



To: St Hilliers Property Pty Ltd
Level 1, 31 Merivale Street
South Brisbane QLD 4101

Project: North Penrith Serviced Apartments
Lot 3008 DP 1184498
Lord Sheffield Circuit Penrith

Report: ACCESS ASSESSMENT REPORT

Date: 01 April 2016

Client Contact: Frank Katsanevas

Email: FKatsanevas@sthilliers.com.au

From: Matthew Kemp

Direct: 02 8484 4055

Email: mkemp@bcalogic.com.au



DOCUMENT CONTROL




Revision	Date				
106284-Access-r1	01 April 2016	Description:	Access Assessment Report		
			Prepared by	Checked by	Approved by
		Name:	Matthew Kemp	Matthew Kemp	Matthew Kemp
			Accredited Certifier Grade A1, No BPB0208	Accredited Certifier Grade A1, No BPB0208	Accredited Certifier Grade A1, No BPB0208
			Snr Building Regulations Consultant	Snr Building Regulations Consultant	Snr Building Regulations Consultant
		Signature:			
		Description:			
			Prepared by	Checked by	Approved by
		Name:			
		Signature:			
		Description:			
			Prepared by	Checked by	Approved by
		Name:			
Signature:					

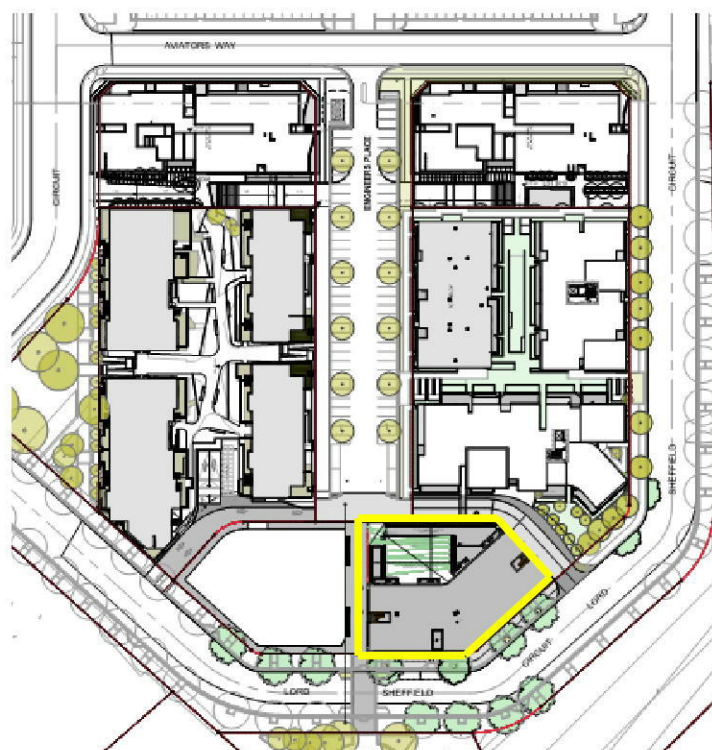
TABLE OF CONTENTS

DOCUMENT CONTROL	2
TABLE OF CONTENTS.....	3
1 BASIS OF ASSESSMENT	4
1.1 Location and Description	4
1.2 Purpose	4
1.3 General Limitations	4
1.4 Relationship of the DDA	5
1.5 Organisational Responsibilities - Disability Discrimination Act 1992 (DDA).....	5
1.6 Design Documentation	6
1.7 Design Limitations	6
1.8 Disability (Access to Premises – Buildings) Standards 2010 (Premises Standard).....	6
1.9 Application of the Access to Premises Standards	7
2 BUILDING DESCRIPTION.....	8
2.1 Classification (Clause A3.2)	8
2.2 Areas Required to be Accessible	8
3 ACCESS FOR PEOPLE WITH A DISABILITY	9
3.1 Introduction	9
3.2 Assessment Summary.....	9
4 MATTERS FOR FURTHER CONSIDERATION	12
4.1 General	12
4.2 Design Certification.....	12

1 BASIS OF ASSESSMENT

1.1 Location and Description

The building development, the subject of this report, is part of the Thornton Central Development Penrith, and will consist of the construction of a building to accommodate serviced apartments on Lot 3008. The proposed building will consist of a total of eight stories that will contain parking in part of two of the levels and residential facilities in all levels which can be configured to accommodate up to one hundred and eight (108) residential sole occupancy units (SOU). Vehicular access to the carpark will be via a concrete driveway from Lord Sheffield Circuit.



Courtesy of DKO

1.2 Purpose

The purpose of this report is to assess the existing building against the following Deemed-to-Satisfy provisions of BCA2016 and the Access Code of the Disability (Access to Premises) Standard 2010 (Premises Standards) to clearly outline those areas where compliance is not achieved and provide recommendations to upgrade such areas to achieve relevant compliance:

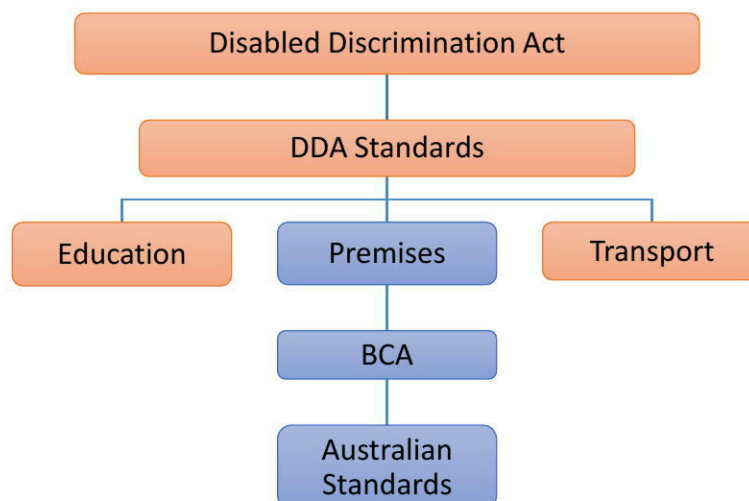
1. Penrith City Councils DCP 2014;
2. Part D3 – Access for People with a Disability;
3. Clause E3.6 – Passenger Lifts;
4. Clause F2.4 – Accessible Sanitary Facilities; and
5. Related Australian Standards as applicable including AS1428.1-2009, AS1428.2-1992, AS1428.4.1-2009 and AS2890.6-2009.

1.3 General Limitations

This report is limited to an assessment of the access and amenity provisions for people with a disability against the provisions of the BCA as outlined in 1.2 above. It is not an assessment of the proposal against all provisions of the BCA and if this is required, a separate report will be necessary.

1.4 Relationship of the DDA

The Disability Discrimination Act 1992 (DDA) applies nationally and is complaint based. While the BCA is recognised as a design standard to satisfy certain aspects of the DDA, compliance with the BCA and the referenced standards does not guarantee that a complaint will not be lodged. The graph below indicates the current relationship of the BCA to the DDA.



1.5 Organisational Responsibilities - Disability Discrimination Act 1992 (DDA)

All organisations have a responsibility, under the Federal Disability Discrimination Act (DDA), to provide equitable, dignified access to goods and services and to premises used by the public. Premises are broadly defined and would include all areas included within the subject development.

The DDA provides uniform protection against unfair and unfavourable treatment for people with a disability in Australia. It also makes it unlawful to discriminate against a person who is an “associate” (such as a friend, carer or family member).

Disability is broadly defined and includes disabilities which are:

- physical;
- intellectual;
- psychiatric;
- neurological;
- cognitive or sensory (a hearing or vision impairment);
- learning difficulties;
- physical disfigurement; and
- the presence in the body of disease causing organisms.

This broad definition means that everyone with a disability is protected. The Act supports the principle that people with a disability have the same fundamental rights as the rest of the community. Provisions apply to a wide range of life activities including:

- access to premises used by the public;
- education;
- provision of goods and services;
- employment;
- administration of Commonwealth laws and programs.

When a person with a disability wants to utilise premises including all buildings, outdoor spaces, car parking areas, pathways and facilities, then equitable, dignified access must be provided. The DDA requires that appropriate changes be made to provide access. A complaint can be made under the DDA if appropriate access is not provided.

1.6 Design Documentation

This report has been based on the Design plans and Specifications listed in Annexure A of this Report.

1.7 Design Limitations

This report does not include nor imply any detailed assessment for design, compliance or upgrading for:

- the structural adequacy or design of the building;
- the inherent derived fire-resistance ratings of any existing or proposed structural elements of the building (unless specifically referred to); and
- the design basis and/or operating capabilities of any existing or proposed electrical, mechanical or hydraulic fire protection services.

This report does not include, or imply compliance with:

- (a) the Disability Discrimination Act (it cannot be guaranteed that that a complaint under the DDA will not be made, however should the building comply with BCA2014 and the Premises Standard then those responsible for the building cannot be subject to a successful complaint);
- (b) BCA Sections B, C, E (except Clause E3.6), F (except Clause F2.4), G, H, I, J and Parts D1 and D2;
- (c) Demolition Standards not referred to by the BCA;
- (d) Work Health and Safety Act;
- (e) Construction Safety Act;
- (f) Requirements of other Regulatory Authorities including, but not limited to, Telstra, Telecommunications Supply Authority, Water Supply Authority, Electricity Supply Authority, Work Cover, Roads and Maritime Services (RMS), Roads and Transport Authority, Local Council, ARTC, Department of Planning and the like;
- (g) Previous conditions of Development Consent issued by the Local Consent Authority; and
- (h) this report does not assess the safety of the particular aspects of the building but merely the minimum standards called up by the Access provisions of BCA2016.

1.8 Disability (Access to Premises – Buildings) Standards 2010 (Premises Standard)

On 15 March 2010 the Disability (Access to Premises - Buildings) Standards 2010, was tabled in Federal Parliament. These Standards have been under development for many years and significant public consultation has occurred during their development. The Premises standard has now been introduced on 1st May 2011 in line with an updated National Construction Code which will incorporate the Building Code of Australia and the National Plumbing Code.

The aim of the Standards is to provide the building and design industry with detailed information regarding the required access provisions associated with the design and construction of new buildings and upgrade to existing buildings. They do not apply to existing buildings that are not undergoing upgrade. They will only apply to elements addressed within the Standards. All other elements related to premises will still be subject to the existing provisions of the DDA.

The Standards will generally align with the BCA (see below) and reference a range of Australian Standards relating to access and other associated matters. The Disability (Access to Premises - Buildings) Standards aim to provide certainty for the building industry in relation to meeting the requirements for access in new and upgraded buildings.

This Access Appraisal incorporates the key elements of the Standards as well as additional access requirements to assist in achieving best practice in the provision of access for all to buildings.

The Building Code of Australia 2016, in conjunction with the DDA, applies to all new buildings, new building works to existing buildings and buildings undergoing significant refurbishment or alteration.

Provision of access for a person using a wheelchair or mobility aid is often considered to be an indication of effective design to the built environment. However the majority of users of car parks, buildings and outdoor areas are pedestrians who also benefit greatly from wheelchair accessible design. Conversely, they can also be denied appropriate access if barriers are incorporated into designs.

In addition, older persons and people with disabilities within the community have a wide range of access needs that are not necessarily satisfied by just providing access for a person using a wheelchair. People also experience the effects of disability through impairment to:

- Sight;
- Hearing;
- Motor ability;
- Dexterity;
- Balance;
- Mental functioning etc.

Examples of a range of access challenges include:

- People who use wheelchairs face difficulties such as abrupt changes in levels (e.g. steps and steep slopes/gradients) and limited access under basins, benches and tables. They also need an increased circulation area, particularly at doorways and changes in direction.
- People who experience difficulty walking may have stiff hips, balance problems or uncoordinated movements which require attention to stairs and handrails, seating in waiting areas, slip resistant floor finishes and ramps with a gentle slope/gradient.
- People with manipulatory difficulties (finger or hand control) require appropriately selected handles, switches, buttons (in lifts) and taps to enable usage
- People with sensory disabilities, which affect either their hearing or vision, require clear, easy to understand signage and tactile indicators. This requires attention to a variety of factors including colour, contrast, print size, levels of illumination and the provision of appropriate communication systems in public areas.
- People with intellectual disabilities may have difficulty finding their way in new environments. Therefore, direct access routes and clear directional signage with graphics are important.

As a wide range of physical issues impact on the provision of access for people with disabilities, responsive design, incorporating a continuous accessible path of travel, needs to be equitable and therefore inclusive of the needs of all of the community. Access should cater for both pedestrians and users of wheelchairs and other mobility aids. In addition consideration must be given to the needs of users who may require assistance from other people as well as assistance animals.

1.9 Application of the Access to Premises Standards

As a new building it is noted the Disability (Access to Premises) Standard 2010 (Premises Standards) does apply this building however with the requirements of this standard mirroring the requirements of the BCA compliance with the BCA is compliance with the Premises Standard.

2 BUILDING DESCRIPTION

For the purposes of the Building Code of Australia (BCA2016) and the Disability (Access to Premises) Standard 2010 the development may be described as follows.

2.1 Classification (Clause A3.2)

The building has been classified as follows.

Class	Level	Description
3	Ground to Level 7	Areas of the building used for the common place of long term or transient living for a number of unrelated persons. This includes ancillary areas associated with this purpose.
7a	Ground and level 1	Areas of the building used for car parking purposes.

2.2 Areas Required to be Accessible

Under the provisions of Clause D3.1 of BCA2016, the following areas of the building are required to be accessible:

Level	Area / Room	Description
Ground	Car parking area	To and within any level containing the accessible car parking spaces.
Ground through to Level 7	All	To and within not less than rooms or spaces for use in common by the residents and to the entrance doorway of each sole occupancy unit. The building can be configured to accommodate 108 units and therefore a minimum of six (6) accessible units must be provided. Not more than two (2) of the accessible units may be located next to each other. The units must be representative of the range of rooms available.
Ground	Office Sales, Office and Cafe	To and within all areas normally used by the occupants.

Note: The limitations and exemptions of Clauses D3.2, D3.3 and D3.4 of the BCA have been considered where applicable in the process of developing the above table.

3 ACCESS FOR PEOPLE WITH A DISABILITY

3.1 Introduction

The table below is a summary of all the individual elements that relate directly to the ability of a person with a disability to access all the portions of the building required to be accessible as outlined in Part 2.3 of this report.

Access has been assessed against the relevant portions of the BCA and the related Australian Standards for each item listed below.

Compliance has been indicated by using the following symbols:

Symbol	Description
✓	Compliance is achieved, and no further information is required.
✓	Specific details are not provided, but compliance can be readily achieved.
✗	From the documentation provided, compliance is not achieved.

3.2 Assessment Summary

Clause	Comment	Status
SECTION D: ACCESS AND EGRESS		
PART D2 – CONSTRUCTION OF EXITS		
D2.0: Deemed-to-Satisfy Provisions	Noted	-
D2.17: Handrails	The fire isolated stairwells are required to have a handrail that maintains a 270 degree clearance for a continuous hand hold in accordance with Clause 12 of AS1428.1-2009. In addition they must be continuous in height including where they continue around landings.	✓
D2.21: Operation of latch	Doors forming exits or in a path of travel to an exit will need to comply with the criteria, relating to the ability to grip, of this clause where they serve accessible areas.	✓

SECTION D: ACCESS AND EGRESS		
PART D3 - ACCESS FOR PEOPLE WITH A DISABILITY		
D3.0: Deemed-to-Satisfy Provisions	-	Noted
D3.1: General Building Access Requirements	<p>Access is to be provided to and within all common areas used by the occupants.</p> <p>Access is to be provided to the entrance doorway of each sole occupancy unit as all the levels are serviced by the passenger lift. In addition a minimum of six (6) accessible units must be provided. The features of the rooms will need to accommodate the suitable features outlined in AS 1428.1 and AS 1428.2 relating to fixtures and fittings. It is noted that circulatory clearances have been generally allowed for to allow compliance.</p> <p>Access is to be provided to and within any level containing accessible car parking spaces within the class 7a.</p> <p>Accessible areas must have the features which all use by persons with a disability. This includes the features specified by this part and AS 1428.1-2009.</p>	✓
D3.2: Access to Buildings	An access way is to be provided to the Principal Pedestrian entrance and the other proposed building	✓

SECTION D: ACCESS AND EGRESS		
	<p>entrances given that they serve specific areas. It is noted that this can be suitably achieved.</p> <p>The entrance door openings must have clear unobstructed opening widths of at least 850mm. Door openings that have multiple leaves (except an automatic door), one of the leaves is to have a minimum clear opening width of 850mm.</p> <p>It is expected that level accessible connection will be made with the public foot path areas.</p>	
D3.3: Parts of Buildings to be Accessible	<p>Ramps, stairways, walkways, circulation spaces at doorways, door widths and accessible paths are to comply with AS1428.1-2009.</p> <p>The rear passageway ramp is considered to be provided for egress purposes only or serve areas not specifically required to be accessible. In this regard it need not contain all the accessible features specified by this Clause. Where other ramping is required it is expected to be able to comply with Clause 10 of AS 1428.1.</p> <p>The fire isolated stairwells will need to comply with Clause 11.1(f) and (g) of AS1428.1-2009 which requires each tread to have a luminance contrast strip which can be detailed on design documentation at the construction certificate stage.</p> <p>Access ways must be provided with required turn around and passing spaces as specified by this Clause. It is considered that appropriate provision has been made and adjustments could be made as necessary at construction documentation stage. Care will be needed at doorways and interiors to ensure appropriate circulation is available at doorways in accordance with Clause 13 of AS 1428.1.</p> <p>Note: The Access to Premises Standards to not provide the concessions provided in sub-cluses (g) and (h) in this clause, hence compliance with the Access to Premises Standards will require the floor covering in the accessible areas to strictly comply with Clause 7.4.1(a) of AS1428.1-2009.</p>	✓
D3.4: Exemptions	<p>The following areas in the building are considered to not be accessible due to the specific uses of the room or space: Plant rooms, switch rooms, waste rooms and the like.</p>	Noted
D3.5: Accessible Car Parking	<p>Accessible car spaces must be provided in accordance with the numbers specified by this Clause it is noted that 26 car spaces are to be provided for the building. Based on the ratios of this Clause a total two (2) accessible spaces would need to be provided.</p> <p>The car spaces will need to be designed and provided in accordance with the requirements of AS/NZS 2890.6. Suitable allowance has been made for this to be achieved.</p> <p>The proposed drop off zone will need to allow for use by persons with a disability, as a parallel space in accordance with AS/NZS 2890.6. Minimum dimensions of the space are required to be 3.2m wide x 7.8m in length.</p>	✓
D3.6: Signage	<p>Braille and tactile signage complying with Specification D3.6 and incorporating the international symbols for access or deafness as appropriate must identify each sanitary facility, any areas served by hearing augmentation.</p>	✓

SECTION D: ACCESS AND EGRESS		
D3.7: Hearing Augmentation	A hearing augmentation system must be provided where an inbuilt amplification system is installed, other than one used for emergency purposes, within the conference room or the reception area where counter screening is provided.	✓
D3.8: Tactile Indicators	Tactile Ground Surface Indicators must be provided to warn persons with a vision impairment that they are approaching the hazards specified by this Clause. The indicators must be designed and installed in accordance with AS/NZS 1428.4.1.	✓
D3.11: Ramps	On an accessway a series of connected ramps must not have a combined vertical rise of 3.6m and a landing for a step ramp must no overlap a landing for another step ramp or ramp.	✓
D3.12: Glazing on an Accessway	On an accessway, where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening, must be clearly marked in accordance with AS 1428.1.	✓

SECTION E: SERVICES AND EQUIPMENT		
PART E3 – LIFT INSTALLATIONS		
E3.0: Deemed-to-Satisfy Provisions	-	Noted
E3.6: Passenger Lifts	<p>The lift floor dimensions are required to be a minimum 1400mm x 1600mm for lifts that travel more than 12m.</p> <p>The proposed lifts are required to have accessible features in accordance with AS1735.12, BCA Clause E3.6, and BCA Tables E3.6a and E3.6b.</p> <p>It is considered that suitable provision has been made and compliance can be achieved as required.</p>	✓

SECTION F: HEALTH AND AMENITY		
PART F2 – SANITARY AND OTHER FACILITIES		
F2.0: Deemed-to-Satisfy Provisions	-	Noted
F2.4: Accessible Sanitary Facilities (including Table F2.4)	<p>This Clause requires that accessible sanitary facilities must be provided in accessible parts of the building in each of the required accessible units and where a bank of toilets is provided within common areas of the building. It is noted that these have been allowed for as required.</p> <p>The design and installation of the facilities will need to comply with the requirements of AS 1428.1 and the separate male and female facilities each contain a cubicle suitable for persons with an ambulant disability.</p> <p>The facilities within the accessible units must also comply with the requirements of AS 1428.1, it is noted that provision has been made for this to occur. The final designs will need to allow for left and right handed toilet transfer arrangements in the accessible units.</p>	✓

4 MATTERS FOR FURTHER CONSIDERATION

4.1 General

The design documentation as referred to in this report has been assessed against the applicable provisions of the BCA2106 and Disability (Access to Premises – Buildings) Standards 2010 as outlined in Part 1.2 of this report and it is considered that such documentation complies or is capable of complying with those documents for the purposes of a Development Application.

Part 3.2 of this report provides a detailed assessment of the proposal against all relevant Deemed-to-Satisfy Provisions of the BCA and Premises Standards Access Code.

Note: It is important that Part 3.2 of this report is read in conjunction with the items below, as some matters may not have had sufficient information provided to allow a detailed assessment to be undertaken.

4.2 Design Certification

Further due to the level of detail provided at this stage the following items are to form part of a design statement or specification as Part of the later Construction Certificate Documentation development:

General

- 1 Tactile ground surface indicators will be installed at the top and bottom of stairways (other than fire isolated stairways); and where an overhead obstruction is less than 2 metres above the floor level. Tactile ground surface indicators will comply with Sections 1 and 2 of AS/NZS 1428.4.1.
- 2 On an accessway where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights or glazing capable of being mistaken for a doorway or opening will be clearly marked and comply with Clause 6.6 of AS1428.1-2009. A solid non-transparent contrasting line not less than 75mm wide is to extend across the full width of the glazing panel. The lower edge of the contrasting line is to be located between 900mm and 1000mm above the plane of the finished floor level. The contrasting line is to provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2 metres of the glazing on the opposite side.
- 3 All doorways will have a minimum luminance contrast of 30% in accordance with Clause 13.1 of AS1428.1-2009.
- 4 Fixtures and fittings in accessible sanitary facilities will be provided and installed in accordance Clause 15 of AS1428.1-2009.
- 5 Walkways will comply with Clause 10 of AS1428.1-2009.
- 6 For the walkways, the floor or ground surface abutting the sides of the walkway will be firm and level of a different material to that of the walkway at the same level and follow the grade of the walkway and extend horizontally for a minimum of 600mm, or be provided with a kerb or kerb rail in accordance with Clause 10.2 of AS1428.1-2009.
- 7 The fire isolated stairs will comply with Clause 11.1(f) and (g) of AS1428.1-2009.
- 8 Handrails will comply with Clause 12 of AS1428.1-2009.
- 9 Grabrails will comply with Clause 17 of AS1428.1-2009.
- 10 Accessible car spaces will achieve compliant headroom clearances in accordance with Clause 2.4 of AS/NZS 2890.6-2009.
- 11 Bollards will be provided in the shared disabled car space area in accordance with Clause 2.2.1(e) of AS/NZS 2890.6-2009. Refer to Annexure B1 for a diagrammatic explanation.
- 12 Switches and power points will comply with Clause 14 of AS1428.1-2009.

- 13 Floor and ground floor surfaces on accessible paths and circulation spaces including the external areas will comply with Clause 7 of AS1428.1-2009.
- 14 Braille and tactile signage will comply with BCA2012 Clause D3.6.
- 15 Signage will to comply with Clause 8 of AS1428.1-2009.
- 16 The passenger lifts will comply with BCA2012 Table E3.6b and AS1735.12.
- 17 The unobstructed height of a continuous accessible path of travel will be a minimum of 2000mm and 1980mm at doorways.
- 18 Any change in level that exceeds 3mm will be ramped in accordance with Clause 6 of AS1428.2.
- 19 Door handles and the like, will be in accordance with Clause 13.5 of AS1428.1-2009.
- 20 Accessible units will be designed in accordance with the relevant requirements of AS 1428.1 and AS 1428.2.

Annexure A Design Documentation

This report has been based on the following design documentation.

Architectural Plans Prepared by DKO Architecture		
Drawing #	Revision	Title
DA000	-	Cover Sheet
DA100	-	Site Plan
DA101	-	Context Plan
DA200	-	Ground Floor Plan
DA201	-	Level 1
DA202	-	Level 2
DA203	-	Level 3
DA204	-	Level 4
DA205	-	Level 5
DA206	-	Level 6
DA207	-	Level 7
DA208	-	Roof Plan
DA209.1	-	1:50 Unit Plans
DA209.2	-	1:50 Unit Plans
DA300	-	West/South Elevations
DA301	-	Elevations – Streetscapes
DA302	-	North Elevation
DA303	-	East Elevation
DA304	-	Elevations – Northern Streetscapes
DA305	-	Sections
DA306	-	Sections
DA307	-	Sections