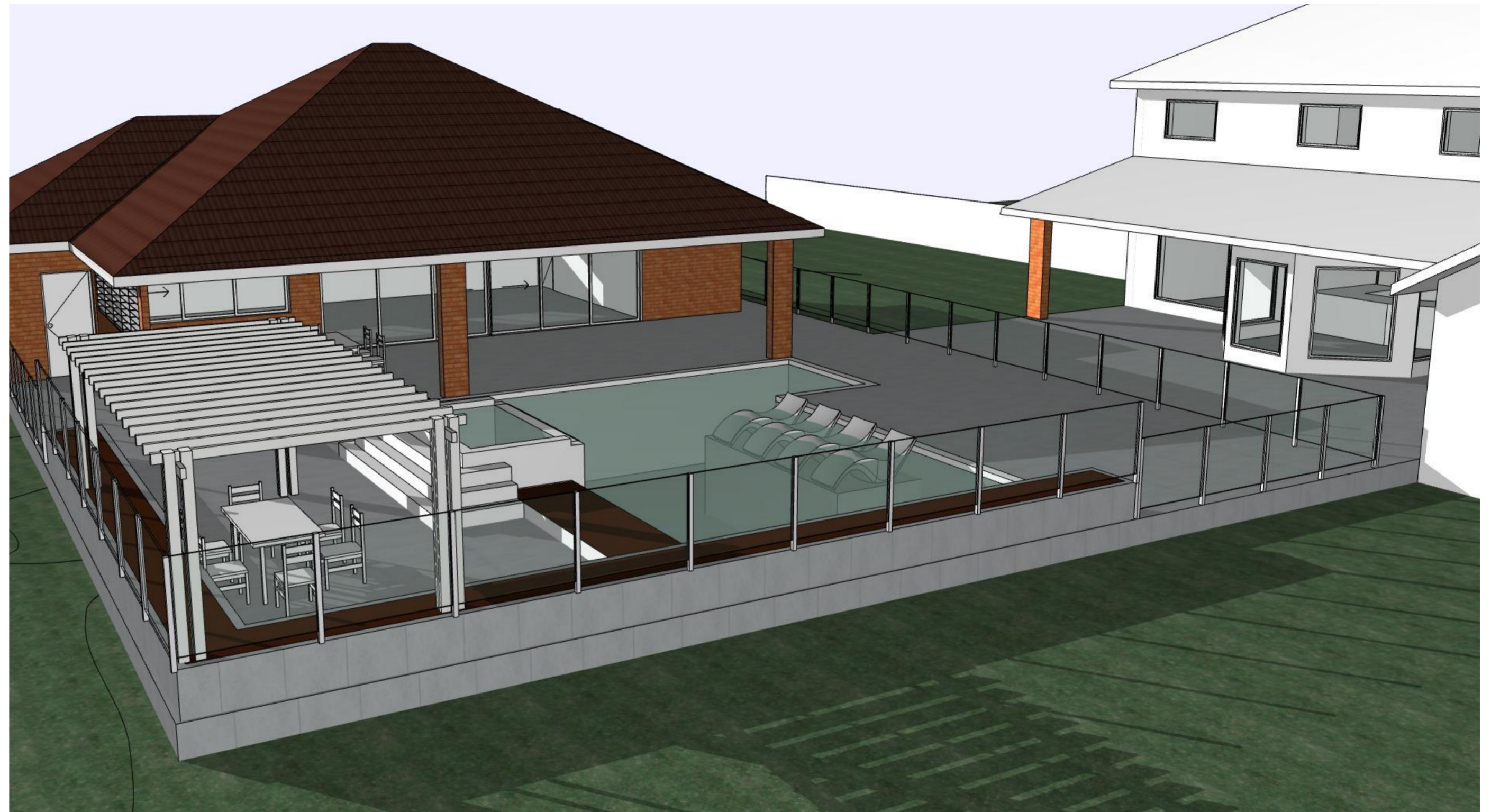


DA

PROPOSED POOL

41-47 JOLLY STREET, CASTLEREAGH, NSW, 2749, LOT 122 DP 709303

DRAWING INDEX		
DRAWING #	DRAWING NAME	REV
DA/CC - 00	COVER SHEET	
DA/CC - 01	SITE PLAN & SITE ANALYSIS	
DA/CC - 02	PROPOSED GROUND FLOOR	
DA/CC - 03	PROPOSED ROOF	
DA/CC - 04	ELEVATIONS	
DA/CC - 05	ELEVATIONS & SECTION	
DA/CC - 06	NOTES	
DA/CC - 07	BASIX	



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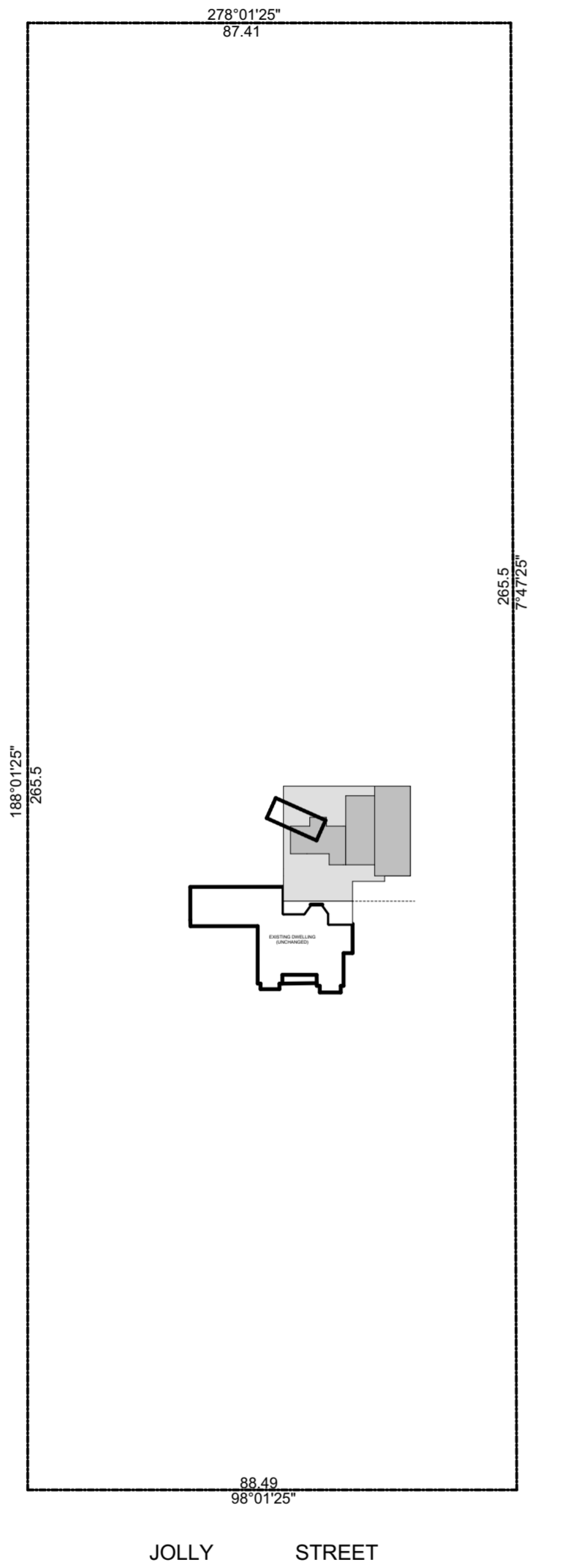
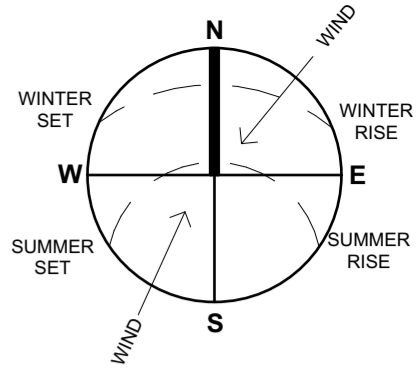
REVISION			CLIENT	PROJECT	DRAWING TITLE
No	DESCRIPTION	DATE			
01	DA	9/06/2021	GOSLING	PROPOSED POOL 41-47 JOLLY STREET, CASTLEREAGH, NSW, 2749 LOT 122 & DP 709303	COVER SHEET

WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALING CONFIRM ALL DIMENSIONS, SETOUTS, LEVELS & ALL ASPECTS OF THE WORKS. ANY CORRECTIONS OR AMBIGUITY IS TO BE RESOLVED BEFORE COMMENCING WORKS OR FABRICATION WINDOW SIZES SHOWN ARE NOMINAL (HEIGHT WIDTH) IE 2124 = 2.1m x 2.4m ADJUST TO THE MANUFACTURERS STANDARD SIZES
ALL LEVELS AND HEIGHTS INDICATED ARE TO AUSTRALIAN HEIGHT DATUM UNLESS OTHERWISE SPECIFICALLY REFERENCED

SCALE - 1:1.69		@ A2	
DATE -			
DESIGNED -		NAH	
DRAWING No -	JOB NO.	REVISION-	
DA/CC - 00	20075	1	

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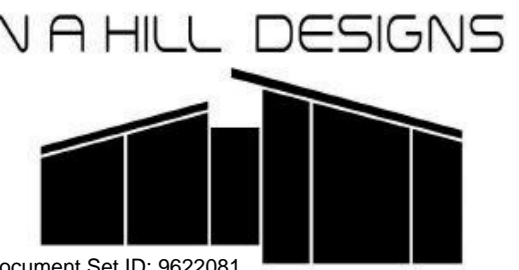
AREA CALCULATIONS	
SITE AREA	23,340
EXISTING DWELLING	493
PROPOSED	104.85
TOTAL FLOOR AREA	597.85 [FSR 0.02:1]



SITE PLAN 1:1000



SITE PLAN 1:200

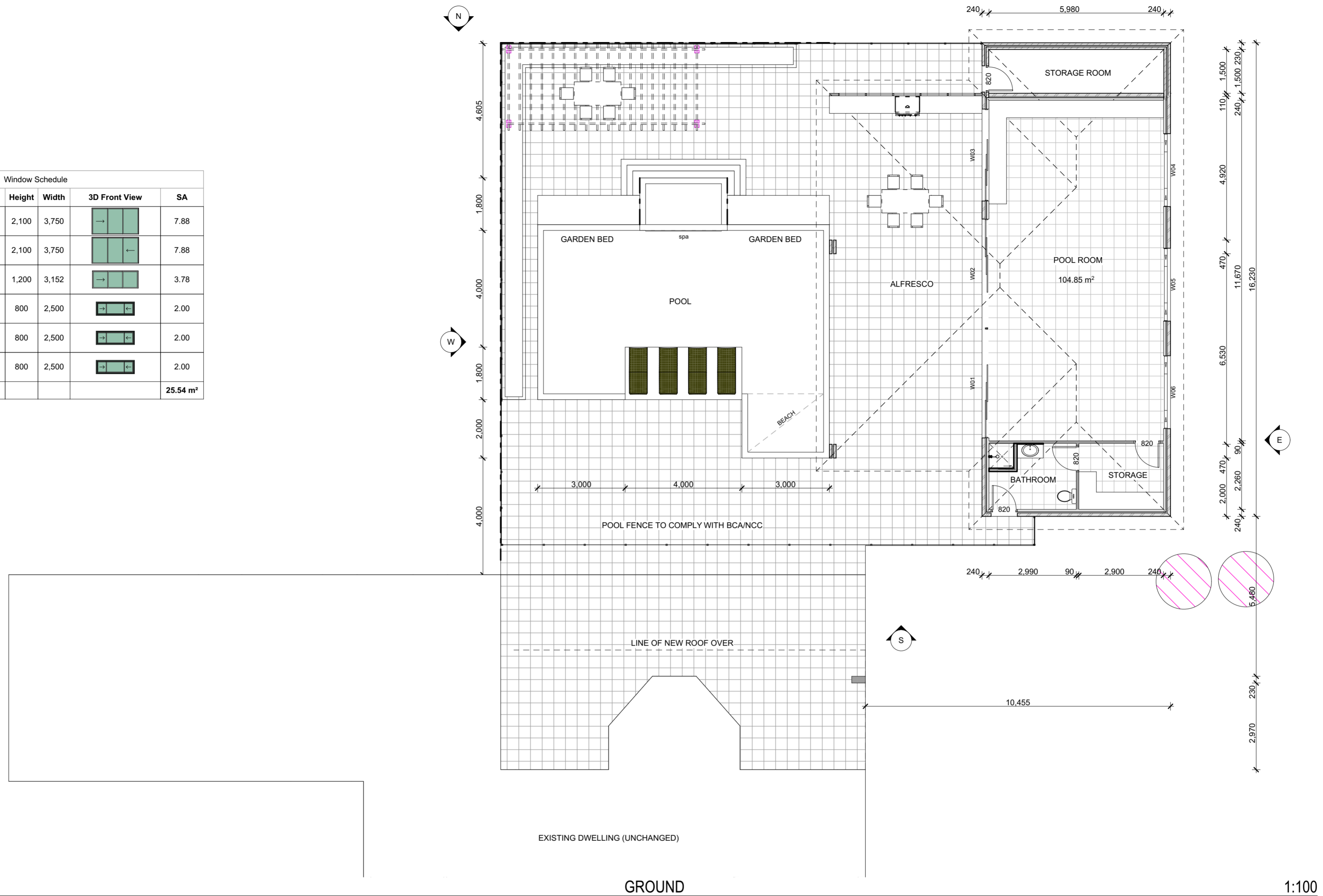


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No	DESCRIPTION	DATE	GOSLING	PROPOSED POOL	SITE PLAN & SITE ANALYSIS																				
01	DA	9/06/2021																							
			41-47 JOLLY STREET, CASTLEREAGH, NSW, 2749		<small>THESE DRAWINGS ARE UNDER COPYRIGHT & ARE THE PROPERTY OF N A HILL DESIGNS. THEY MAY NOT BE REPRODUCED OR COPIED WITHOUT PERMISSION OF N A HILL DESIGNS. ALL DIMENSIONS ARE TO BE VERIFIED AND CONFIRMED BY THE BUILDER PRIOR TO THE COMMENCEMENT OF WORKS.</small>																				
			LOT 122 & DP 709303																						
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SCALE - 1:1.69		@ A2																							
DATE -																									
DESIGNED -		NAH																							
DRAWING No -	JOB NO.	REVISION-																							
DA/CC - 01	20075	1																							

Window Schedule						
Window Number	QTY	Style	Height	Width	3D Front View	SA
W01	1	STACK SLIDING DOOR	2,100	3,750		7.88
W02	1	STACK SLIDING DOOR	2,100	3,750		7.88
W03	1	STACK SLIDING WINDOW	1,200	3,152		3.78
W04	1	SLIDING WINDOW	800	2,500		2.00
W05	1	SLIDING WINDOW	800	2,500		2.00
W06	1	SLIDING WINDOW	800	2,500		2.00
	6					25.54 m²

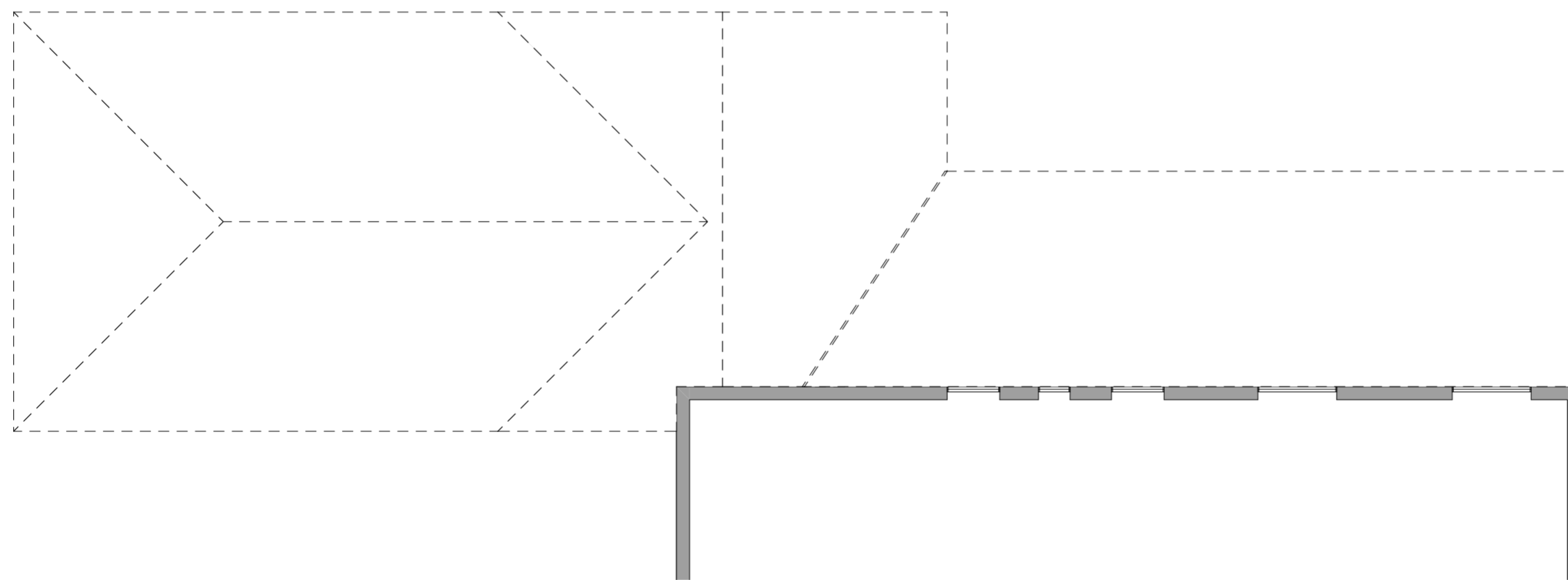
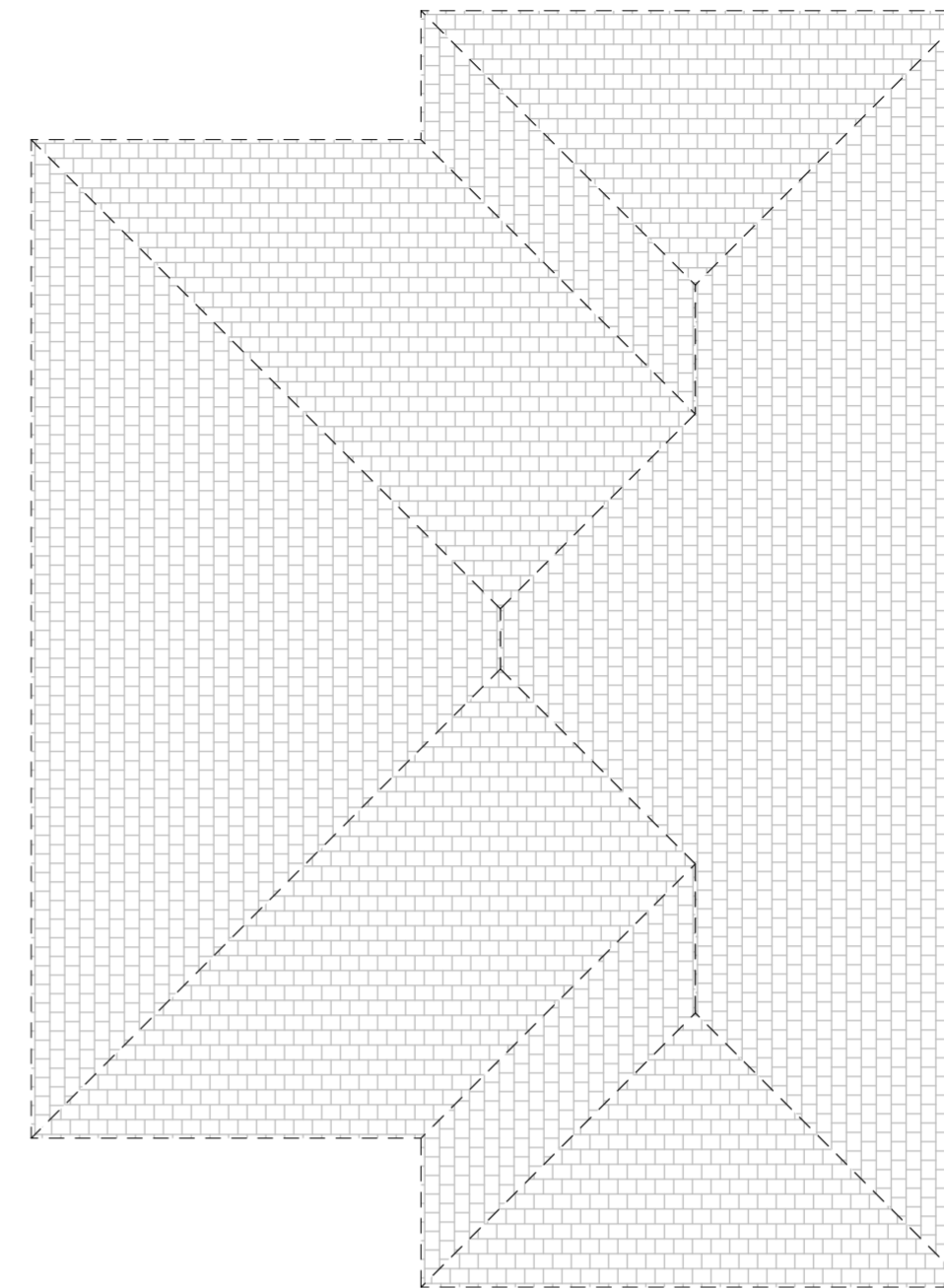


GROUND

1:100



REVISION			CLIENT	PROJECT	DRAWING TITLE
No	DESCRIPTION	DATE	GOSLING	PROPOSED POOL	PROPOSED GROUND FLOOR
01	DA	9/06/2021			
			<p>WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALING CONFIRM ALL DIMENSIONS, SETOUTS, LEVELS & ALL ASPECTS OF THE WORKS. ANY CORRECTIONS OR AMBIGUITY IS TO BE RESOLVED BEFORE COMMENCING WORKS OR FABRICATION WINDOW SIZES SHOWN ARE NOMINAL (HEIGHT WIDTH) IE 2124 = 2.1m x 2.4m ADJUST TO THE MANUFACTURERS STANDARD SIZES ALL LEVELS AND HEIGHTS INDICATED ARE TO AUSTRALIAN HEIGHT DATUM UNLESS OTHERWISE SPECIFICALLY REFERENCED</p>		
			<p>SCALE - 1:1.69 @ A2</p>		
			<p>DATE -</p>		
			<p>DESIGNED - NAH</p>		
			<p>DRAWING No - DA/CC - 02</p>		
			<p>JOB NO. 20075</p>		
			<p>REVISION- 1</p>		
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ROOF

1:100



ACCREDITED
BUILDING DESIGNER

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REVISION		
No	DESCRIPTION	DATE
01	DA	9/06/2021

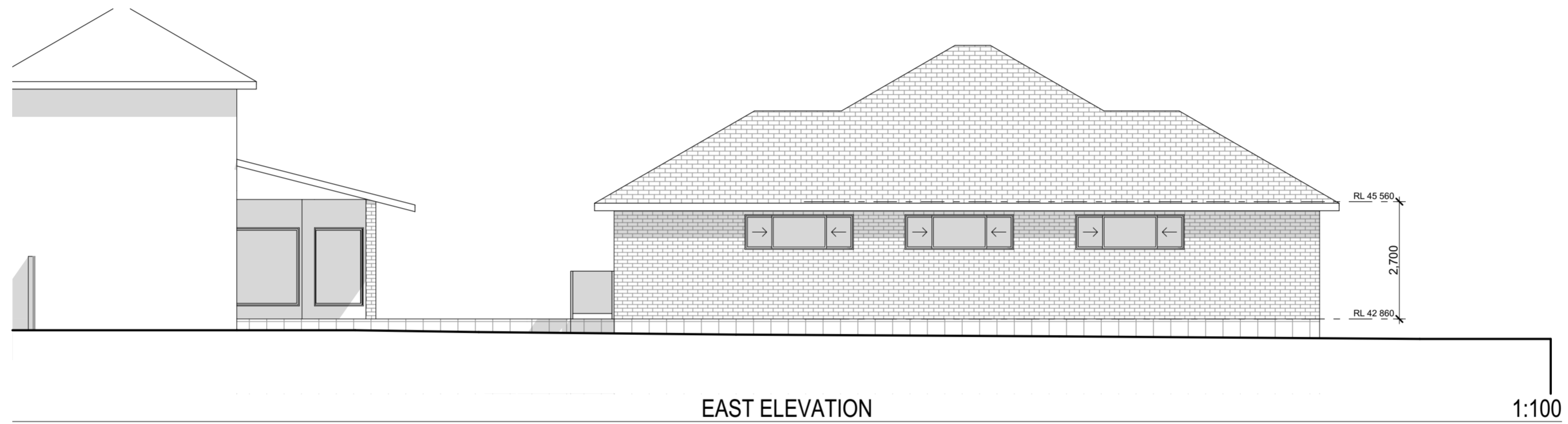
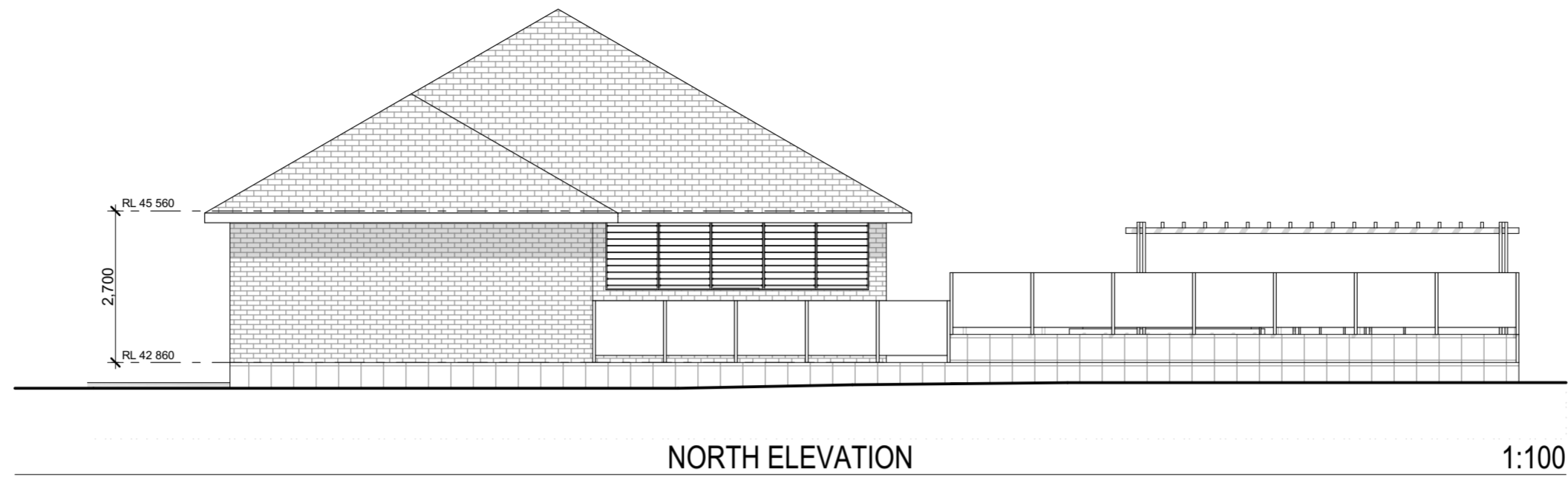
CLIENT	GOSLING
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PROJECT	PROPOSED POOL
	41-47 JOLLY STREET, CASTLEREAGH, NSW, 2749
	LOT 122 & DP 709303

DRAWING TITLE	PROPOSED ROOF
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JOB NO.	20075	REVISION-
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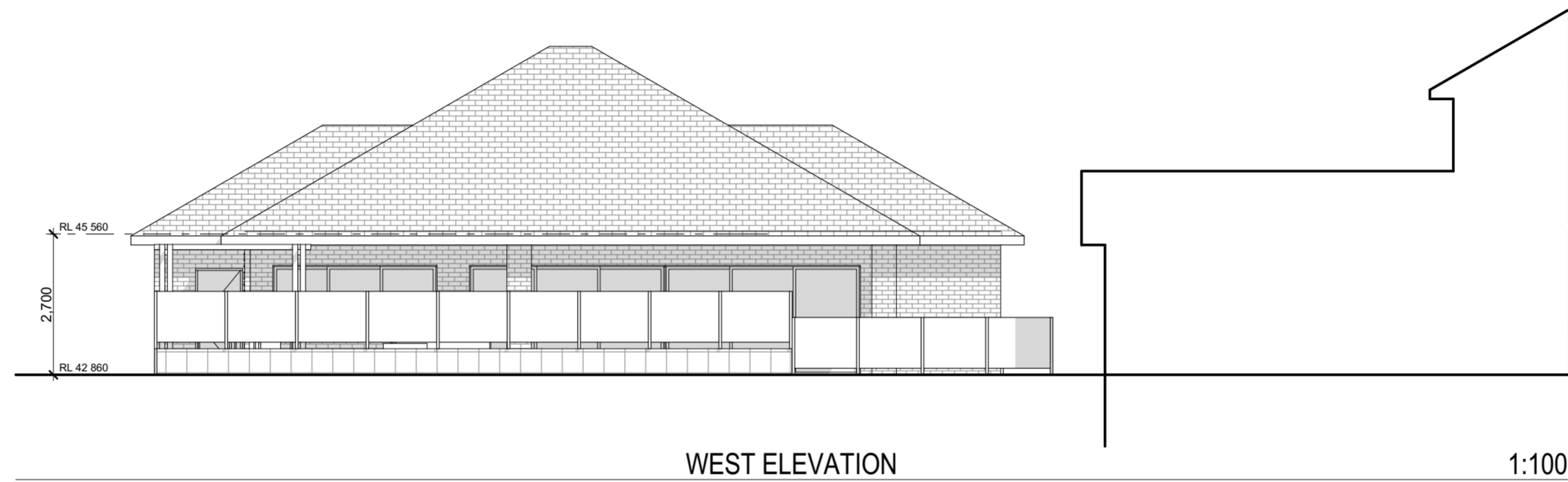
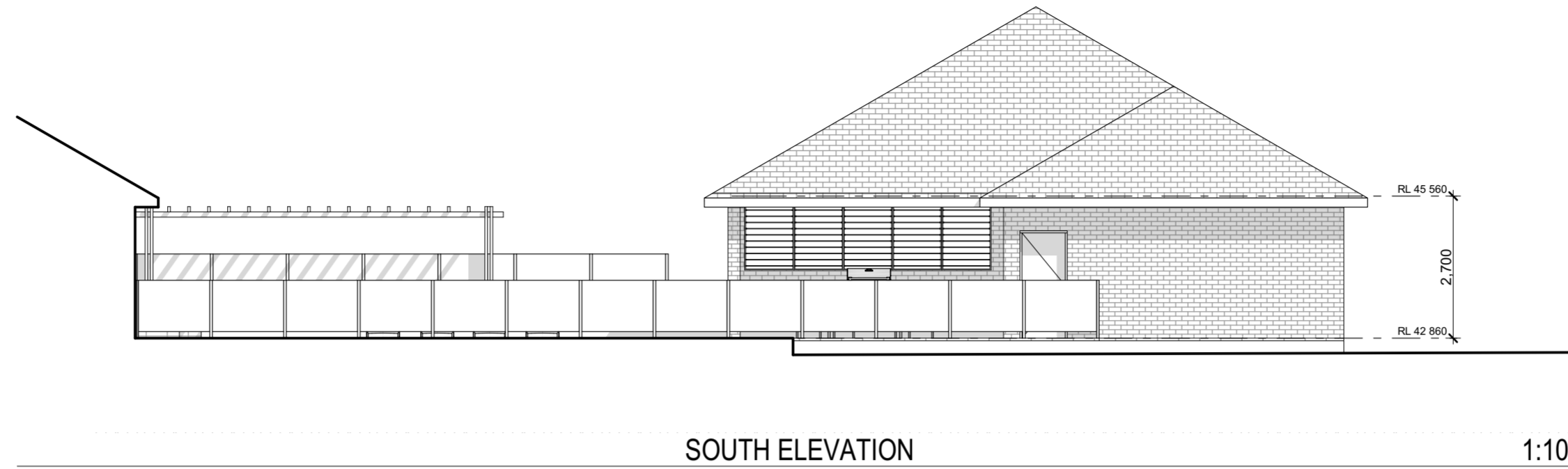


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REVISION			CLIENT	PROJECT	DRAWING TITLE	SCALE - 1:1.69 @ A2
No	DESCRIPTION	DATE				DATE -
01	DA	9/06/2021	GOSLING	PROPOSED POOL	ELEVATIONS	DESIGNED - NAH
				41-47 JOLLY STREET, CASTLEREAGH, NSW, 2749	<small>THESE DRAWINGS ARE UNDER COPYRIGHT & ARE THE PROPERTY OF N A HILL DESIGNS. THEY MAY NOT BE REPRODUCED OR COPIED WITHOUT PERMISSION OF N A HILL DESIGNS. ALL DIMENSIONS ARE TO BE VERIFIED AND CONFIRMED BY THE BUILDER PRIOR TO THE COMMENCEMENT OF WORKS.</small>	DRAWING No -
				LOT 122 & DP 709303		DA/CC - 04
						JOB NO. 20075
						REVISION- 1



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01	DA	9/06/2021	GOSLING	PROPOSED POOL 41-47 JOLLY STREET, CASTLEREAGH, NSW, 2749 LOT 122 & DP 709303	ELEVATIONS & SECTION

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NOTES

ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, CURRENT AUSTRALIAN STANDARDS AS UPDATED FROM TIME TO TIME, LOCAL GOVERNMENT AND STATUTORY AUTHORITIES.
ALL WORK IS TO BE CARRIED OUT BY LICENSED TRADESPERSON AND IN A WORKMAN LIKE MANNER.

SURVEY

PEG OUT BOUNDARIES AND SETOUT HOUSE, OR PROPOSED EXTENSIONS. PROVIDE AN IDENTIFICATION SURVEY UPON COMPLETION OF WORKS. SET OUT AND INDENT SURVEYS TO BE COMPLETED BY A REGISTERED SURVEYOR.

SITE PREPARATION

THE SITE IS TO BE CLEARED OF ALL VEGETATION WITHIN THREE METERS OF THE BUILDING AREA. ANY EXCAVATED AREAS ARE TO BE CUT AND PLACE SPOIL IN THE AREA TO BE FILLED. FILLED AREA IS TO BE COMPACTED MINIMUM 95%

SLAB

CONCRETE SLAB IS TO BE Poured IN ACCORDANCE WITH THE PLANS, STEEL REINFORCING SIZE AND PLACEMENT IS TO STRUCTURAL ENGINEER'S DETAILS.

PEST CONTROL

PROVIDE A PHYSICAL BARRIER TO ALL SLAB PENETRATIONS IN ACCORDANCE WITH A.S 3600.1 .
PROVIDE PHYSICAL BARRIER TO PERIMETER OF SLAB, 75MM ABOVE GROUND LEVEL. ANT CAPPING TO BE INSTALLED IN ACCORDANCE WITH AS 3660.1- 2000 FOR BEARER AND JOIST CONSTRUCTION.

BRICKLAYER

ERECT BRICKWORK TO ALL ELEVATIONS IN SELECTED BRICKWORK USING CEMENT MORTAR .
PROVIDE 250MM 50UM POLYTHENE FLASHING NAILED TO THE BOTTOM PLATE LAID ON TOP OF THE FIRST COURSE OF BRICKWORK.
PROVIDE WEEP HOLES FOR THE EGRESS OF WATER. A 40MM CAVITY IS TO BE MAINTAINED BETWEEN EXTERNAL BRICKWORK AND TIMBER FRAME. CAVITIES ARE TO BE KEPT FREE FROM MORTAR.
PROVIDE VENEER TIES TO STUDS AT 600MM CENTRES EVERY FOURTH COURSE .
PROVIDE ENGAGED PIERS TO SINGLE SKIN BRICKWORK AT 1500MM CENTRES , (UNLESS OTHERWISE DIRECTED BY ENGINEER) .
PIERS ARE TO BE BONDED TO BRICKWORK USING WIRE WALL TIES.
SILLS ARE TO BE FORMED USING BRICK ON EDGE, EXTENDING ACROSS THE CAVITY FROM THE WINDOW TO THE FACE BRICKWORK. ACID CLEAN ALL EXTERNAL ELEVATIONS.
WALL TIES ARE TO CONFORM TO THE BCA AND MASONRY CODE.

TIMBER FRAMING

FRAMES ARE TO BE BUILT TO AS 1684. WALLS TO BE ERECTED STRAIGHT AND PLUMB. WHERE PRE-FABRICATED FRAMING IS USED, FRAMING IS TO BE MANUFACTURED AS DIRECTED BY ENGINEER.
EAVES SOFFIT IS TO BE FRAMED LEVEL WITH 75X38F5 RADIATA. EAVES LINING IS TO BE 4.5MM HARDIEFLEX WITH PLASTIC "H" MOULD TO JOINTS. PERIMETER OF BRICKWORK IS TO BE TRIMMED WITH 38X25 DAR PRIMED PINE MOULD.

ALL GLAZING

ALL GLAZING IS TO CONFORM TO AS1288, AS 2047 SEPP BASIX AND ANY REQUIREMENTS FOR BUSHFIRE OR ANY OTHER GOVERNING BODY.
ALL WINDOW MUST COMPLY WITH CLAUSE 3.9.2.5 OF THE NCC RE. 2M OR MORE ABOVE SURFACE BELOW THE WINDOW IS TO BE FITTED WITH A DEVICE TO LIMIT OPENING OR A SUITABLE SCREEN SO A 125MM SPHERE CANNOT PASS THROUGH. REFER TO BCA AND NCC

GUTTER, DOWNPIPES AND STORMWATER DISPOSAL

GUTTER, DOWNPIPES AND STORMWATER DISPOSAL IS TO COMPLY WITH VOL 2 OF THE BCA

ROOFER

TILES TO BE SECURED TO BATTEN, EVERY SECOND TILE. BED, RIDGE HIP AND APEX TILES USING SAND AND CEMENT MIX. POINT UP BEDDING JOINT WITH COLOURED SAND AND CEMENT MIX.
IRON SHEET ROOFING TO BE SECURED IN ACCORDANCE WITH THE AUSTRALIA STANDARD OR MANUFACTURERS INSTRUCTION.

ELECTRICAL

WIRE AND INSTALL SMOKE DETECTORS, MAINS OPERATED WITH BATTERY BACKUP AS PER CL 3.7.2 VOL 2 OF THE BCA AND AS3876

PLASTER

ALL PLASTERING IS TO CONFORM TO AS2589

WATERPROOFING

PROVIDE WATERPROOFING IN ACCORDANCE WITH CL 3.8.1 OF THE BUILDING CODE OF AUSTRALIA VOLUME 2 AND AS 3740 WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS

INSULATION

INSULATION IS TO BE INSTALLED AS PER THE RELEVANT BASIX CERTIFICATE AND AS 4859.1 MATERIALS FOR THE THERMAL INSULATION OF BUILDINGS - GENERAL CRITERIA AND TECHNICAL PROVISIONS AND AS3999 THERMAL INSULATION OF DWELLINGS-BULK INSULATION-INSTALLATION REQUIREMENTS.

BASIX

ALL BASIX COMMITMENTS TO COMPLY WITH THE BASIX CERTIFICATE RELEVANT TO THE DEVELOPMENT.

PROTECTION OF WINDOWS

ALL WINDOWS REQUIRED BY CL 3.9.2.5 OF THE BUILDING CODE OF AUSTRALIA VOLUME 2 SHALL BE PROTECTED AS FOLLOWS:
* A CHILD RESISTANT DEVICE THAT HAS BEEN DESIGNED AND INSTALLED TO RESIST AN OUTWARD HORIZONTAL ACTION OF 250 N AND RESTRICTS THE WINDOW OPENING TO A MAXIMUM OF 125MM ; OR
* A CHILD RESISTANT SCREEN WITH SECURE FITTINGS THAT HAS BEEN DESIGNED AND INSTALLED TO RESIST AN OUTWARD HORIZONTAL ACTION OF 250 N;

GAS FITTER

RETICULATED OR BOTTLED GAS ON THE LOT (A) IS TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH AS/NZS 1596:2008, THE STORAGE AND HANDLING OF LP GAS AND THE REQUIREMENTS OF RELEVANT AUTHORITIES (METAL PIPING MUST BE USED), AND
(B) GAS CYLINDERS ON THE LOT THAT ARE WITHIN 10M OF A DWELLING HOUSE HAVE THE RELEASE VALVES DIRECTED AWAY FROM THE DWELLING HOUSE, HAVE METAL CONNECTIONS TO AND FROM THE CYLINDERS, AND THERE ARE NO POLYMER SHEATHED FLEXIBLE GAS SUPPLY LINES TO GAS METERS ADJACENT TO THE DWELLING

SITE

CONTRACTOR SHALL PROVIDE BARRICADES, HOARDING, FENCES, SCAFFOLDING, TRAFFIC MANAGEMENT AS REQUIRED. NO SAFETY MEASURES MAY BE REMOVED, COVERED OR OBSTRUCTED DURING THE WORKS. IF APPLICABLE, EXISTING ILLUMINATED EXIT SIGNAGE MUST BE KEPT OPERATIONAL THROUGHOUT THE WORKS.



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REVISION	CLIENT	PROJECT	DRAWING TITLE
No	DESCRIPTION	DATE	
01	DA ISSUE	9/06/2021	
GOSLING		PROPOSED POOL	NOTES
		41-47 JOLLY STREET, CASTLEREAGH, NSW, 2749	
		LOT 122 & DP 709303	
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Document Set ID: 96
Version: 1, Version Date: 10/06/2021

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A419980

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 05/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 09 June 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	GOSLING
Street address	41-47 JOLLY Street CASTLEREAGH 2749
Local Government Area	Parrish City Council
Plan type and number	Deposited Plan 709303
Lot number	122
Section number	
Project type	
Dwelling type	Separate dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and includes a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	N A Hill Designs
ABN (if applicable):	53853266375

page 1 / 7 BASIX Certificate number: A419980

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

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Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.	✓	✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	W	7.8	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W2	W	7.8	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W3	W	3.7	0	0	eave/verandah/pergola/balcony >=900 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W4	E	2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)
W5	E	2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)

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BASIX Certificate number: A419980

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Planning, Industry & Environment

Building Sustainability Index www.basix.nsw.gov.au

Planning, Industry & Environment

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BASIX Certificate number: A419980

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Pool and Spa	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Rainwater tank The applicant must install a rainwater tank of at least 19250 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. The applicant must configure the rainwater tank to collect rainwater runoff from at least 100 square metres of roof area. The applicant must connect the rainwater tank to a tap located within 10 metres of the edge of the pool and outdoor spa.	✓	✓	✓
Outdoor swimming pool The swimming pool must be outdoors. The swimming pool must not have a capacity greater than 87 kilolitres. The applicant must install a pool pump timer for the swimming pool. The applicant must not incorporate any heating system for the swimming pool that is part of this development.	✓	✓	✓
Outdoor spa The spa must not have a capacity greater than 6 kilolitres. The spa must have a spa cover. The applicant must install a spa pump timer. The applicant must not incorporate any heating system for the outdoor spa that is part of this development.	✓	✓	✓

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check									
Insulation requirements The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓									
<table border="1"> <thead> <tr> <th>Construction</th> <th>Additional insulation required (R-value)</th> <th>Other specifications</th> </tr> </thead> <tbody> <tr> <td>concrete slab on ground floor.</td> <td>nil</td> <td></td> </tr> <tr> <td>flat ceiling, pitched roof</td> <td>ceiling: R1.95 (up), roof: foil backed blanket (85 mm)</td> <td>medium (solar absorptance 0.475 - 0.70)</td> </tr> </tbody> </table>	Construction	Additional insulation required (R-value)	Other specifications	concrete slab on ground floor.	nil		flat ceiling, pitched roof	ceiling: R1.95 (up), roof: foil backed blanket (85 mm)	medium (solar absorptance 0.475 - 0.70)			
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Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
Window / door no.	Orientation	Area of glass (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W6	E	2	0	0	eave/verandah/pergola/balcony >=600 mm	improved aluminium, single toned, (U-value: 6.39, SHGC: 0.56)

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REVISION	CLIENT	PROJECT	DRAWING TITLE																		
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ALL LEVELS AND HEIGHTS INDICATED ARE TO AUSTRALIAN HEIGHT DATUM UNLESS OTHERWISE SPECIFICALLY REFERENCED

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