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Access Review Report for **103-109 Laycock Street, Cranebrook, NSW**

Prepared by

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1. Introduction

Loka Consulting Engineers Pty Ltd has been engaged by Alvaro Architects to carry out an Access assessment for the proposed seniors housing development at 103-109 Laycock Street, Cranebrook, NSW.

The proposed development is bounded by

- 101 Laycock St, 15, 21, 23, 29, 31 Camelot Dr on the East,
- 111 Laycock St on the West,
- 22 Nepean St on the North, and
- Laycock St on the South.

An Access assessment report has been based on the following drawings prepared by Alvaro Architects.

No	Title	Drawing No.	Revision	Date
1	Site Plan	102	W	09.10.2020
2	Site Sections & Pedestrian Crossing Plan	301	C	09.10.2020
3	Typical Floor Plans – Units 01 & 16	701	C	06.08.2020
4	Typical Sections and Elevations – Units 01 & 16	702	C	06.08.2020
5	Typical Floor Plans – Units 02-15	703	C	06.08.2020
	Typical Sections and Elevations – Units 02-15	704	C	06.08.2020

2. Objectives

The report attempts to provide an accessibility review of the subject development to ascertain that the development is consistent with access requirements for a proposed residential housing development, compliant with the SEPP 2004 & the Disability Discrimination Act 1992.

3. Assessment Criteria

The assessment based on the following legislation, planning instruments and standards pertaining to access for seniors, subsequently the report will refer to the – “State of environmental planning policy (housing for seniors or people with a disability) 2004 (SEPP)” – a standard reference.

For those instances of “Deemed to Satisfy (DTS) non-compliance”, a detailed analysis and commentary is provided, where items are nominated as 'Compliance Achievable' it is considered that the existing plans are capable of achieving compliance subject to implementation of the requirements in the construction phase of the development.

4. Proposed Development Summary

- The proposed development will facilitate the construction of a seniors housing development within a site area of approximately 7974m².
- The development consists of 16 units of 1-storey townhouses.
- The total number of car parking spaces is 20 which includes one garage of 3.8m width for accessible parking for each unit and 4 visitor spaces.
- a pedestrian crossing is proposed in front of the development to connect the development to the existing footpath & bus stop on the opposite side of the street.
- The development proposed one vehicular entrance and two accessible pedestrian entrance from Laycock St with suitable gradients and cross falls.

5. Development external adjoining

The proposed development has been designed to reflect the requirements of the SEPP. This development contains self-contained dwellings. Therefore, the requirements of SEPP Clause 26: Location and Access to Facilities and Clause 38: Accessibility are relevant.

5.1 Location and access to facilities – SEPP Clause 26

A SEPP development must offer access to services such as shops, banks, retail services, commercial services, recreational facilities, community facilities and doctors. These facilities are to be located within 400m of the site via an access-way that provides an accessible path of travel

For development within the Sydney Statistical Division, these services must be located at a distance no greater than 400m from the site or access to a public transport network. There are 2 bus stops located right in front of the subject site and therefore complies with this requirement (refer to traffic report issued by this office for details).

Refer to the proximity to amenities map from Google Maps shown below in Figure 1.

Refer to the location of Bus Stops from Google maps shown below in Figure 2.

Refer to the Bus Stop Timetable from Transport NSW shown below in Figure 3 and Figure 4.

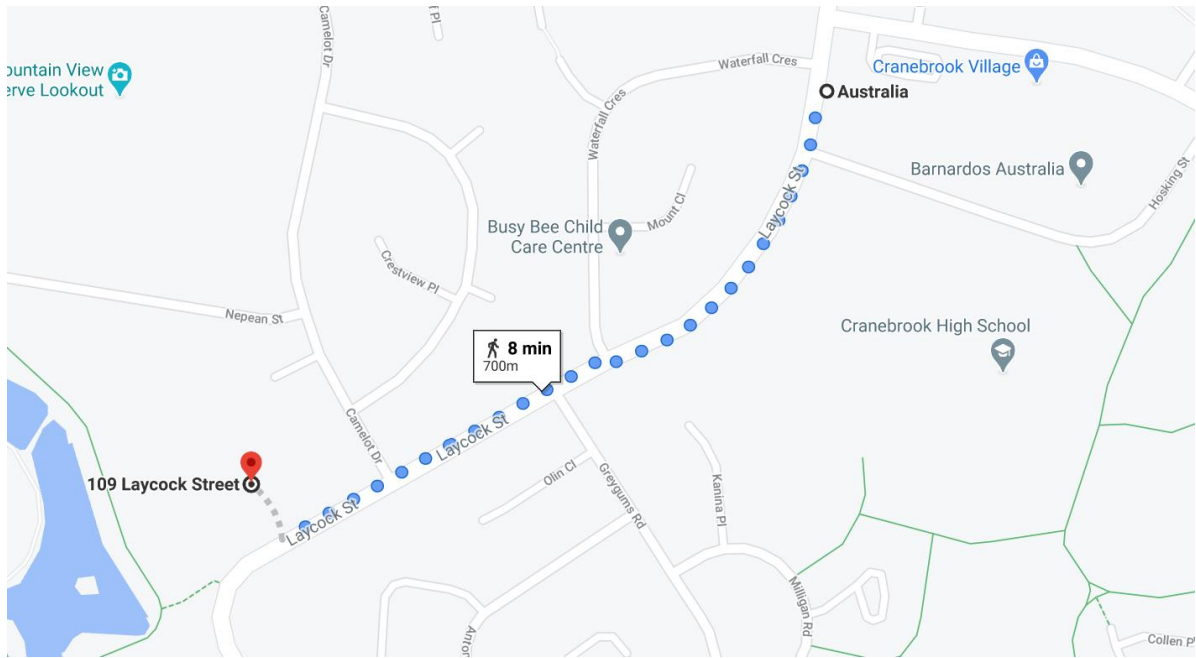


Figure 1 – Proximity to amenities map (700m distance from site to shops)

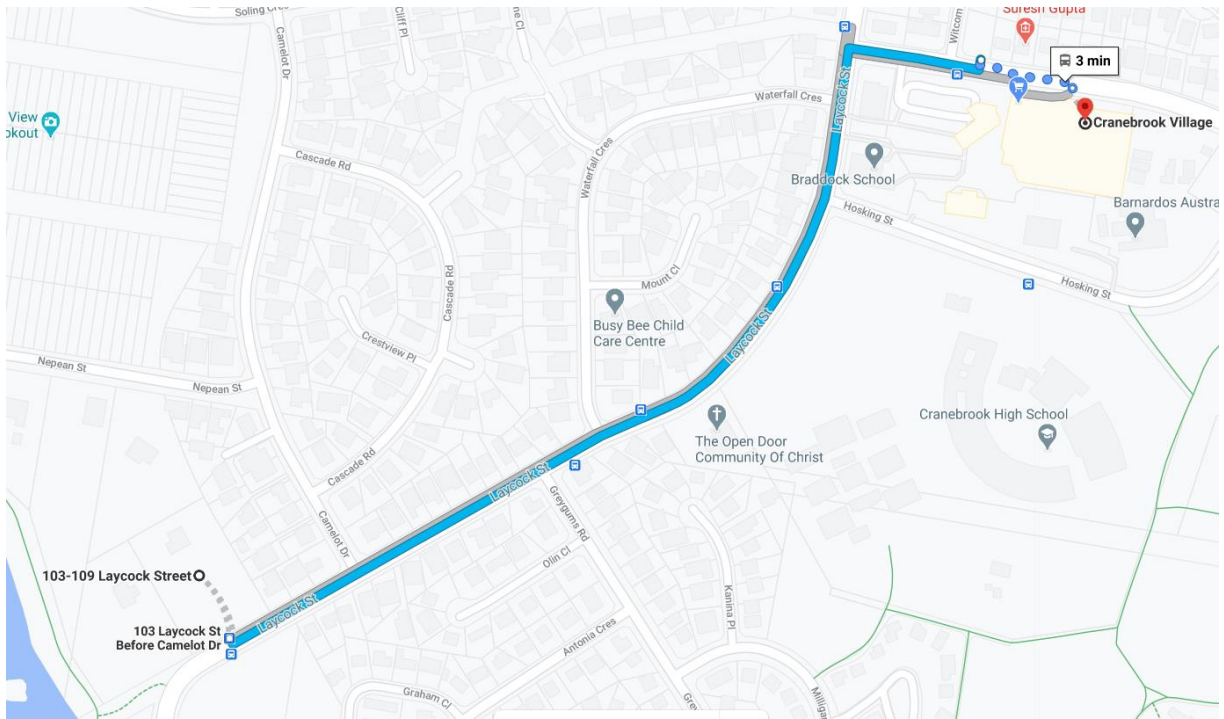


Figure 2 – Bus Stop Locations from site to shops

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Penrith to Jordan Springs

B

Valid from: 20 July 2020

Creation date: 14 Sept 2020

NOTE: Information is correct on date of download.

Monday to Friday

	♿	♿	♿	♿	♿	♿	♿	♿	♿
Penrith Station	06:03	06:30	06:58	07:29	07:59	08:30	09:08	10:08	11:08
Castlereagh Rd after Lugard St, Penrith	06:07	06:35	07:03	07:34	08:04	08:35	09:13	10:13	11:13
Lakeview Dr After Oystercatcher Pl, Cranebrook	06:09	06:37	07:06	07:37	08:07	08:38	09:16	10:16	11:16
Borrowdale Way opp Cranebrook Village Shopping Centre, Cranebrook	06:13	06:41	07:10	07:41	08:11	08:42	09:20	10:20	11:20
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	06:17	06:45	07:14	07:45	08:15	08:46	09:24	10:24	11:24
Greenwood Pkwy opp Nabilla St, Jordan Springs	06:24	06:52	07:21	07:52	08:22	08:53	09:31	10:31	11:33

Monday to Friday

	♿	♿	♿	♿	♿	♿	♿	♿	♿
Penrith Station	12:08	13:08	14:08	15:08	15:51	16:21	16:51	17:18	17:43
Castlereagh Rd after Lugard St, Penrith	12:13	13:13	14:13	15:13	15:56	16:26	16:56	17:23	17:48
Lakeview Dr After Oystercatcher Pl, Cranebrook	12:16	13:16	14:16	15:16	15:59	16:29	16:59	17:26	17:51
Borrowdale Way opp Cranebrook Village Shopping Centre, Cranebrook	12:20	13:20	14:20	15:22	16:04	16:34	17:03	17:30	17:55
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	12:24	13:24	14:24	15:28	16:10	16:39	17:08	17:35	18:00
Greenwood Pkwy opp Nabilla St, Jordan Springs	12:33	13:33	14:33	15:39	16:20	16:48	17:17	17:44	18:09

Monday to Friday

	♿	♿	♿	♿	♿
Penrith Station	18:07	18:37	19:08	19:37	20:37
Castlereagh Rd after Lugard St, Penrith	18:12	18:42	19:13	19:41	20:41
Lakeview Dr After Oystercatcher Pl, Cranebrook	18:15	18:45	19:16	19:44	20:44
Borrowdale Way opp Cranebrook Village Shopping Centre, Cranebrook	18:19	18:49	19:19	19:47	20:47
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	18:24	18:54	19:24	19:52	20:52
Greenwood Pkwy opp Nabilla St, Jordan Springs	18:32	19:02	19:31	19:58	20:58

Saturday

	♿	♿	♿	♿	♿	♿	♿	♿	♿
Penrith Station	08:42	09:42	10:42	11:42	12:42	13:42	14:42	15:42	16:42
Castlereagh Rd after Lugard St, Penrith	08:47	09:47	10:47	11:47	12:47	13:47	14:47	15:47	16:47
Lakeview Dr After Oystercatcher Pl, Cranebrook	08:49	09:49	10:49	11:49	12:49	13:49	14:49	15:49	16:49
Borrowdale Way opp Cranebrook Village Shopping Centre, Cranebrook	08:53	09:53	10:53	11:53	12:53	13:53	14:53	15:53	16:53
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	08:57	09:57	10:57	11:57	12:57	13:57	14:57	15:57	16:57
Greenwood Pkwy opp Nabilla St, Jordan Springs	09:04	10:04	11:04	12:04	13:04	14:04	15:04	16:04	17:04

Saturday

	♿
Penrith Station	17:42
Castlereagh Rd after Lugard St, Penrith	17:47
Lakeview Dr After Oystercatcher Pl, Cranebrook	17:49
Borrowdale Way opp Cranebrook Village Shopping Centre, Cranebrook	17:53
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	17:57
Greenwood Pkwy opp Nabilla St, Jordan Springs	18:04

Sunday & Public Holidays

	♿	♿	♿	♿	♿	♿	♿	♿	♿
Penrith Station	09:09	10:09	11:09	12:09	13:09	14:09	15:09	16:09	17:09
Castlereagh Rd after Lugard St, Penrith	09:14	10:14	11:14	12:14	13:14	14:14	15:14	16:14	17:14
Lakeview Dr After Oystercatcher Pl, Cranebrook	09:16	10:16	11:16	12:16	13:16	14:16	15:16	16:16	17:16
Borrowdale Way opp Cranebrook Village Shopping Centre, Cranebrook	09:20	10:20	11:20	12:20	13:20	14:20	15:20	16:20	17:19
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	09:24	10:24	11:24	12:24	13:24	14:24	15:24	16:24	17:23
Greenwood Pkwy opp Nabilla St, Jordan Springs	09:31	10:31	11:31	12:31	13:31	14:31	15:31	16:31	17:30

Figure 3 – Bus Stop Timetable (From Site to Shops)

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Jordan Springs to Penrith



Monday to Friday	♿	♿	♿	♿	♿	♿	♿	♿	♿
Greenwood Pkwy after Nabilla St, Jordan Springs	05:27	05:56	06:26	06:54	07:23	07:54	08:24	08:55	09:33
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	05:31	06:00	06:30	06:58	07:27	07:58	08:28	08:59	09:37
Cranebrook Village Shopping Centre, Borrowdale Way, Cranebrook	05:35	06:04	06:35	07:05	07:35	08:06	08:36	09:07	09:44
Lakeview Dr Before Wedgebill Pl, Cranebrook	05:39	06:08	06:40	07:10	07:40	08:11	08:41	09:12	09:49
Castlereagh Rd opp Lugard St, Penrith	05:43	06:12	06:45	07:15	07:45	08:16	08:46	09:17	09:53
Penrith Station	05:49	06:18	06:52	07:22	07:52	08:23	08:53	09:24	09:59
Monday to Friday	♿	♿	♿	♿	♿	♿	♿	♿	♿
Greenwood Pkwy after Nabilla St, Jordan Springs	10:33	11:35	12:35	13:35	14:35	15:43	16:24	16:51	17:19
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	10:37	11:39	12:39	13:39	14:39	15:49	16:30	16:55	17:23
Cranebrook Village Shopping Centre, Borrowdale Way, Cranebrook	10:44	11:45	12:45	13:45	14:45	15:53	16:34	17:00	17:28
Lakeview Dr Before Wedgebill Pl, Cranebrook	10:49	11:49	12:49	13:49	14:49	15:57	16:38	17:04	17:32
Castlereagh Rd opp Lugard St, Penrith	10:53	11:53	12:53	13:53	14:53	16:01	16:42	17:09	17:37
Penrith Station	10:59	11:59	12:59	13:59	14:59	16:07	16:48	17:17	17:44
Monday to Friday	♿	♿	♿	♿	♿	♿	♿	♿	♿
Greenwood Pkwy after Nabilla St, Jordan Springs	17:46	18:11	18:34	19:04	19:34				
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	17:51	18:15	18:38	19:08	19:38				
Cranebrook Village Shopping Centre, Borrowdale Way, Cranebrook	17:55	18:20	18:42	19:12	19:42				
Lakeview Dr Before Wedgebill Pl, Cranebrook	17:59	18:24	18:46	19:16	19:45				
Castlereagh Rd opp Lugard St, Penrith	18:04	18:29	18:49	19:19	19:48				
Penrith Station	18:11	18:36	18:55	19:25	19:54				
Saturday	♿	♿	♿	♿	♿	♿	♿	♿	♿
Greenwood Pkwy after Nabilla St, Jordan Springs	08:08	09:06	10:06	11:06	12:06	13:06	14:06	15:06	16:06
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	08:11	09:10	10:10	11:10	12:10	13:10	14:10	15:10	16:10
Cranebrook Village Shopping Centre, Borrowdale Way, Cranebrook	08:17	09:17	10:17	11:17	12:17	13:17	14:17	15:17	16:17
Lakeview Dr Before Wedgebill Pl, Cranebrook	08:21	09:21	10:21	11:21	12:21	13:21	14:21	15:21	16:21
Castlereagh Rd opp Lugard St, Penrith	08:25	09:25	10:25	11:25	12:25	13:25	14:25	15:25	16:25
Penrith Station	08:32	09:32	10:32	11:32	12:32	13:32	14:32	15:32	16:32
Saturday	♿	♿	♿	♿	♿	♿	♿	♿	♿
Greenwood Pkwy after Nabilla St, Jordan Springs	17:06								
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	17:10								
Cranebrook Village Shopping Centre, Borrowdale Way, Cranebrook	17:17								
Lakeview Dr Before Wedgebill Pl, Cranebrook	17:21								
Castlereagh Rd opp Lugard St, Penrith	17:25								
Penrith Station	17:32								
Sunday & Public Holidays	♿	♿	♿	♿	♿	♿	♿	♿	♿
Greenwood Pkwy after Nabilla St, Jordan Springs	08:35	09:33	10:33	11:33	12:33	13:33	14:33	15:33	16:33
Jordan Springs Shopping Centre, Jordan Springs Bvd, Jordan Springs	08:39	09:37	10:37	11:37	12:37	13:37	14:37	15:37	16:37
Cranebrook Village Shopping Centre, Borrowdale Way, Cranebrook	08:45	09:44	10:44	11:44	12:44	13:44	14:44	15:44	16:44
Lakeview Dr Before Wedgebill Pl, Cranebrook	08:48	09:47	10:47	11:47	12:47	13:47	14:47	15:47	16:47
Castlereagh Rd opp Lugard St, Penrith	08:51	09:51	10:51	11:51	12:51	13:51	14:51	15:51	16:51
Penrith Station	08:58	09:58	10:58	11:58	12:58	13:58	14:58	15:58	16:58

Figure 3 – Bus Stop Timetable (From Shops to Site)

5.2 Accessibility – SEPP Clause 38

A SEPP development should have obvious and safe pedestrian links from the site that provide access to public transport services or local facilities. A development should provide attractive, yet safe, environments for pedestrian and motorists with convenient access and parking for residents and visitors.

The proposed development meets the intent of safe pedestrian link by direct accessible path to public pedestrian footpath on Laycock St via proposed pedestrian crossing.

The proposed development meets the intent of convenient access and parking for residents and visitors by providing car parking spaces for residents and visitor with an accessible path of travel to all units.

6. Standards concerning accessibility and usability Requirements

“SEPP SCHEDULE 3 – Standards concerning accessibility and usability for self-contained dwellings”

The dwellings within the proposed development have been considered against SEPP-Housing for seniors and People with Disabilities (SEPP); Part 1: Self-contained dwellings - standards concerning access and usability (Clauses 1 – 21) is applicable in this instance.

There are 16 dwellings arrangement, each is provided with a garage with 3.8m width for disabled parking. Extra 4 visitor car parking spaces are provided in this site.

6.1 Wheelchair access – SEPP Schedule 3 Clause 2 (1, 2)

According to SEPP (Housing for seniors or People with a Disability) 2004, Part 1 Cl. 2(1):
If the whole of the site has a gradient of less than 1:10, 100% of the dwellings must have wheelchair access by a continuous accessible path of travel (within the meaning of AS 1428.1) to an adjoining public road.

The whole development is provided with continuous path of travel from the 2 main entrances on Laycock St, comprising mostly of max 1:14 footpaths and a 1:10 steep ramp leading up to the entrance of each dwelling.

6.2 Development Internal Road access – SEPP Schedule 3 Clause 2 (3)

All the dwellings that meet the requirements of sub-clause (1) must have wheelchair access by a continuous accessible path of travel (*within the meaning of AS 1428*) to an adjoining public road.

The site provides an accessible path of travel between the internal pathway and the units via walk ways.

6.3 Common areas – SEPP Schedule 3 Clause 2 (4)

Access must be provided so that a person using a wheelchair can use common areas and common facilities associated with the development. The following common areas are provided within the development:

- Bin store at the Laycock street entry
- Bin store at the centre of the site

6.4 Seniors Living Requirements

The following assessment summarises the compliance status of the design documentation and requirements referenced to SEPP standard

Item	Architecture drawings	Compliance	Comments/ Recommendation
Security	Pathway lighting is to be designed and located to avoid glare for pedestrians and adjacent dwellings. Lighting to be minimum 20 lux at ground level.	Compliance is achievable Details to be verified at CC stage.	Please ensure the dwellings lighting to be minimum 20 lux.
Letterboxes in Estate developments	Letter boxes to be on hard standing area connected to accessible pathway (within the meaning of AS 1428.1). Must be lockable. Must be located together in one or more central locations adjacent to the street entry or, in the case of self-contained dwellings. Give consideration to locating letterboxes within common reach ranges of 700-1200mm above the adjacent ground surface, per AS1428.2 (1992).	Compliance is achievable Details to be verified at CC stage.	Please ensure the letterbox on hard standing area connected to accessible pathway with a lock for the privacy/ security purposes and within common reach ranges of 700 -1200mm above ground surface
Private Car Accommodation	Car parking space or garage as per AS2890.6. 5% of total number must be designed to enable width to be increased to 3800mm. Any garage must have a power-operated door, or there must be a power point and an area for motor or control rods to enable a	Complies Details to be verified at CC stage.	Please ensure the garage door to be power-operated.

	power-operated door to be installed later.		
Accessible Entry	Every entry (whether a front entry or not) to a dwelling, not being an entry for employees, must comply with clauses 4.3.1 and 4.3.2 of AS 4299.	Complies Details to be verified at CC stage.	
General Interior	Internal doors to comply with AS 1428.1 (<i>min opening width 850mm</i>).	Compliance is achievable Details to be verified at CC stage.	Please ensure the internal door clear width opening is 850mm complying with AS1428.1.
	Internal corridors min. unobstructed width of 1000 mm.		
	Circulation space at approaches to internal doorways must comply with AS 1428.1.		
Living & Dining room	Provision for circulation space of min. 2250 mm dia. as per AS 4299 clause 4.7.1.	Compliance is achievable Details to be verified at CC stage.	Please ensure telephone adjacent to the GPO and the illumination level min. 300 lux.
	Telephone adjacent to general power outlet GPO.		
	Potential illumination level min. 300 lux.		
Kitchen	Minimum width 2.7 m (1550 mm clear between benches) as per AS 4299 clause 4.5.2.	Compliance is achievable Details to be verified at CC stage.	Please ensure: <ul style="list-style-type: none"> Oven and Tap set capstan or lever handles or lever mixer as per AS4299. The Cooktops to include isolating switch side controls with raised cross bars as per AS 4299. The “D” pull cupboard handles are located towards the top of below-bench cupboards & towards the bottom of overhead cupboards. The GPOs comply with AS 1248.1 and to be easily accessible. At least one double GPO within 300 mm of front of work surface.
	Provision for circulation at doors to comply with AS 1428.1.		
	Provision for benches planned to include at least one work surface of 800 mm length that comply with clause 4.5.5 (a).		
	“D” pull cupboard handles are located towards the top of below-bench cupboards & towards the bottom of overhead cupboards.		
	Oven as per AS 4299 clause 4.5.7.		
	Tap set capstan or lever handles or lever mixer as per AS4299 clause 4.5.6 and located within 300 mm of front of sink.		

	<p>Cooktops to include isolating switch side controls with raised cross bars as per AS 4299.</p> <p>GPOs to comply with AS 1428.1. At least one double GPO within 300 mm of front of work surface.</p> <p>GPO for refrigerator to be easily accessible when the refrigerator is in its operating position.</p>		
Bedroom	<p>At least one bedroom of area sufficient to accommodate queen size bed, wardrobe, and circulation space requirements of AS 1428.1.</p> <p>Provision for circulation space of min. 1200mm wide at the foot of the bed and 1000mm wide beside the bed.</p> <p>2 double GPO on the wall where the head of the bed; and one at least opposite to this wall.</p> <p>Telephone outlet adjacent to general power outlet GPO or the next to the side closet.</p> <p>Potential illumination level min. 300 lux</p>	<p>Compliance is achievable Details to be verified at CC stage.</p>	<p>Please ensure 2 double GPO on the wall where the head of the bed; and one at least opposite to this wall, telephone outlet adjacent to GPO; and the illumination level min. 300 lux.</p>
Bathroom	<p>Must comply AS 1428.1 for circulation space for sanitary facilities</p> <p>Circulation spaces overlapping must follow 1428.1 sub-clause 15.6 and figure 50.</p> <p>A slip-resistant floor surface,</p> <p>Soap holder and Taps to comply with 1428.1 sub-clauses 15.5.7, 15.5.8 and figure 48.</p>	<p>Compliance is achievable Details to be verified at CC stage.</p>	<p>Please ensure:</p> <ul style="list-style-type: none"> • The washbasin, the soap holder and taps comply with AS 1428.1. • The shower screen can easily be removed to facilitate future accessibility. • The shower of flexible hose of min. length 1500mm; folding seat, grabrails and shower head supports grabrails specified as AS1428.1. • The fixture and fittings specified as per SEPP standards. • Shower recess - no hob. Minimum size 1160x1100mm. • Double GPO beside mirror as per SEPP.

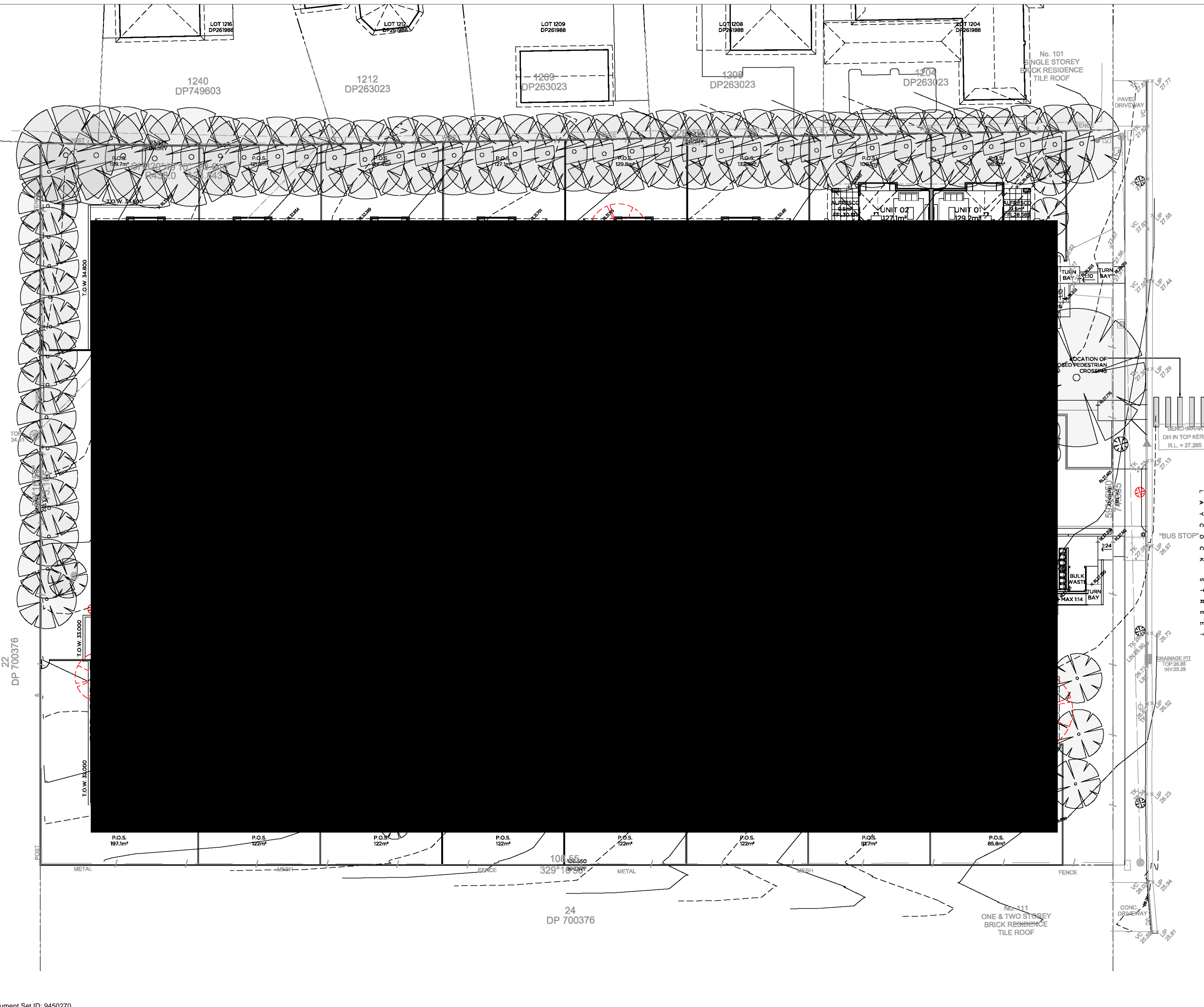
	<p>A washbasin with plumbing that would allow, either immediately or in the future, clearances that comply with AS 1428.1</p> <p>Opening shower screens must maintains required circulation space of 1600mmX2350mm.</p> <p>As per 1428.1 sub-clause (1) (c) does not prevent the installation of a shower screen that can easily be removed to facilitate future accessibility</p> <p>Shower recess - no hob. Minimum size 1160x1100mm to comply with AS 1428.1. Sub-clause 15.5.2 and Figures 47 and 48.</p> <p>Shower head shall have flexible hose of minimum length of 1500mm and comply with 1428.1 sub-clause 15.5.6</p> <p>Folding seat to comply with 1428.1 sub-clause 15.5.9</p> <p>Grabrails and showerhead supports grabrails must specified as per 1428.1 clause 17.</p> <p>Fixture and fittings to follow 1428.1 sub-clause 15.4.</p> <p>Double GPO beside mirror as per SEPP</p> <p>A wall cabinet that is sufficiently illuminated to be able to read the labels of items stored in it.</p> <p>Dwelling must have at least one toilet on the ground (or main) floor</p>		<ul style="list-style-type: none"> A wall cabinet that is sufficiently illuminated to be able to read the labels of items stored in it.
Toilet	<p>Slip resistant floor surface. (Vitreous tiles or similar).</p> <p>Water taps shall comply with AS 1428.1</p> <p>Location of WC pan at correct distance from fixed walls as per AS 1428.1</p>	<p>Compliance is achievable Details to be verified at CC stage.</p>	<p>Please ensure</p> <ul style="list-style-type: none"> Water taps comply with AS 1428.1. Floor has slip-resistant surface; The toilet sanitary facilities comply with AS4299

	<p>Provision for grab rail zone as per AS 1428.1.</p> <p>The toilet seat, backrest, flushing control, toilet paper dispenser and grabrails shall comply with AS 4299</p> <p>The circulation space to be revised as per 1428.1 sub-clause 15.2.8.1 and figure 43</p> <p><i>Provision of visitable toilet or accessible toilet – “being a toilet with a space of minimum 1250mm x 900mm in front of the WC pan”.</i></p> <p>Balconies and external paved areas must have slip-resistant surfaces.</p>		<ul style="list-style-type: none"> • The grabrail zone follow AS 1428.1. • Location of WC pan at correct distance from fixed walls. • The WC grabrails are safely fixed as per AS1429.1.
Surface finishes	Balconies and external paved areas must have slip-resistant surfaces.	Compliance is achievable Details to be verified at CC stage.	Please ensure that balconies and external paved area are Slip resistant floor surface.
Door hardware	Door handles and hardware for all doors (including entry doors and other external doors) must be provided in accordance with AS 4299.	Compliance is achievable Details to be verified at CC stage.	Please ensure the Door handles and hardware (including entry doors and other external doors) must be provided in accordance with AS 4299.
Ancillary items	Switches and power points must be provided in accordance with AS 4299.	Compliance is achievable Details to be verified at CC stage.	Please ensure the Switches and power points GPO must be provided in accordance with AS 4299.
Access to kitchen, main bedroom, bathroom and toilet	In a multi-storey building containing separate self-contained dwellings on different storeys, lift access must be provided to dwellings above the ground level of the building by way of a lift complying with clause E3.6 of the Building Code of Australia	NA	
Lifts in multi-storey buildings	Circulation at doors to comply with AS 1428.1	NA	
Laundry	A circulation space at door approaches that complies with AS 1428.1	Compliance is achievable	Please ensure that the provision for installing appliances; slip-resistant floor surface with clear waste water outlet must

	<p>Clear space in front of appliances of at least 1300mm.</p> <p>Provision for the installation of an automatic washing machine and clothes dryer.</p> <p>An accessible path of travel to any clothesline provided in relation to the dwelling.</p> <p>Slip-resistant floor surface</p>	<p>Details to be verified at CC stage.</p>	<p>be provided. In addition to an accessible path of travel to any clothes line</p>
Storage for linen	<p>A self-contained dwelling must be provided with a linen storage in accordance with clause 4.11.5 of AS 4299</p> <p><i>It should be at least 600mm wide that have adjustable shelving</i></p>	<p>Compliance is achievable Details to be verified at CC stage.</p>	<p>Please ensure the provision of linen storage in accordance with clause 4.11.5 of AS 4299 of adjustable shelves of min. 600mm wide.</p>
Garbage	<p>A garbage storage area must be provided in an accessible location.</p>	<p>Compliance is achievable Details to be verified at CC stage.</p>	

APPENDIX A

Architectural Plan



REV	DATE	DESCRIPTION	BY
E	02.05.19	ISSUE TO CONSULTANTS FOR REVIEW	EF
F	01.06.19	ISSUE TO CLIENT, CONSULTANTS & COUNCIL FOR PRE-DA	EF
G	16.07.19	ISSUE TO CLIENT, CONSULTANTS & COUNCIL FOR REVIEW	EF
H	08.08.19	AMENDED PLANS TO CONSULTANTS FOR REVIEW	EF
J	28.08.19	ISSUE TO CONSULTANTS & CLIENT FOR REVIEW	EF
K	09.09.19	AMENDED PLANS TO CONSULTANTS FOR REVIEW	RA
L	13.09.19	AMENDED PLANS TO CONSULTANTS FOR REVIEW	RA
M	14.10.19	FINAL ISSUE TO CLIENT & CONSULTANTS FOR APPROVAL	EF
N	12.02.20	AMENDED ISSUE TO CLIENT & PLANNER FOR REVIEW	RA
P	20.03.20	AMENDED ISSUE TO CLIENT & PLANNER FOR REVIEW	RA
Q	02.04.20	AMENDED PLANS TO CLIENT FOR APPROVAL	EF
R	28.04.20	COMPARISON PLANS TO COUNCIL FOR REVIEW	RA
S	03.06.20	AMENDED PLANS TO COUNCIL FOR REVIEW	EF
T	05.08.20	PRELIMINARY ISSUE TO CONSULTANTS FOR REVIEW	EF
U	09.09.20	AMENDED ISSUE TO CONSULTANTS FOR REVIEW	VF
V	09.09.20	AMENDED ISSUE TO CONSULTANTS FOR REVIEW	EF
W	09.10.20	AMENDED ISSUE TO CONSULTANTS FOR REVIEW	EF

CLIENT PROJECT ADDRESS
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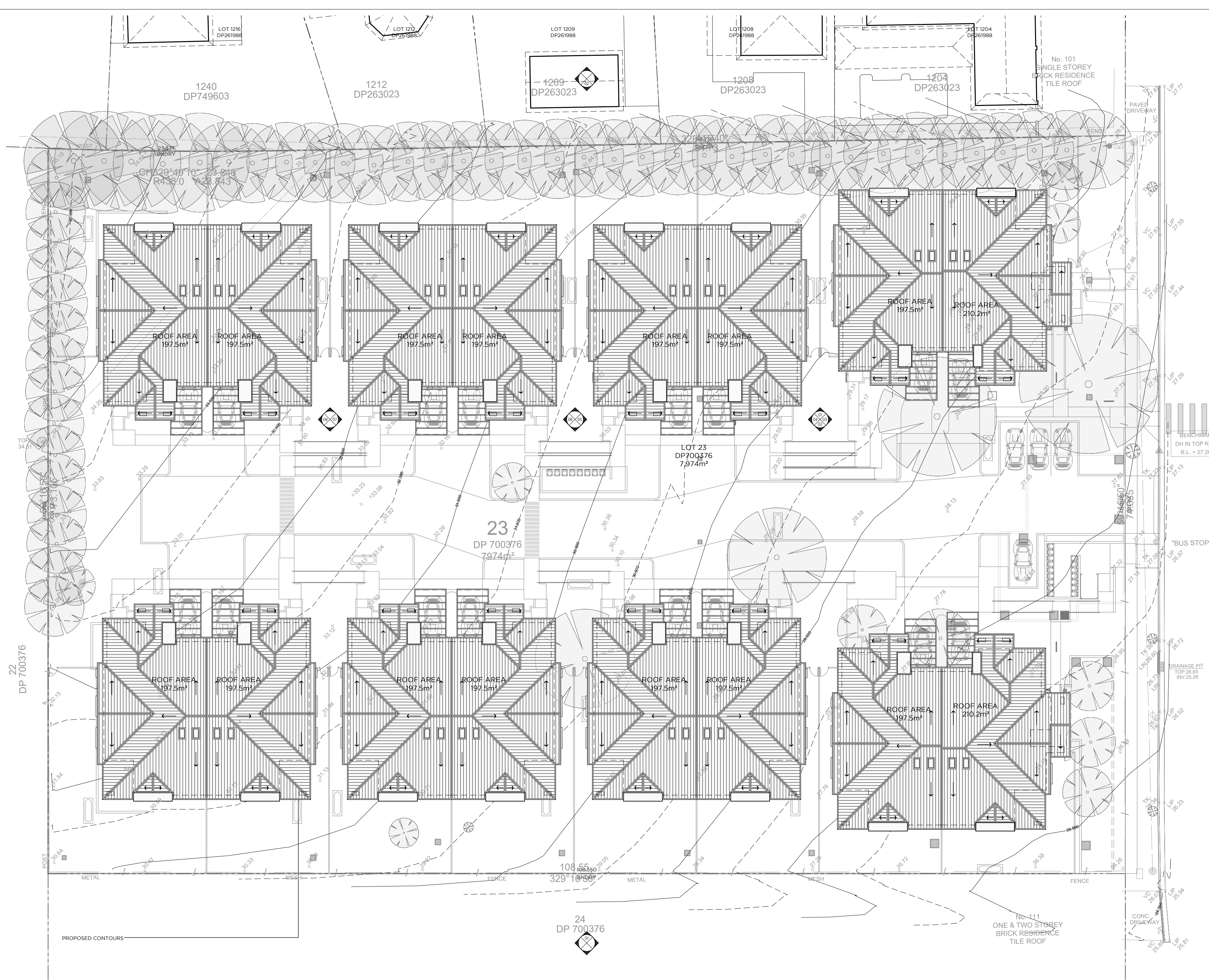
PROJECT
**Proposed Seniors Housing
 Cranebrook**

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PRELIMINARY

NORTH	DRAWN	DRAWING TITLE
	EF	SITE PLAN
	CHECKED	SCALE @A2
	RA	1:250
	APPROVED	DRAWING NO.
	RA	102
		JOB NUMBER
		0246
		REV
		W

REV	DATE	DESCRIPTION	BY
A	01.06.19	ISSUE TO CLIENT, CONSULTANTS & COUNCIL FOR PRE-DA	EF
B	08.08.19	AMENDED PLANS TO CONSULTANTS FOR REVIEW	EF
C	08.08.19	AMENDED PLANS TO CONSULTANTS FOR REVIEW	EF
D	28.08.19	ISSUE TO CONSULTANTS & CLIENT FOR REVIEW	EF
E	13.09.19	AMENDED PLANS TO CONSULTANTS FOR REVIEW	RA
F	14.10.19	FINAL ISSUE TO CLIENT & CONSULTANTS FOR APPROVAL	EF
G	06.08.20	PRELIMINARY ISSUE TO CONSULTANTS FOR REVIEW	EF
H	09.09.20	AMENDED ISSUE TO CONSULTANTS FOR REVIEW	EF
J	09.10.20	AMENDED ISSUE TO CONSULTANTS FOR REVIEW	EF



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PROJECT
**Proposed Seniors Housing
Cranebrook**

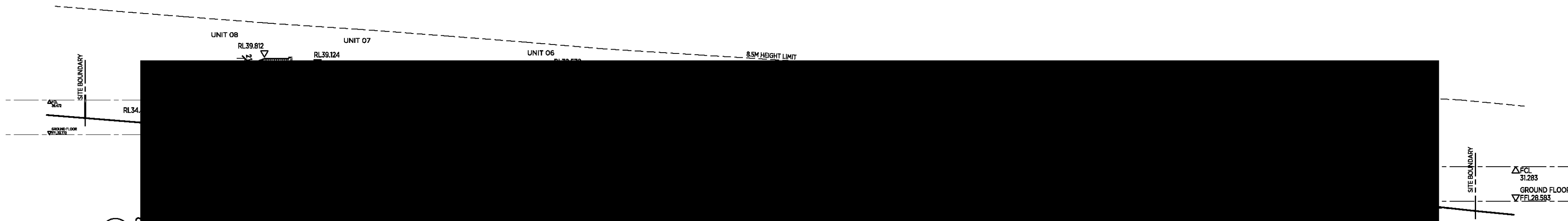
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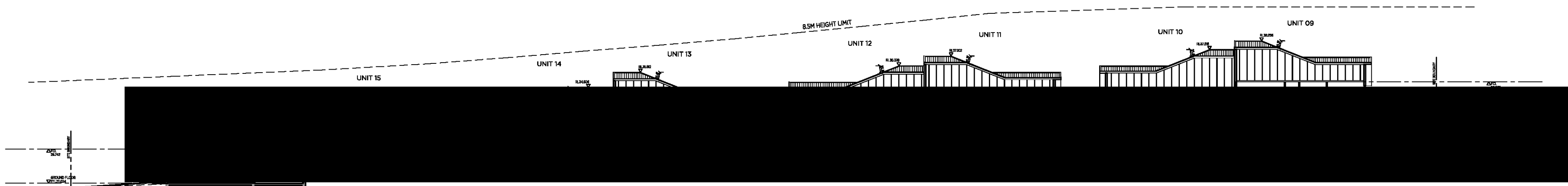
NORTH

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APPROVED	RA	DRAWING NO.	103
		JOB NUMBER	0246
		REV	J

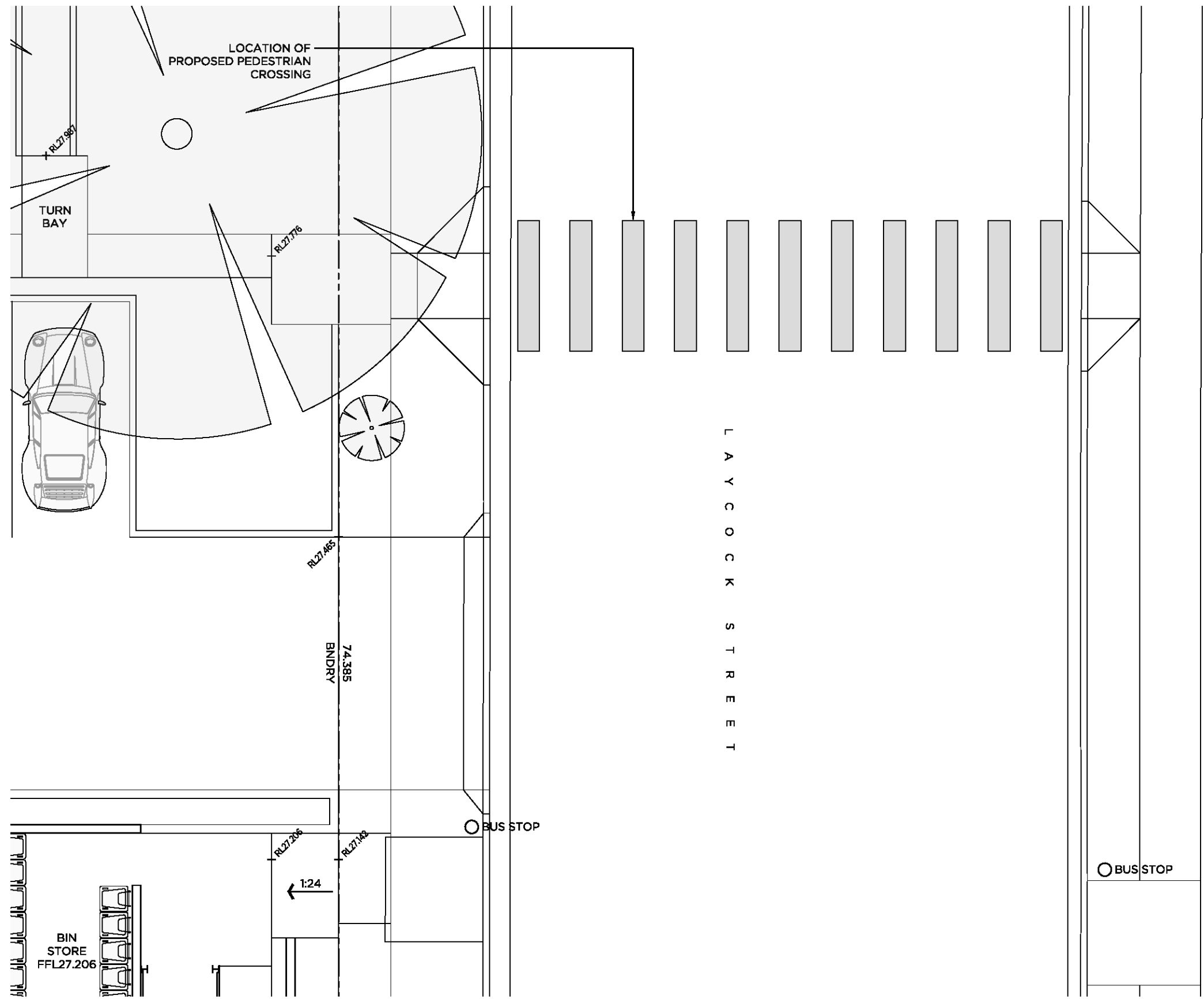
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A	14.10.19	FINAL ISSUE TO CLIENT & CONSULTANTS FOR APPROVAL	EF
B	06.08.20	PRELIMINARY ISSUE TO CONSULTANTS FOR REVIEW	EF
C	08.10.20	AMENDED ISSUE TO CONSULTANTS FOR REVIEW	EF



SECTION 01
1:250



SECTION 02
1:250



PEDESTRIAN CROSSING PLAN
1:100

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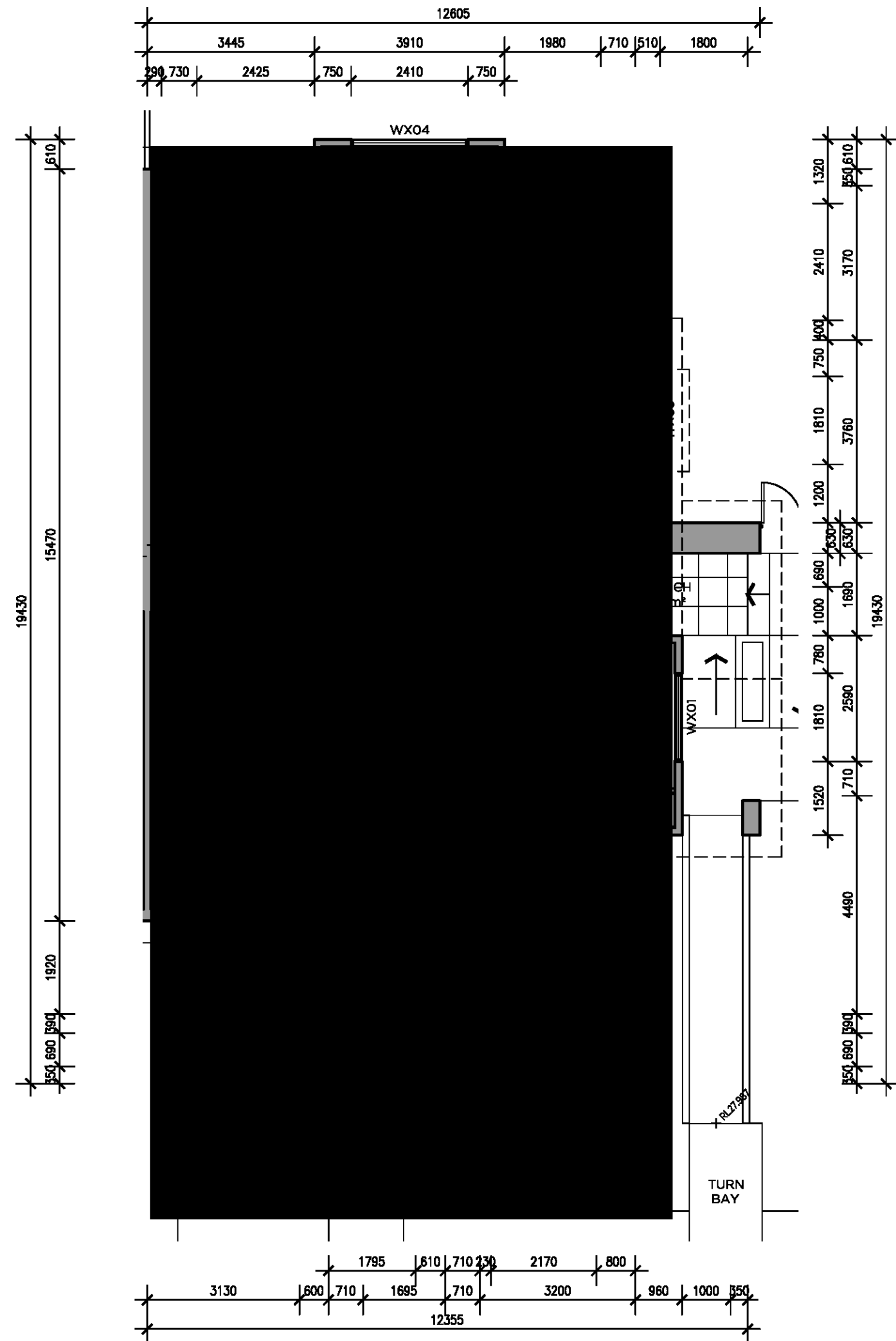


PROJECT: Proposed Seniors Housing Cranebrook

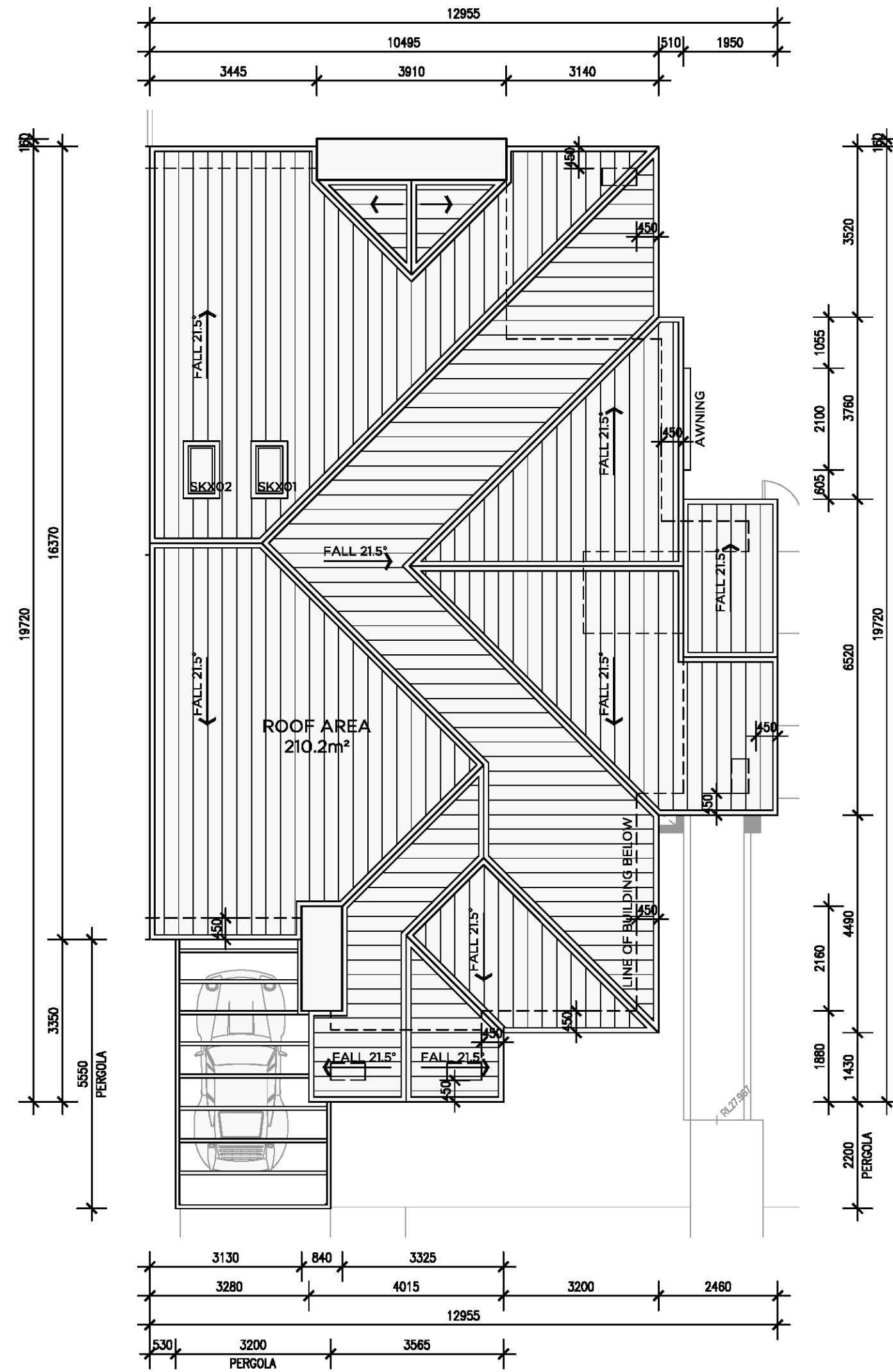
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PRELIMINARY			
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EF	SITE SECTIONS & PEDESTRIAN CROSSING PLAN	1:250, 1:100	0246
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APPROVED	RA	DRAWING NO.	REV
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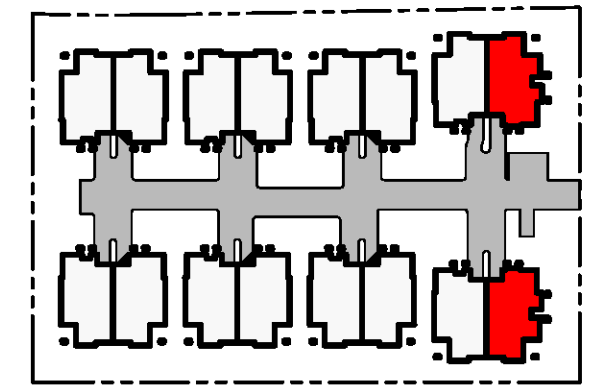
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A	28.08.19	ISSUE TO CONSULTANTS & CLIENT FOR REVIEW	EF
B	14.10.19	FINAL ISSUE TO CLIENT & CONSULTANTS FOR APPROVAL	EF
C	06.08.20	PRELIMINARY ISSUE TO CONSULTANTS FOR REVIEW	EF



TYPICAL GROUND FLOOR PLAN
UNITS 01 & 16



TYPICAL GROUND FLOOR PLAN
UNITS 01 & 16



DWELLING LEGEND

CLIENT	PROJECT ADDRESS
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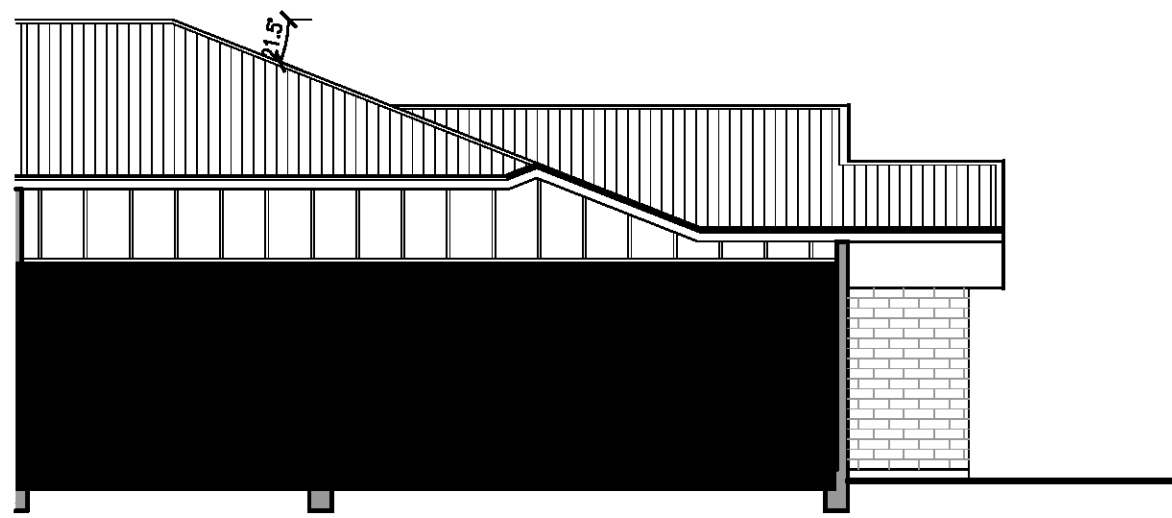
PROJECT
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Cranebrook

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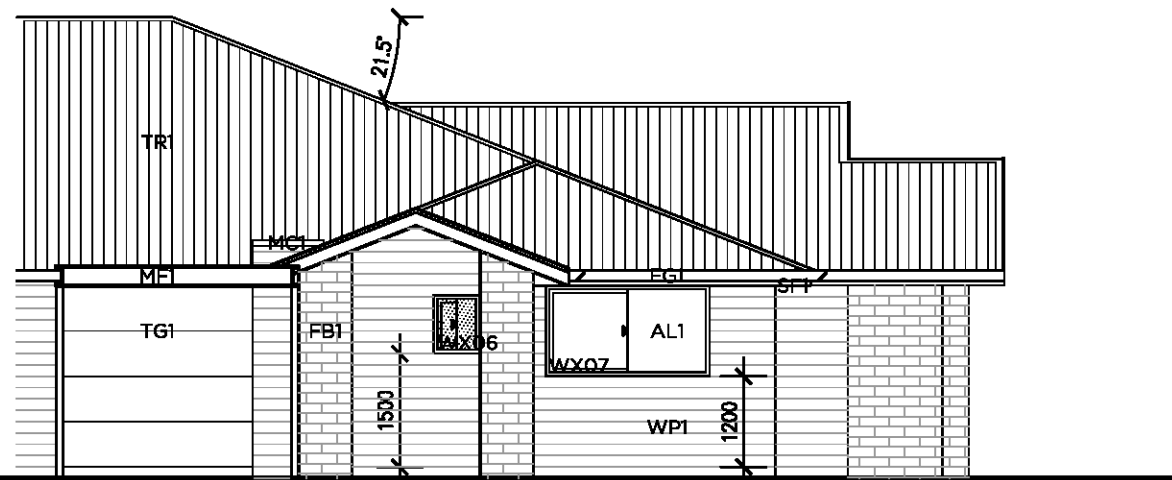
PRELIMINARY

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	RA	701	C

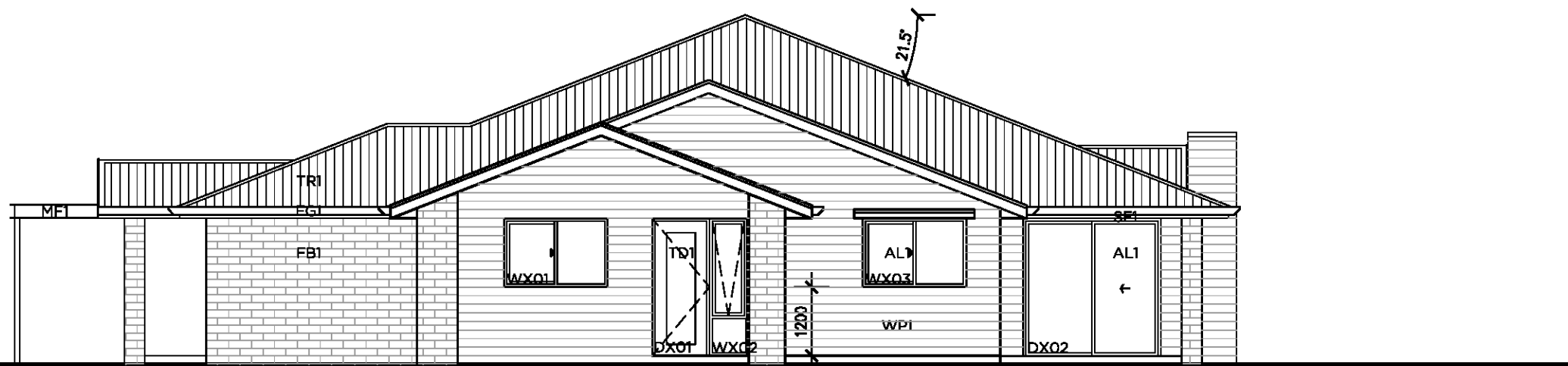
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A	28.08.19	ISSUE TO CONSULTANTS & CLIENT FOR REVIEW	EF
B	14.10.19	FINAL ISSUE TO CLIENT & CONSULTANTS FOR APPROVAL	EF
C	06.08.20	PRELIMINARY ISSUE TO CONSULTANTS FOR REVIEW	EF



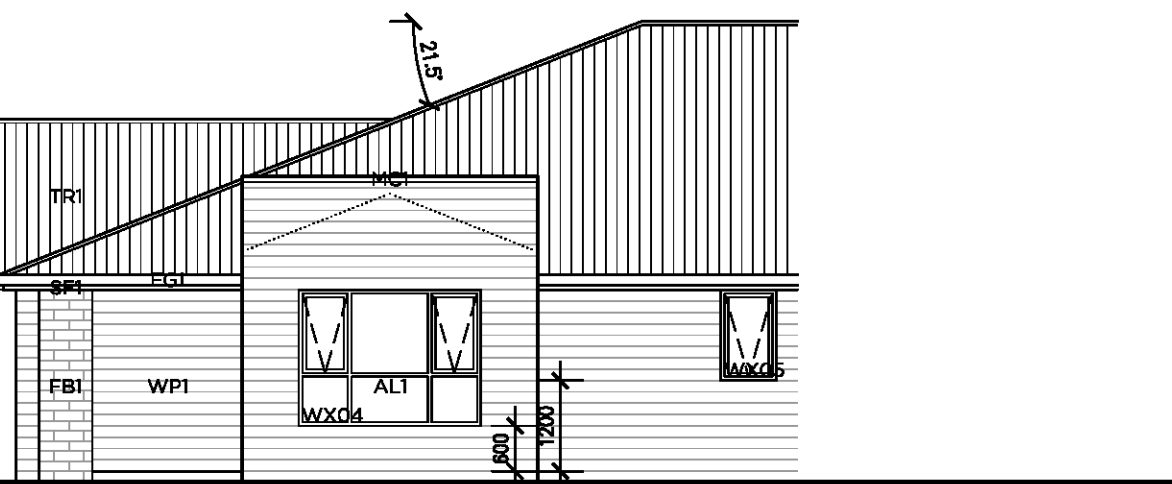
TYP. SECTION
UNITS 01 & 16



TYP. DRIVEWAY ELEVATION
UNITS 01 & 16



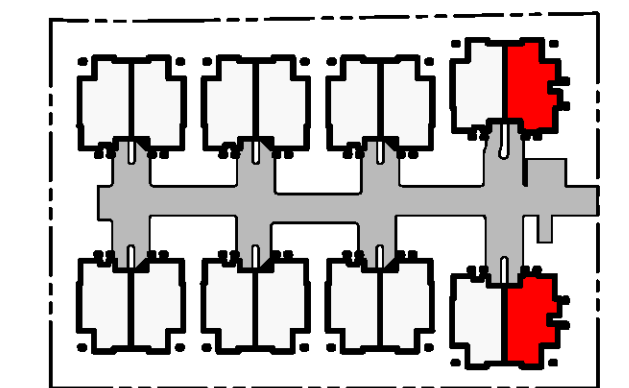
TYP. STREET ELEVATION
UNITS 01 & 16



TYP. REAR ELEVATION
UNITS 01 & 16

AL1	POWDERCOAT FINISH TO ALUMINIUM FRAMING
FG1	PRE-FINISHED METAL FASCIA & GUTTER
FB1	FACE BRICK FINISH TO EXTERNAL WALLS
MC1	FOLDED METAL CAPPING
MF1	PAINT FINISH TO STEEL PERGOLA
SF1	PAINT FINISH TO FC SOFFIT LINING
TD1	TIMBER EXTERNAL DOOR WITH GLAZED INSERT
TG1	PRE-FINISHED METAL GARAGE ROLLER DOOR
TR1	COLORBOND METAL SHEET ROOFING
WP1	WEATHERBOARD CLADDING TO EXTERNAL WALLS

MATERIAL SCHEDULE



DWELLING LEGEND

CLIENT	F. Catanea 49 Cross Road Orchard Hills 2748	PROJECT ADDRESS	103-109 Laycock Street Cranebrook 2749
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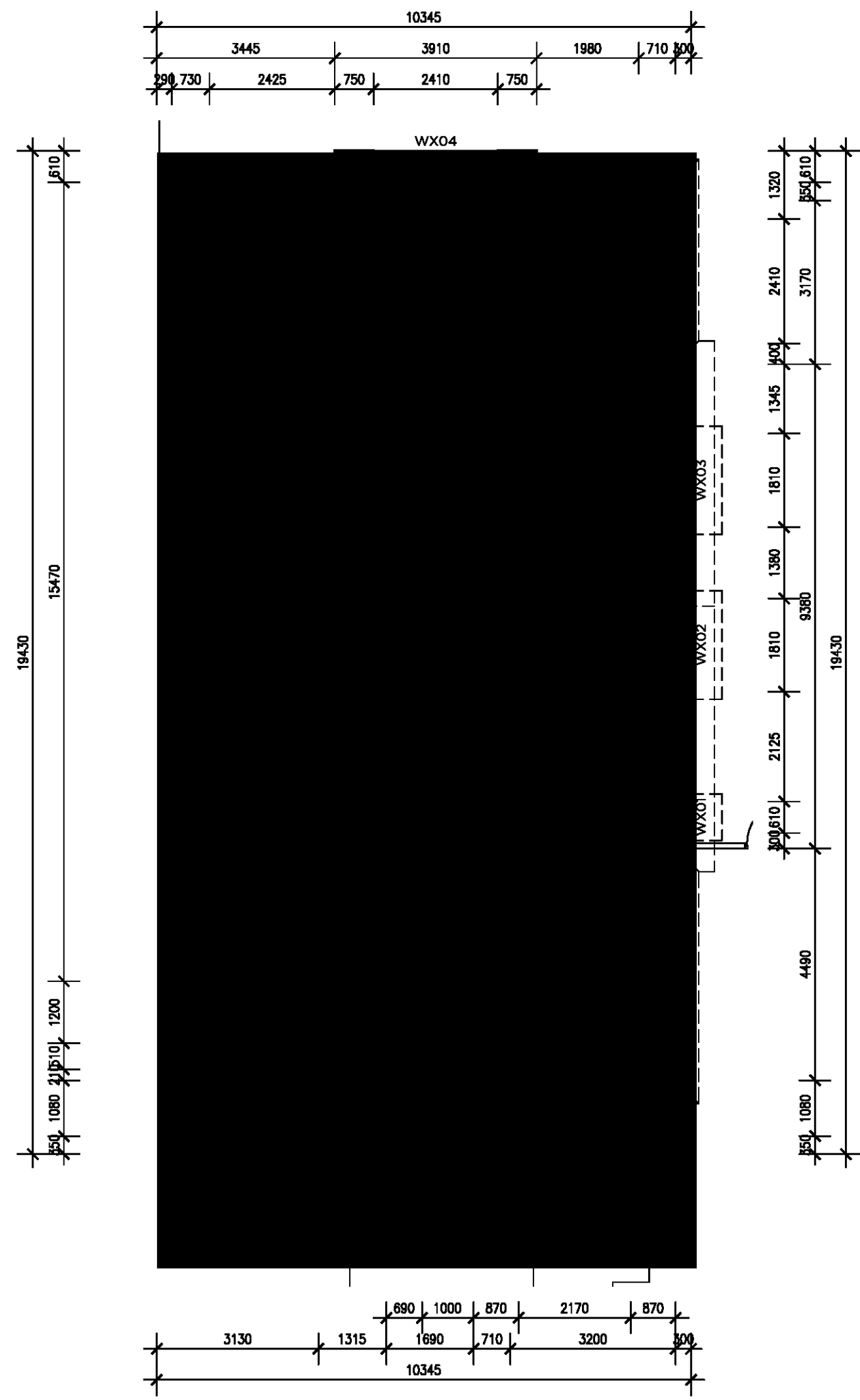
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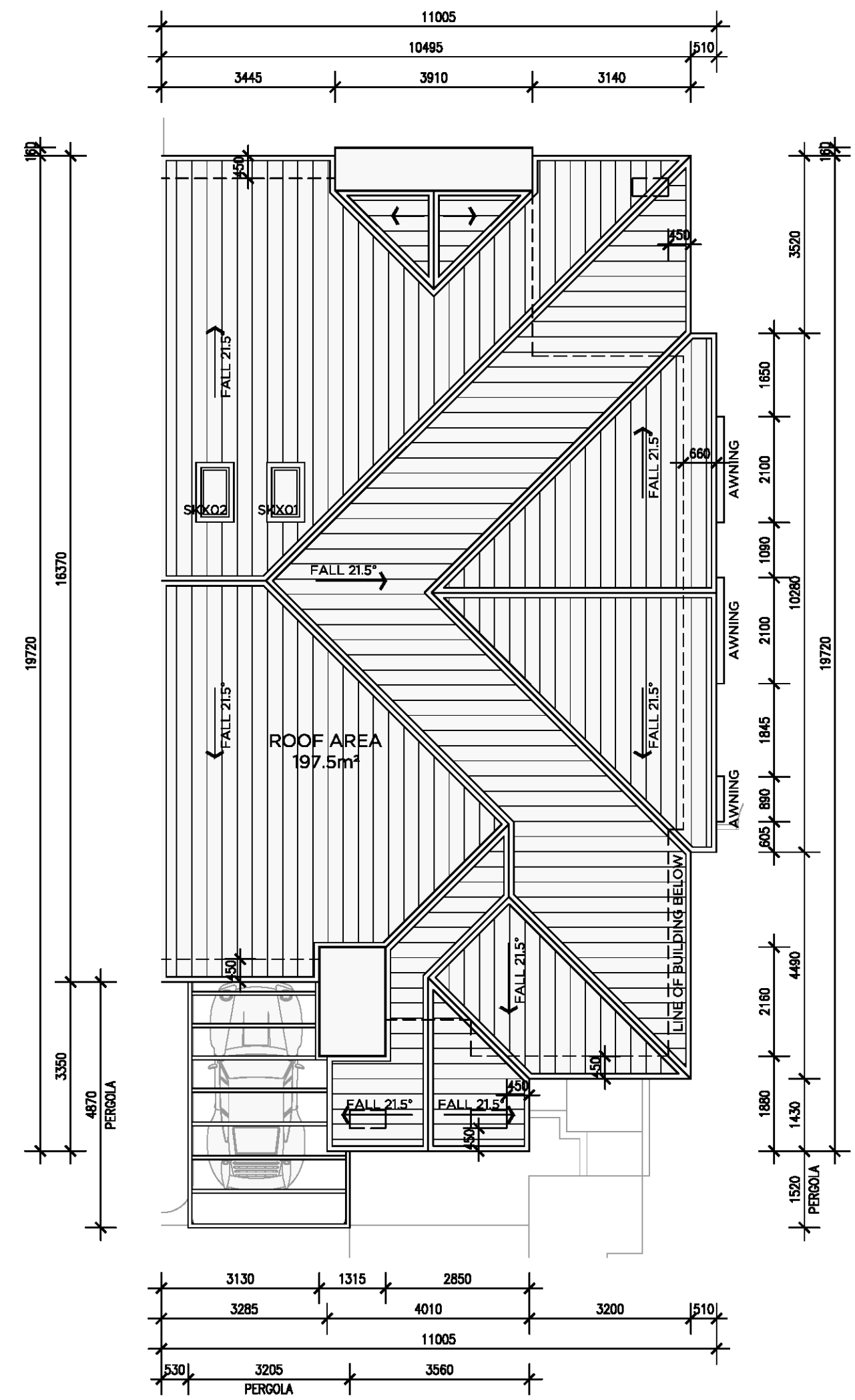
PRELIMINARY

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	RA	DRAWING NO.	REV
		702	C

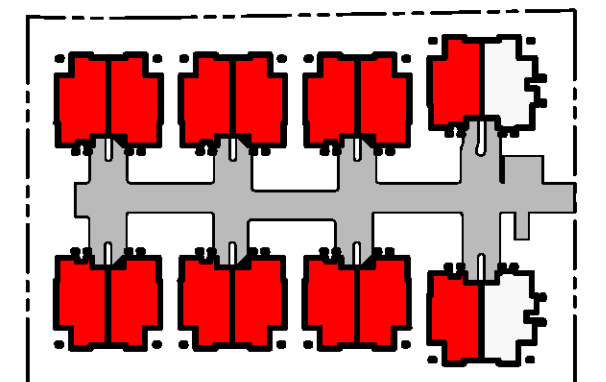
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A	28.08.19	ISSUE TO CONSULTANTS & CLIENT FOR REVIEW	EF
B	14.10.19	FINAL ISSUE TO CLIENT & CONSULTANTS FOR APPROVAL	EF
C	06.08.20	PRELIMINARY ISSUE TO CONSULTANTS FOR REVIEW	EF



TYPICAL GROUND FLOOR PLAN
UNIT 2-15



TYPICAL ROOF PLAN
UNIT 2-15



DWELLING LEGEND

CLIENT: F. Catanea, 49 Cross Road, Orchard Hills 2748
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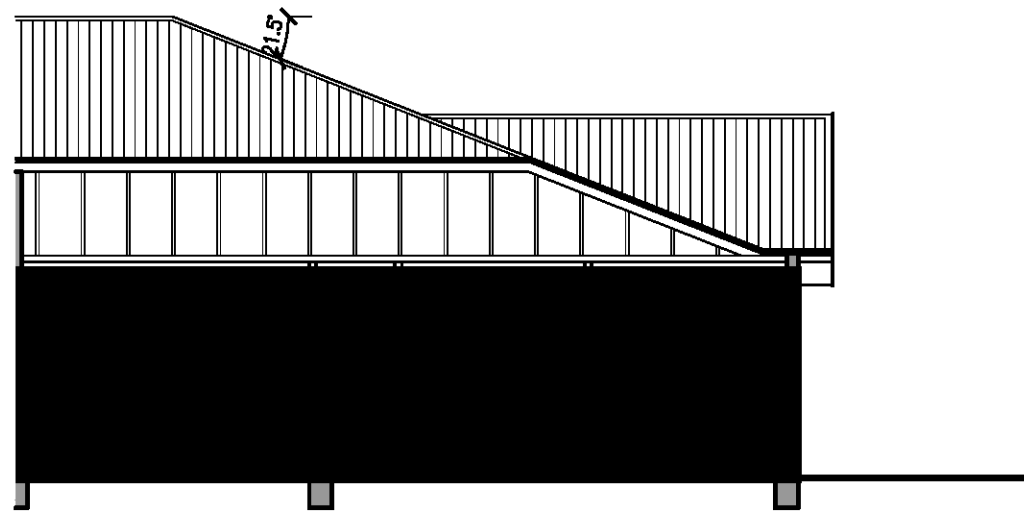


PROJECT
Proposed Seniors Housing
Cranebrook

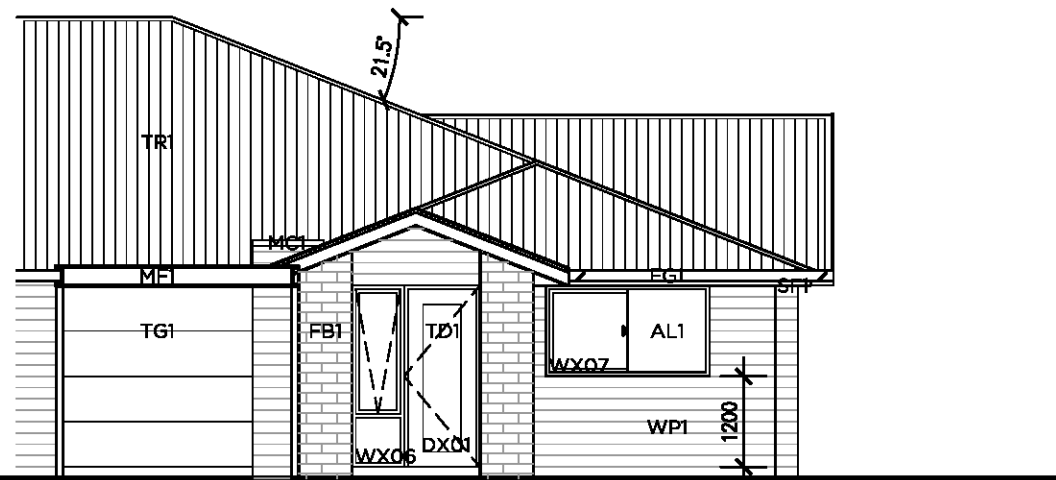
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PRELIMINARY			
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	EF	TYPICAL FLOOR PLANS - UNITS 2-15	
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		703	C

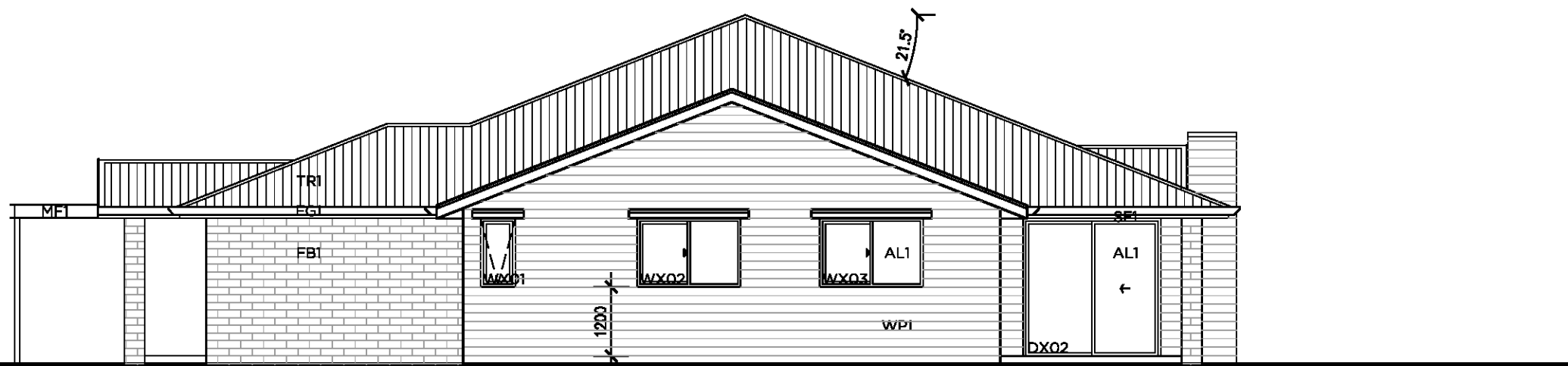
REV	DATE	DESCRIPTION	BY
A	28.08.19	ISSUE TO CONSULTANTS & CLIENT FOR REVIEW	EF
B	14.10.19	FINAL ISSUE TO CLIENT & CONSULTANTS FOR APPROVAL	EF
C	06.08.20	PRELIMINARY ISSUE TO CONSULTANTS FOR REVIEW	EF



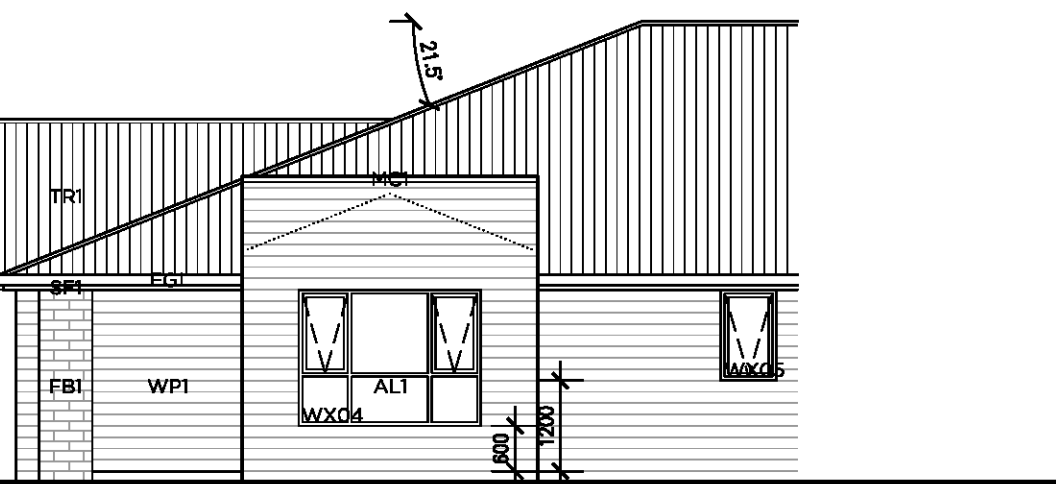
TYP. SECTION
UNITS 02-15



TYP. DRIVEWAY ELEVATION
UNITS 02-15



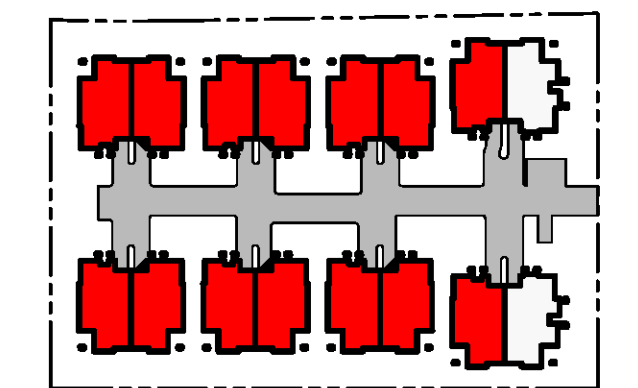
TYP. SIDE ELEVATION
UNITS 02-15



TYP. REAR ELEVATION
UNITS 02-15

AL1	POWDERCOAT FINISH TO ALUMINIUM FRAMING
FG1	PRE-FINISHED METAL FASCIA & GUTTER
FB1	FACE BRICK FINISH TO EXTERNAL WALLS
MC1	FOLDED METAL CAPPING
MF1	PAINT FINISH TO STEEL PERGOLA
SF1	PAINT FINISH TO FC SOFFIT LINING
TD1	TIMBER EXTERNAL DOOR WITH GLAZED INSERT
TG1	PRE-FINISHED METAL GARAGE ROLLER DOOR
TR1	COLORBOND METAL SHEET ROOFING
WP1	WEATHERBOARD CLADDING TO EXTERNAL WALLS

MATERIAL SCHEDULE



DWELLING LEGEND

CLIENT	F. Catanea 49 Cross Road Orchard Hills 2748	PROJECT ADDRESS	103-109 Laycock Street Cranebrook 2749
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PRELIMINARY

DRAWN	DRAWING TITLE	SCALE @A2	JOB NUMBER
EF	TYP. SECTION & ELEVATIONS - UNITS 02-15	1:100	0246
CHECKED	RA	704	C
APPROVED	RA	704	C