


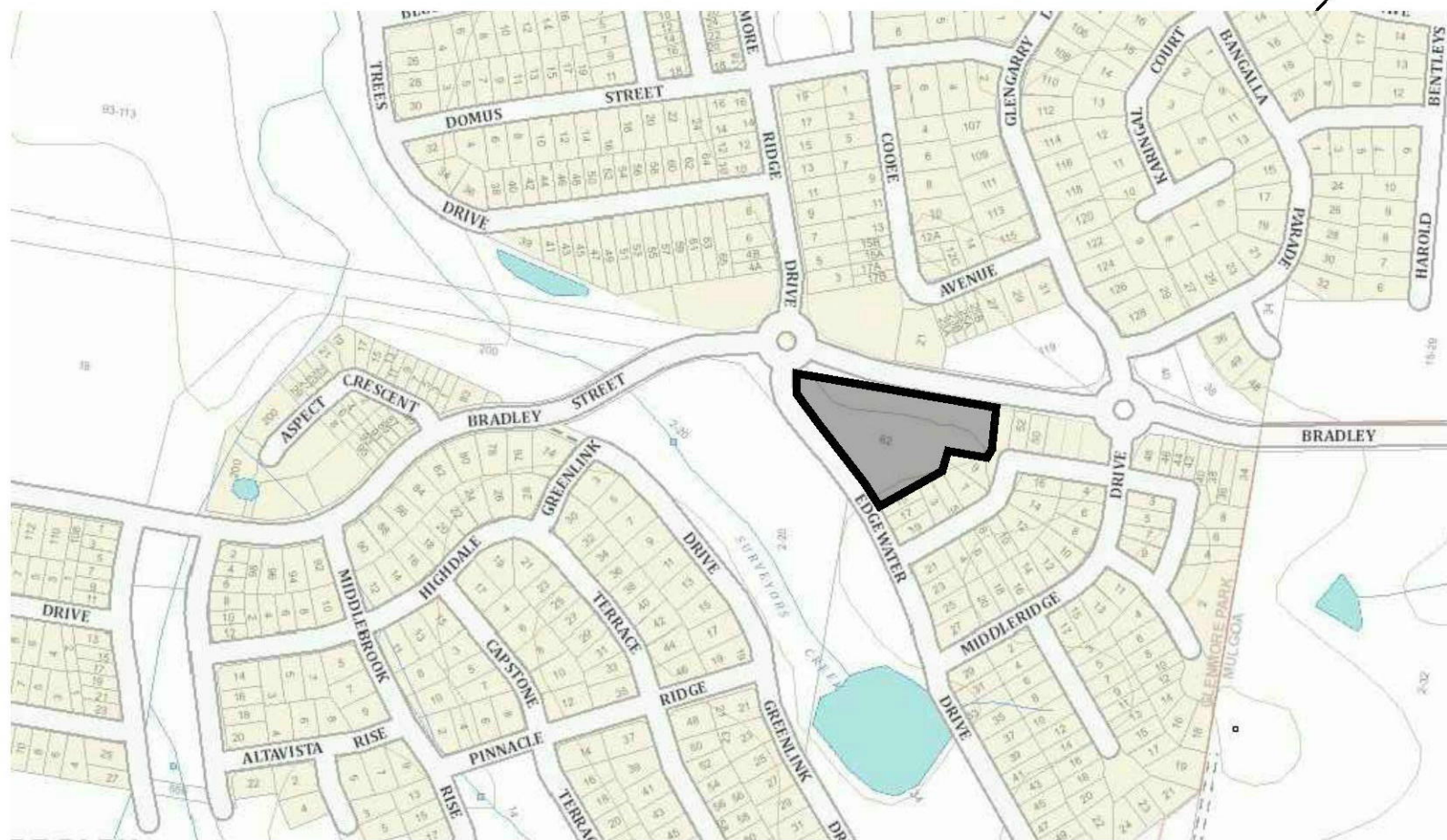
PENRITH CITY COUNCIL  
PROPOSED DEVELOPMENT AT  
BRADLEY HEIGHTS, CORNER BRADLEY HEIGHTS AND  
EDGEWATER DRIVE, GLENMORE PARK.  
ENGINEERING DESIGN PLANS

GENERAL NOTES

1. ALL WORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH PENRITH CITY COUNCIL'S WORKS SPECIFICATION CIVIL - 2005 REQUIREMENTS AND/OR AS DIRECTED BY THEIR REPRESENTATIVE.
2. THE CONTRACTOR IS TO IDENTIFY, LOCATE AND LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION WORKS AND WHERE NECESSARY MAKE ARRANGEMENTS WITH THE RELEVANT AUTHORITY TO RELOCATE OR ADJUST WHERE NECESSARY.
3. COUNCIL'S TREE PRESERVATION ORDER MUST BE OBSERVED AND NO TREE SHALL BE FELLED, LOPPED OR REMOVED WITHOUT THE PRIOR APPROVAL OF COUNCIL.
4. ALL WORKS SHALL BE UNDERTAKEN IN ACCORDANCE WITH THE WORK HEALTH & SAFETY ACT 2011 AND ALL RELEVANT OCCUPATIONAL HEALTH & SAFETY POLICIES AND REGULATIONS.
5. DIMENSIONS SHALL NOT BE SCALED FROM THE PLANS. CLARIFICATION OF DIMENSIONS SHALL BE SOUGHT FROM THE SUPERINTENDENT OR REFERRED TO THE DESIGNER.
6. SURVEY MARKS SHOWN THUS  SHALL BE MAINTAINED AT ALL TIMES. WHERE RETENTION IS NOT POSSIBLE THE ENGINEER SHALL BE NOTIFIED AND CONSENT RECEIVED PRIOR TO THEIR REMOVAL.
7. ALL NEW WORK IS TO MAKE A SMOOTH JUNCTION WITH EXISTING CONDITIONS.
8. THE CONTRACTOR IS NOT TO ENTER UPON NOR DO ANY WORK WITHIN OR ON ADJACENT LANDS WITHOUT THE PRIOR APPROVAL OF THE SUPERINTENDENT AND THE WRITTEN PERMISSION OF THE OWNERS.
9. SEDIMENT MEASURES SHALL BE IMPLEMENTED PRIOR TO SOIL DISTURBANCE IN KEEPING WITH THE 4th EDITION OF LANDCOMS "SOILS AND CONSTRUCTION - MANAGING URBAN STORMWATER" MARCH 2004 TO THE SATISFACTION OF COUNCIL'S REPRESENTATIVE AND AS SHOWN IN THESE DRAWINGS.
10. THE CONTRACTOR SHALL CLEAR AND DISPOSE OF ONLY THOSE TREES THAT ARE CONDEMNED BY THE PLANS. COUNCIL'S TREE PRESERVATION ORDER SHALL BE OBSERVED AND NO TREE SHALL BE FELLED, LOPPED OR REMOVED WITHOUT PRIOR APPROVAL.
11. THE CONTRACTOR SHALL CLEAR THE SITE BY REMOVING ALL RUBBISH, FENCES, OUT HOUSES, CAR BODIES, DEBRIS, ETC. THE CONTRACTOR SHALL NOT DISPOSE OF ANY DEBRIS BY BURNING OFF IN AN OPEN FIRE.
12. UNSOUND MATERIALS AS DETERMINED BY COUNCIL'S REPRESENTATIVE SHALL BE REMOVED FROM ROADS AND LOTS PRIOR TO ANY FILLING.
13. ALL SITE REGRADING AREAS SHALL BE GRADED TO THE SATISFACTION OF COUNCIL'S REPRESENTATIVE. THE CONTRACTOR SHALL TAKE LEVELS ON THE EXISTING SURFACE AFTER STRIPPING TOPSOIL AND PRIOR TO COMMENCING ANY FILL OPERATIONS.
14. SURPLUS EXCAVATED MATERIAL SHALL BE PLACED OR DISPOSED OF IN ACCORDANCE WITH THE CONTRACT, OR AS DIRECTED BY THE SUPERINTENDENT.
15. ALL SITE FILLING SHALL BE PLACED IN LAYERS NOT EXCEEDING 300mm AND COMPACTED IN ACCORDANCE WITH COUNCIL'S SPECIFICATION AND BE TESTED AT THE REQUIRED INTERVALS BY AN APPROVED N.A.T.A. GEOTECHNICAL LABORATORY.
16. MINIMUM 150mm THICK TOPSOIL SHALL BE SPREAD ON ALL FOOTPATHS, BERMS, BATTERS AND SITE REGRADING AREAS. EXCESS TOPSOIL SHALL BE DISPOSED OF AS DIRECTED BY THE SUPERINTENDENT.
17. ALL LAND DISTURBED BY EARTHWORKS SHALL BE SPRAY-GRASSED, OR SIMILARLY TREATED TO ESTABLISH GRASS COVER. SEED MIXTURES ARE TO BE APPROVED BY COUNCIL PRIOR TO SPRAYING. ALL GRASSED AREAS SHALL BE REGULARLY WATERED AND MAINTAINED UNTIL EXPIRATION OF THE MAINTENANCE PERIOD.
18. THE CONTRACTOR SHALL MAINTAIN DUST CONTROL THROUGHOUT THE DURATION OF THE PROJECT.
19. ALL PITS DEEPER THAN 1.2m SHALL HAVE STEP IRONS PROVIDED IN ACCORDANCE WITH COUNCIL'S STANDARDS.
20. ALL DRAINAGE LINES THROUGH LOTS SHALL BE CONTAINED WITHIN THEIR EASEMENTS AND CONFORM WITH COUNCIL'S STANDARDS.
21. ALL DRAINAGE LINES ON HIGH SIDE AND UNDER ROADS SHALL BE BACKFILLED SHARP SAND AND HAVE 3.0m OF AGRICULTURAL LINE WRAPPED IN AN APPROVED FILTER FABRIC, DISCHARGING INTO THE DOWNSTREAM PIT.
22. SUBSOIL DRAINS SHALL BE CONSTRUCTED TO THE SATISFACTION OF COUNCIL'S REPRESENTATIVE.
23. PRECAST KERB INLET LINTELS SHALL BE USED ON GULLY PITS. GRATES SHALL BE "WELDLOK" TYPE GG 78-51 OR APPROVED EQUIVALENT.
24. PROVIDE VEHICULAR ENTRIES IN KERB AND GUTTER WHERE SHOWN OR WHERE DIRECTED BY THE SUPERINTENDENT.
25. GUIDE POSTS SHALL BE 100mm X 50mm HARDWOOD, PAINTED WHITE WITH REFLECTORS.
26. ERECT STREET NAME SIGNS, CONDUIT WARNING SIGNS AND NO THROUGH ROAD SIGNS WHERE SHOWN OR WHERE DIRECTED BY COUNCIL'S REPRESENTATIVE.
27. CONDUITS SHALL BE LAID AFTER POSITIONS HAVE BEEN DETERMINED BY THE RELEVANT AUTHORITIES AND BEFORE FINAL A.C. IS LAID
28. POSITION OF CONDUITS SHALL BE MARKED ON THE KERB.
29. FELLED TREES SHALL BE SALVAGED FOR RE-USE AS WOODCHIP MULCH OR LOG FORM FOR SITE REHABILITATION, NON-SALVAGEABLE MATERIAL SUCH AS STUMPS AND ROOTS SHALL BE DISPOSED OF OFF SITE.
30. THE CONTRACTOR SHALL PROVIDE MINIMUM 24 HOURS NOTICE TO COUNCIL'S REPRESENTATIVE FOR ALL INSPECTIONS.
31. THE CONTRACTOR SHALL MAINTAIN SERVICES AND ALL WEATHER ACCESS AT ALL TIMES TO THE ADJOINING PROPERTIES.
32. THE CONTRACTOR SHALL UNDERTAKE TRAFFIC CONTROL MEASURES TO COUNCIL'S SATISFACTION AND SHALL DISPLAY ALL APPROPRIATE WARNING SIGNS THROUGHOUT THE DURATION OF CONSTRUCTION.
33. ALL NATURAL SURFACE DATA HAS BEEN DETERMINED BY TERRAIN MODELLING. ALL CONSTRUCTION SITE WORKS MUST BE CARRIED OUT USING THE BENCH MARKS SHOWN ON THESE DRAWINGS.



LOCATION OF WORKS

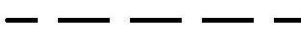




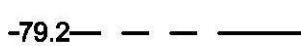




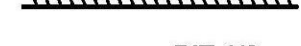







LOCALITY SKETCH  
NOT TO SCALE

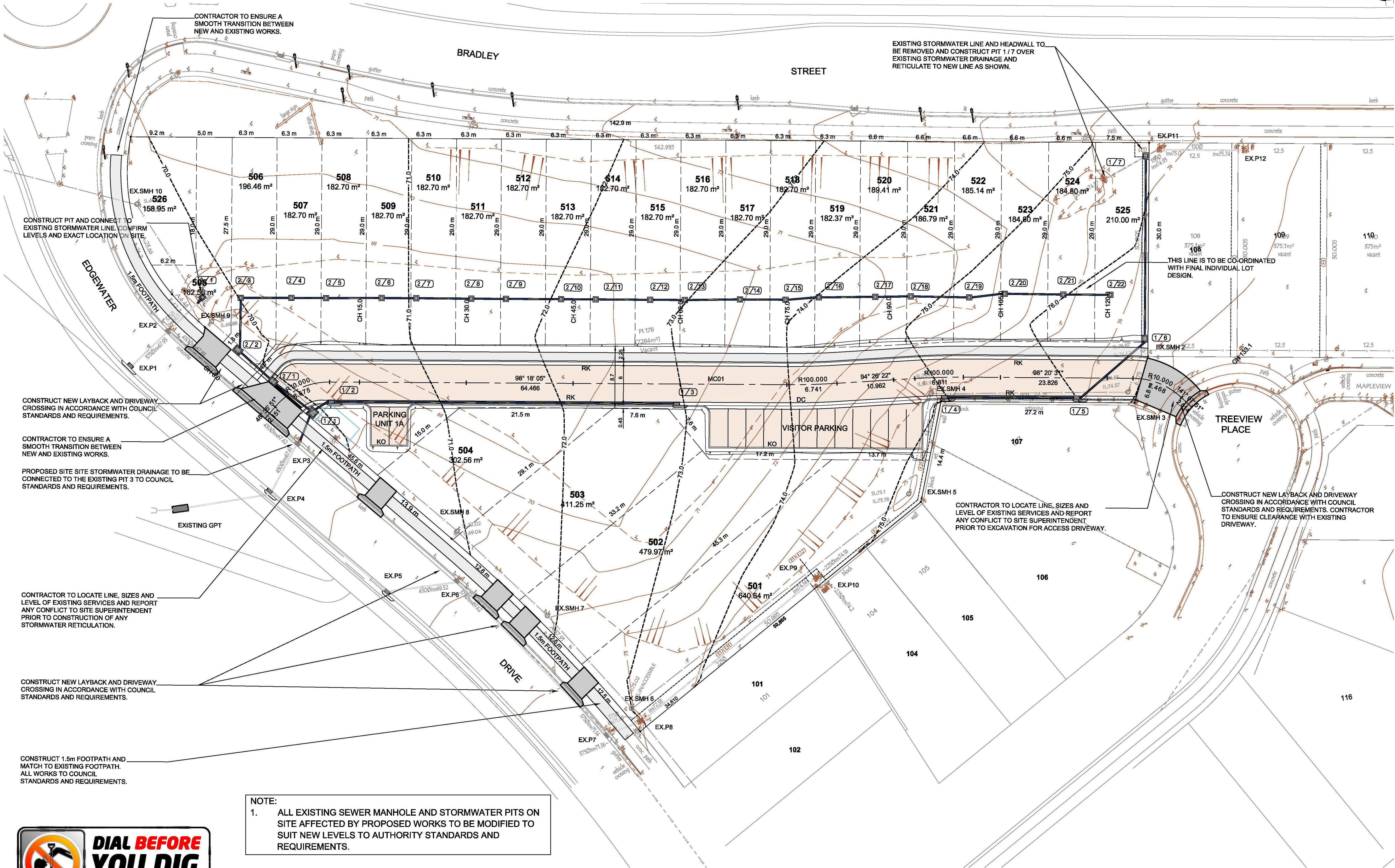
SHEET INDEX

SHEET No.	DESCRIPTION
COVER SHEET	COVER SHEET - GENERAL NOTES, SHEET INDEX AND LEGEND
2	ENGINEERING PLAN SHEET 1
3	BULK EARTHWORKS CUT/FILL PLAN
4	LONGITUDINAL MC01 AND MC02 & TYPICAL CROSS SECTIONS AND DETAILS
5	DETAIL SHEET
6	SOIL AND WATER MANAGEMENT PLAN
7	SOIL AND WATER MANAGEMENT DETAILS
8	SWEPT PATH ANALYSIS

LEGEND

-  ROOF DRAINAGE LINE
-  PROPOSED DRAINAGE LINE
-  EXISTING DRAINAGE LINE
-  NATURAL SURFACE CONTOUR
-  BULK EARTHWORKS CONTOURS
-  DESIGN SURFACE CONTOUR
-  TABLE DRAIN
-  EXISTING HEADWALL
-  PROPOSED HEADWALL
-  LIMIT OF CONSTRUCTION
-  LIMIT OF WORKS
-  PIT NUMBER
-  SUBSOIL DRAINAGE LINE
-  GRATED SURFACE INLET PIT
-  SEALED PIT
-  KERB INLET PIT





NOTE:  
1. ALL EXISTING SEWER MANHOLE AND STORMWATER PITS ON SITE AFFECTED BY PROPOSED WORKS TO BE MODIFIED TO SUIT NEW LEVELS TO AUTHORITY STANDARDS AND REQUIREMENTS.



REV	AMENDMENT	ISSUED	DATE
A	PRELIMINARY DESIGN	RW	21/06/17
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C	DA SUBMISSION	RW	26/06/17
D	SECTION 4.55	RW	19/07/17

**BARKER  
RYAN  
STEWART**  
TOTAL PROJECT SOLUTIONS  
PLANNING - PROJECT MANAGEMENT - ENGINEERING - CERTIFICATION

SYDNEY  
P: 02 9659 0005  
CENTRAL COAST  
P: 02 4325 5255  
HUNTER  
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ABN: 26 134 067 842  
brs.com.au  
mail@brs.com.au

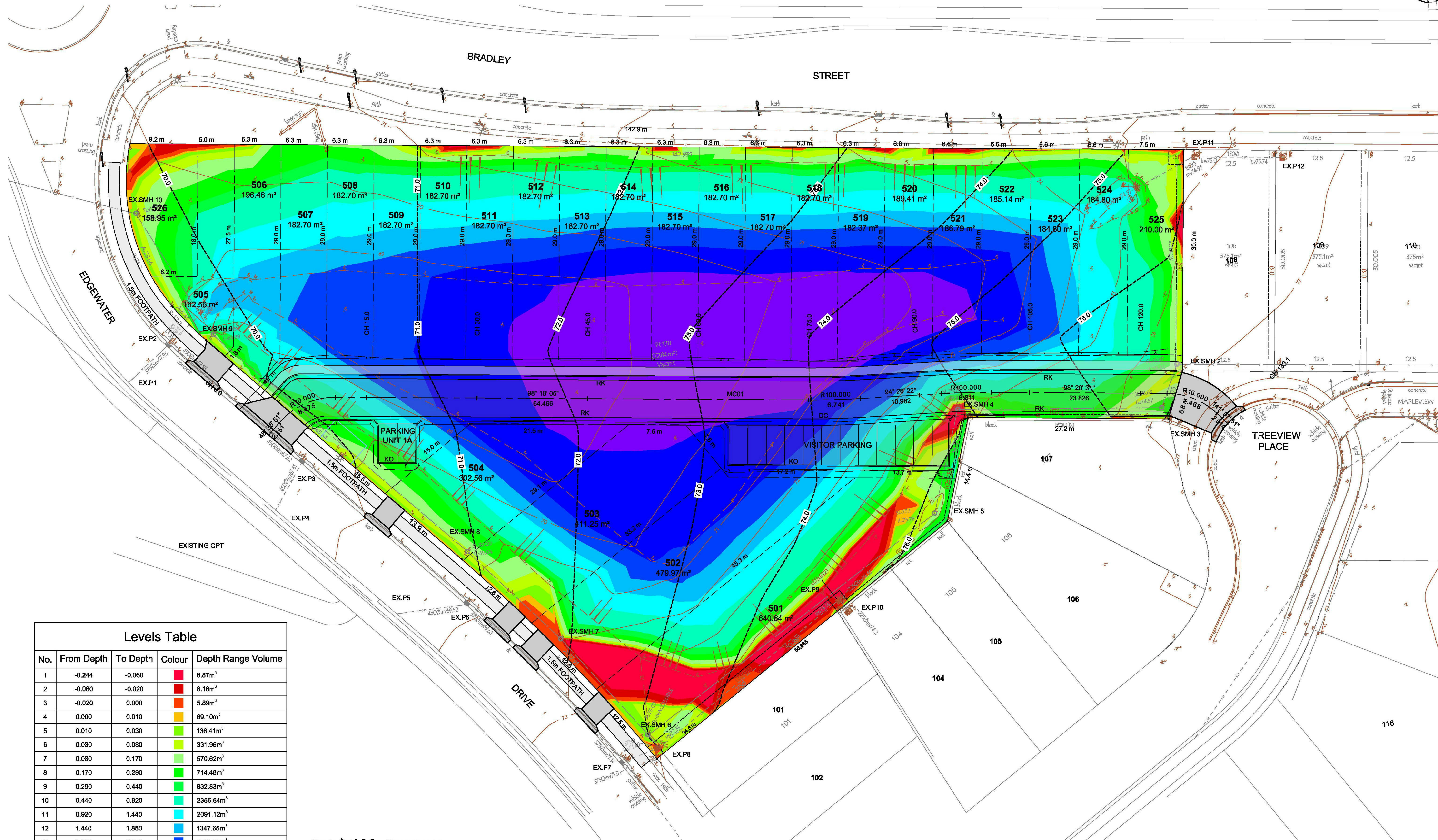
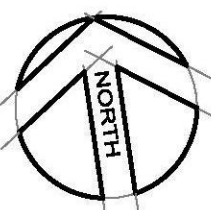
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**PROPOSED DEVELOPMENT AT  
BRADLEY HEIGHTS, CORNER BRADLEY HEIGHTS AND  
EDGEWATER DRIVE, GLENMORE PARK.**  
ENGINEERING PLAN 1

Designed: RW  
Drawn: RW  
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Scales: Plan 1:250  
Horiz.  
Vert.  
X-Sect.  
Datum: A.H.D.

Plan No.  
**SY17068C02**  
File Ref.  
SY17068C\_D.dwg  
SHEET 2 OF 8 SHEETS  
REV. **D**





Levels Table				
No.	From Depth	To Depth	Colour	Depth Range Volume
1	-0.244	-0.060		8.87m³
2	-0.060	-0.020		8.16m³
3	-0.020	0.000		5.89m³
4	0.000	0.010		69.10m³
5	0.010	0.030		136.41m³
6	0.030	0.080		331.96m³
7	0.080	0.170		570.62m³
8	0.170	0.290		714.48m³
9	0.290	0.440		832.83m³
10	0.440	0.920		2356.64m³
11	0.920	1.440		2091.12m³
12	1.440	1.850		1347.65m³
13	1.850	2.380		1361.16m³
14	2.380	3.080		1147.69m³
15	3.080	3.700		306.21m³

Cut/Fill Summary

Cut	Fill	Net
22.92 Cu. M.	11,265.87 Cu. M.	11,242.95 Cu. M.<Fill>



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D	SECTION 4.55	RW	19/07/17

BARKER  
RYAN  
STEWART

TOTAL PROJECT SOLUTIONS  
PLANNING - PROJECT MANAGEMENT - ENGINEERING - CERTIFICATION

SYDNEY  
P: 02 9659 0005  
CENTRAL COAST  
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HUNTER  
P: 02 4966 8388  
ABN: 26 134 067 842  
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mail@brs.com.au

Client:



PROPOSED DEVELOPMENT AT  
BRADLEY HEIGHTS, CORNER BRADLEY HEIGHTS AND  
EDGEWATER DRIVE, GLENMORE PARK.  
BULK EARTHWORKS CUT/FILL PLAN

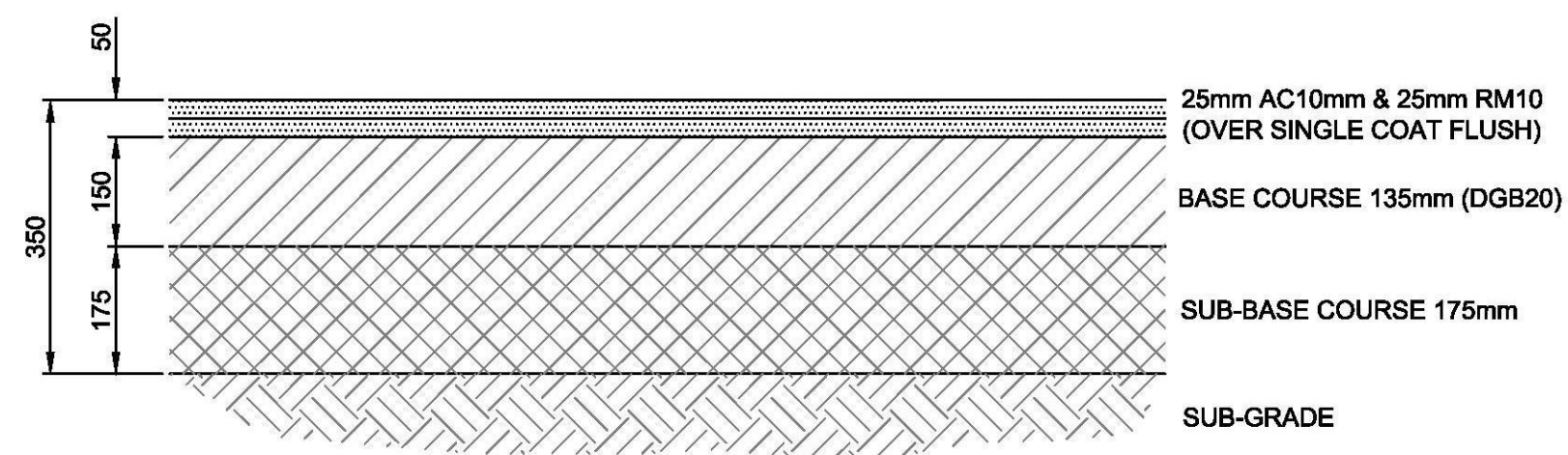
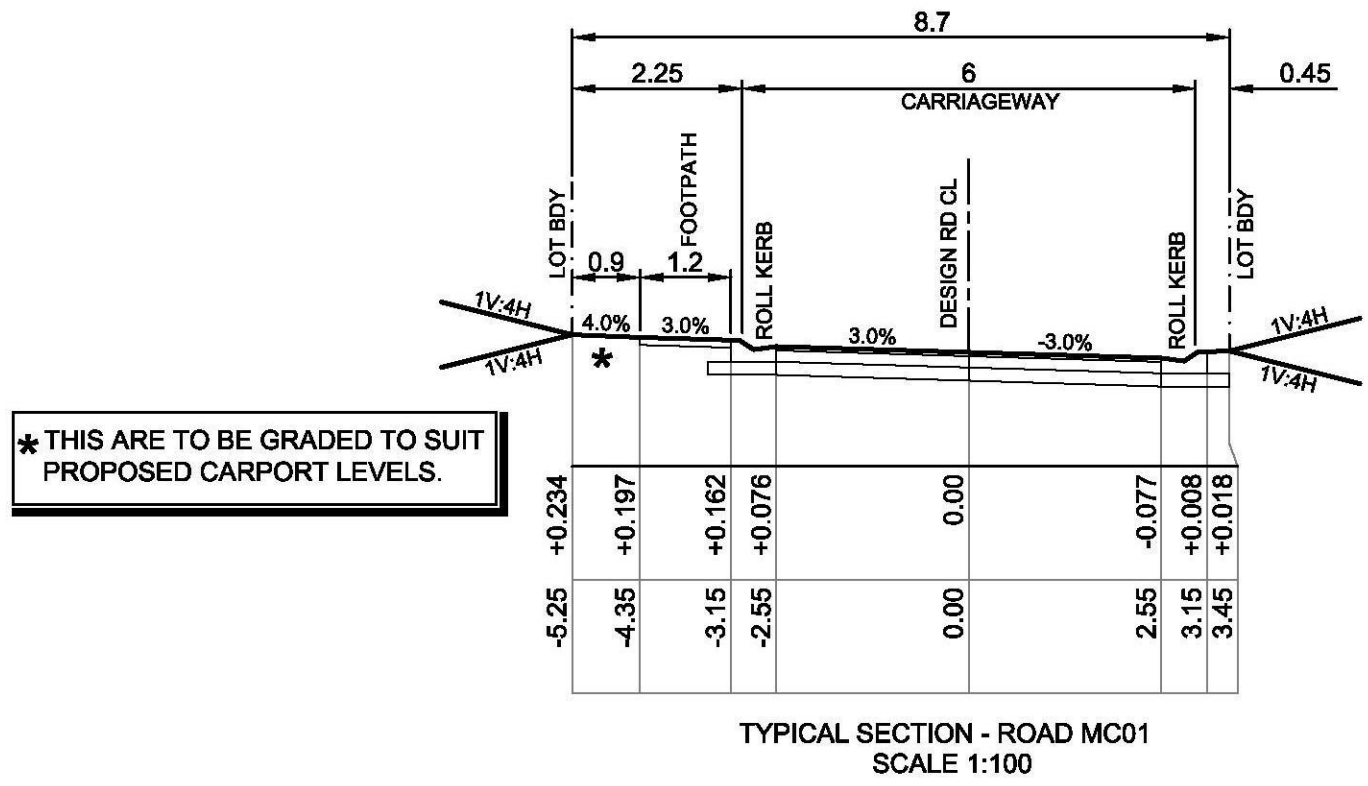
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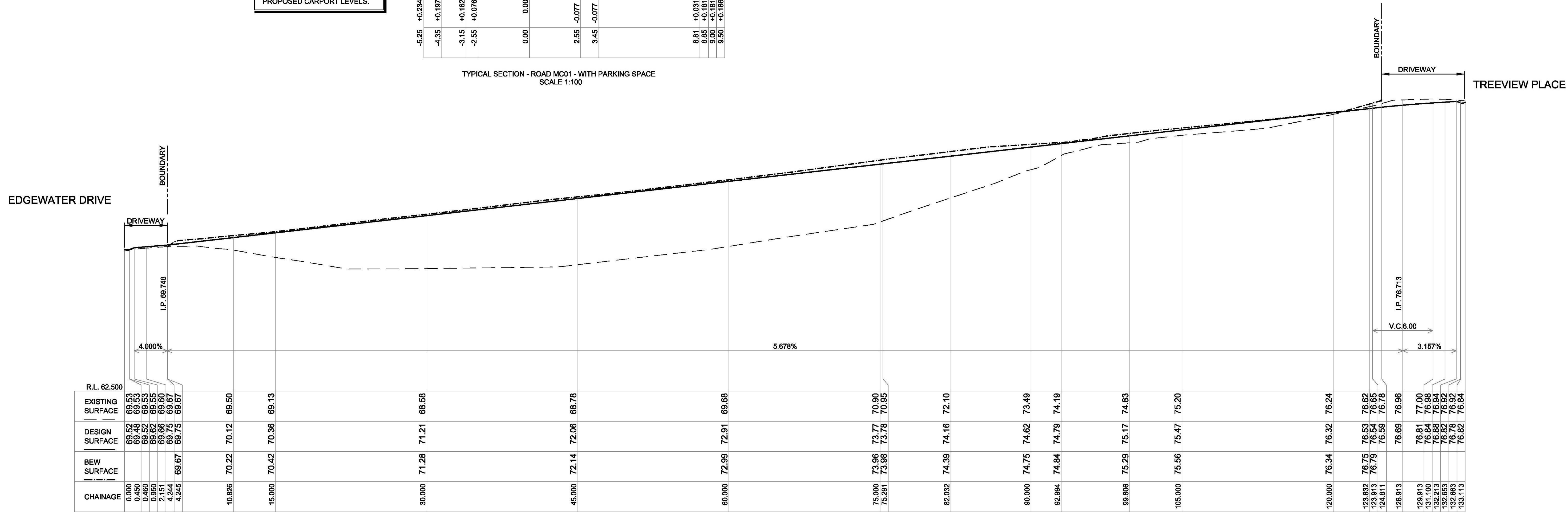
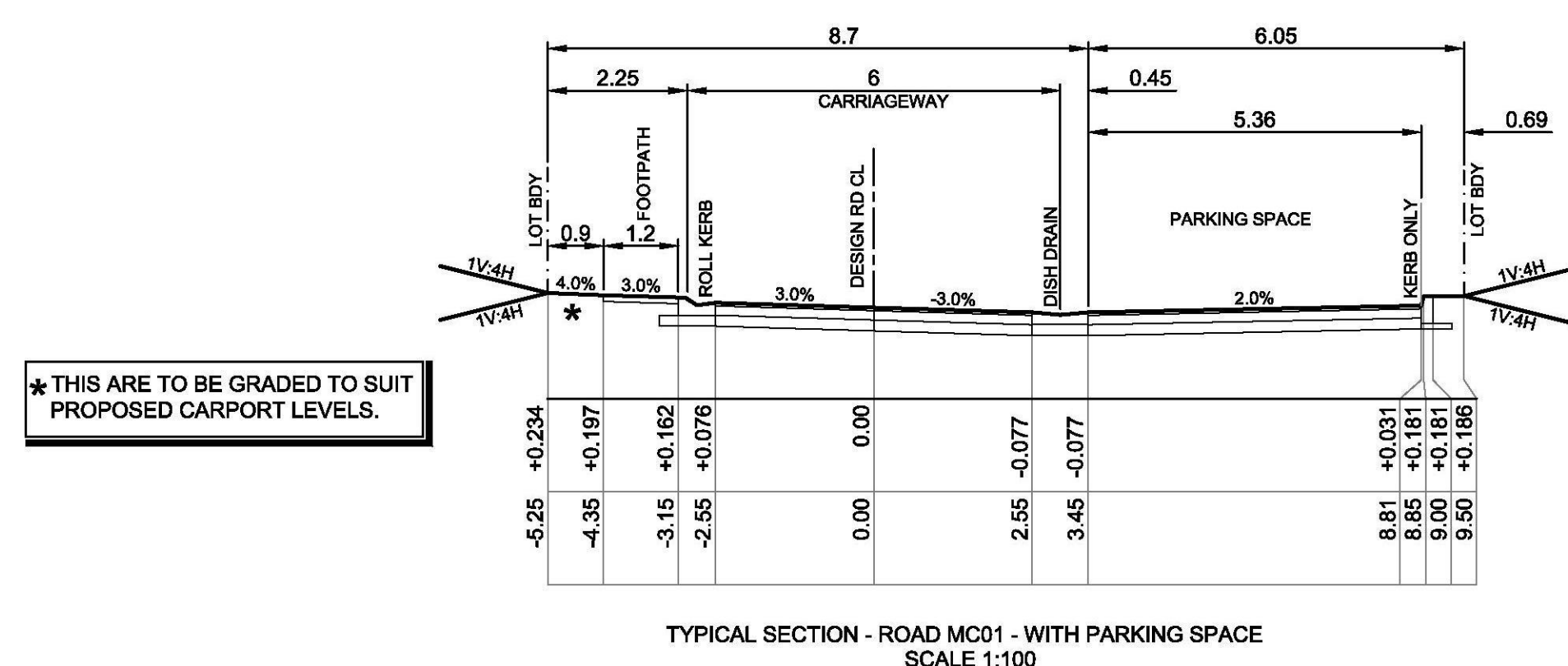
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SHEET 3 OF 8 SHEETS

REV.  
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PAVEMENT DESIGN PREPARED BY GEOTECHNIQUE PTY LTD (REF:14035/1-AA)



REV	AMENDMENT	ISSUED	DATE
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D	SECTION 4.55	RW	19/07/17

**BARKER  
RYAN  
STEWART**

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Client:

PROPOSED DEVELOPMENT AT  
BRADLEY HEIGHTS, CORNER BRADLEY HEIGHTS AND  
EDGEWATER DRIVE, GLENMORE PARK.

LONGITUDINAL MC01 AND MC02 & TYPICAL CROSS SECTIONS AND DETAILS

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Checked: LT

Scales: Plan AS SHOWN  
Horiz.  
Vert.  
X-Sect.

Datum: A.H.D.

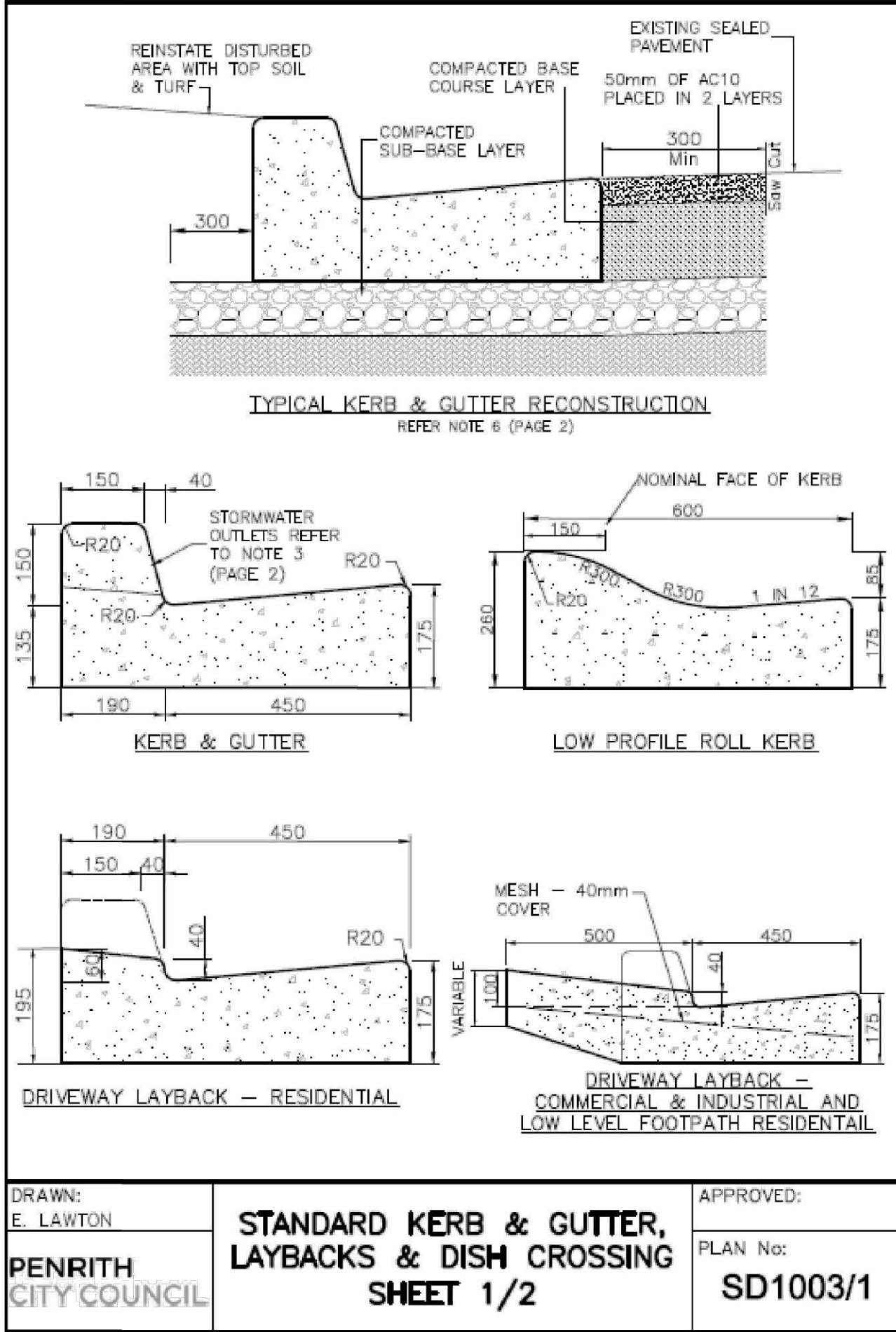
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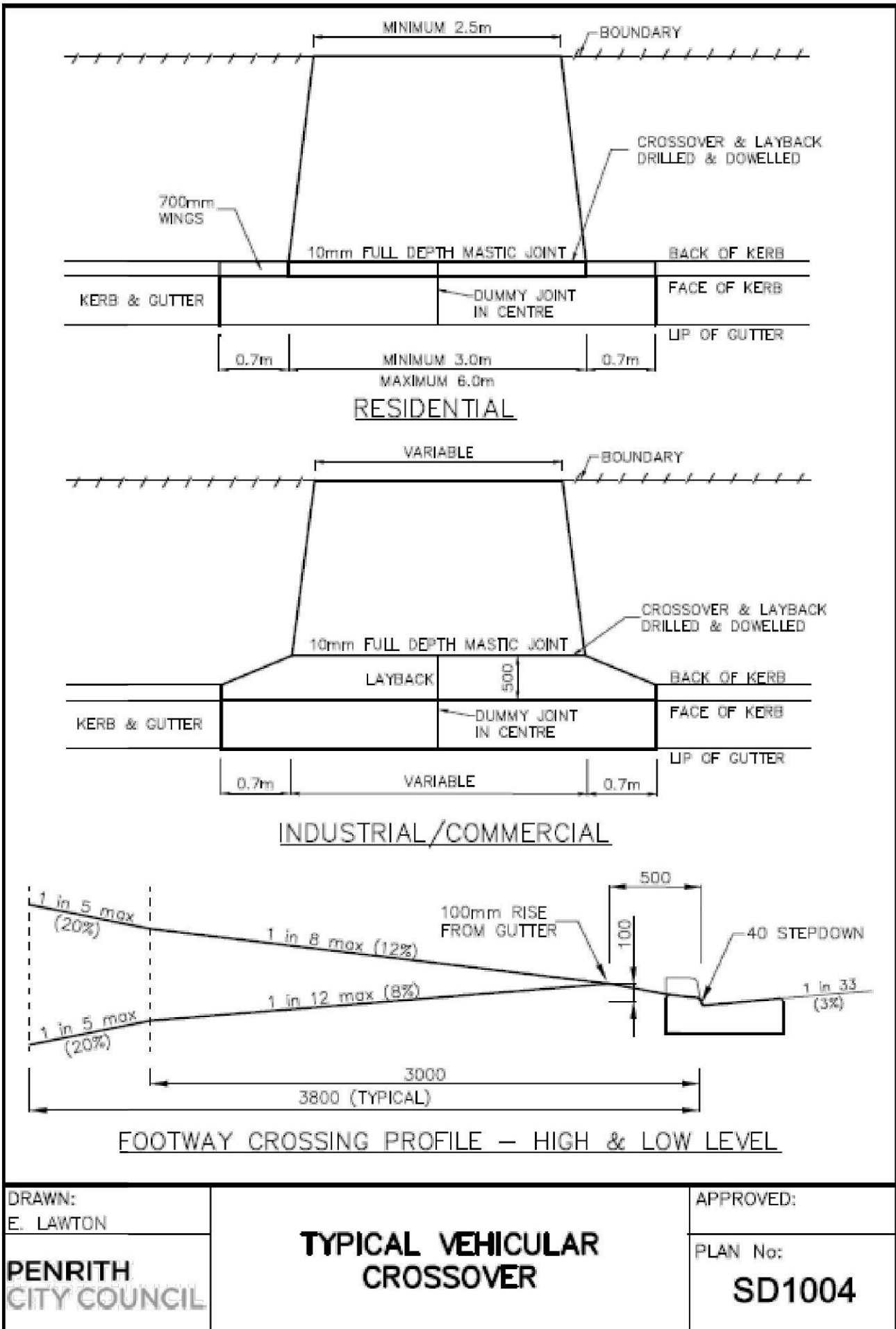
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PENRITH  
CITY COUNCIL

Vehicle Crossover Application  
Updated June 2016



PENRITH  
CITY COUNCIL

Vehicle Crossover Application  
Updated June 2016



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D	SECTION 4.55	RW	19/07/17



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Client:



PROPOSED DEVELOPMENT AT  
BRADLEY HEIGHTS, CORNER BRADLEY HEIGHTS AND  
EDGEWATER DRIVE, GLENMORE PARK.  
DETAIL SHEET

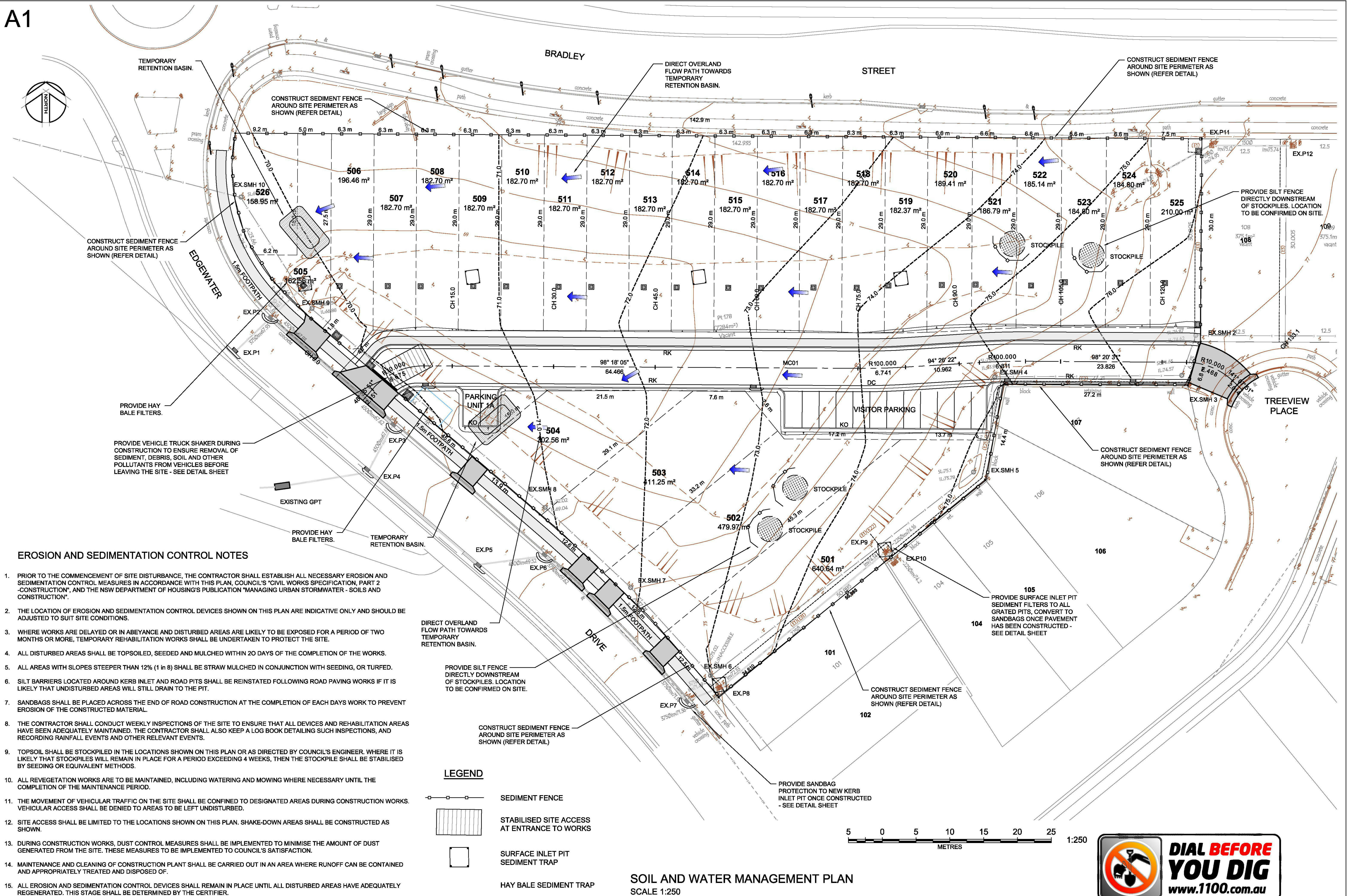
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Datum: A.H.D.

Plan No.  
**SY17068C05**  
File Ref.  
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SHEET 5 OF 8 SHEETS

REV.  
**D**





## EROSION AND SEDIMENTATION CONTROL NOTES

1. PRIOR TO THE COMMENCEMENT OF SITE DISTURBANCE, THE CONTRACTOR SHALL ESTABLISH ALL NECESSARY EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THIS PLAN, COUNCIL'S "CIVIL WORKS SPECIFICATION, PART 2 - CONSTRUCTION", AND THE NSW DEPARTMENT OF HOUSING'S PUBLICATION "MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION".
2. THE LOCATION OF EROSION AND SEDIMENTATION CONTROL DEVICES SHOWN ON THIS PLAN ARE INDICATIVE ONLY AND SHOULD BE ADJUSTED TO SUIT SITE CONDITIONS.
3. WHERE WORKS ARE DELAYED OR IN ABEYANCE AND DISTURBED AREAS ARE LIKELY TO BE EXPOSED FOR A PERIOD OF TWO MONTHS OR MORE, TEMPORARY REHABILITATION WORKS SHALL BE UNDERTAKEN TO PROTECT THE SITE.
4. ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED AND MULCHED WITHIN 20 DAYS OF THE COMPLETION OF THE WORKS.
5. ALL AREAS WITH SLOPES STEEPER THAN 12% (1 in 8) SHALL BE STRAW MULCHED IN CONJUNCTION WITH SEEDING, OR TURFED.
6. SILT BARRIERS LOCATED AROUND KERB INLET AND ROAD PITS SHALL BE REINSTATED FOLLOWING ROAD PAVING WORKS IF IT IS LIKELY THAT UNDISTURBED AREAS WILL STILL DRAIN TO THE PIT.
7. SANDBAGS SHALL BE PLACED ACROSS THE END OF ROAD CONSTRUCTION AT THE COMPLETION OF EACH DAYS WORK TO PREVENT EROSION OF THE CONSTRUCTED MATERIAL.
8. THE CONTRACTOR SHALL CONDUCT WEEKLY INSPECTIONS OF THE SITE TO ENSURE THAT ALL DEVICES AND REHABILITATION AREAS HAVE BEEN ADEQUATELY MAINTAINED. THE CONTRACTOR SHALL ALSO KEEP A LOG BOOK DETAILING SUCH INSPECTIONS, AND RECORDING RAINFALL EVENTS AND OTHER RELEVANT EVENTS.
9. TOPSOIL SHALL BE STOCKPILED IN THE LOCATIONS SHOWN ON THIS PLAN OR AS DIRECTED BY COUNCIL'S ENGINEER. WHERE IT IS LIKELY THAT STOCKPILES WILL REMAIN IN PLACE FOR A PERIOD EXCEEDING 4 WEEKS, THEN THE STOCKPILE SHALL BE STABILISED BY SEEDING OR EQUIVALENT METHODS.
10. ALL REVEGETATION WORKS ARE TO BE MAINTAINED, INCLUDING WATERING AND MOWING WHERE NECESSARY UNTIL THE COMPLETION OF THE MAINTENANCE PERIOD.
11. THE MOVEMENT OF VEHICULAR TRAFFIC ON THE SITE SHALL BE CONFINED TO DESIGNATED AREAS DURING CONSTRUCTION WORKS. VEHICULAR ACCESS SHALL BE DENIED TO AREAS TO BE LEFT UNDISTURBED.
12. SITE ACCESS SHALL BE LIMITED TO THE LOCATIONS SHOWN ON THIS PLAN. SHAKE-DOWN AREAS SHALL BE CONSTRUCTED AS SHOWN.
13. DURING CONSTRUCTION WORKS, DUST CONTROL MEASURES SHALL BE IMPLEMENTED TO MINIMISE THE AMOUNT OF DUST GENERATED FROM THE SITE. THESE MEASURES TO BE IMPLEMENTED TO COUNCIL'S SATISFACTION.
14. MAINTENANCE AND CLEANING OF CONSTRUCTION PLANT SHALL BE CARRIED OUT IN AN AREA WHERE RUNOFF CAN BE CONTAINED AND APPROPRIATELY TREATED AND DISPOSED OF.
15. ALL EROSION AND SEDIMENTATION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL ALL DISTURBED AREAS HAVE ADEQUATELY REGENERATED. THIS STAGE SHALL BE DETERMINED BY THE CERTIFIER.

## LEGEND

- SEDIMENT FENCE
- STABILISED SITE ACCESS AT ENTRANCE TO WORKS
- SURFACE INLET PIT SEDIMENT TRAP
- HAY BALE SEDIMENT TRAP

SOIL AND WATER MANAGEMENT PLAN  
SCALE 1:250

REV	AMENDMENT	ISSUED	DATE
A	PRELIMINARY DESIGN	RW	21/06/17
B	ISSUED FOR REVIEW	RW	22/06/17
C	DA SUBMISSION	RW	26/06/17
D	SECTION 4.55	RW	19/07/17



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Client:

PROPOSED DEVELOPMENT AT  
BRADLEY HEIGHTS, CORNER BRADLEY HEIGHTS AND  
EDGEWATER DRIVE, GLENMORE PARK.

## SOIL AND WATER MANAGEMENT PLAN

Designed: RW  
Drawn: RW  
Checked: LT

Scales: Plan 1:250  
Horiz.  
Vert.  
X-Sect.

Datum: A.H.D.

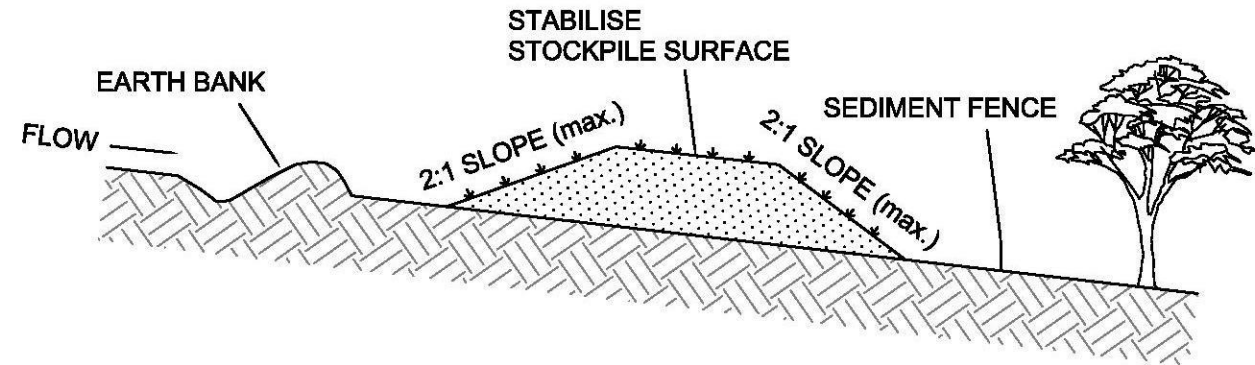
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File Ref.  
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SHEET 6 OF 8 SHEETS

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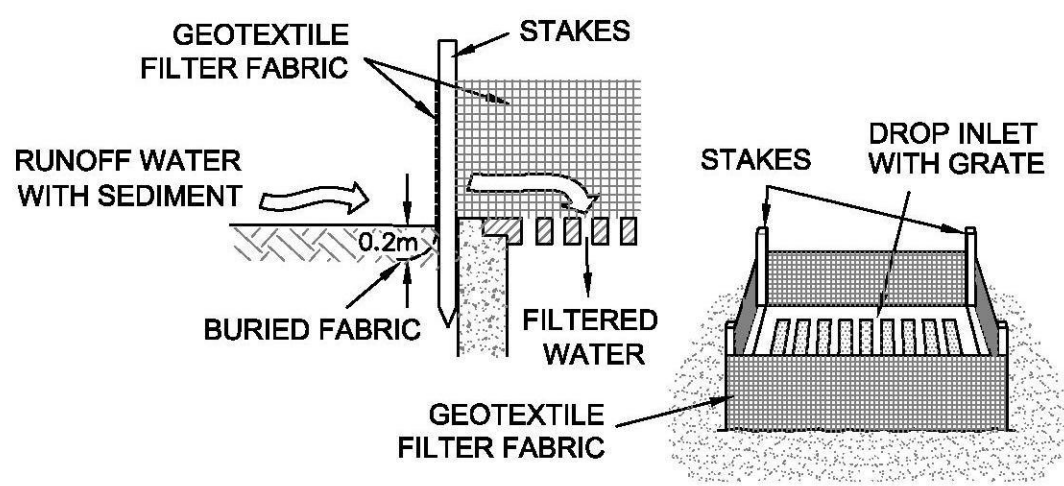
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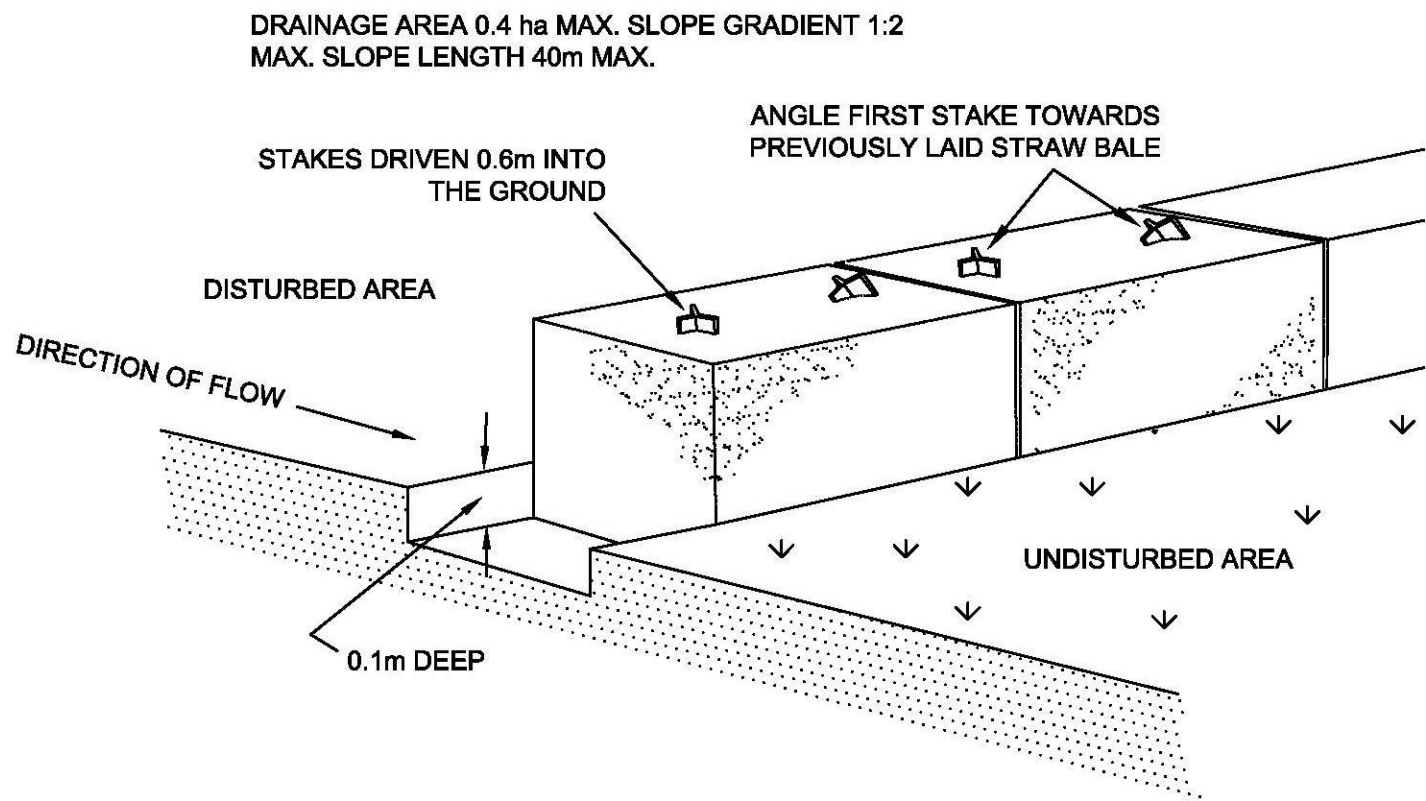


- CONSTRUCTION NOTES**
- 1. WHERE POSSIBLE LOCATE STOCKPILE AT LEAST 5 METRES FROM EXISTING VEGETATION, CONCENTRATED WATER FLOWS, ROADS, HAZARD AREAS AND MIN. 1.5m AWAY FROM EMBANKMENTS.
  - 2. CONSTRUCT ON THE CONTOUR AS A LOW, FLAT ELONGATED MOUND.
  - 3. WHERE THERE IS SUFFICIENT AREA TOPSOIL STOCKPILES SHALL BE LESS THAN 2 METRES IN HEIGHT.
  - 4. REHABILITATE IN ACCORDANCE WITH THE SWMP/ESCP.
  - 5. CONSTRUCT EARTH BANK (STANDARD DRAWING 5-5) ON THE UPSLOPE SIDE TO DIVERT RUN OFF AROUND THE STOCKPILE AND A SEDIMENT FENCE (STANDARD DRAWING 6-8) 1 TO 2 METRES DOWNSLOPE OF STOCKPILE.

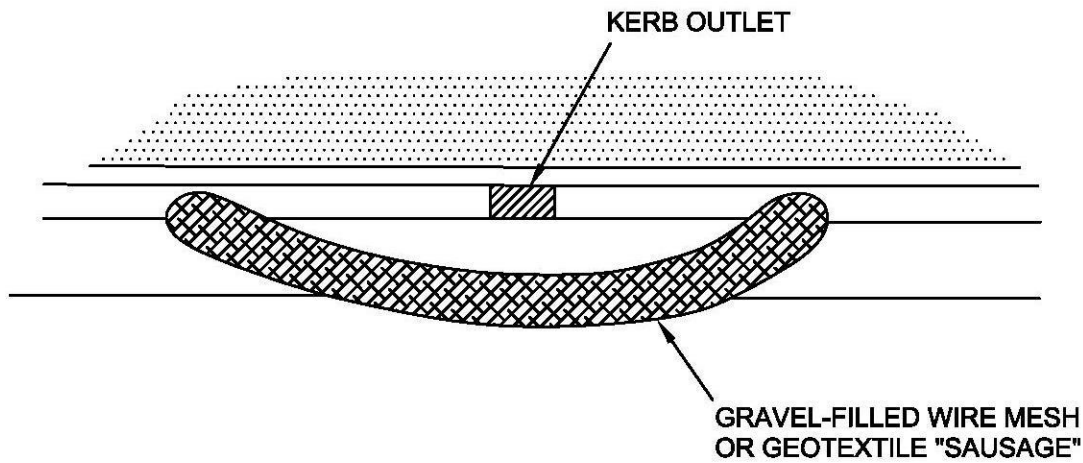
TOPSOIL STOCKPILE



SURFACE INLET PIT SEDIMENT TRAP

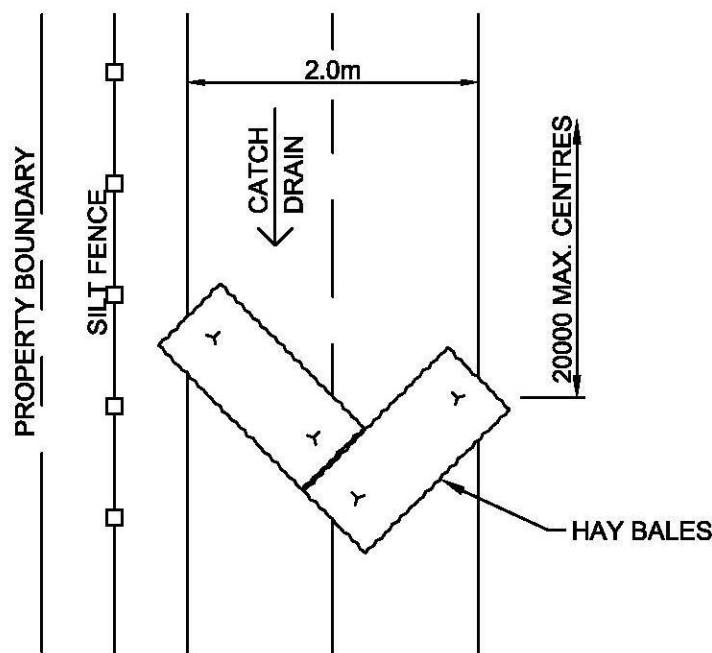


STRAW BALE SEDIMENT FILTER

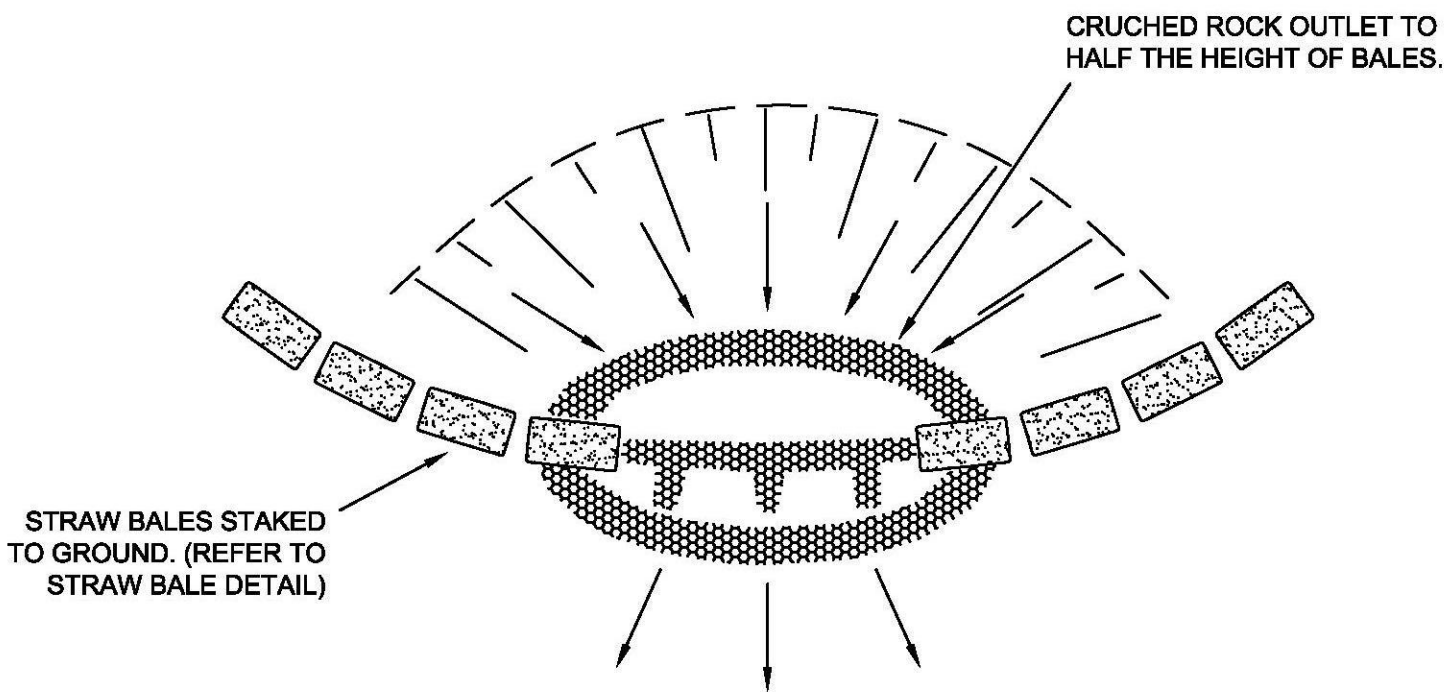


- CONSTRUCTION NOTES**
- 1. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH AND FILL IT WITH 25mm TO 50mm GRAVEL.
  - 2. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm HIGH X 400mm WIDE.
  - 3. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING FILTER.
  - 4. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.

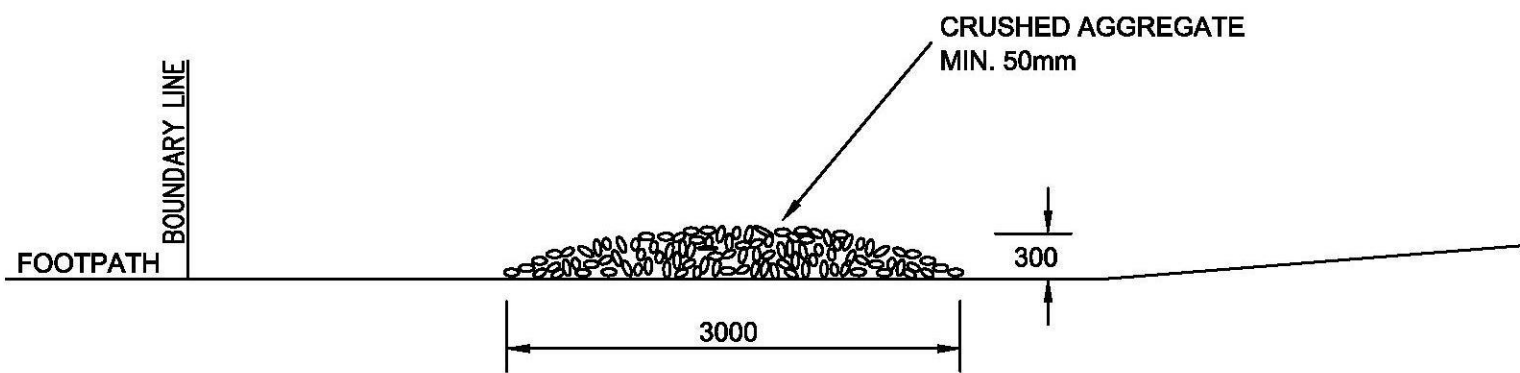
MESH & GRAVEL FILTER "SAUSAGE" BARRIER



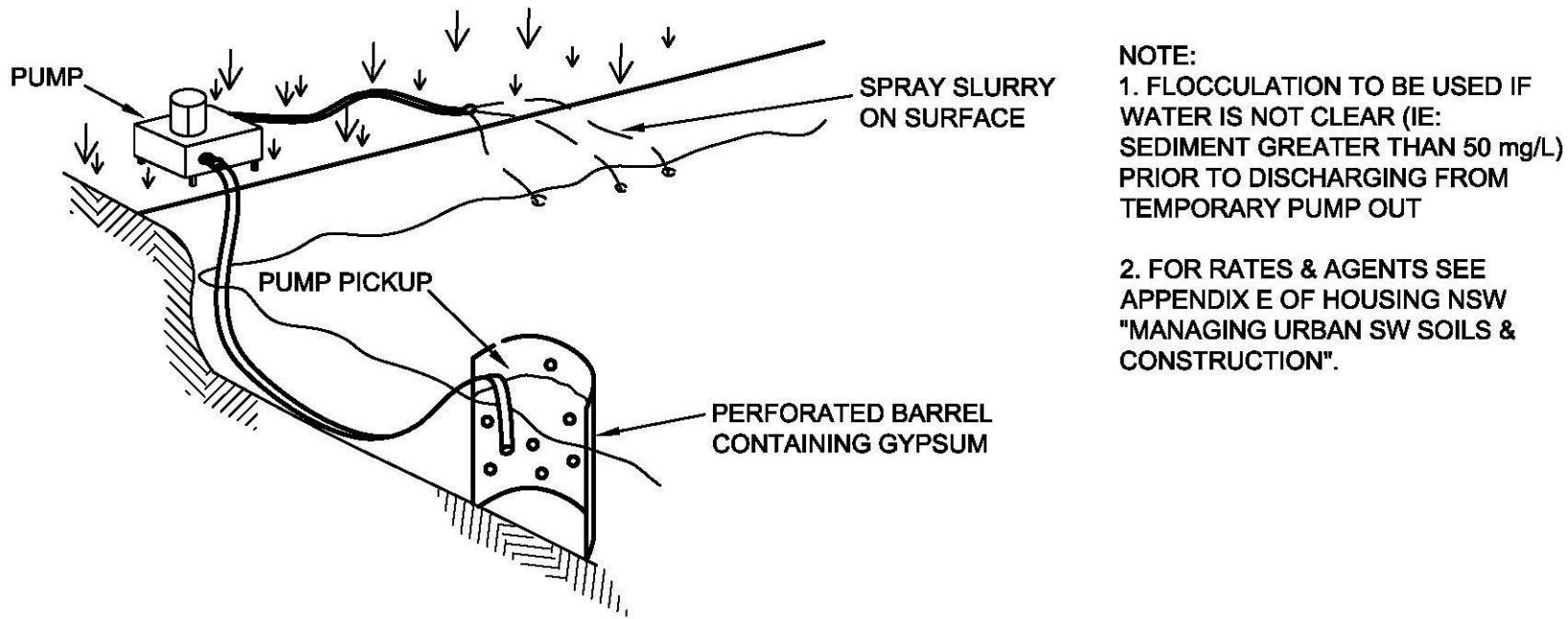
CATCH DRAIN DETAIL



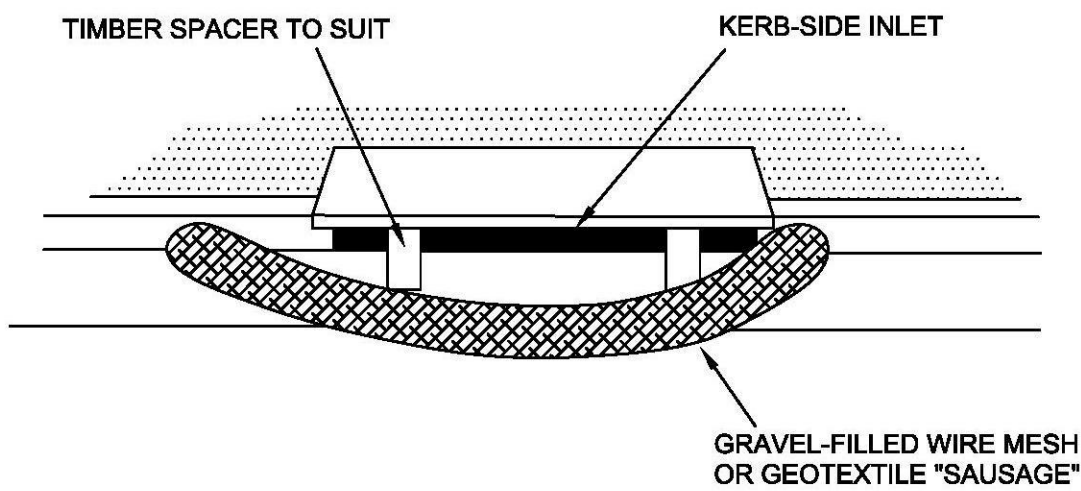
STRAW BALE & CRUSHED ROCK SEDIMENT FILTER



VEHICLE DUST SHAKE DOWN DETAIL

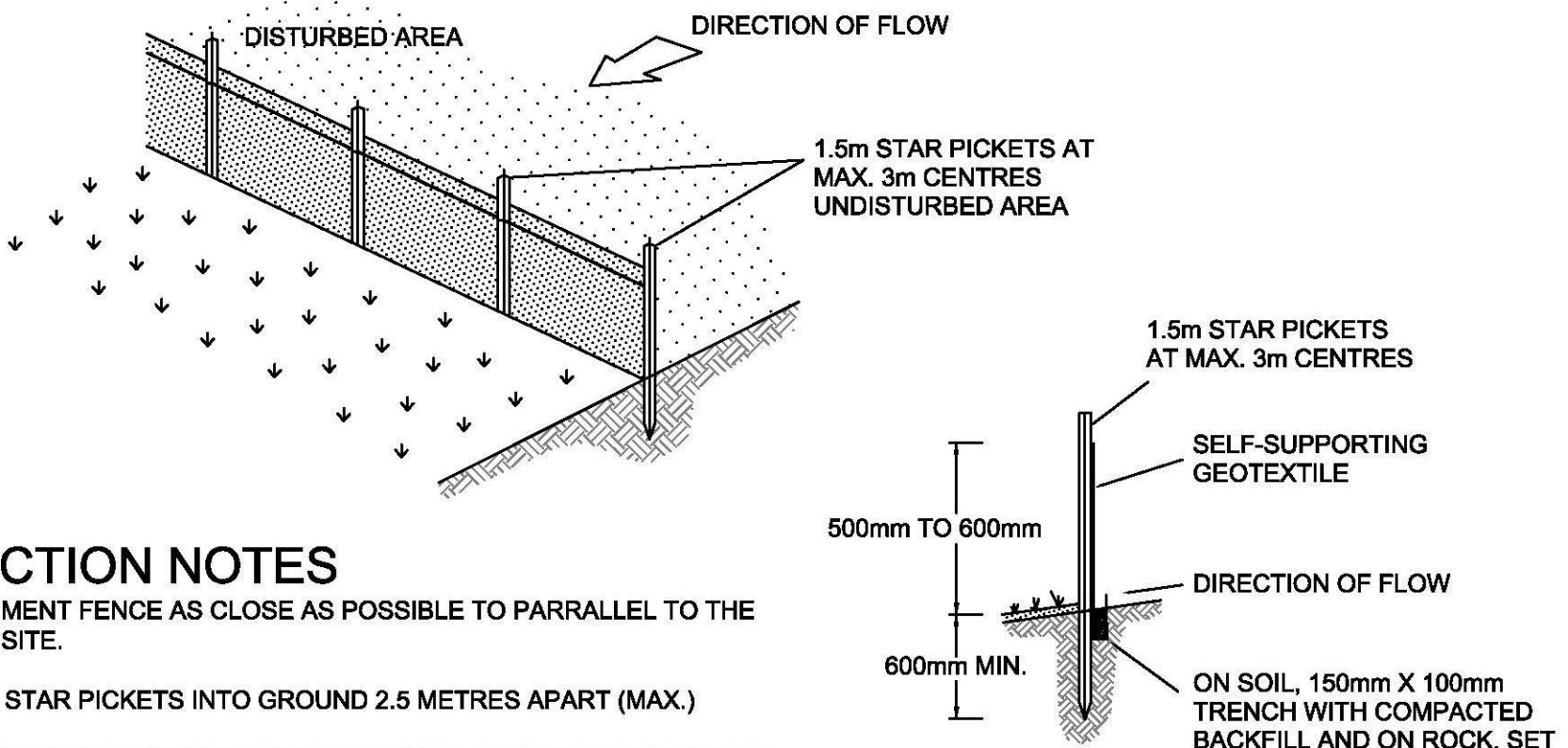


FLOCCULATION DETAIL



MESH & GRAVEL INLET "SAUSAGE" FILTER

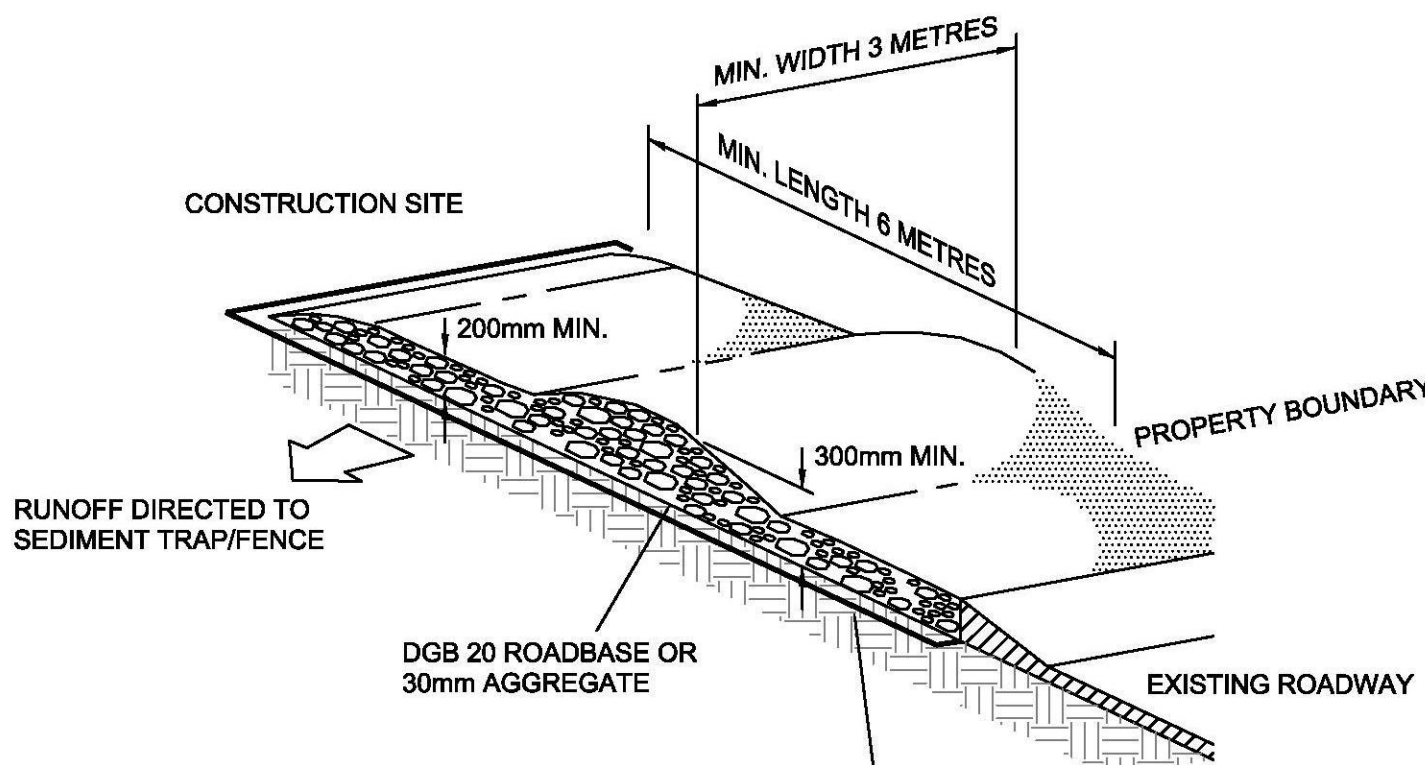
- CONSTRUCTION NOTES**
- 1. INSTALL FILTERS TO KERB INLET ONLY AT SAG POINTS.
  - 2. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
  - 3. FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm HIGH X 400mm WIDE.
  - 4. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100mm SPACE BETWEEN IT AND THE KERB INLET MAINTAIN THE OPENING WITH SPACER BLOCKS.
  - 5. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING FILTER.
  - 6. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.



- CONSTRUCTION NOTES**
- 1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARRALLEL TO THE CONTOURS OF THE SITE.
  - 2. DRIVE 1.5m LONG STAR PICKETS INTO GROUND 2.5 METRES APART (MAX.)
  - 3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
  - 4. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
  - 5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
  - 6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

SEDIMENT FENCE

SECTION DETAIL



- CONSTRUCTION NOTES**
- 1. STRIP TOPSOIL AND LEVEL SITE.
  - 2. COMPACT SUBGRADE.
  - 3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
  - 4. CONSTRUCT 200mm THICK PAD OVER GEOTEXTILE USING ROADBASE OR 30mm AGGREGATE. MINIMUM LENGTH 15 METRES OR TO BUILDING ALIGNMENT. MINIMUM WIDTH 3 METRES.
  - 5. CONSTRUCT HUMPS IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP.
- GEOTEXTILE FABRIC DESIGNED TO PREVENT INTERMIXING OF SUBGRADE AND BASE MATERIALS AND TO MAINTAIN GOOD PROPERTIES OF THE SUB-BASE LAYERS.
- GEOTEXTILE MAY BE A WOVEN OR NEEDLE PUNCHED PRODUCT WITH A MINIMUM CBR BURST STRENGTH (AS3706.4-90) OF 2500 N

STABILISED SITE ACCESS



REV	AMENDMENT	ISSUED	DATE
A	PRELIMINARY DESIGN	RW	21/06/17
B	ISSUED FOR REVIEW	RW	22/06/17
C	DA SUBMISSION	RW	26/06/17
D	SECTION 4.55	RW	19/07/17



SYDNEY  
P: 02 9659 0005  
CENTRAL COAST  
P: 02 4325 5255  
HUNTER  
P: 02 4966 9388  
ABN: 26 134 067 842  
brs.com.au  
mail@brs.com.au

Client:



PROPOSED DEVELOPMENT AT  
BRADLEY HEIGHTS, CORNER BRADLEY HEIGHTS AND  
EDGEWATER DRIVE, GLENMORE PARK.  
SOIL AND WATER MANAGEMENT DETAILS

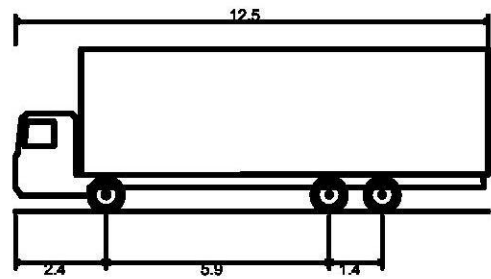
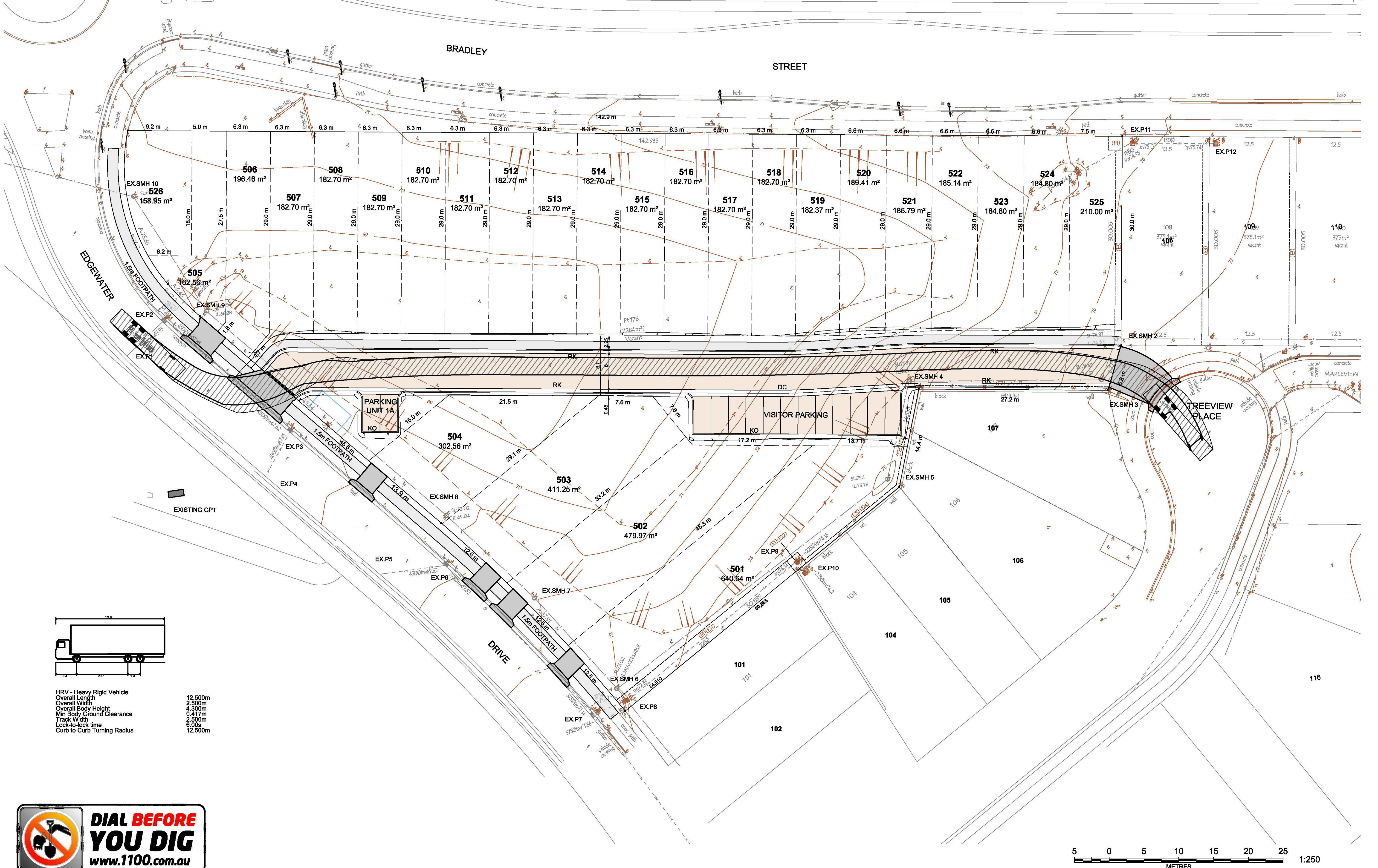
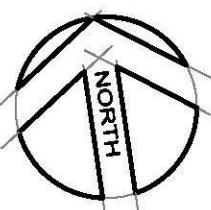
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Drawn: RW  
Checked: LT

Scales: Plan  
Horiz.  
Vert.  
X-Sect.  
Datum: A.H.D.

Plan No.  
**SY17068C07**  
File Ref.  
SY17068C\_D.dwg  
SHEET 7 OF 8 SHEETS

REV.  
**D**





HRV - Heavy Rigid Vehicle  
Overall Length 12.500m  
Overall Width 2.500m  
Overall Body Height 4.300m  
Min Body Ground Clearance 0.417m  
Track Width 2.500m  
Lock-to-lock time 6.00s  
Curb to Curb Turning Radius 12.500m



REV	AMENDMENT	ISSUED	DATE
A	PRELIMINARY DESIGN	RW	21/06/17
B	ISSUED FOR REVIEW	RW	22/06/17
C	DA SUBMISSION	RW	26/06/17
D	SECTION 4.55	RW	19/07/17

**BARKER  
RYAN  
STEWART**  
TOTAL PROJECT SOLUTIONS  
PLANNING - PROJECT MANAGEMENT - ENGINEERING - CERTIFICATION

SYDNEY  
P: 02 9659 0005  
CENTRAL COAST  
P: 02 4325 5255  
HUNTER  
P: 02 4966 8368  
ABN: 26 134 067 842  
brs.com.au  
mail@brs.com.au

Client: **mint**  
HOLDINGS

PROPOSED DEVELOPMENT AT  
BRADLEY HEIGHTS, CORNER BRADLEY HEIGHTS AND  
EDGEWATER DRIVE, GLENMORE PARK.  
SWEEP PATH ANALYSIS

Designed: RW  
Drawn: RW  
Checked: LT  
Scales: Plan 1:250  
Horiz.  
Vert.  
X-Sect.  
Datum: A.H.D.

Plan No.  
**SY17068C08**  
File Ref.  
SY17068C\_D.dwg  
SHEET 8 OF 8 SHEETS  
REV. **D**





# Section 4.55 Application

(DA17/0592)

Community Title Subdivision x 26 Residential;  
Community Lot and Construction of 22 Two Storey  
Terrace Dwellings; and Access Road and Visitor Parking

Lot 176 in DP 1203990  
Bradley Heights,  
Corner of Bradley Street & Edgewater Drive  
Glenmore Park NSW



DDC ARCHITECTURE +  
INTERIOR DESIGN

Unit 3, 112 Russell Street, Emu Plains NSW 2750

02 4728 6500 | info@ddc-group.com.au | www.ddc-group.com.au

## Section 4.55

PROJECT TITLE	PROJECT NUMBER
Bradley Heights	18094
CLIENT	PROJECT REVISION
Mint Holdings	B
ADDRESS	PROJECT TYPE
62 Bradley St, Glenmore Park	DATE/TIME
	26/07/2019 2:35:43 PM

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Sheet List			
Sheet Number	Sheet Name	Current Revision Date	Current Revision
DA000	CONTENTS	16-07-2019	B
DA003	DRAFT SUBMISSION PLAN	16-07-2019	B
DA101	PLAN-UNIT TYPE PLAN	16-07-2019	B
DA102	PLAN- SITE LEVELS-1	16-07-2019	B
DA103	PLAN-SITE LEVELS-2	16-07-2019	B
DA201	PLAN-GA-GROUND-1	16-07-2019	B
DA202	PLAN-GA-GROUND-2	16-07-2019	B
DA203	PLAN-GA-FIRST-1	16-07-2019	B
DA204	PLAN-GA-FIRST-2	16-07-2019	B
DA205	PLAN-GA-ROOF-1	16-07-2019	B
DA206	PLAN-GA-ROOF-2	16-07-2019	B
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DA216	PLAN-UNIT 12,13	16-07-2019	B
DA217	PLAN-UNIT 14,15	16-07-2019	B
DA218	PLAN-UNIT 16,17	16-07-2019	B
DA219	PLAN-UNIT 18,19	16-07-2019	B
DA220	PLAN-UNIT 20,21	16-07-2019	B
DA400	ELEVATIONS	16-07-2019	B
DA401	ELEVATIONS	16-07-2019	B
DA402	ELEVATIONS	16-07-2019	B
DA410	EXTERNAL MATERIALS AND FINISHES	16-07-2019	B
DA420	SECTION - SITE	16-07-2019	B
DA421	SECTION - SITE	16-07-2019	B
DA500	WINTER SHADOW DIAGRAMS	16-07-2019	B
DA501	SUMMER SHADOW DIAGRAMS	16-07-2019	B
DA900	GFA PLANS	16-07-2019	B
DA901	PRIVATE OPEN SPACE AREA PLANS	16-07-2019	B

### THERMAL PERFORMANCE SPECIFICATIONS: (20745 – 62 Bradley St)

The following specifications take precedence over other plan notations for the construction of this building.  
**NOTE:** In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 1, at the time of building.  
This includes New South Wales Part J(A). Specifically:

- Building thermal construction is in accordance with part J1.2
- loss of ceiling insulation is compensated for by increased roof insulation in accordance with Part J1.3(c)
- where metal frames are used that thermal breaks are installed in accordance with Part J1.3(d) and J1.5(c)
- Any roof lights, windows, doors and exhaust fans are sealed in accordance Part J3
- Any new air-conditioning system is installed in accordance with Parts J5.2(a), J5.2(b), J5.2(c), J5.2(d), J5.2(f) & J5.2(g)
- Any new mechanical ventilation system is installed in accordance with Part J5.3
- Any new miscellaneous exhaust system is installed in accordance with Part J5.4
- Any new heated water system is installed in accordance Part J7.2
- Energy monitoring equipment is installed in accordance Part J8.3

### WINDOWS (total product specification – glass + frame)

U-value 6.70 (or less than) & SHGC 0.70 (+/-5%) (Default: Plain glass in AL. frames)  
U-value 5.4 (or less than) & SHGC 0.58 (+/-5%) (Typically: High Solar gain Low e Clear glass in AL. frames) - Applies only to Unit 21 – 1x2120 & 1x2125 Kitchen/Living room sliding glass doors

### EXTERNAL WALL (Medium colour)

Cavity Panel – R2.5 – 90mm thick bulk insulation with vapour barrier (except Garage – Unit 1b – no insulation)

### INTERNAL WALL

Cavity Panel – No Insulation  
Cavity Panel – R-5 bulk Insulation (between Garage and Internal dwelling – Unit 1b only)  
Partition walls – No thermal insulation required

### EXTERNAL FLOOR

Concrete slab – No insulation  
Suspended Timber (above other Units) – No thermal insulation required

### EXTERNAL CEILING

Framed/ Plasterboard – R3.5 bulk insulation

### EXTERNAL ROOF (Medium colour – Zincalume)

Colorbond – 60mm Foil blanket with reflective airgap





THIS IS A DRAFT STRATA PLAN ONLY. FINAL DIMENSIONS, AREAS, EASEMENTS AND LATO ARE TO BE SUBJECT TO SURVEY.  
ALL AREAS ARE APPROXIMATE ONLY AND ARE SHOWN FOR THE PURPOSE OF THE STRATA SCHEMES (FREEHOLD DEVELOPMENT) ACT 1973, & ARE SUBJECT TO SURVEY

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REVISION SCHEDULE		
issue#	date	description
B	16-07-2019	Section 4.55



DDC ARCHITECTURE  
+ INTERIOR DESIGN

Unit 3, 112 Russell Street  
Emu Plains NSW 2750

02 4728 6500

PROJECT TITLE  
Bradley Heights

CLIENT  
Mint Holdings

ADDRESS  
62 Bradley St,  
Glenmore Park

DRAWING TITLE  
DRAFT SUBDIVISION PLAN

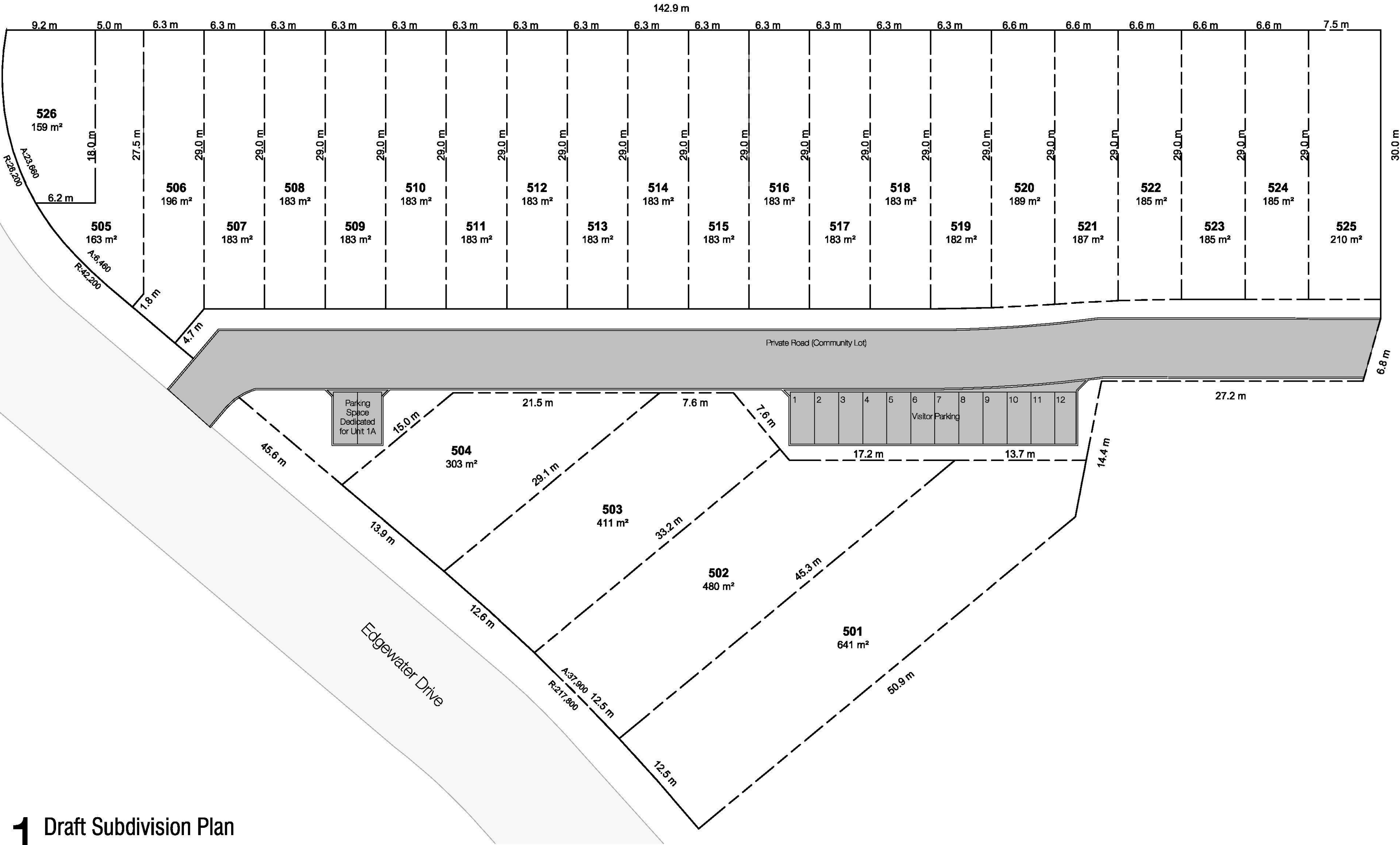
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DRAWING NUMBER  
18094 - DA003

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DATE  
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Bradley Street



1 Draft Subdivision Plan  
1 : 300





Unit Type Reference Plan Only  
Refer to General Arrangement Plans for All Building Details



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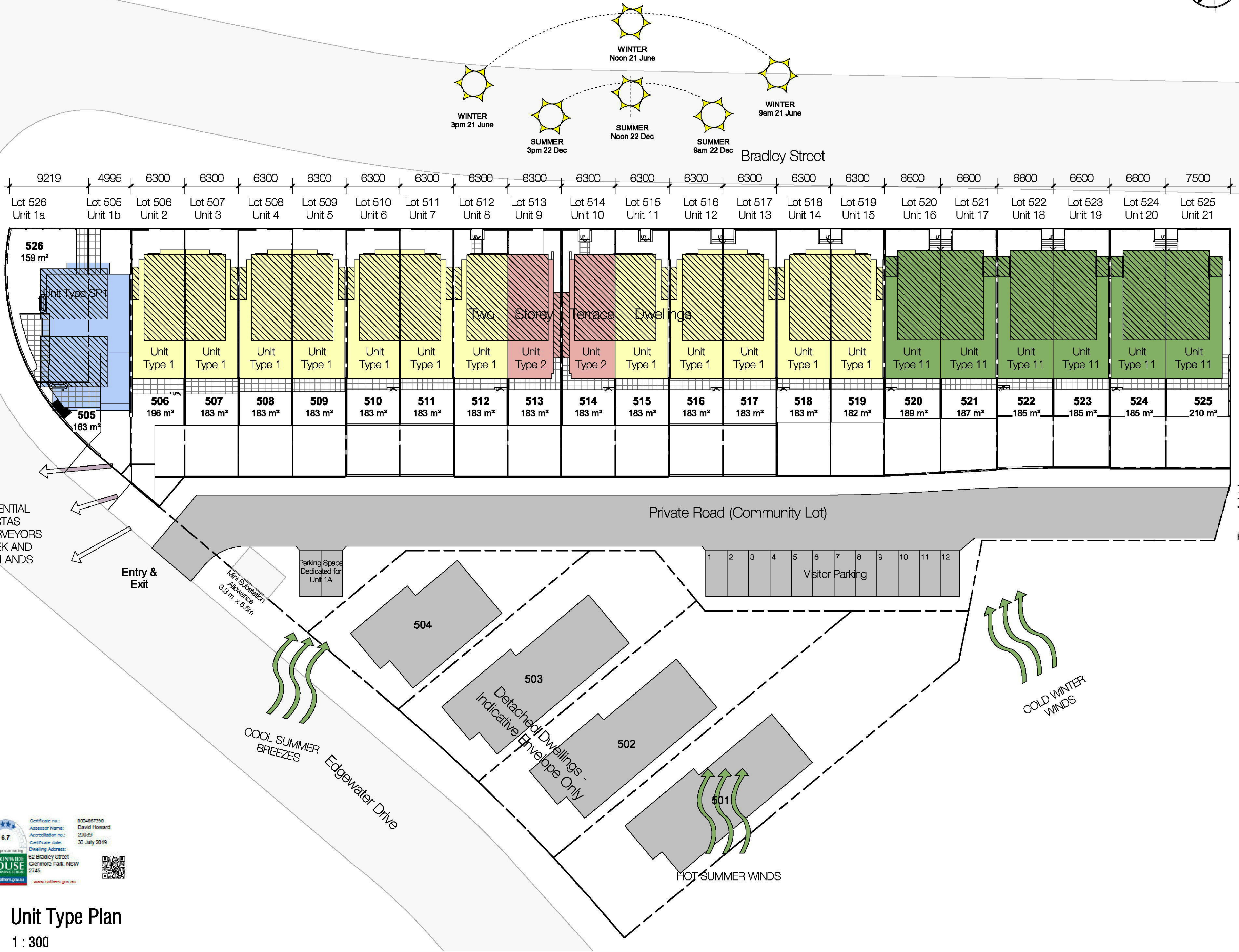
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Emu Plains NSW 2750

02 4728 6500

PROJECT TITLE

Bradley Heights

CLIENT

Mint Holdings

ADDRESS

62 Bradley St,  
Glenmore Park

DRAWING TITLE

PLAN-UNIT TYPE PLAN

SCALE

1 : 300 @ A2

DRAWING NUMBER

18094 - DA101

ISSUE DATE

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Section 4.55



1 Unit Type Plan  
1 : 300





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DDC ARCHITECTURE  
+ INTERIOR DESIGN

Unit 3, 112 Russell Street  
Emu Plains NSW 2750

02 4728 6500

PROJECT TITLE  
Bradley Heights

CLIENT  
Mint Holdings

ADDRESS  
62 Bradley St,  
Glenmore Park

DRAWING TITLE  
PLAN- SITE LEVELS-1

SCALE  
1 : 200 @ A2

DRAWING NUMBER  
18094 - DA102

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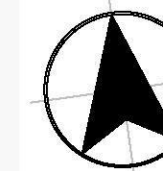
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1 Site Level Plan -1 of 2  
1 : 200



NORTH



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issue#	date	description
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A	08-04-2019	Draft DA
B	16-07-2019	Section 4.55



DDC ARCHITECTURE  
+ INTERIOR DESIGN

Unit 3, 112 Russell Street  
Emu Plains NSW 2750

02 4728 6500

PROJECT TITLE

Bradley Heights

CLIENT

Mint Holdings

ADDRESS

62 Bradley St,  
Glenmore Park

DRAWING TITLE

PLAN-SITE LEVELS-2

SCALE

1 : 200 @ A2

DRAWING NUMBER

18094 - DA103

B

ISSUE

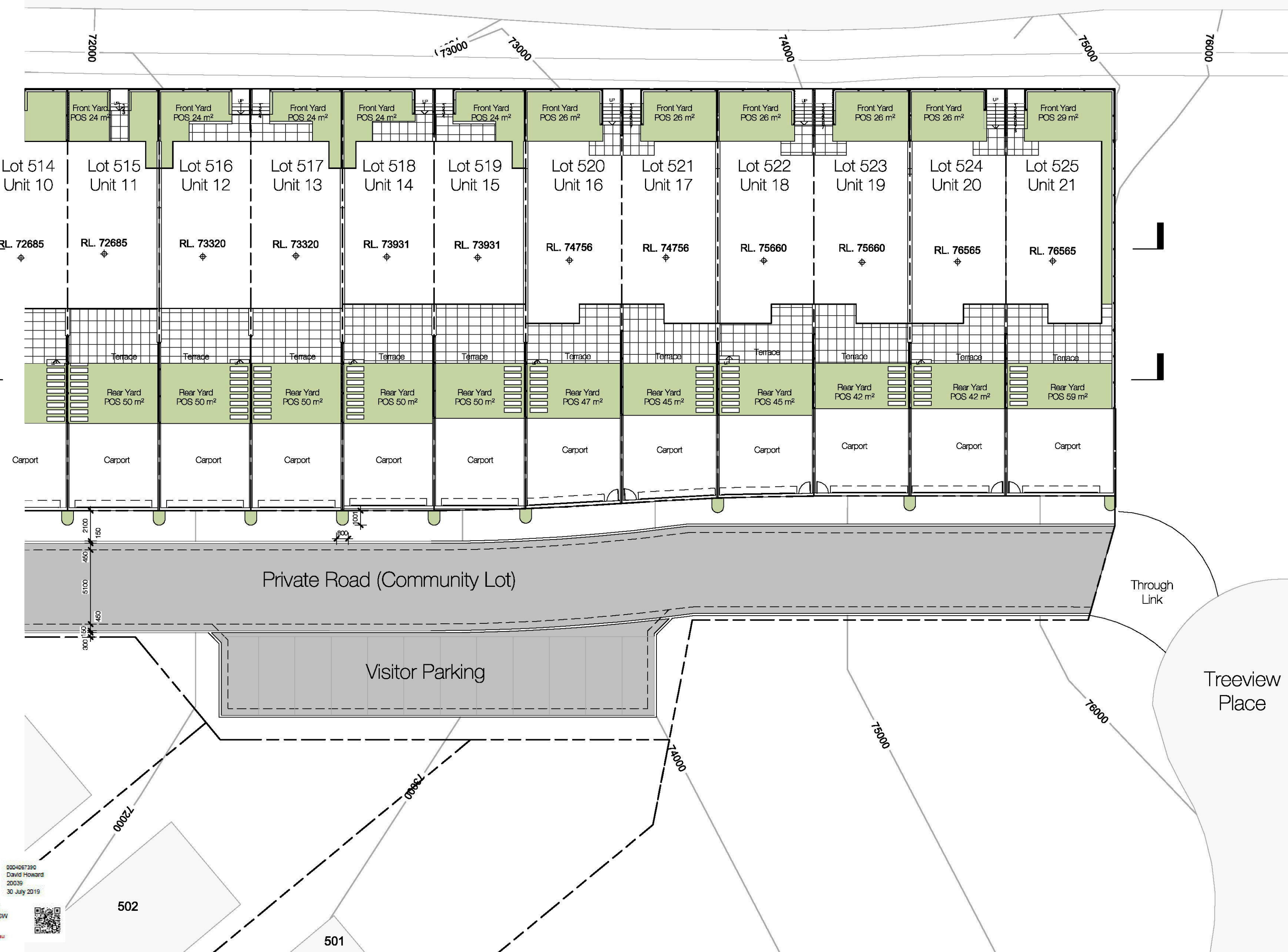
DATE

26/07/2019

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Section 4.55

Bradley Street



Certificate no.: 0004067390  
Assessor Name: David Howard  
Accreditation no.: 20039  
Certificate date: 30 July 2019  
Drawing Address: 62 Bradley Street  
Glenmore Park, NSW 2745  
www.nalpers.gov.au



1 Site Level Plan -2 of 2

1 : 200



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issue#	date	description
A	08-04-2019	Draft DA
B	16-07-2019	Section 4.55



1 North Elevation (Street)  
1 : 350



2 North Elevation (Street) Part 1 (East)  
1 : 200



3 North Elevation (Street) Part 2 (West)  
1 : 200



DDC ARCHITECTURE  
+ INTERIOR DESIGN

Unit 3, 112 Russell Street  
Emu Plains NSW 2750

02 4728 6500

PROJECT TITLE  
Bradley Heights

CLIENT  
Mint Holdings

ADDRESS  
62 Bradley St,  
Glenmore Park

DRAWING TITLE  
ELEVATIONS

SCALE  
As indicated @ A2

DRAWING NUMBER  
18094 - DA400

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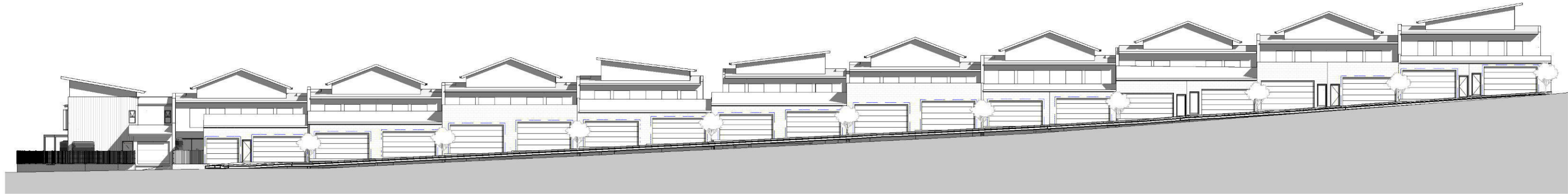
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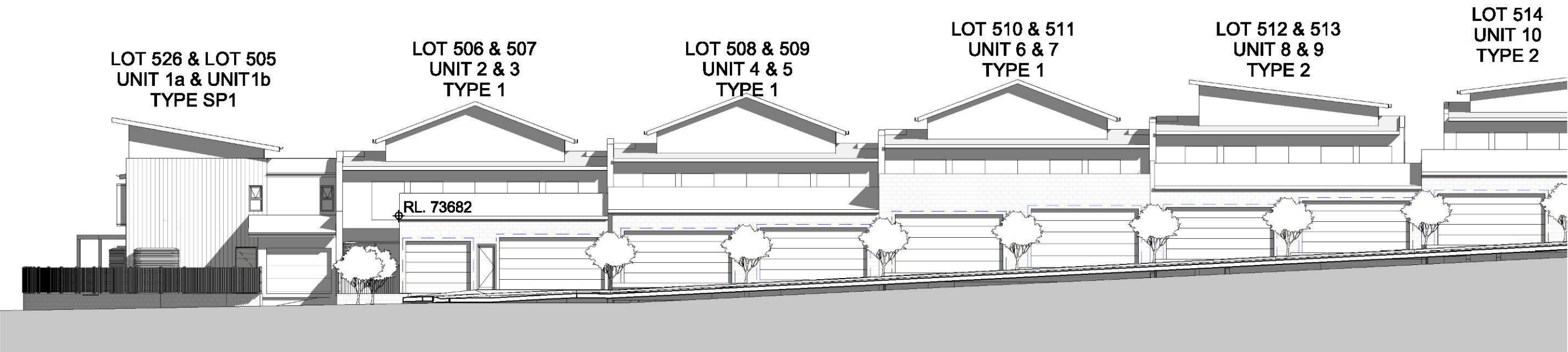
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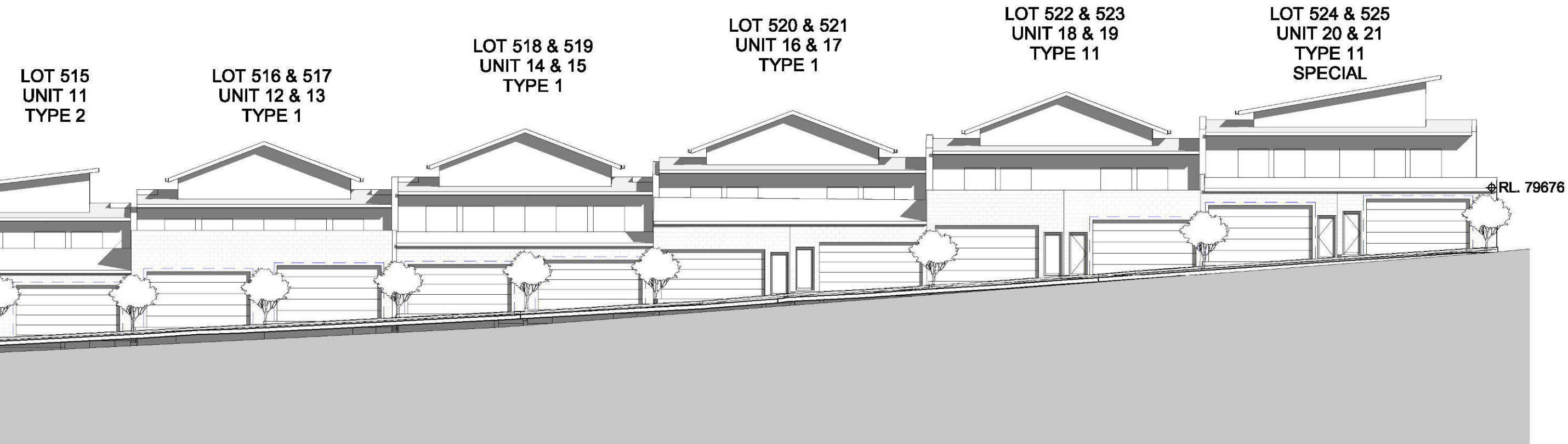
REVISION SCHEDULE		
issue#	date	description
A	08-04-2019	Draft DA
B	16-07-2019	Section 4.55



1 South Elevation (Lane)  
1 : 350



2 South Elevation (Lane) Part 1 (West)  
1 : 200



3 South Elevation (Lane) Part 2 (East)  
1 : 200



DDC ARCHITECTURE  
+ INTERIOR DESIGN

Unit 3, 112 Russell Street  
Emu Plains NSW 2750

02 4728 6500

PROJECT TITLE

Bradley Heights

CLIENT

Mint Holdings

ADDRESS

62 Bradley St,  
Glenmore Park

DRAWING TITLE

ELEVATIONS

SCALE

As indicated @ A2

DRAWING NUMBER

18094 - DA401

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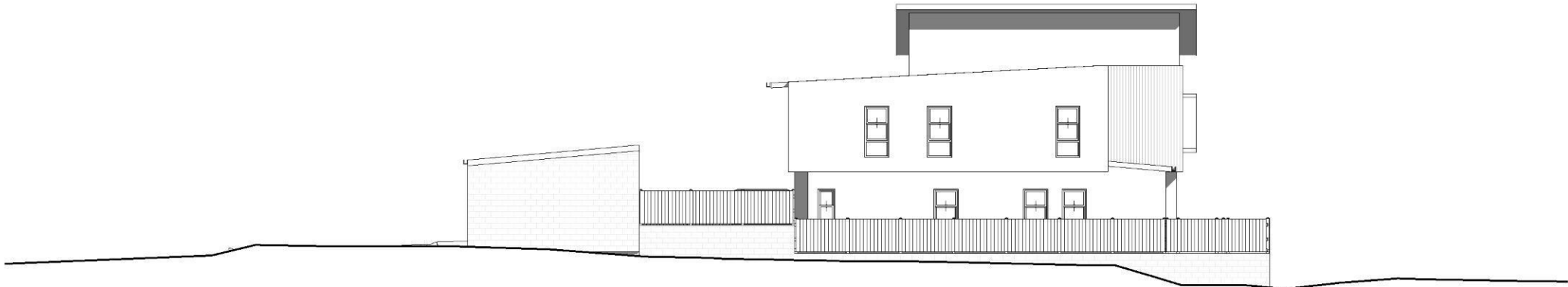
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REVISION SCHEDULE		
issue#	date	description
B	16-07-2019	Section 4.55



1 East Elevation  
1 : 200



2 West Elevation  
1 : 200



DDC ARCHITECTURE  
+ INTERIOR DESIGN

Unit 3, 112 Russell Street  
Emu Plains NSW 2750

02 4728 6500

PROJECT TITLE  
Bradley Heights

CLIENT  
Mint Holdings

ADDRESS  
62 Bradley St,  
Glenmore Park

DRAWING TITLE  
ELEVATIONS

SCALE  
1 : 200 @ A2

DRAWING NUMBER  
18094 - DA402

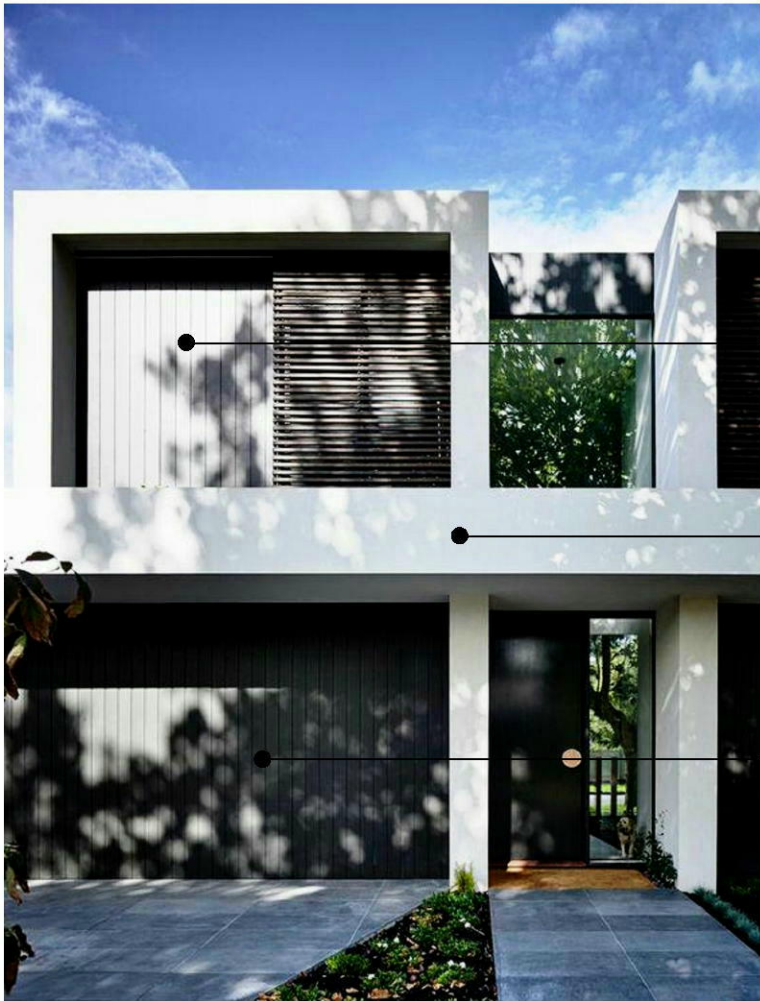
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Section 4.55





LIGHT - COLOUR SCHEME 1



CD Cladding  
Dark Colour

CL Cladding  
Light Colour

GD Garage Door  
Dark Colour

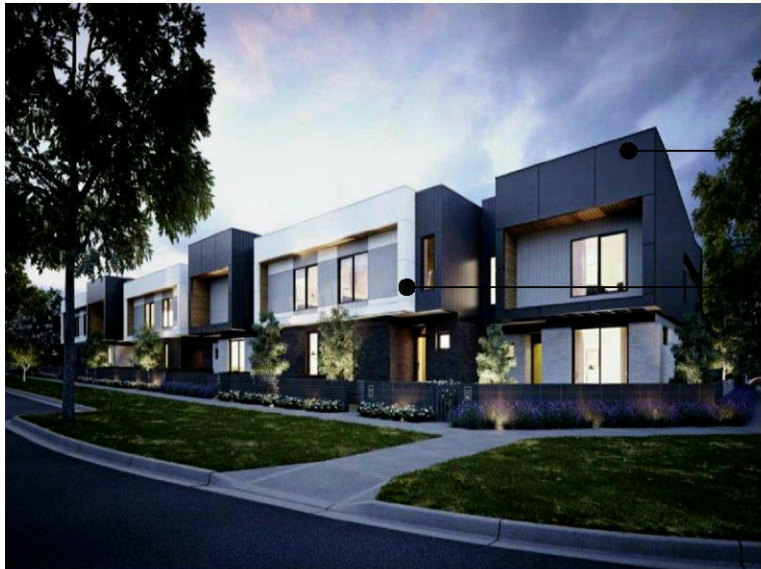
MID - COLOUR SCHEME 2



CL Cladding  
Light Colour

CD Cladding  
Dark Colour

DARK - COLOUR SCHEME 3



CD Cladding  
Dark Colour

CL Cladding  
Light Colour

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REVISION SCHEDULE		
issue#	date	description
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## LEGEND: EXTERNAL MATERIALS AND FINISHES

AS	Architectural Screen
CL	Cladding Light Colour
CD	Cladding Dark Colour
GD	Garage Door Dark Colour
LV	Louvre Privacy Screen
MDR	Metal Deck Roof Dark Colour



DDC ARCHITECTURE  
+ INTERIOR DESIGN

Unit 3, 112 Russell Street  
Emu Plains NSW 2750

02 4728 6500

PROJECT TITLE

Bradley Heights

CLIENT

Mint Holdings

ADDRESS

62 Bradley St,  
Glenmore Park

DRAWING TITLE

EXTERNAL MATERIALS AND FINISHES

SCALE

As indicated @ A2

DRAWING NUMBER

18094 - DA410

ISSUE DATE

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2:39:04 PM

Section 4.55

Colour Scheme 3  
Dark

Colour Scheme 1  
Light

Colour Scheme 2  
Mid

Colour Scheme 1  
Light

Colour Scheme 3  
Dark



## 1 External Materials - North Elevation 1 : 400

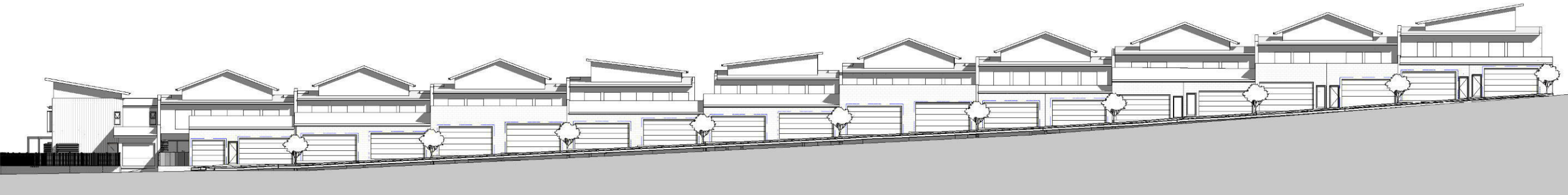
Colour Scheme 3  
Dark

Colour Scheme 1  
Light

Colour Scheme 2  
Mid

Colour Scheme 1  
Light

Colour Scheme 3  
Dark



## 2 Exeternal Materials - South Elevation 1 : 400





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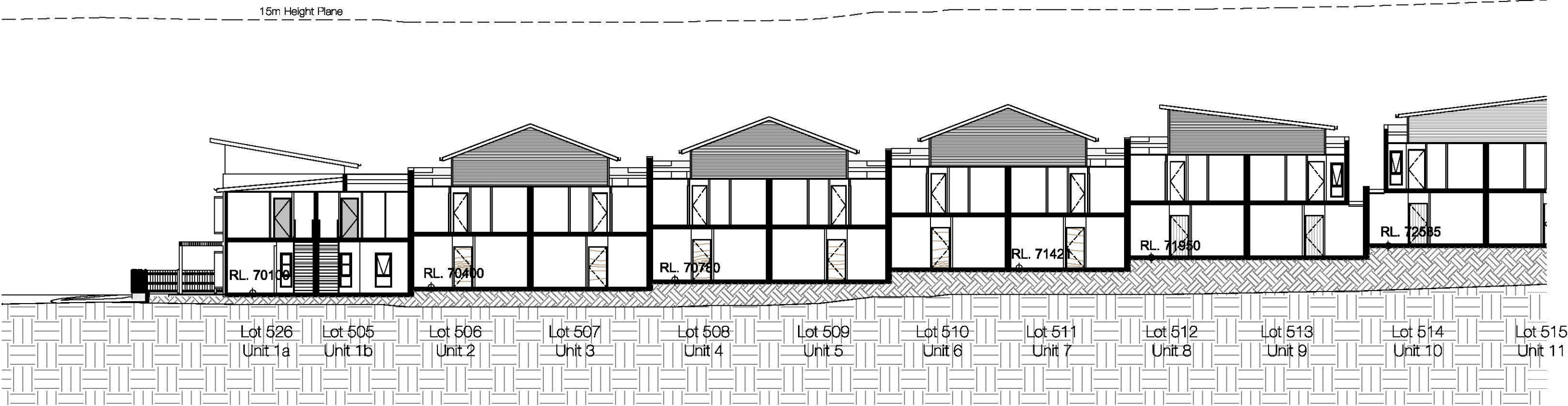
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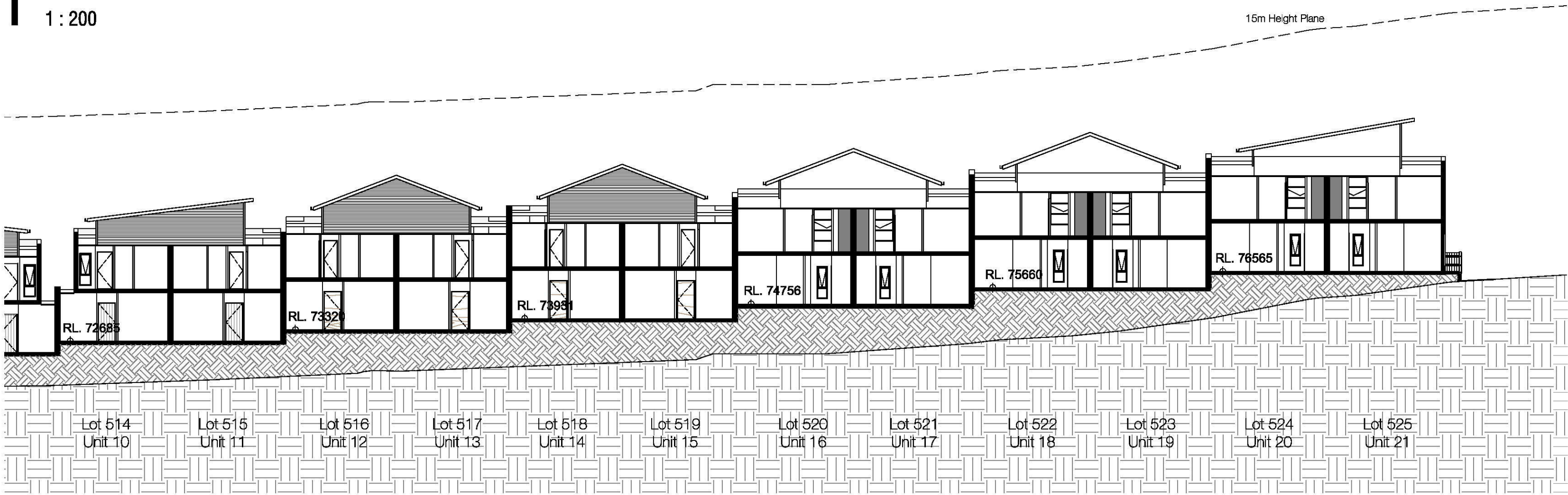
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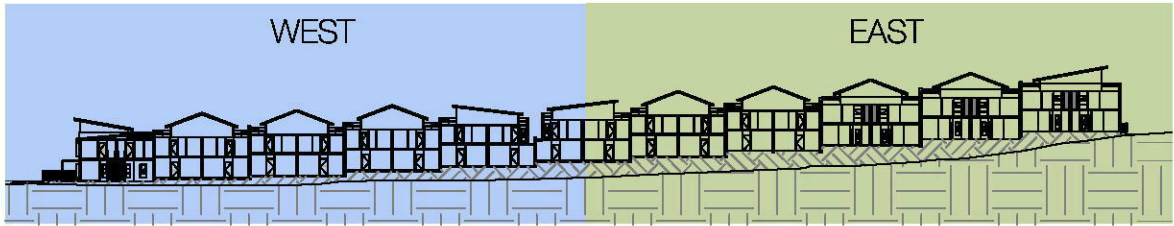
REVISION SCHEDULE		
issue#	date	description
B	16-07-2019	Section 4.55



1 Site Section 1 - West  
1 : 200



2 Site Section 1 - East  
1 : 200



3 Site Section 1 - Overall  
1 : 1000



DDC ARCHITECTURE  
+ INTERIOR DESIGN

Unit 3, 112 Russell Street  
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02 4728 6500

PROJECT TITLE  
Bradley Heights

CLIENT  
Mint Holdings

ADDRESS  
62 Bradley St,  
Glenmore Park

DRAWING TITLE  
SECTION - SITE

SCALE  
As indicated @ A2

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18094 - DA420

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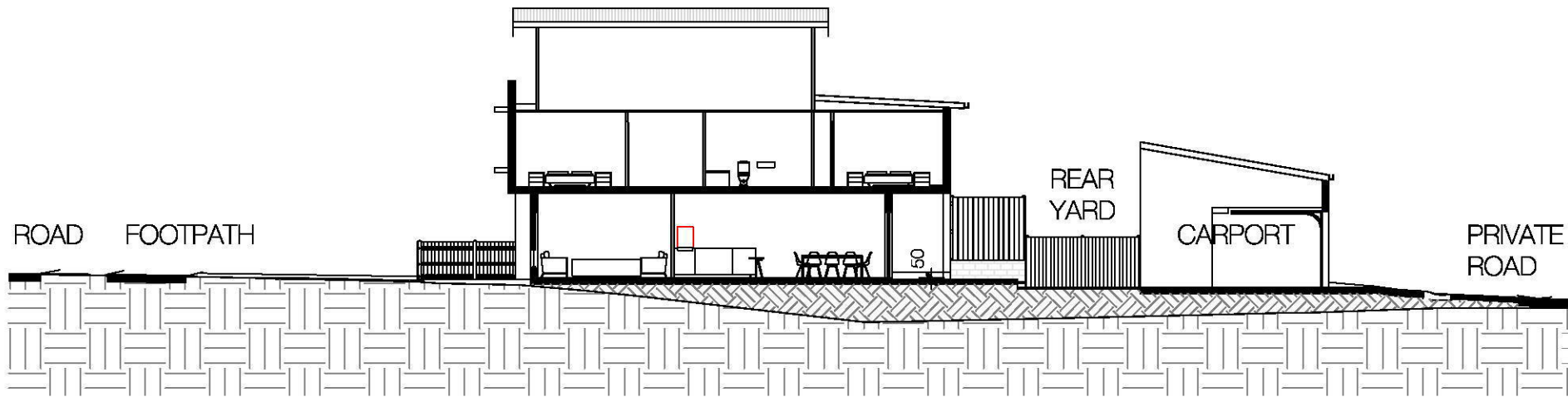
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issue#	date	description
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1 Site Section 2  
1 : 200



DDC ARCHITECTURE  
+ INTERIOR DESIGN

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Emu Plains NSW 2750

02 4728 6500

PROJECT TITLE  
Bradley Heights

CLIENT  
Mint Holdings

ADDRESS  
62 Bradley St,  
Glenmore Park

DRAWING TITLE  
SECTION - SITE

SCALE  
As indicated @ A2

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18094 - DA421

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2 Site Section 3 - Rear Yard  
1 : 300





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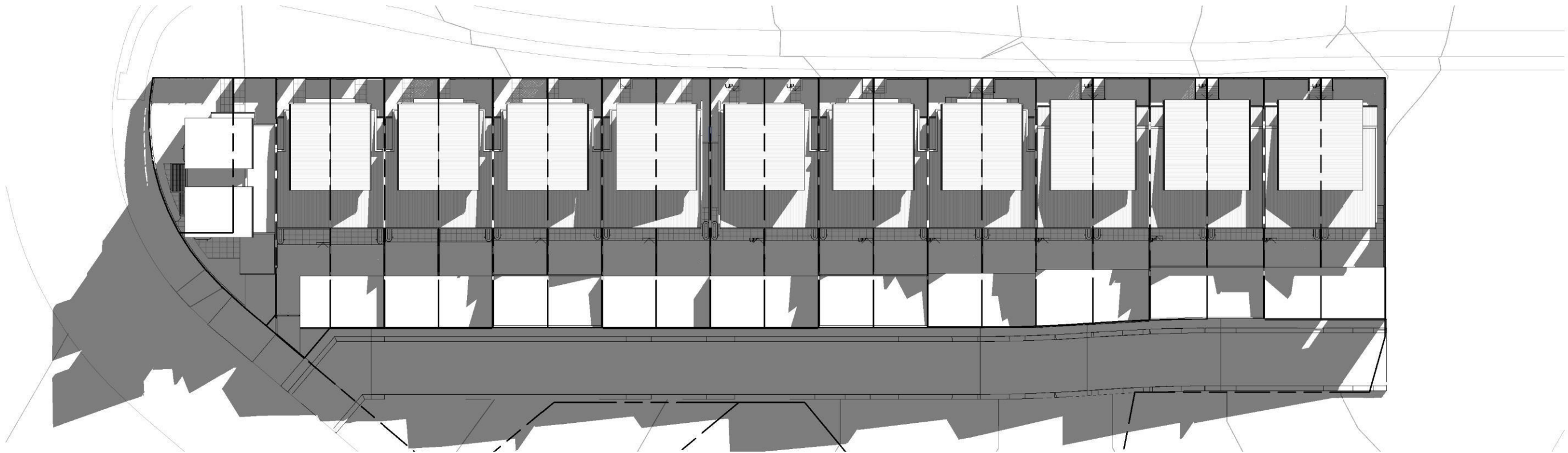
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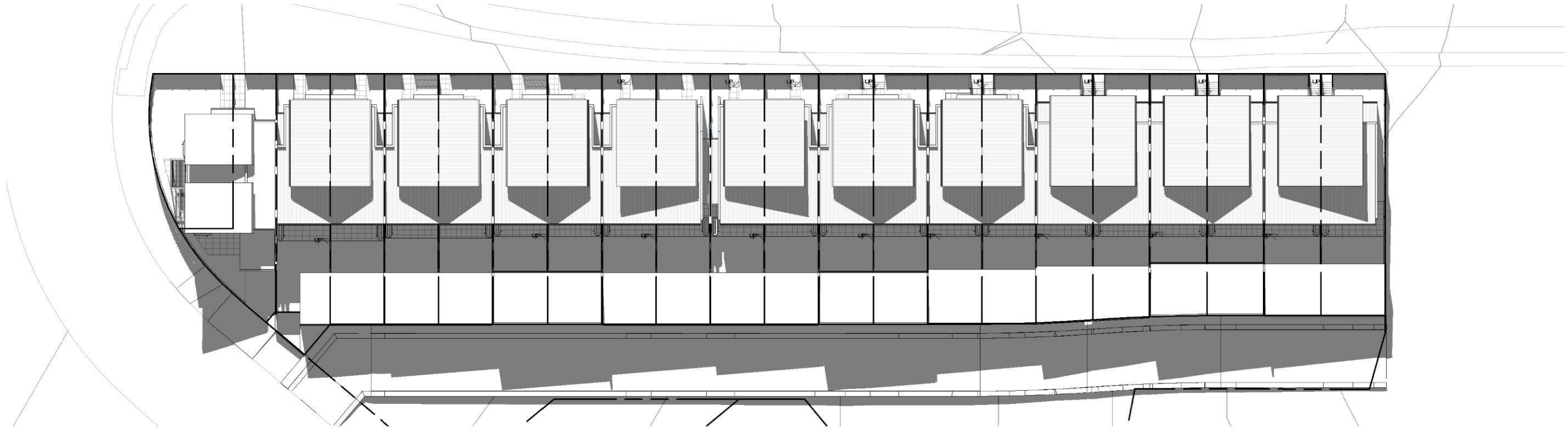
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issue#	date	description
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B	16-07-2019	Section 4.55

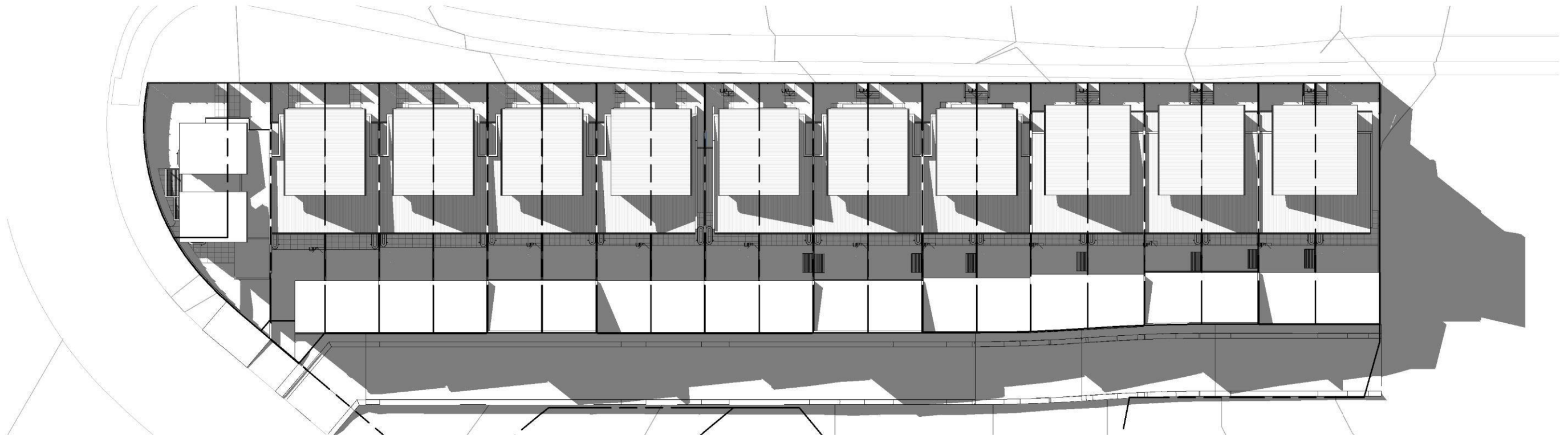
1 Shadow Diagram 9am Winter  
1 : 500



2 Shadow Diagram 12 Noon Winter  
1 : 500



3 Shadow Diagram 3pm Winter  
1 : 500



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DRAWING TITLE  
WINTER SHADOW DIAGRAMS

SCALE  
1 : 500 @ A2

DRAWING NUMBER  
18094 - DA500

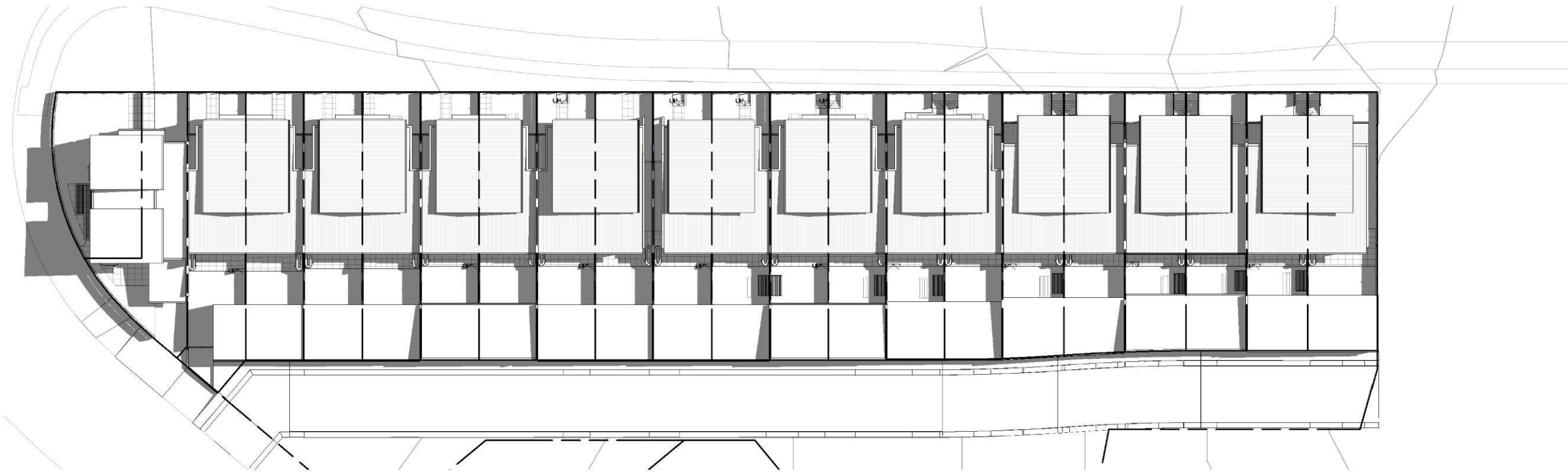
ISSUE  
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DATE  
26/07/2019  
2:39:33 PM

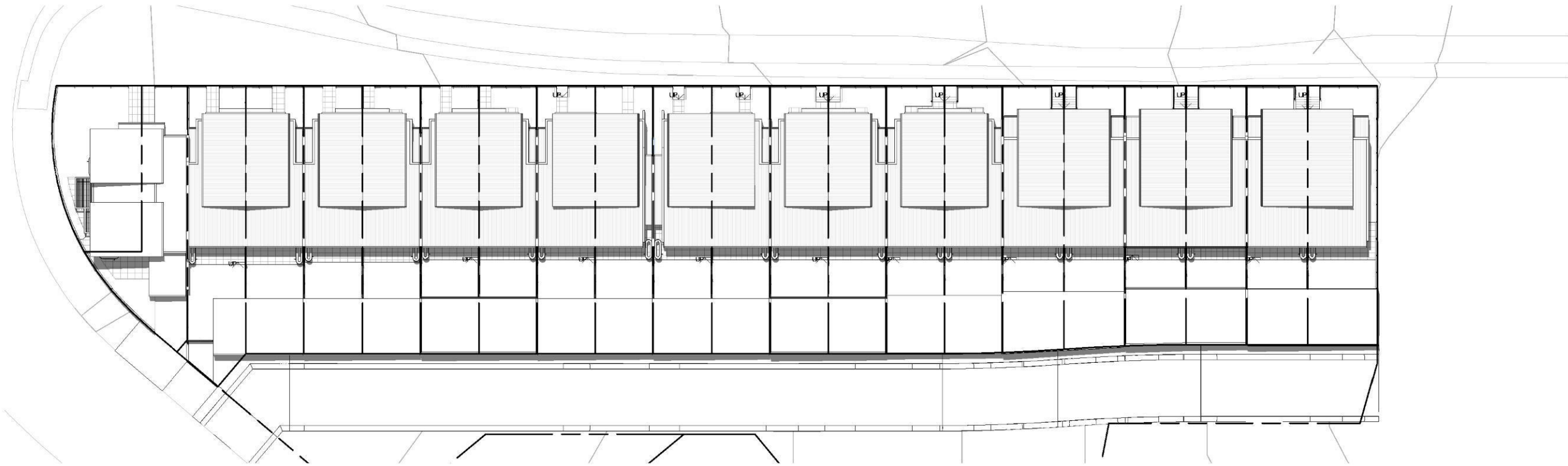
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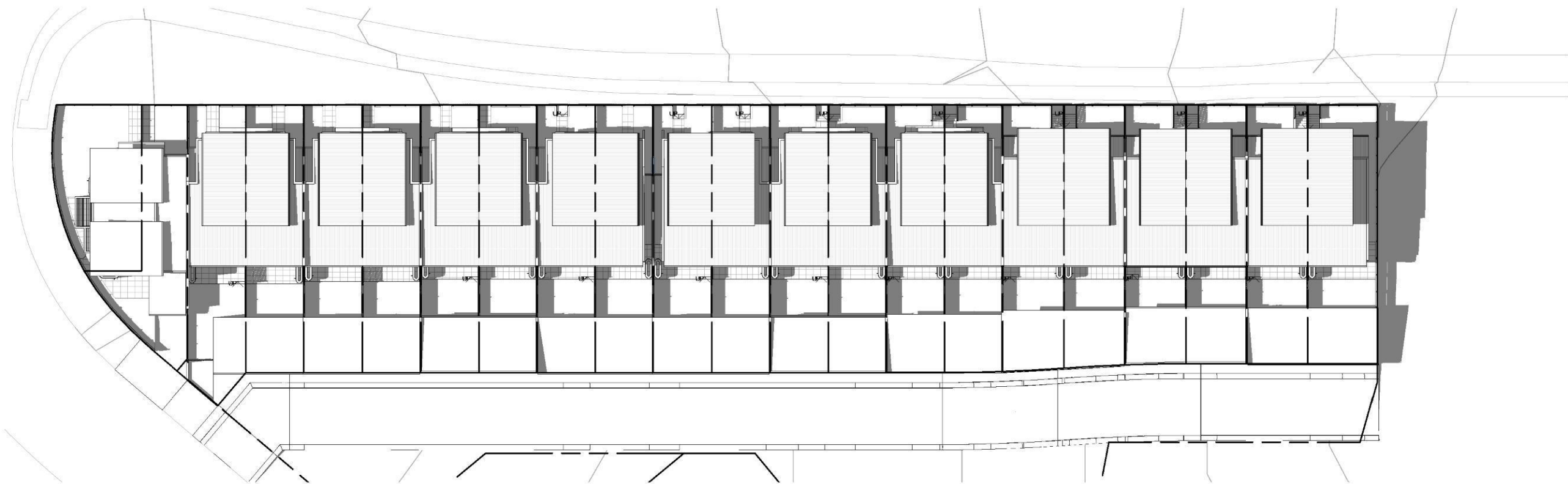




1 Shadow Diagram 9am Summer  
1 : 500



2 Shadow Diagram 12 Noon Summer  
1 : 500



3 Shadow Diagram 3pm Summer  
1 : 500

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PROJECT TITLE

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DRAWING TITLE

SUMMER SHADOW DIAGRAMS

SCALE

1 : 500 @ A2

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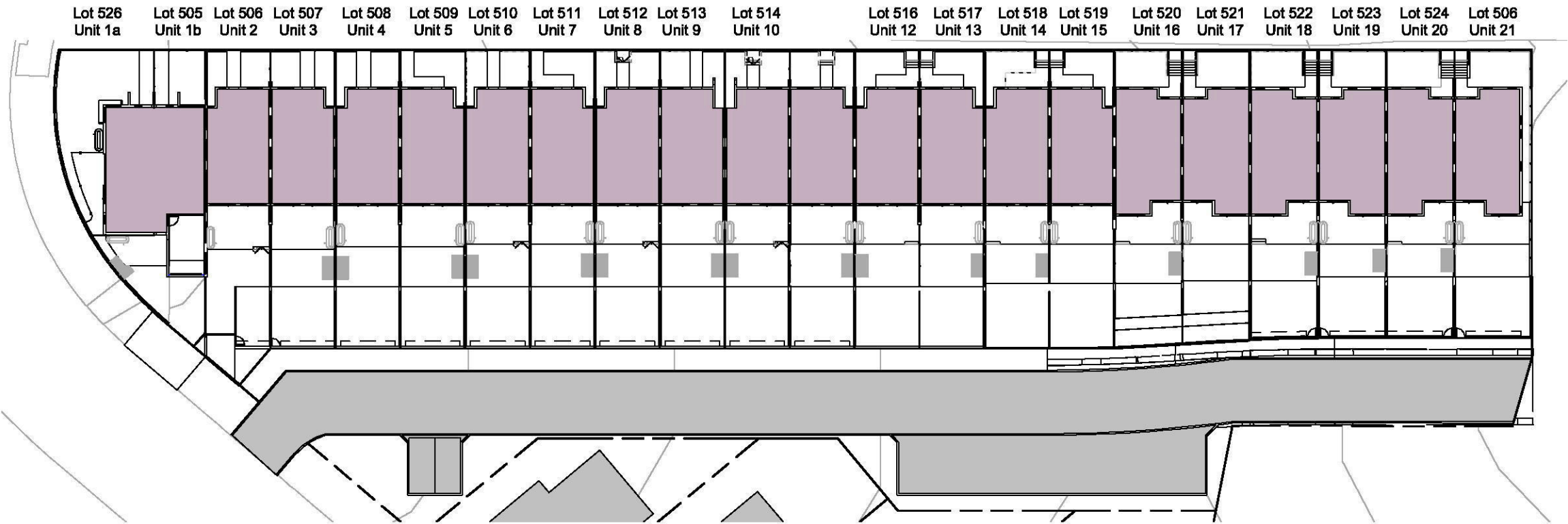




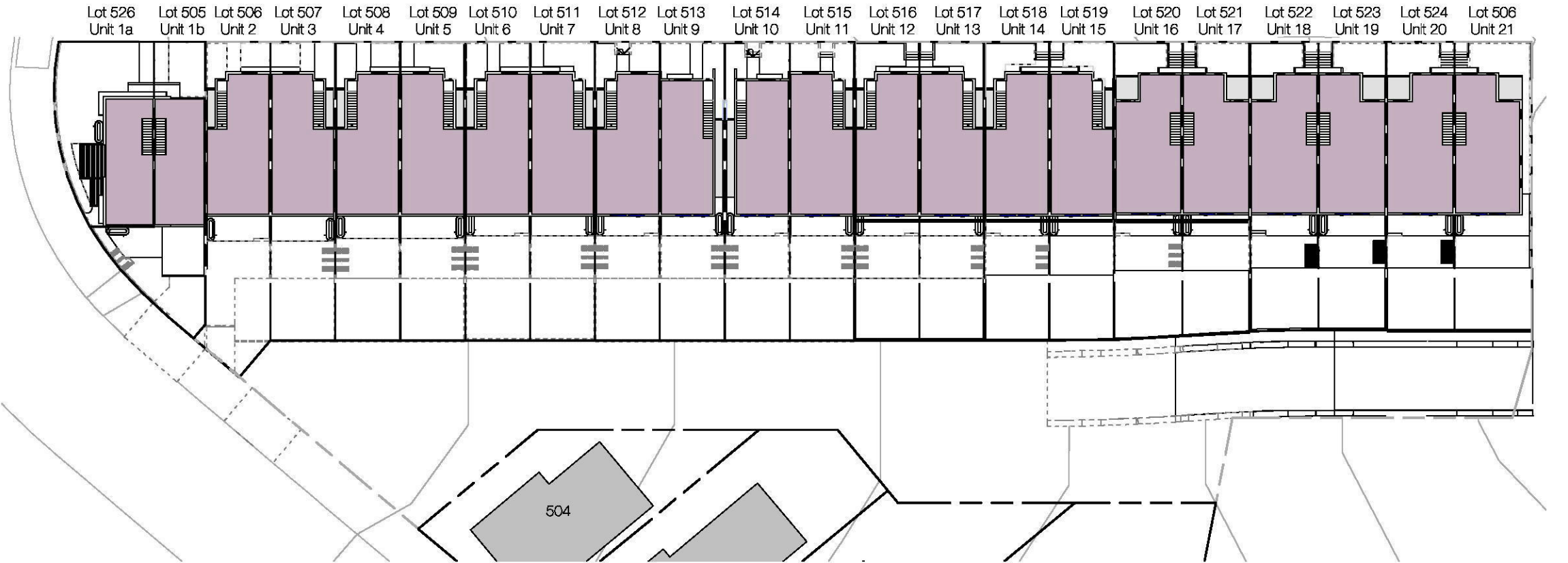
GFA			
UNIT Number	GFA (m²)	Site Area (m²)	FSR

U1a GFA	108	200	0.54:1
U1b GFA	105	121	0.87:1
U2 GFA	136	196	0.69:1
U3 GFA	136	183	0.74:1
U4 GFA	136	183	0.74:1
U5 GFA	136	183	0.74:1
U6 GFA	136	183	0.74:1
U7 GFA	136	183	0.74:1
U8 GFA	136	183	0.74:1
U9 GFA	121	183	0.66:1
U10 GFA	121	183	0.66:1
U11 GFA	136	183	0.74:1
U12 GFA	136	183	0.74:1
U13 GFA	136	183	0.74:1
U14 GFA	136	183	0.74:1
U15 GFA	136	182	0.75:1
U16 GFA	145	189	0.77:1
U17 GFA	145	187	0.78:1
U18 GFA	145	185	0.78:1
U19 GFA	145	185	0.78:1
U20 GFA	145	185	0.78:1
U21 GFA	143	210	0.68:1
TOTAL GFA	2955 (m²)	4036 (m²)	0.73:1

PENRITH COUNCIL  
LEP 2010 GFA Definition:  
gross floor area means the sum of the floor area of each floor of a building measured from the internal face of external walls, or from the internal face of walls separating the building from any other building, measured at a height of 1.4 metres above the floor, and includes:  
(a) the area of a mezzanine, and  
(b) habitable rooms in a basement or an attic, and  
(c) any shop, auditorium, cinema, and the like, in a basement or attic,  
but excludes:  
(d) any area for common vertical circulation, such as lifts and stairs, and  
(e) any basement:  
(i) storage, and  
(ii) vehicular access, loading areas, garbage and services, and  
(f) plant rooms, lift towers and other areas used exclusively for mechanical services or ducting, and  
(g) car parking to meet any requirements of the consent authority (including access to that car parking), and  
(h) any space used for the loading or unloading of goods (including access to it), and  
(i) terraces and balconies with outer walls less than 1.4 metres high, and  
(j) voids above a floor at the level of a storey or storey above



1 Ground Floor GFA  
1 : 500



2 Level 1 GFA  
1 : 500

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GFA PLANS

SCALE

1 : 500 @ A2

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6.7  
Average star rating  
NATIONWIDE  
HOUSE  
ENERGY RATING SCHEME  
www.nathers.gov.au

Certificate no.: 0304067390  
Assessor Name: David Howard  
Accreditation no.: 20039  
Certificate date: 30 July 2019  
Dwelling Address:  
62 Bradley Street  
Glenmore Park, NSW  
2745  
www.nathers.gov.au





DDC ARCHITECTURE  
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PROJECT TITLE

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DRAWING TITLE

NOTIFICATION PLAN

SCALE

1 : 750 @ A4

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# 1 Site Roof Plan

1 : 750

Document Set ID: 8794655

Version: 1, Version Date: 01/08/2019





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+ INTERIOR DESIGN

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DRAWING TITLE

NOTIFICATION PLAN

SCALE

1 : 750 @ A4

DRAWING NUMBER

18094 - DA801

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**1** North Elevation (Street) NP  
1 : 750



**2** South Elevation (Lane) NP  
1 : 750



**3** West Elevation NP  
1 : 750



**4** East Elevation NP  
1 : 750





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DRAWING TITLE

NOTIFICATION PLAN

SCALE

1 : 750 @ A4

DRAWING NUMBER

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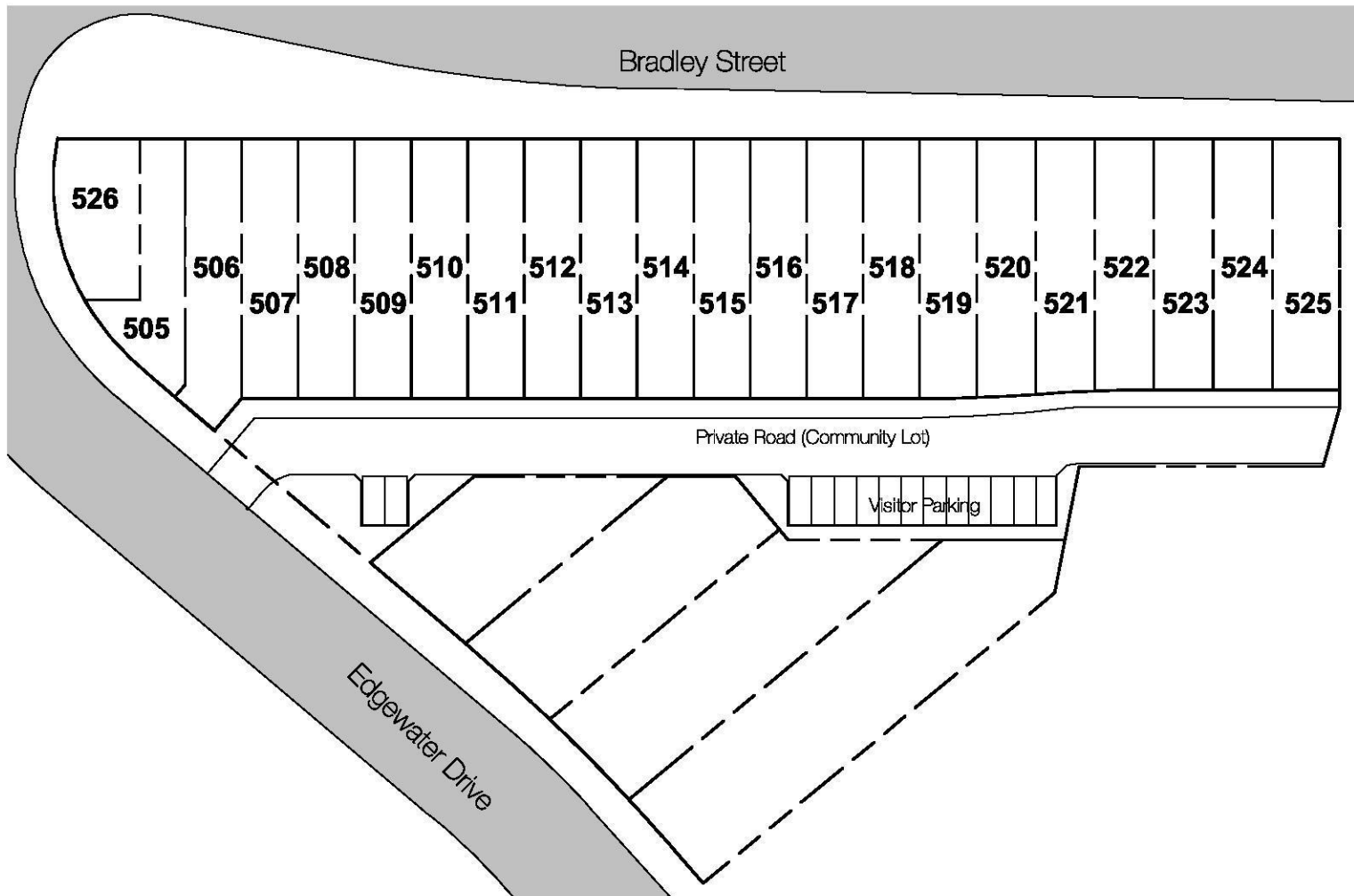
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# 1 Draft Subdivision Plan

1 : 750