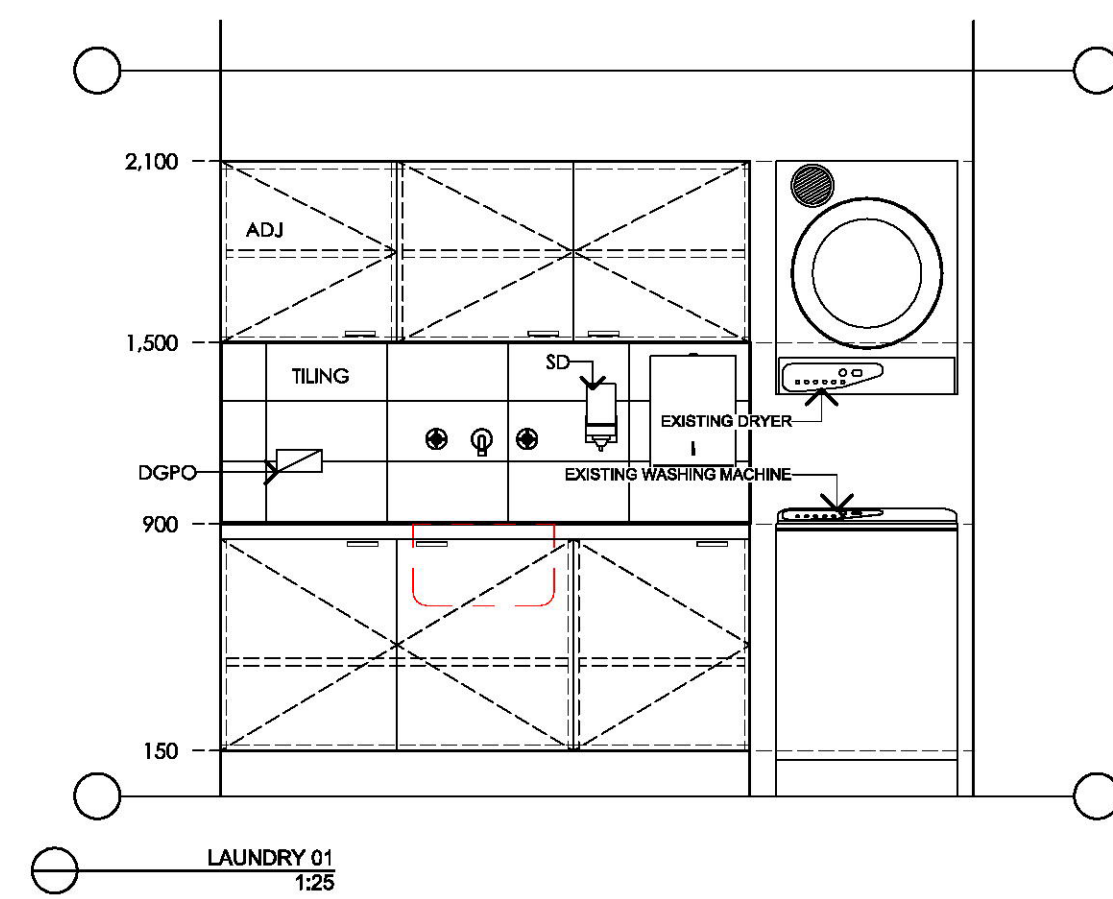
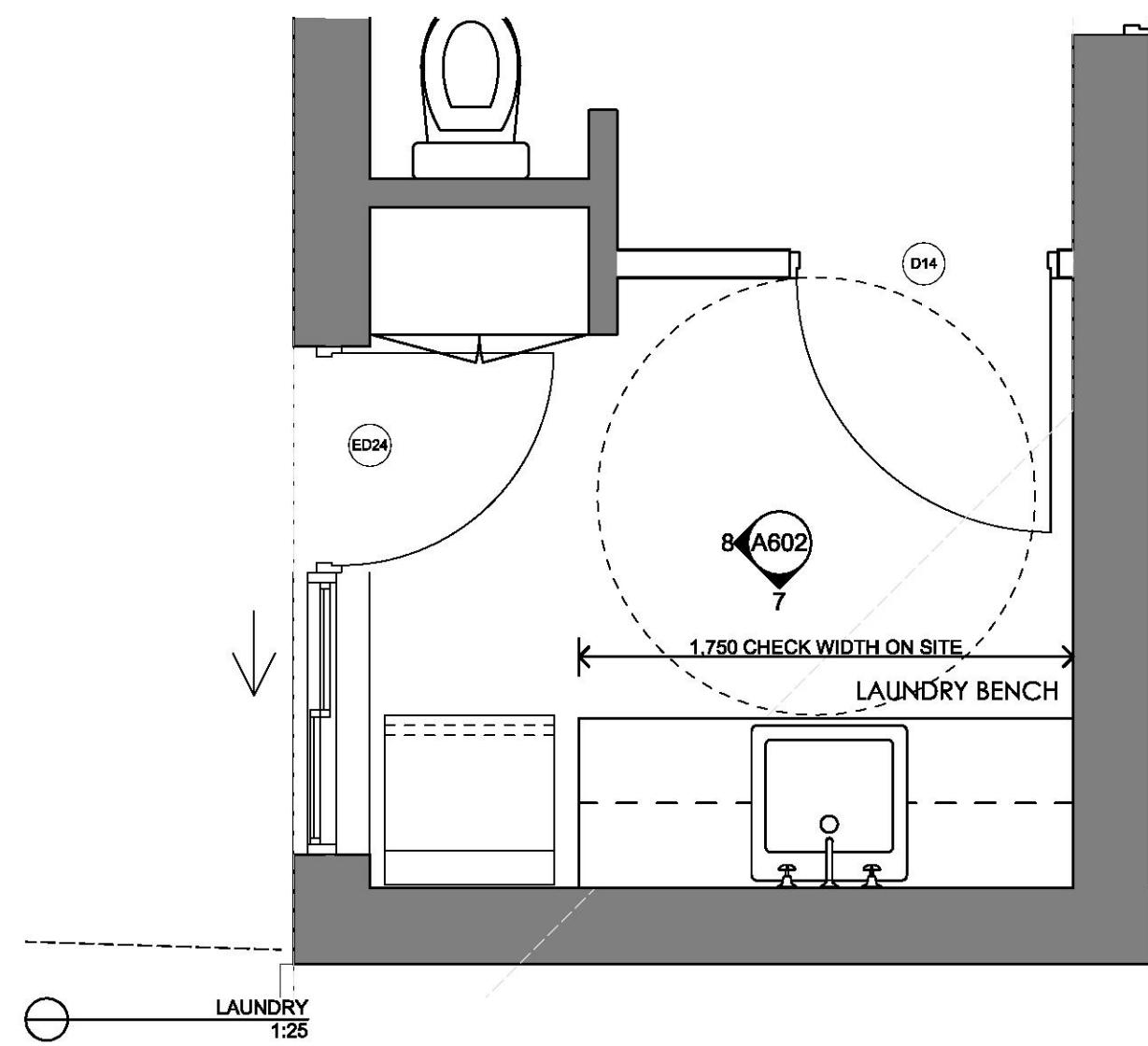
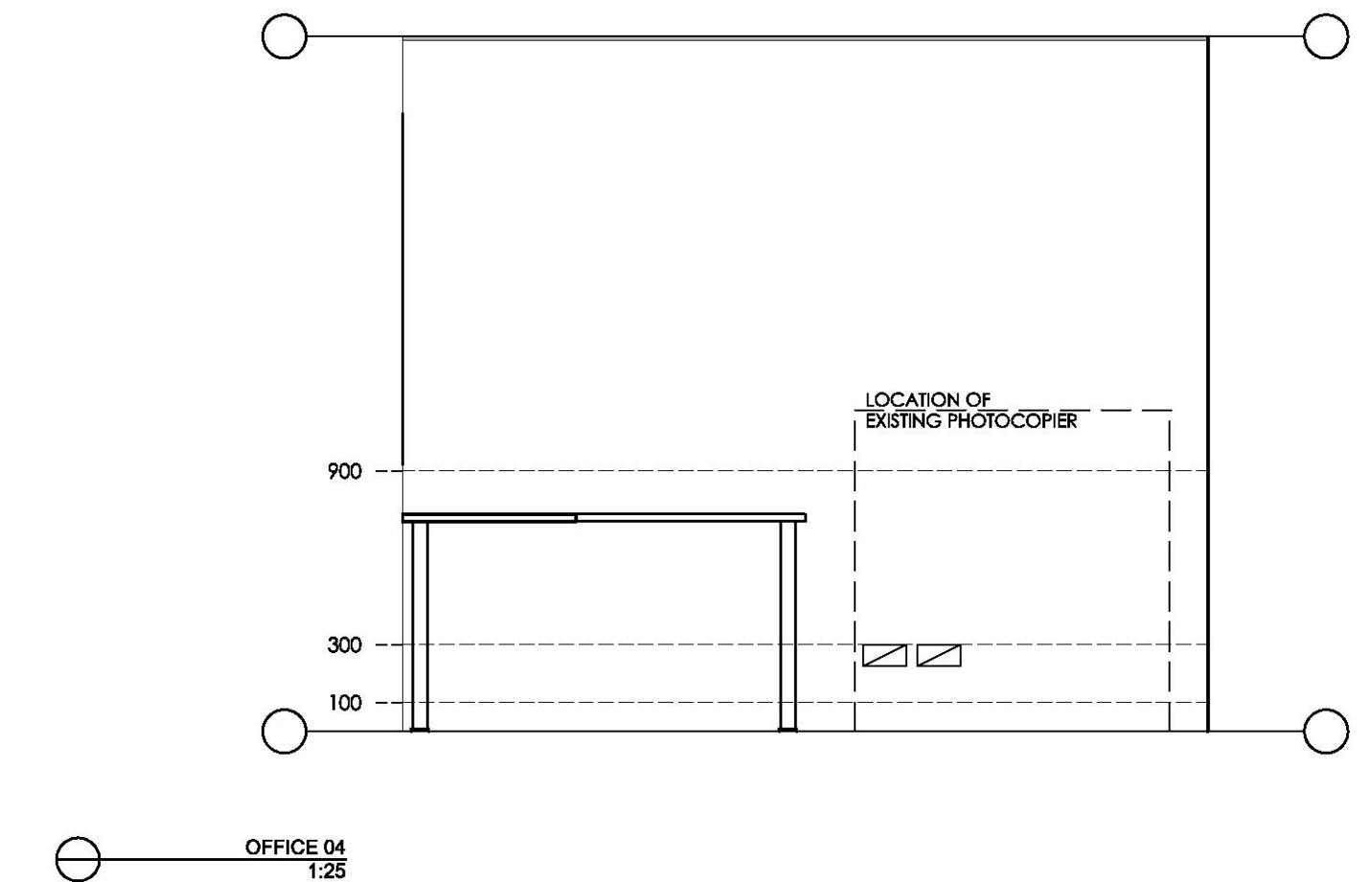
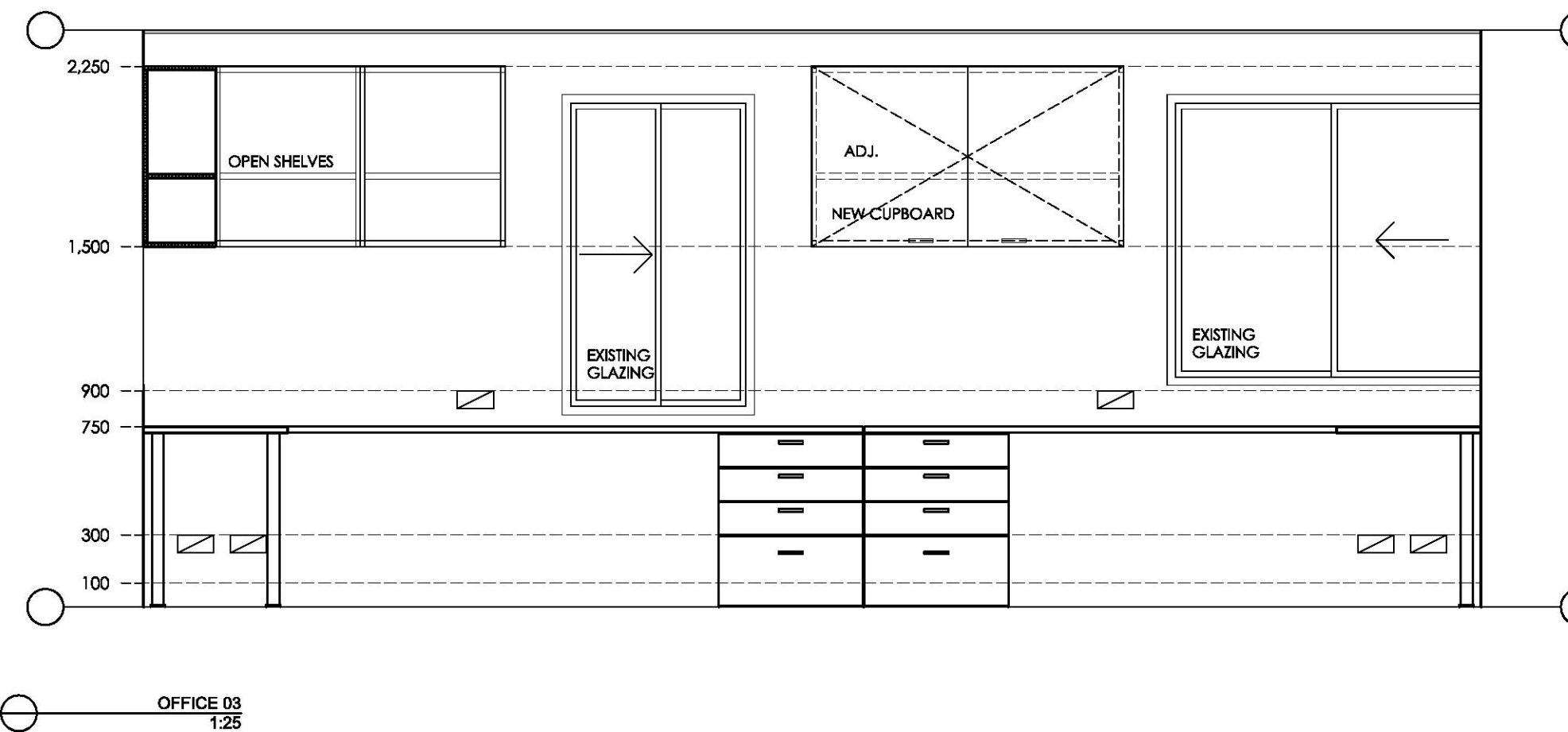
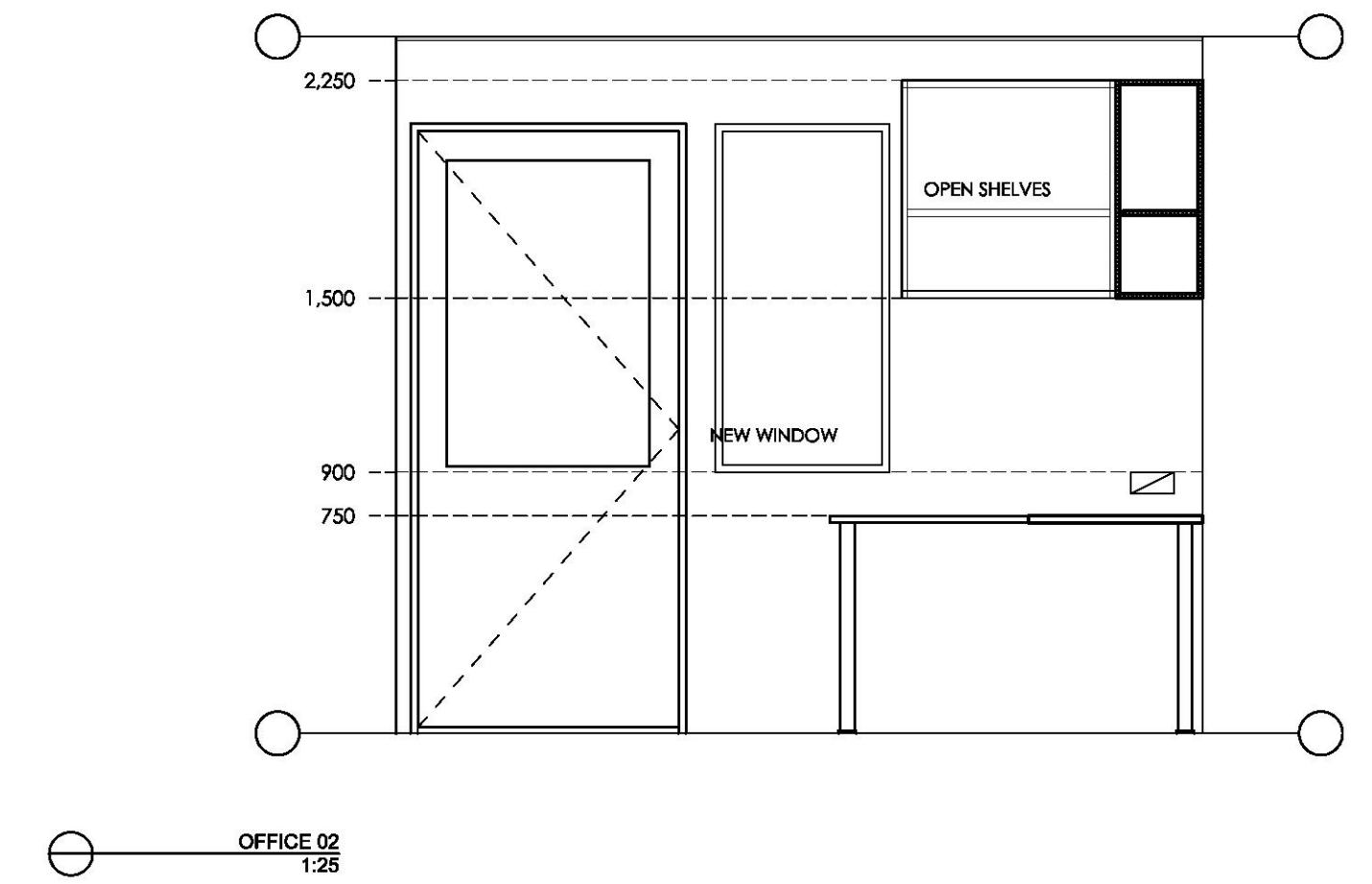
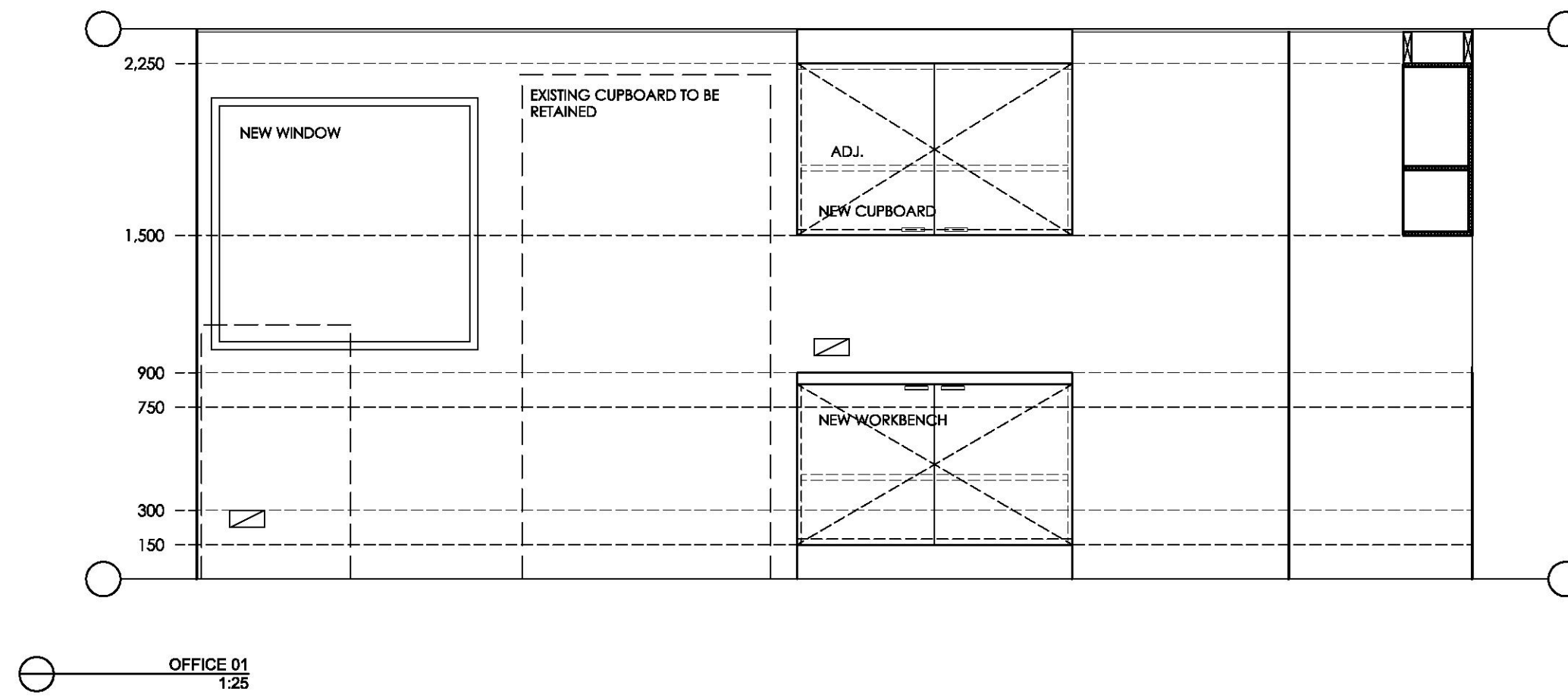
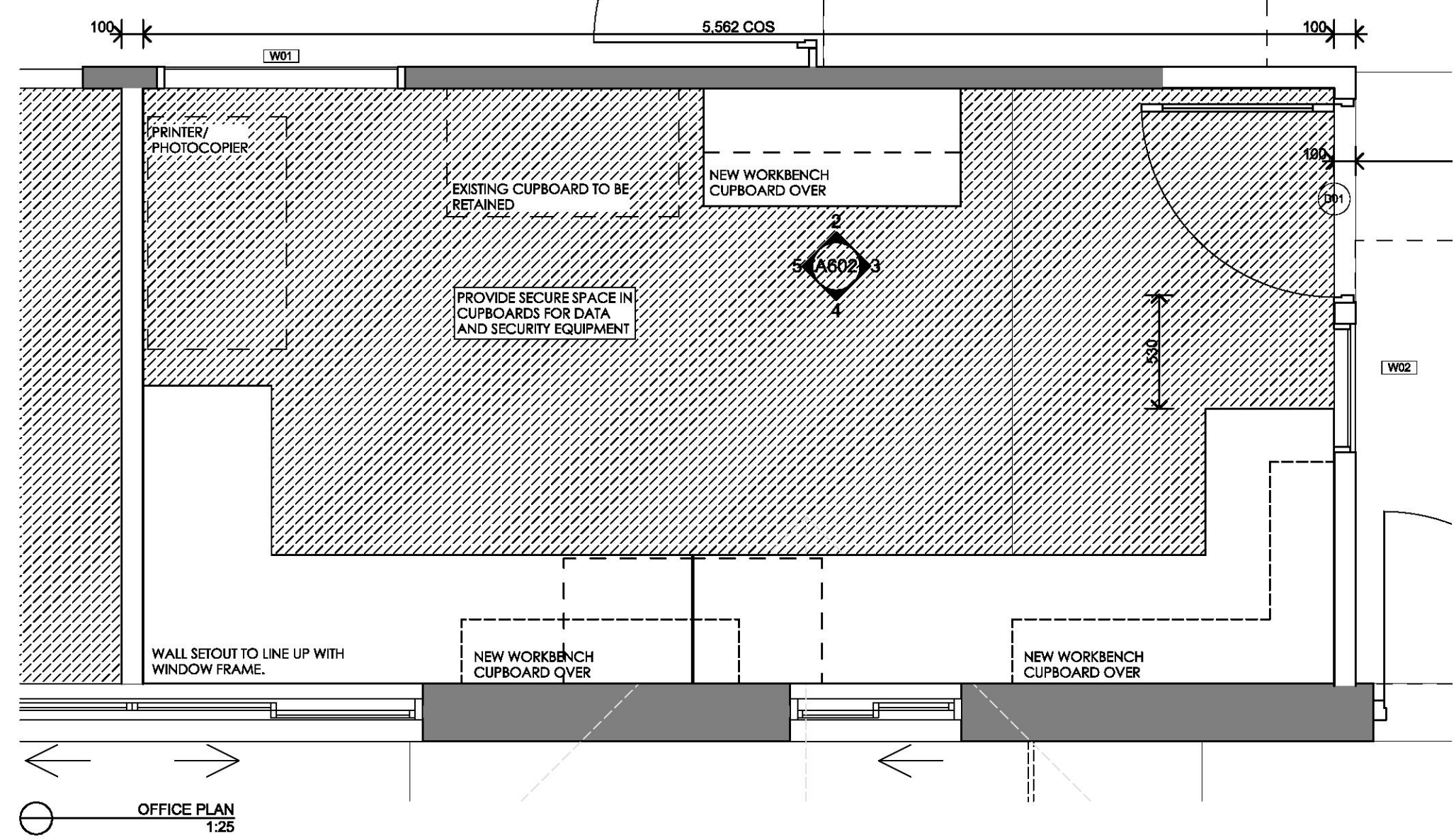
Project  
**Cook Parade Child Care Centre**  
41 Cook Parade St Clair NSW 2760

Stage  
**Development Application**  
Drawing Title  
**DETAILS - STAFF KITCHEN / STOREROOMS**  
Drawing No.  
**200203 - A601**  
Date  
**05/05/21**  
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Original Sheet size  
**A1**  
Project No.  
**200505**  
Issue  
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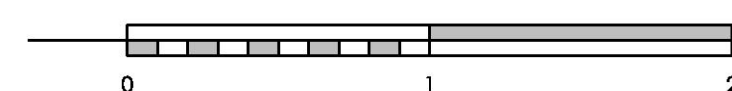






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**Penrith City Council**  
601 High Street Penrith

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Stage  
**Development Application**  
Drawing Title  
**DETAILS - OFFICE / JOINERY / LAUNDRY**  
Drawing No.  
**200203 - A602**



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Barbara Tarnawski Architects

# Statement of Environmental Effects (Amended)

Proposed Upgrading of the Cook Parade Child Care Centre,  
37-41 Cook Parade, St Clair  
Lot 68 DP 702772, Lot 672 DP 739138

Prepared by Barbara Tarnawski Architects

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## **Introduction**

This Statement of Environmental Effects (SEE) accompanies a Development Application for the upgrading of the Cook Parade Childcare Centre at St Clair.

This application has been prepared for and on behalf of Penrith City Council who are the owners of this property.

## **The Site**

The address is 41 Cook Parade, St Clair (Lot 68 DP 702772) and has an area of 9747 sq m.

The site is located on the western side of Cook Parade, St Clair and falls to the west.

The site currently contains a Childcare centre, a neighbourhood centre, tennis courts and parkland with associated driveways and pathways. Access to the site is through a carpark which is located on 37 Cook Parade which has an area of 1760 sq m (Lot 672 DP 739138). Both sites are irregular in shape.



Source six maps

## **The Proposal**

The proposal is to upgrade the centre and update the exterior of the facility.

The proposed changes are as follows:

### Interior

Demolish the existing bathroom and make it compliant to meet AS1428.1, upgrade the existing staff room, office, entry foyer, kitchen and children's bathrooms.

Upgrade internal lighting and ducted air conditioning.

The floor area will remain unchanged.

Exterior

Upgrade the existing pathways and carpark to provide accessible carparking and access to the facility.

Provide new corporate signage.

"Vitrapanel" or similar cladding is to be added to the to the south and western wall as shown on the accompanying plans.

New LED downlights are to replace existing façade lighting.

New corporate signage is to be provided by Penrith City Council on the eastern wall as shown on the accompanying architectural plans.

There will be no change in operating hours which are 97am to 6pm Monday to Friday.

**Statutory Planning Controls and Compliance**

**Environmental Planning Policies that apply to this property:**

**· State Environmental Planning Policy (Affordable Rental Housing) 2009: Land Application**

n/a

**· State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004: Land Application**

BASIX is not applicable a Section J report accompanies this application

**· State Environmental Planning Policy (Concurrences) 2018: Land Application**

n/a

**· State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017: Land Application**

10 Consultation with councils—development with impacts on council-related infrastructure or services

The proposal will not have any impact on council related infrastructure or services.

11 Consultation with councils—development with impacts on local heritage

The proposal will not have any impact on local heritage

25 Centre-based child care facility—non-discretionary development standards

(i) for development to which regulation 107 (indoor unencumbered space requirements) or 108 (outdoor unencumbered space requirements) of the [Education and Care Services National Regulations](#) applies—the unencumbered area of indoor space and the unencumbered area of outdoor space for the development complies with the requirements of those regulations, or

(ii) for development to which clause 28 (unencumbered indoor space and useable outdoor play space) of the [Children \(Education and Care Services\) Supplementary Provisions Regulation 2012](#) applies—the development complies with the indoor space requirements or the useable outdoor play space requirements in that clause

**Part 3 Early education and care facilities—specific development controls**

The existing facility is licenced for up to 40 children per day with 12 staff.

**The Education and Care Services National Regulation**

Part 4.3 Physical environment  
Division 1 Centre-based services and family day care services

**Childcare Planning Guidelines**

**4.1 Indoor space requirements**

**A. INTERNAL PHYSICAL ENVIRONMENT**

**Regulation 107**

*Education and Care Services National Regulations*

Every child being educated and cared for within a facility must have a minimum of 3.25m<sup>2</sup> of unencumbered indoor space.

*Unencumbered indoor space excludes any of the following:*

- *passageway or thoroughfare (including door swings) used for circulation*
- *toilet and hygiene facilities*
- *nappy changing area or area for preparing bottles*
- *area permanently set aside for the use or storage of cots*
- *area permanently set aside for storage*
- *area or room for staff or administration*
- *kitchens, unless the kitchen is designed to be used predominately by the children as part of an educational program e.g. a learning kitchen*
- *on-site laundry*
- *other space that is not suitable for children*

The proposal provides the required indoor space requirements for 40 children providing 148.2 sq m of unencumbered indoor space. This excludes the cot room which is 14.5 sq m.

**Storage**

*Storage areas including joinery units are not to be included in the calculation of indoor space. To achieve a functional unencumbered area free of clutter, storage areas must be considered when designing and calculating the spatial requirements of the facility. It is recommended that a child care facility provide:*

- *a minimum of 0.3m<sup>3</sup> per child of external storage space*
- *a minimum of 0.2m<sup>3</sup> per child of internal storage space*

**Internal Storage**

Storage facilities consist of movable accessible safe low height shelving for books, toys and bag store. Internal storage recommendations of 0.2 m<sup>3</sup> per child and 8 m<sup>3</sup> in total is available.

**External storage**

A minimum of 0.3 sq m of external storage space is recommended per child. 12 m<sup>3</sup> is required and is available externally on the veranda in the form of shelving and other storage areas.

**4.2 laundry and hygiene facilities**

A laundry storage area is provided for the storage of soiled clothing, nappies and linen and is located securely away from child access areas.

The proposal meets these requirements the laundry is to be upgraded as shown on the accompanying plans.

#### **4.3 Toilet and Hygiene Facilities Regulation 109**

##### *Education and Care Services National Regulations*

*A service must ensure that adequate, developmentally and age appropriate toilet, washing and drying facilities are provided for*

*use by children being educated and cared for by the service; and the location and design of the toilet, washing and drying facilities enable safe use and convenient access by the children.*

*Child care facilities must comply with the requirements for sanitary facilities that are contained in the National Construction Code*

##### *Design Guidance*

*Toilet and hygiene facilities should be designed to maintain the amenity and dignity of the occupants (refer to Figure 3). Design considerations could include:*

- *junior toilet pans, low level sinks and hand drying facilities for children*
- *a sink and handwashing facilities in all bathrooms for adults*
- *direct access from both activity rooms and outdoor play areas*
- *windows into bathrooms and cubicles without doors to allow supervision by staff*
- *external windows in locations that prevent observation from neighbouring properties or from side boundaries.*

The proposal meets these design requirements

#### **4.4 Ventilation and natural light Regulation 110**

##### *Education and Care Services National Regulations*

*Services must be well ventilated, have adequate natural light, and be maintained at a temperature that ensures the safety and wellbeing of children.*

*Child care facilities must comply with the light and ventilation and minimum ceiling height requirements of the National Construction Code. Ceiling height requirements may be affected by the capacity of the facility*

The proposal meets these requirements for light and ventilation.

#### **4.5 Administrative space Regulation 111**

##### *Education and Care Services National Regulations*

*A service must provide adequate area or areas for the purposes of conducting the administrative functions of the service, consulting with parents of children and conducting private conversations.*

The administration space is to be upgraded and extended to allow for staff and parents to meet. There will be no increase in staffing levels as a result of this application.

#### **4.6 Nappy change facilities Regulation 112**

##### *Education and Care Services National Regulations*

*Child care facilities must provide for children who wear nappies, including appropriate hygienic facilities for nappy changing and bathing. All nappy changing facilities should be designed and*

located in an area that prevents unsupervised access by children. Child care facilities must also comply with the requirements for nappy changing and bathing facilities that are contained in the National Construction Code.

The nappy change area will be upgraded as part of these works and meets these requirements.

#### **4.7 Premises designed to facilitate supervision Regulation 115**

##### *Education and Care Services National Regulations*

A centre-based service must ensure that the rooms and facilities within the premises (including toilets, nappy change facilities, indoor and outdoor activity rooms and play spaces) are designed to facilitate supervision of children at all times, having regard to the need to maintain their rights and dignity.

Child care facilities must also comply with any requirements regarding the ability to facilitate supervision that are contained in the National Construction Code

The existing facility layout and the proposed changes are designed to facilitate supervision to all indoor and outdoor spaces as per the regulation.

#### **4.8 Emergency and evacuation procedures Regulations 97 and 168**

##### *Education and Care Services National Regulations*

Regulation 168 sets out the list of procedures that a care service must have, including procedures for emergency and evacuation.

Regulation 97 sets out the detail for what those procedures must cover including:

- instructions for what must be done in the event of an emergency
- an emergency and evacuation floor plan, a copy of which is displayed in a prominent position near each exit
- a risk assessment to identify potential emergencies that are relevant to the service.

The facility meets these regulations as it is currently a working facility.

## **B. EXTERNAL PHYSICAL ENVIRONMENT**

#### **4.9 Outdoor space requirements Regulation 108**

##### *Education and Care Services National Regulations*

An education and care service premises must provide for every child being educated and cared for within the facility to have a minimum of 7.0m<sup>2</sup> of unencumbered outdoor space.

Unencumbered outdoor space excludes any of the following:

- pathway or thoroughfare, except where used by children as part of the education and care program
- car parking area
- storage shed or other storage area
- laundry
- other space that is not suitable for children.

When calculating outdoor space requirements, the area required for any additional child may be waived when the child is being cared for in an emergency circumstance as set out in regulation 123(5) or the child is being educated or cared for in exceptional



circumstances as set out in regulation 124(5) and (6) of the National Regulations

There is no change to the existing outdoor area proposed under this application. The outdoor area requirements exceed the minimum requirement per child as there is approximately 950 sq m available.

#### **4.10 Natural environment Regulation 113**

*Education and Care Services National Regulations*

*The approved provider of a centre-based service must ensure that the outdoor spaces allow children to explore and experience the natural environment.*

The existing outdoor space provides this.

#### **4.11 Shade Regulation 114**

*Education and Care Services National Regulations*

*The approved provider of a centre-based service must ensure that outdoor spaces include adequate shaded areas to protect children from overexposure to ultraviolet radiation from the sun.*

The existing outdoor space provides this

#### **4.12 Fencing Regulation 104**

*Education and Care Services National Regulations*

*Any outdoor space used by children must be enclosed by a fence or barrier that is of a height and design that children preschool age or under cannot go through, over or under it.*

*This regulation does not apply to a centre-based service that primarily provides education and care to children over preschool age, including a family day care venue where all children are over preschool age.*

*Child care facilities must also comply with the requirements for fencing and protection of outdoor play spaces that are contained in the National Construction Code.*

The existing outdoor space provides this.

#### **4.13 Soil assessment Regulation 25**

*Education and Care Services National Regulations*

*Subclause (d) of regulation 25 requires an assessment of soil at a proposed site, and in some cases, sites already in use for such purposes as part of an application for service approval.*

*With every service application one of the following is required:*

- a soil assessment for the site of the proposed education and care service premises*
- if a soil assessment for the site of the proposed child care facility has previously been undertaken, a statement to that effect specifying when the soil assessment was undertaken*
- a statement made by the applicant that states, to the best of the applicant's knowledge, the site history does not indicate that the site is likely to be contaminated in a way that poses an unacceptable risk to the health of children.*

The proposal will have no impact on soil within the facility

- State Environmental Planning Policy (Exempt and Complying Development Codes) 2008: Land Application  
n/a
- State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004:  
Land Application  
n/a
- State Environmental Planning Policy (Infrastructure) 2007: Land Application  
n/a
- State Environmental Planning Policy (Mining, Petroleum Production and Extractive Industries)  
2007: Land Application  
n/a
- State Environmental Planning Policy (Miscellaneous Consent Provisions) 2007: Land  
Application  
n/a
- State Environmental Planning Policy (Primary Production and Rural Development) 2019:  
Land Application  
n/a
- State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017: Subject Land  
n/a
- State Environmental Planning Policy No 19—Bushland in Urban Areas: Land Application  
n/a
- State Environmental Planning Policy No 1—Development Standards: Land Application  
n/a
- State Environmental Planning Policy No 21—Caravan Parks: Land Application  
n/a
- State Environmental Planning Policy No 33—Hazardous and Offensive Development: Land  
Application  
n/a
- State Environmental Planning Policy No 36—Manufactured Home Estates: Land Application  
n/a
- State Environmental Planning Policy No 50—Canal Estate Development: Land Application  
n/a
- State Environmental Planning Policy No 55—Remediation of Land: Land Application  
n/a
- State Environmental Planning Policy No 64—Advertising and Signage: Land Application
- State Environmental Planning Policy No 65—Design Quality of Residential Apartment  
*Statement of Environmental Effects Cook Parade Childcare Centre. 37-41 Cook Parade St Clair.*

Development: Land Application  
n/a

- State Environmental Planning Policy No 70—Affordable Housing (Revised Schemes): Land Application  
n/a
- Sydney Regional Environmental Plan No 20—Hawkesbury-Nepean River (No 2—1997): Land Application  
The proposal will have minimal impact on the Hawkesbury Nepean River System
- Sydney Regional Environmental Plan No 2  
The proposal will have no impact on the Georges River System

**Local Planning Policies that apply to this property :**

Penrith Local Environmental Plan 2010  
Penrith Development Control Plan 2014

**Penrith Local Environmental Plan 2010**

The development is consistent with the zone objectives and the following clauses of this plan:  
The property is zoned RE1 Public Recreation.

Zone RE1 Public Recreation

1 Objectives of zone

- To enable land to be used for public open space or recreational purposes.
- To provide a range of recreational settings and activities and compatible land uses.
- To protect and enhance the natural environment for recreational purposes.
- To ensure that development is secondary and complementary to the use of land as public open space, and enhances public use, and access to, the open space.
- To provide land for the development of services and facilities by public authorities for the benefit of the community.

2 Permitted without consent

Nil

3 Permitted with consent

Aquaculture; Boat launching ramps; Boat sheds; Building identification signs; Business identification signs; Car parks; Charter and tourism boating facilities; **Centre-based child care facilities**; Community facilities; Environmental facilities; Environmental protection works; Flood mitigation works; Function centres; Information and education facilities; Jetties; Kiosks; Markets; Moorings; Public administration buildings; Recreation areas; Recreation facilities (indoor); Recreation facilities (outdoor); Respite day care centres; Restaurants or cafes; Roads; Water recreation structures; Water storage facilities

4 Prohibited

Any other development not specified in item 2 or 3

Childcare facilities are permissible with consent in this zone.

**Penrith Development Control Plan 2014**

**5.3.1 Part C City Wide Controls**

The proposal conforms to all the relevant requirements contained in this Part.

**C1 Site Planning and Design Principles**

**C1.2.3. Building Form - Height, Bulk and Scale**

The proposal will not change the building form in regards to height, bulk and scale.

**Building Façade Treatment:**

The proposal is to add Vitrapanel cladding to the existing southern and western exterior walls other walls will be painted to update the building with the new corporate colours of Penrith City Council. It will also improve the visual presentation to the façade to enhance the public domain and street character.

**C1.2.5. Safety and Security**

The existing external lighting is proposed to be replaced with LED lighting. This lighting will be orientated to ensure lighting will provide safe and secure lit pathways to the centre from the carpark. The lighting will not impact on adjoining properties due to the distance between these properties and the centre.

Access control

A new security gate and fencing to control access to the centre is proposed as shown on the accompanying plans.

New accessible parking spaces will be provided and will be clearly identified by signage.

**C1.2.6 Maximising Access and Adaptability**

The proposal is to upgrade to the existing facility, carparking and access from to meet current accessibility standards against AS 1428.1, an Access Report accompanies this application.

**C5 Waste Management**

A waste management plan accompanies this application.

**C7 Culture and Heritage**

There is no cultural or heritage issues associated with this site.

**C9.1 General requirements for Signs**

The proposed signage will be located on the southern wall as shown on the accompanying plans. This will enable the signage to be seen from the carpark.

The proposal generally meets the aims and objectives of the DCP.

The sign will be approximately 2 x 1 m acrylic signs backlit with the name of the centre in clear acrylic lettering lit with a low voltage led strip light to councils' details.

**C10.5 Carparking, access and driveways**

Existing carparking and access driveways exist for this site. There are no changes proposed to the existing carparking with the exception of upgrading the existing car space located to the south of the access pathway into an accessible space as shown on the accompanying plans.

**Other Matters**

Context & Setting

The existing building and the proposed works will maintain its relationship with the existing context of the locality, which is characterised by single level residential development.

Public Domain

There are no identified public domain issues relative to this application.

Heritage

There are no heritage items surrounding this proposal.

Other Land Resources

There are no land resources that would be affected as a result of this development.

Wastewater

Wastewater connections existing for this building.

Water

Existing stormwater systems exist for this the gutters and downpipes will be replaced.

Flora & Fauna

This proposal will not have any impact on native flora and fauna.

Waste

Existing waste management facilities exist for the site and locality.

Noise & Vibration

The proposed works will not cause any nuisance to adjoining properties.

Natural Hazards

There are no natural hazards associated with the site.

Technological Hazards

Not applicable.

Safety, Security & Crime Prevention

Existing security systems will remain in place external lighting will be replaced as previously discussed.

Social Impact in the Locality and in the public interest

The development will have a positive social impact by providing work during construction.

Economic Impact in the Locality

There will be no adverse economic impacts arising from the development.

Cumulative Impacts

There are no identified adverse cumulative impacts arising from the proposal.

The suitability of the site for the development

The site is suitable for development as is consistent with the zone objectives of the LEP provisions.

January 19, 2022

Barbara Tarnawski **Architects**

**Conclusion**

The proposal is to upgrade, replace and/or repair existing parts of the existing Childcare Centre building to meet current standards.

No adverse environmental impact will occur as a result of the building and its intended use.

It meets the zone objectives.

There will be no increase in floor area or changes to the building envelope as a result of this work.

The proposal is reasonable in all of the circumstances and is considered appropriate for approval by Council.

**Amendments**

19/01/2022

No tree removal is proposed as part of this application. Hours of use added.  
Carparking to remain unchanged with upgrading of one space to meet accessibility.