



QUEST: LOT 3008, NORTH PENRITH, NSW 2750
EXTERNAL SIGNAGE DEVELOPMENT APPLICATION

Version 1
16.03.16

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Plans & Elevations



1. ID-P Pylon Identification
2. ID-B-1 Entrance Identification
3. ID-B-2 High Level Identification

WEST ELEVATION
SCALE- 1:250 @ A3



EAST ELEVATION
 SCALE- 1:250 @ A3

4. ID-B-3 High Level Identification

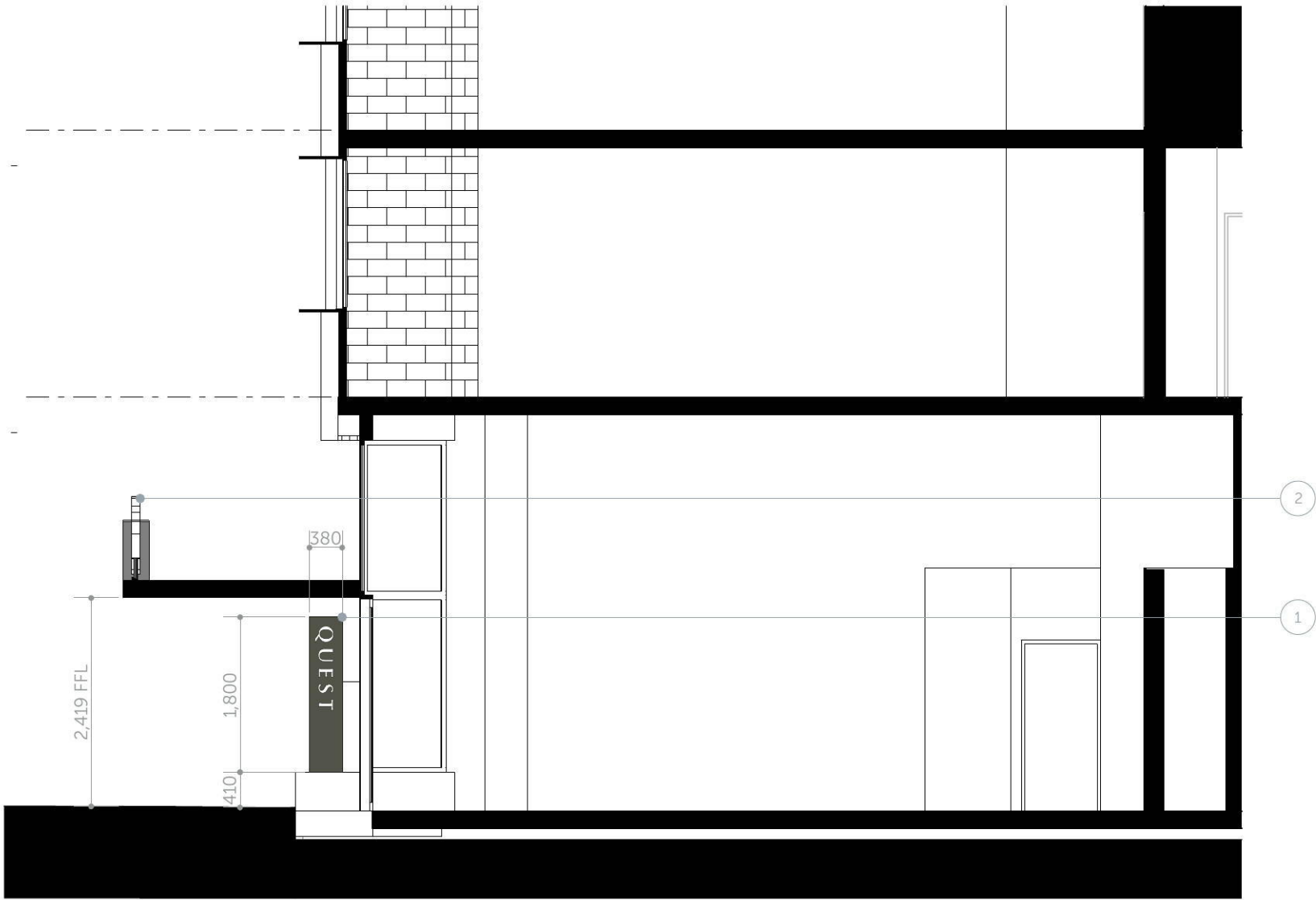


- 5. ID-B-4 Laneway Identification
- 6. ID-CP Carpark Identification

NORTH ELEVATION
 SCALE- 1:250 @ A3

SECTION 02

- 1. ID-P Pylon Identification
- 2. ID-B-1 Entrance Identification

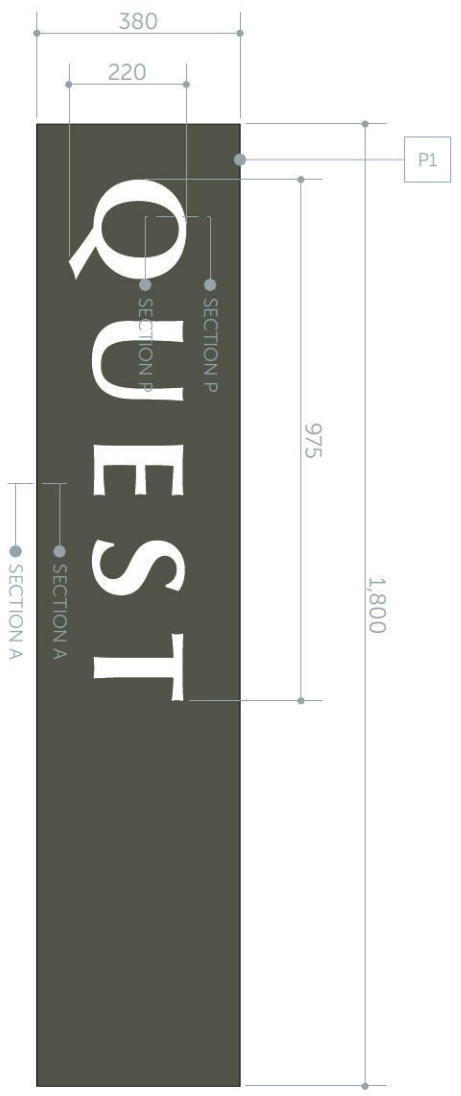


SECTION 02
SCALE: 1:50 @ A3

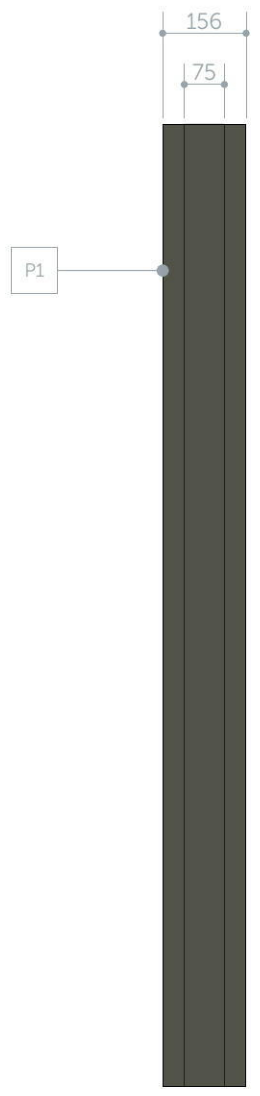
Signage Specifications



TOP VIEW
 SCALE- 1:10 @ A3



SIDE A
 SCALE- 1:10 @ A3



SIDE VIEW
 SCALE- 1:10 @ A3



SIDE B
 SCALE- 1:10 @ A3

3mm ACM cladding, 2PAC painted.
 Fabricated galvanised steel frame.

Concrete footing.

Lasercut opal polycarbonate letterforms
 mounted flush-fit to face of sign.

ILLUMINATION:
 Internally illuminated.

Sloan LED Great White 4 LED Modules
 (701269-WL4-MB) (6500 K)
 Modular 60 Power Supplies 12VDC.

Illumination hours:
 24hrs

TYPICAL CONSTRUCTION DETAILING

FRONT ELEVATION - ALUMINIUM FRAME

Cross brace to be added to frame behind ACM cladding joints to act as fish plate.

SECTION A - CLADDING FIXING DETAIL

1. 3mm ACM sign face, 2PAC painted.
2. 150 x 100 x 3mm galvanised steel RHS internal frame.
3. 3mm ACM spacer, adhered to sign face.
4. CSK fixing for attaching sign face to steel frame.
5. 3mm ACM cover plate adhered to 3mm ACM spacer to conceal fixings.

SECTION D - BASE PLATE

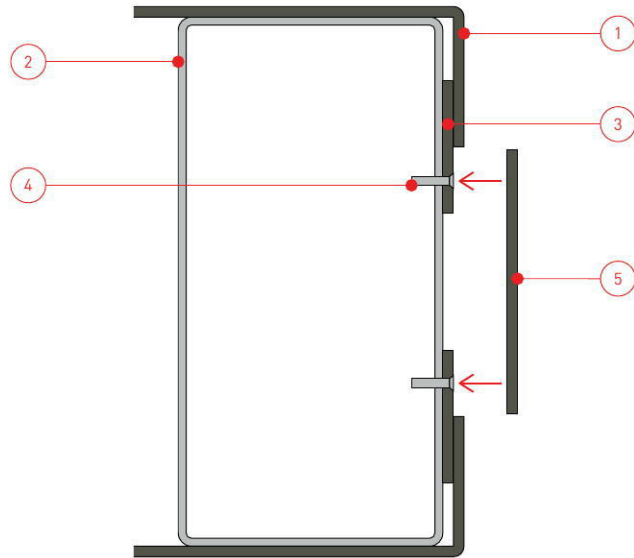
1. Material thicknesses subject to engineers approval - welded to fabricated galvanised steel frame and mechanically fixed to concrete footing.
2. Width to be placed parallel to sign face.
3. Connection plate and components to be placed below ground level.

SECTION P - FLUSH FIT TEXT ASSEMBLY:

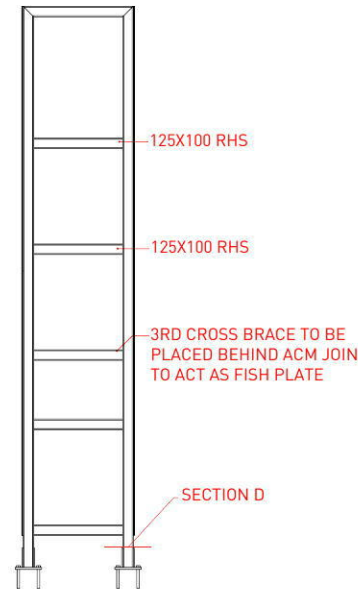
1. 3mm ACM
2. 3mm profile cut opal acrylic letters adhered to clear acrylic sheet.
3. 6mm clear acrylic backing - adhered to 3mm ACM.

NOTE:

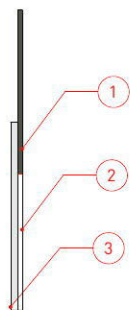
Typical construction drawings.
All construction subject to engineers approval.



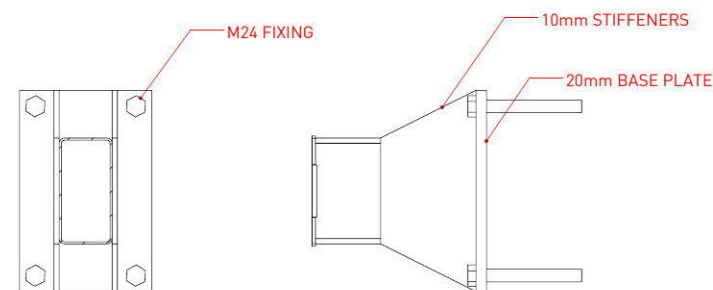
SECTION A
SCALE- 1:2 @ A3



FRONT ELEVATION - ALUMINIUM FRAME
SCALE 1:50

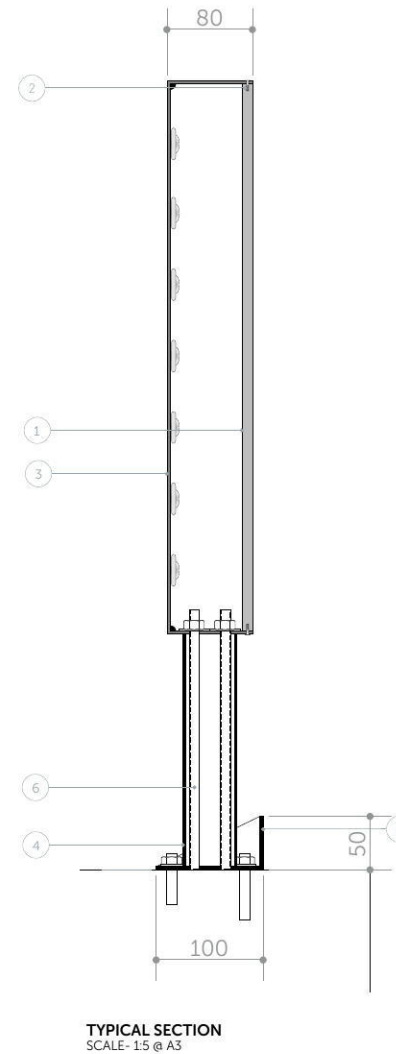
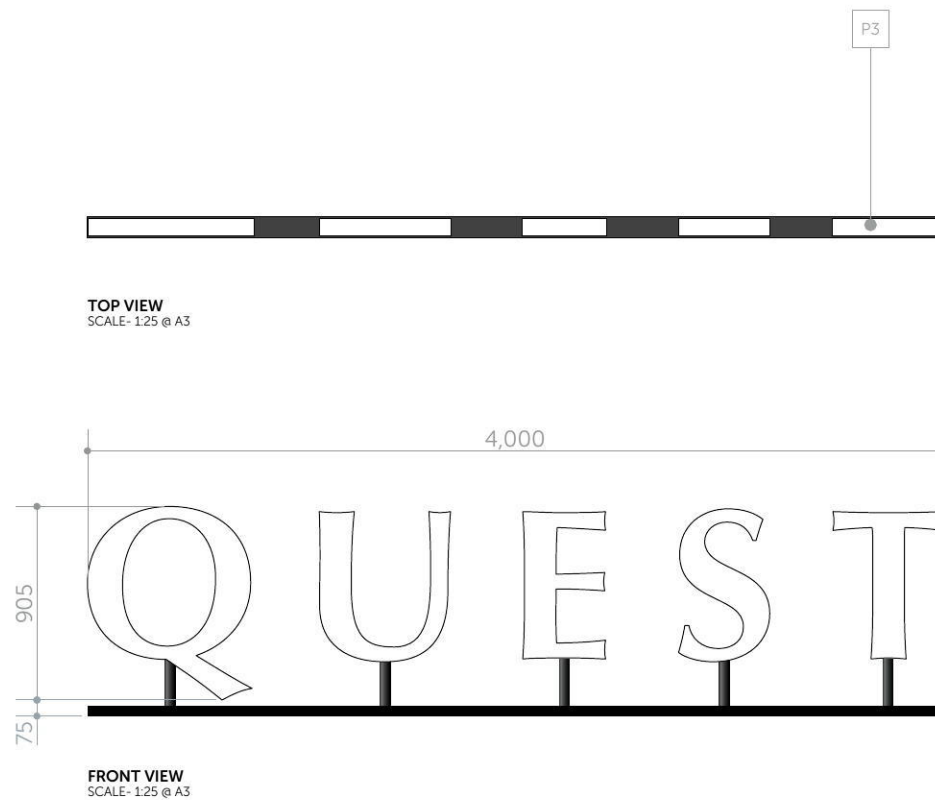


SECTION P - FLUSH FIT TEXT ASSEMBLY
SCALE 1:10



SECTION D - BASE PLATE
SCALE 1:25

ID-B-1 / 12
**GENERAL DIMENSIONS
 & TYPICAL SECTION**



TYPICAL SECTION:

1. 10mm profile cut opal acrylic face.
2. CSK fixings to fix opal acrylic face into fabricated aluminium letter forms. Fixings to be painted white. Fixings not to penetrate too far into opal face or cause shadow.
3. Fabricated 3mm aluminium letter form. All welds to be ground smooth.
4. Standoff sleeve 50x50x3mm CHS Stainless steel. 2PAC painted black.
5. Mounting rail - 100x50x3mm M/S Angle. Multiple modules bolted down to internal structure. Part to be confirmed by engineer. 2PAC painted black.
6. Standoffs - M12 all threaded and locknuts welded to 100x50 angle washers to prevent corrosion. Internal plates to ensure level installation. Part not to cause shadow.

LED SPEC:

V180 Large White LED Modules
 (701269-6WLG1-MB)
 Modular 60 Power Supplies 12VDC.

Illumination hours:
 Reception opening hours using timer.

LED illumination should not exceed 10 lux at a distance of 3m from the face of the sign.

This will be tested (using a lux meter) in the factory prior to installation.

NOTE:

Transformer location TBC by contractor.
 Connection detail and fixings TBC by engineer.

GENERAL DIMENSIONS & SECTION J

Fabricated aluminium letterforms with opal acrylic face panel.

ILLUMINATION:

Letterforms face illuminated only.

Sloan LED V180 Large White LED Modules (701269-6WLG1-MB)
Modular 60 Power Supplies 12VDC.

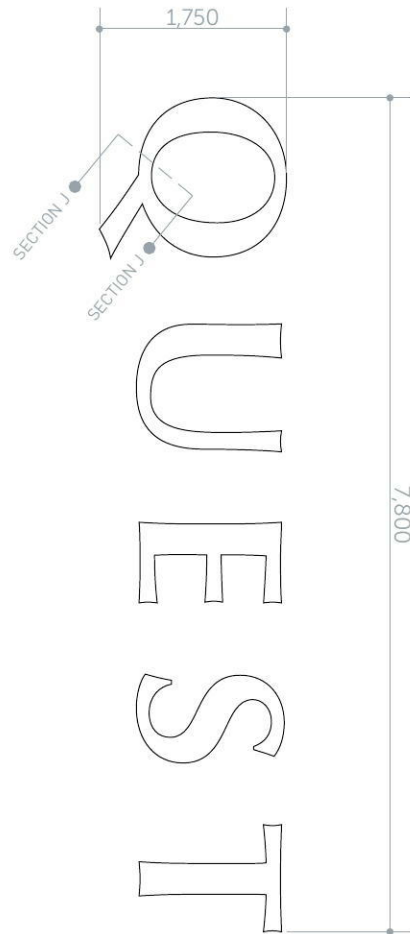
Illumination hours:
Reception opening hours using timer.

SECTION J - FABRICATED TEXT ASSEMBLY:

1. LED units fixed to Part 4 as per manufactures instructions.
2. 10mm opal acrylic face with routed flange detail - fixed to Part 4 using mechanical fixings Part 3.
3. Mechanical grub screw fixings (subject to engineers approval) into letter.
4. 3mm aluminium fabricated can.
5. Mechanically fixed to building - fixings to be determined by site conditions and subject to engineers approval.



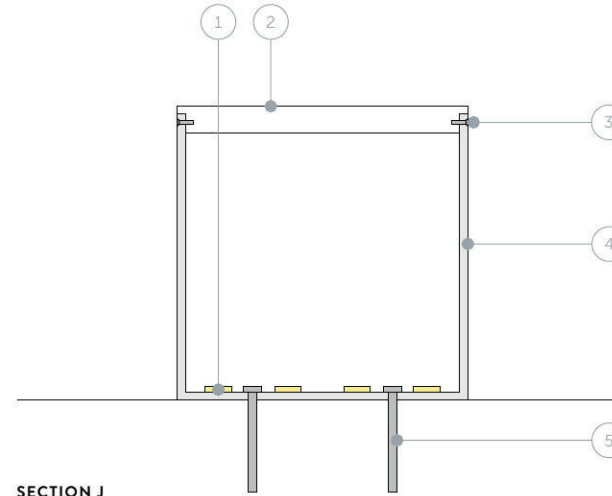
TOP VIEW
SCALE- 1:50 @ A3



FRONT VIEW
SCALE- 1:50 @ A3



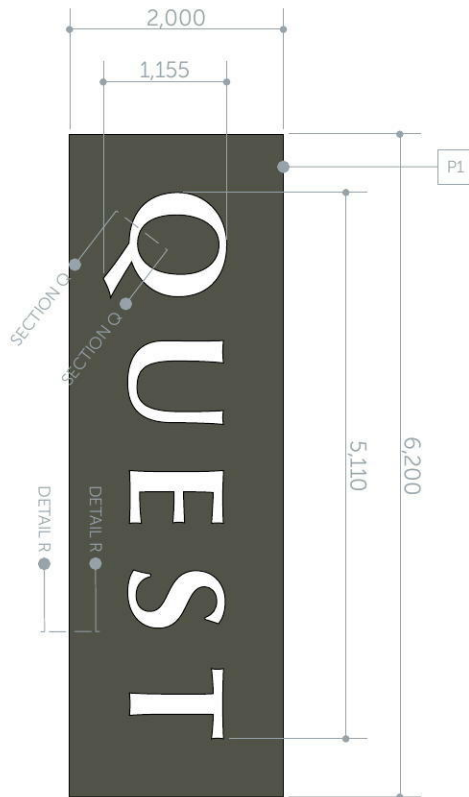
SIDE VIEW
SCALE- 1:50 @ A3



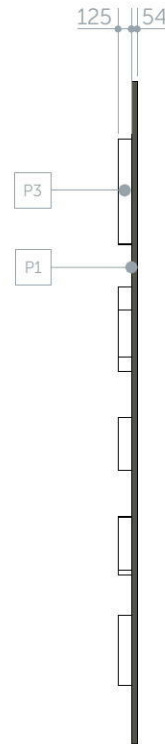
SECTION J
SCALE- 1:2 @ A3



TOP VIEW
 SCALE: 1:50 @ A3



FRONT VIEW
 SCALE: 1:50 @ A3



SIDE VIEW
 SCALE: 1:50 @ A3

4mm ACM cladding, 2PAC painted.
 Fabricated aluminium frame.

ILLUMINATION:

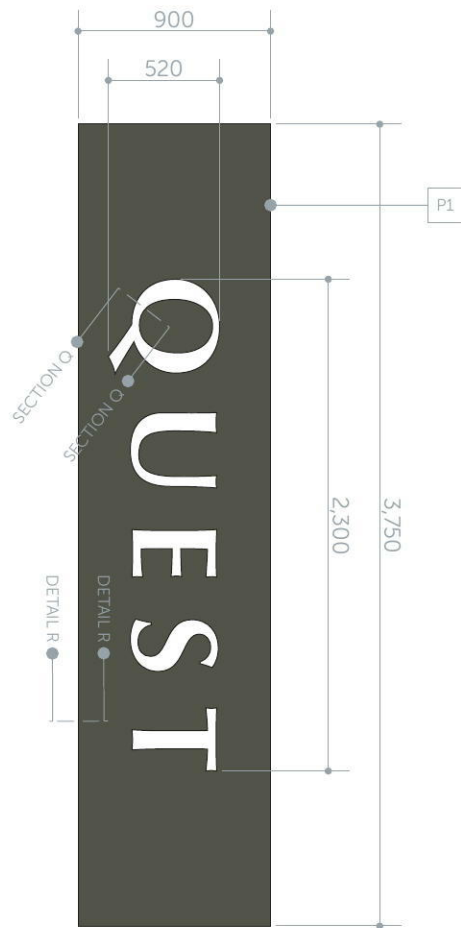
Letterforms face illuminated only.

Sloan LED V180 Large White LED
 Modules (701269-6WLG1-MB)
 Modular 60 Power Supplies 12VDC.

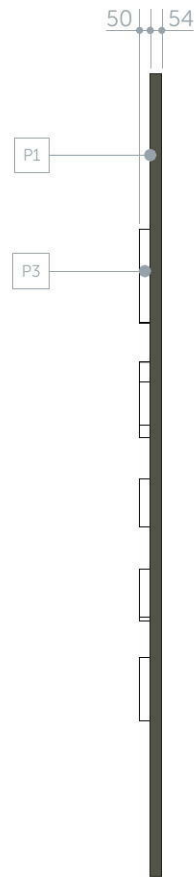
Illumination hours:
 Reception opening hours using timer.



TOP VIEW
 SCALE - 1:25 @ A3



FRONT VIEW
 SCALE - 1:25 @ A3



SIDE VIEW
 SCALE - 1:25 @ A3

4mm ACM cladding, 2PAC painted.
 Fabricated aluminium frame.

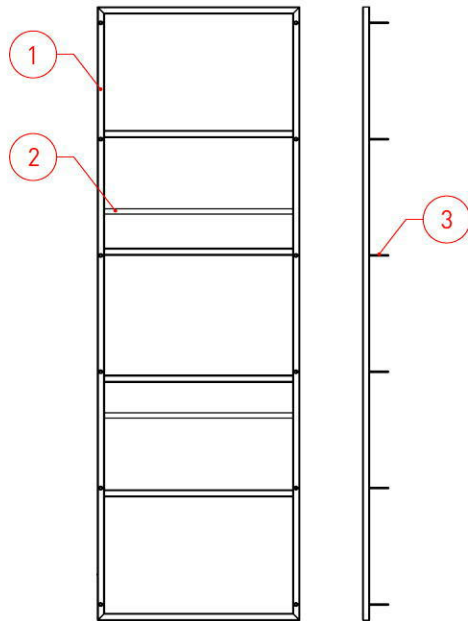
ILLUMINATION:

Letterforms face illuminated only.

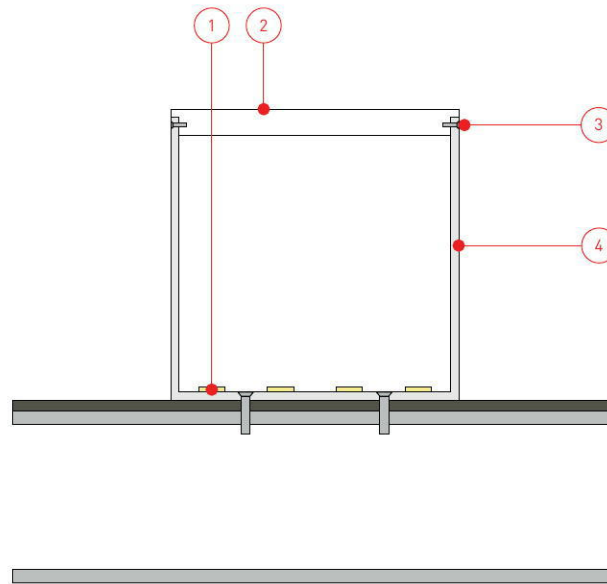
Sloan LED V180 Large White LED
 Modules (701269-6WLG1-MB)
 Modular 60 Power Supplies 12VDC.

Illumination hours:
 Reception opening hours using timer.

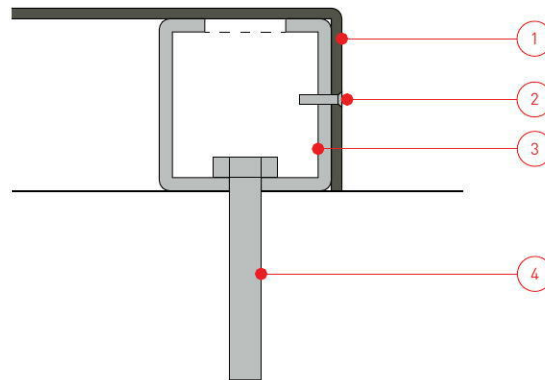
SECTION Q
DETAIL R



FRAME ASSEMBLY
SCALE 1:50



SECTION Q
SCALE: 1:2 @ A3



DETAIL R
SCALE 1:2

FRAME ASSEMBLY:

1. 65 x 5 mm fabricated aluminium SHS frame
- Fixed to existing wall as shown.
2. 30 x 30 x 3 aluminium equal angle used as fish plate behind ACM panel joins.
3. Mechanical fixings into wall - fixing type is dependent on site conditions.

**SECTION Q
- FABRICATED TEXT ASSEMBLY:**

Fabricated text adhered and fixed to frame assembly using mechanical fixings.

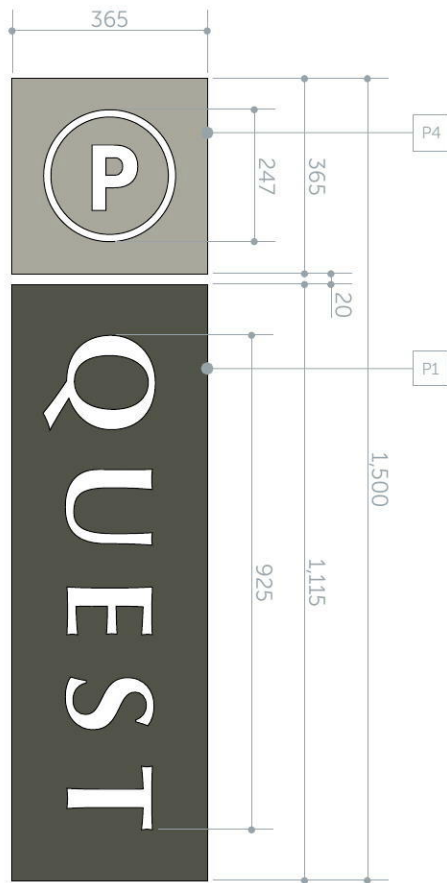
1. LED units fixed to base of letter as per manufactures instructions.
2. 10mm opal acrylic face with routed flange detail
- fixed to Part 4 using mechanical fixings Part 3.
3. Mechanical grub screw fixings (subject to engineers approval) into Part 2 and Part 4.
4. 3mm aluminium fabricated can - adhered and mechanically fixed to 4mm ACM cladding.

DETAIL R:

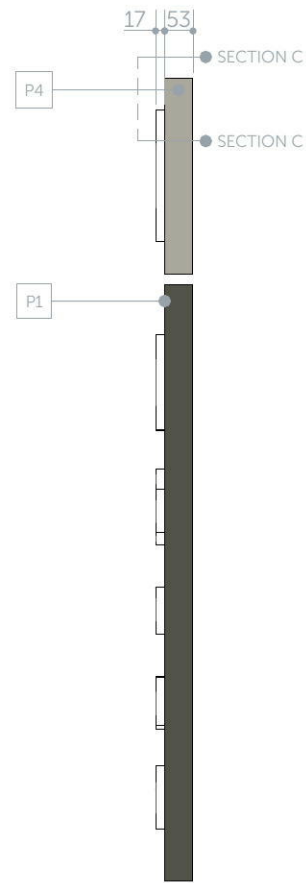
1. 4mm ACM cladding
2. CSK fixing ACM to 65 x 5mm SHS frame.
3. 65 x 5mm SHS frame
4. Mechanical fixings into wall - fixing type is dependent on site conditions.



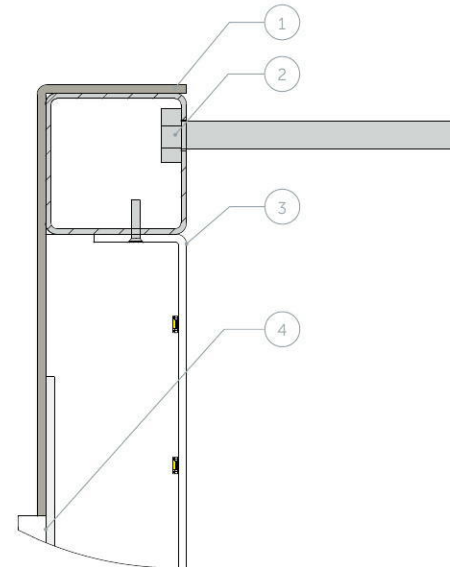
TOP VIEW
 SCALE - 1:10 @ A3



FRONT VIEW
 SCALE - 1:10 @ A3



SIDE VIEW
 SCALE - 1:10 @ A3



SECTION C
 SCALE - 1:5 @ A3

CONSTRUCTION METHOD:

Internal 50 x 50mm aluminium SHS frame.

3mm ACM cladding, 2PAC painted, letterforms lasercut from face.

20mm lasercut opal acrylic push fit 'P' and 'QUEST' letterforms.

Internally mounted 3mm clear acrylic panel for fixing of letterforms

Suitable fixing method to be determined by site conditions.

ILLUMINATION:





Internally illuminated.

Sloan LED V180 Mini LED Modules (701269-WLP2-MB) (6500 K)
 Modular 60W Power Supplies 12VDC.

Illumination hours:
 24hrs

SECTION C:

1. 3mm ACM sheet mechanically fixed using CSK fixings to 50 x 50 x 2mm SHS frame.
2. Mechanical fixings to existing wall - fixings to suit site conditions.
3. 3mm ACM sheet with LED units adhered - Fixed to framework.
4. 3mm clear acrylic panel for mounting of 20mm acrylic QUEST and P.

COLOUR:	SELF-ADHESIVE VINYL:	PAINT & COATINGS:
 <p>PMS 418 C C: 0 M: 0 Y: 25 K: 80</p>	<p>V1 AVERY Storm Grey 962</p>	<p>P1 DULUX Vintage Green PG1E8 - Satin P2 DULUX Vintage Green PG1E8 - Low Sheen</p>
 <p>WHITE C: 0 M: 0 Y: 0 K: 0</p>	<p>V2 AVERY White 900</p>	<p>P3 DULUX Natural White PN1E1 - Satin</p>
 <p>PMS 414 C C: 0 M: 15 Y: 10 K: 20</p>	<p>V3 AVERY Dove Grey 960 V4 AVERY Translucent Beige Grey 5568 C</p>	<p>P4 DULUX Pozieres PG2D3 - Satin P5 DULUX Pozieres PG2D3 - Low Sheen</p>
 <p>PMS 294 C C: 100 M: 50 Y: 0 K: 40</p>	<p>V5 AVERY Empire Blue 968</p>	
	<p>V6 AVERY MPI 2000 V7 AVERY MPI 3000 V8 AVERY MPI 2120 Matt Permanent Blockout V9 AVERY MPI 4510/4520 Mesh Banner V10 AVERY Etchmark Window Film V11 AVERY DOL 2100 Matt V12 AVERY DOL 2200 Lustre V13 AVERY DOL 4300 Anti-graffiti V14 AVERY DOL 4000 Optically Clear V15 AVERY DOL 3200 Lustre</p>	<p>P6 Automotive clear coat - Satin P7 Automotive clear coat - Low Sheen</p>

All colours, paint and vinyl specifications shown throughout this document have been assigned with a 'Finishes Reference' which relates back to this page.

The following is an example of the Finishes Reference:



All colours, paint and vinyl specifications must be adhered to, unless otherwise confirmed in writing by Quest or an authorised representative.

P: 1300 551 027
E: info@bestgroupaust.com

HEAD OFFICE:
249/251 Chapel St
Prahran VIC 3181

SYDNEY OFFICE:
Level 5, 112 Castlereagh Street
Sydney, 2000, Australia



North Penrith Serviced Apartments

DA Landscape Design Report

Lot 3008 DP 1184498
Lord Sheffield Circuit, Penrith



CLIENT: St Hilliers Property Pty Limited
ARCHITECT: DKO Architecture

STATUS: DA SUBMISSION
ISSUE: A
DATE: 08 APRIL 2016



URBIS STAFF RESPONSIBLE FOR THIS REPORT WERE:

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Job Code: ND1444
Report Number: ND1444-A
Issue - A (DA) 07/04/2016

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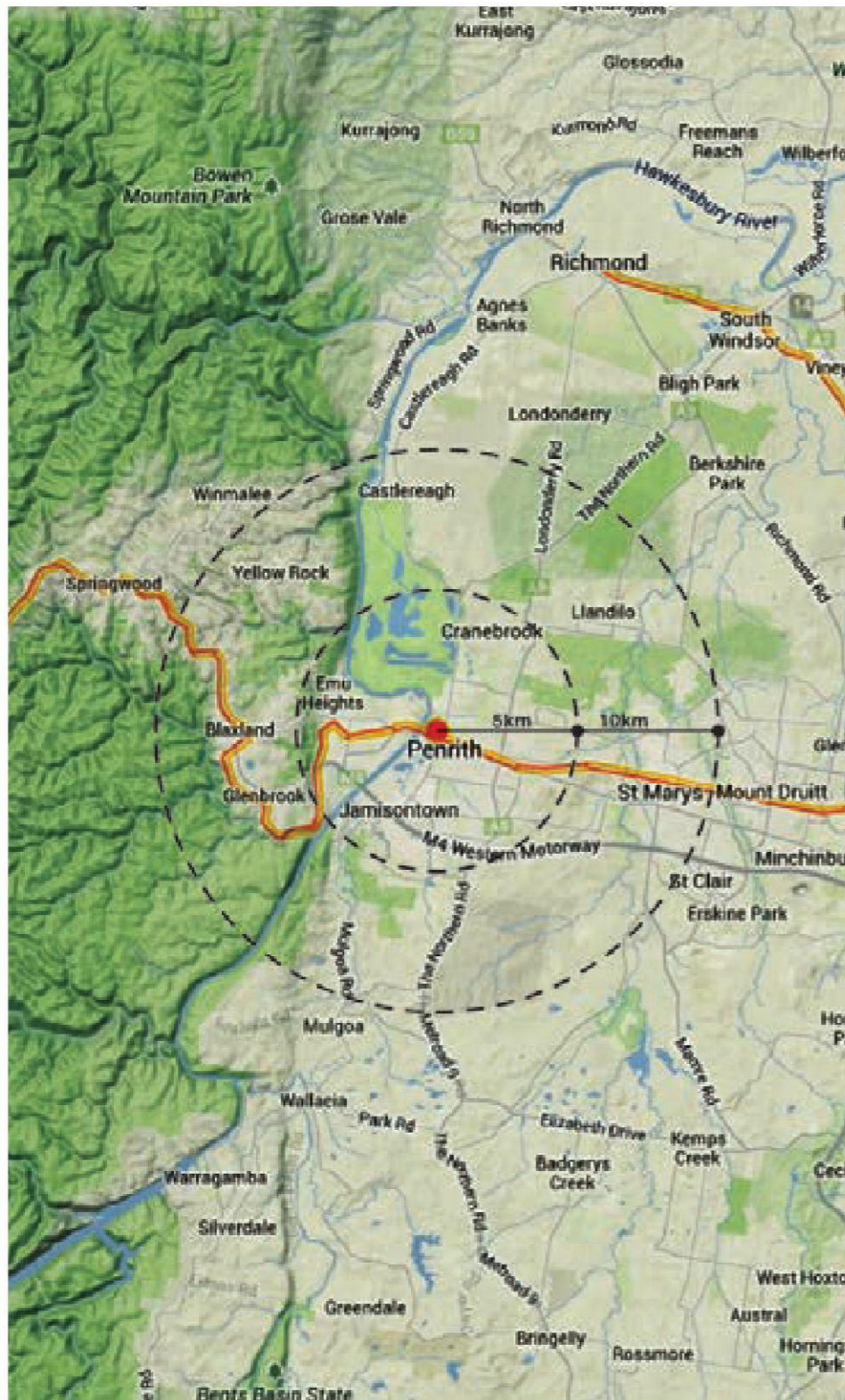
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THORNTON LANDSCAPE MASTER PLAN STRATEGY

Introduction

The public domain for Thornton Central will be largely formed by a rich network of public spaces at ground level, bounded by the railway line and station to the south, Lord Sheffield Circuit to the north and the proposed retail/commercial buildings to the eastern and western edges of Station Plaza.

Vision

There is a tremendous opportunity for the development to contribute meaningfully to the local community through a new integrated urban design footprint. The Station Plaza and adjacent pedestrian plaza links can contribute substantially to the social, economic and cultural fabric of the surrounding neighbourhood and those communities beyond, in the greater Penrith area.

This design theme will:

- Create an optimistic public open space for the people of Thornton and surrounding neighbourhoods with distinct landscape themes – Central Station Plaza, Pedestrian Plaza Links, Café Terraces and Promenades, pedestrian priority streetscapes and Podium Residential Gardens.
- Facilitate opportunities for passive, active, programmed and un-programmed activities.
- Generate a strong sense of 'place' – that befits the location
- Promote ecological corridors – creating 'Urban Lungs' to improve the value of the natural environment through water re-use and filtration and promoting green links.
- Integrate a public transport corridor with pedestrian and cycleway connections to provide a truly multi-modal transport hub.



Draft Master Plan, August 2014

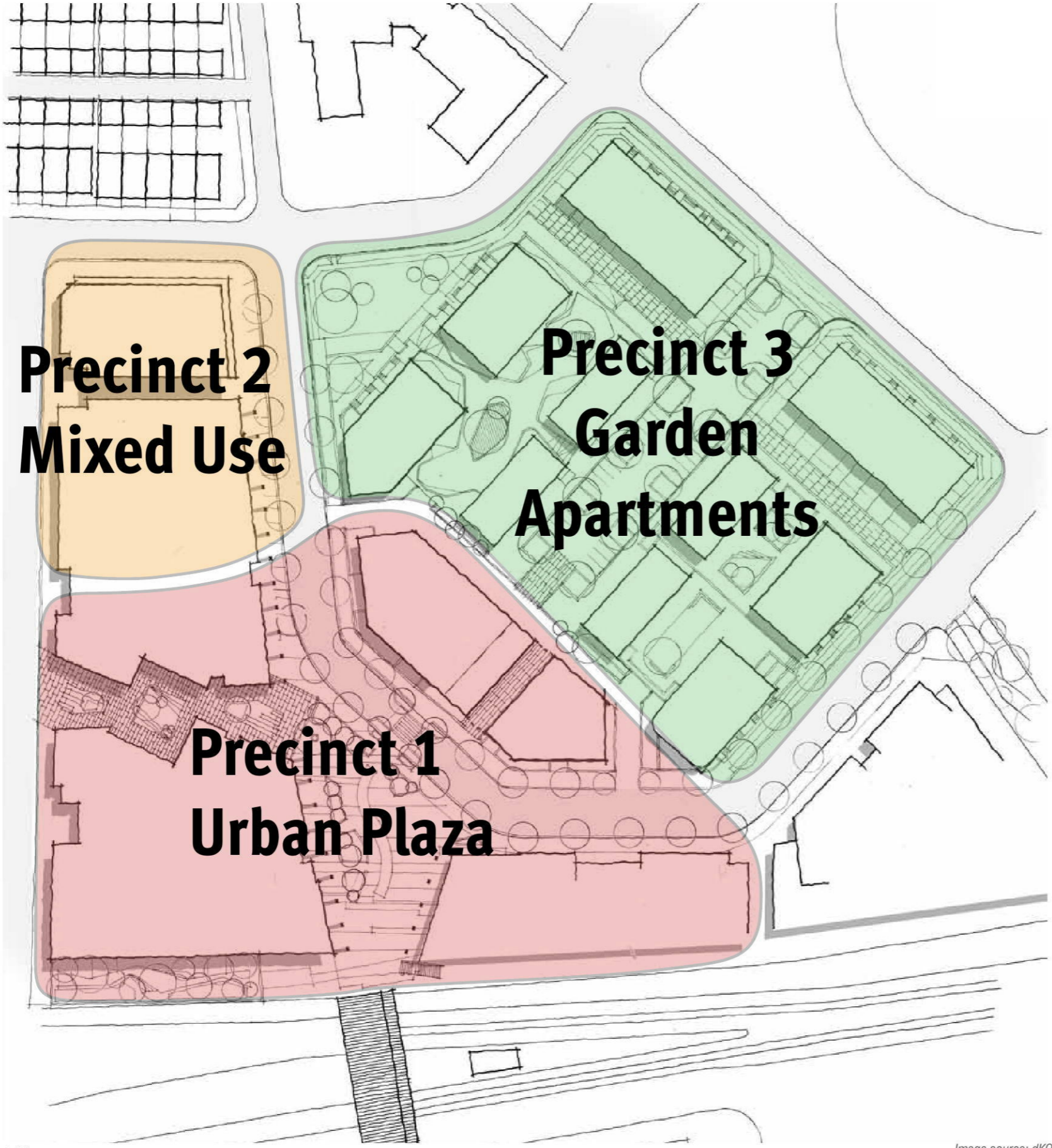


THORNTON PRECINCT PLAN AND STAGING PLAN

The overall master plan is comprised of three distinctly identifiable precincts as illustrated in the image left:

- Precinct 1 - Urban Plaza;
- Precinct 2 - Mixed use, and;
- Precinct 3 - Garden Apartments.

The implementation of the master plan comprises stages 1 to 7A as illustrated in the image below. The subject site referred to in this Report apply to DA01 (formerly Stage 4o) of the Thornton Masterplan.



Precinct Plan

Image source: dKO Architecture, 2014



Staging Plan

Image source: dKO Architecture, 2014

Lot 3008 - Lord Sheffield Circuit, Penrith DA - Landscape Design Report



THORNTON LOT 3008 LANDSCAPE DESIGN STATEMENT



Landscape Objectives

The landscape design responds to Council Landscape Objectives which are to:

- Ensure that landscape design reinforces the principles of Ecologically Sustainable Development;
- Promote landscape design and planning as part of a fully integrated approach to site development;
- Ensure landscape design takes into account the site's context, landscape and visual character, existing landscape features and amenity, both at the local and regional scale;
- Encourage the development of quality landscape design associated with new development that is consistent with industry best-practice;
- Encourage the retention of existing trees and vegetation to enhance landscape character;
- Ensure landscape design adequately complements the proposed built form and minimises the impacts of scale, mass and bulk of the development in its context;
- Encourage landscape design that can be effectively maintained to a high standard for the life of that development; and
- Establish a framework for allowing "Controlled Private Certification" of the landscape design components of new developments

Note:
All Streetscape/ Public Realm Landscape has been approved and is under Construction



Site Context

The site subject to this report is located approximately 70 metres north of Penrith Railway Station. It forms DA - Lot 3008 of the proposed Thornton Urban Village, situated within Precinct One, 'Urban Plaza' of the overall master plan.

The proposed development within Lot 3008 has an activated frontage along Lord Sheffield Circuit to the west, a public through link connecting the Railway Plaza to tEngineers Place and landscape treatment to the podium and carpark. A small courtyard space to the south is provided for the services apartments.

The site is accessible by car via the proposed rear laneway from Lord Sheffield Circuit, the main circuitous route that services the overall development. The streetscape proposed for Lord Sheffield Circuit will be:

"a predominant focus on the appropriate mix of formal and native plant species used through out the site. Overall, a leafy, deciduous character to the streetscapes will aid in the enforcement of a European styled village character". (UrbanGrowth, 2014)

The site's walkable catchment includes: Penrith Railway Station, Westfield Shopping Centre, Penrith CBD, Smith's Paddock and Thornton Hall.

Development Proposal

The development for Lot 3008 of the Thornton Central Masterplan comprises serviced apartments. Its landscape amenity is characterised by three typologies:

1. Public Through Site Link;
2. Perimeter planting to ground level and;
3. Landscape treatment to the podium and carpark

LANDSCAPE CHARACTER

The underlying principles from which the landscape concept has been developed are set out below. The design approach to the landscape has been to:

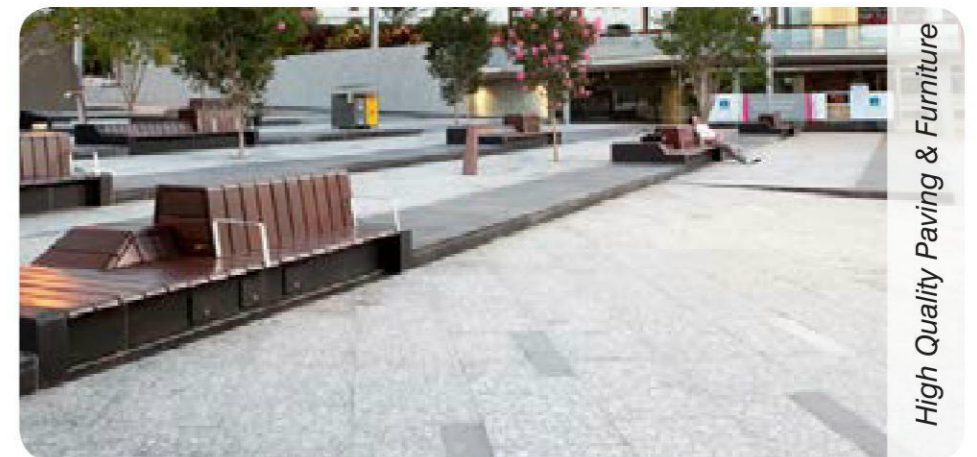
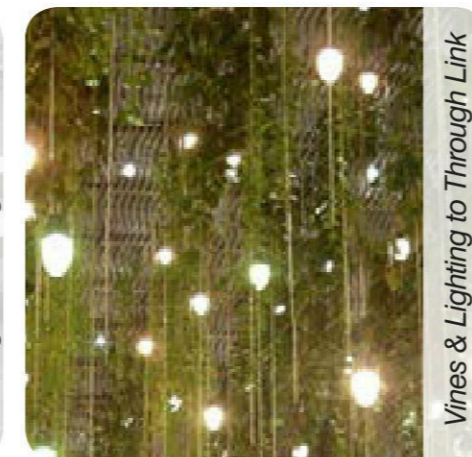
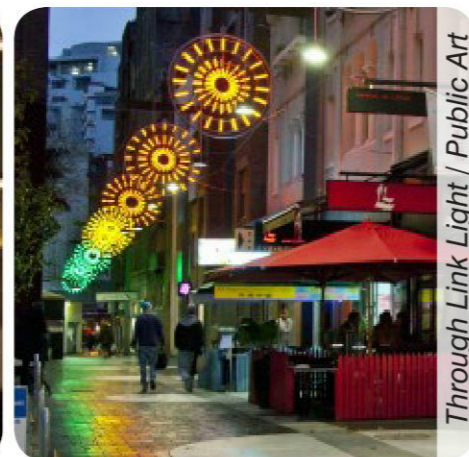
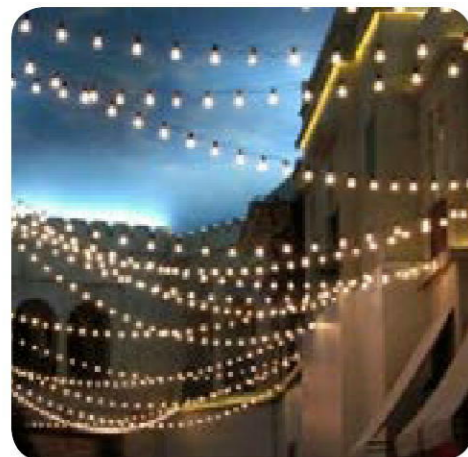
- Create edges which both define the public realm and provide a dynamic experience. ;
- Provide an activated 24/7 public through site link that connects the Railway Plaza to Engineers Place and Smiths Paddock beyond;
- Ensure the through site link reads as an extension of the surrounding public domain;
- Enhance the arrival experience to the service apartments;
- Provide an understory layer of planting that achieves a level of screening that is lush and green in appearance to the perimeter of the site at ground level.

- A small communal courtyard and garden is provided to the eastern corner of the site;
- Provide a green canopy over the podium carpark and through site link laneway;
- Planters will provide additional interest and amenity to the podium that will be viewed from both the adjacent public domain and surrounding elevated apartments.

Landscape Masterplan

DESIGN RESPONSE:

- To generate a strong sense of 'place' by providing a high quality public domain to the 24/7 through site link laneway;
- Common landscape spaces are linked by using the same planting and materials palette;
- Landscape edges provide green edges to the built form;
- A simple, modern environment to the communal courtyard;
- Lighting, catenary planting/vines, seating benches and public art define the through site link. These elements will be developed during the detail design stages;
- All paving materials and furniture would be subject to relevant Australian Standards.



LIGHTING

The proposed lighting will:

- Provide appropriate levels of lighting of public spaces such as driveways entry points, courtyard, podium landscape treatment and through site links;
- Provide appropriate lighting and visibility of entries to entry points;
- Be developed to provide maximum nocturnal programming opportunities
- Be designed to meet relevant Australian Lighting Standards. Integrated landscape lighting is proposed to all the landscape elements (benches, feature trees), the pathways will be lit by low level bollards and directional in-ground lights.

WATER MANAGEMENT

Water Sensitive Urban Design (WSUD) principals have been realised into the landscape design in a way that celebrates a sustainable water cycle.

- Water sourced from the onsite rainwater collection will be used for the landscape irrigation, all irrigation systems will comprise of subsurface drip systems and automatic timers with rainwater / soil moisture sensor controls;
- Where possible storm water runoff will be directed to the lawn and garden beds on the podium gardens;
- Irrigation will be provided to all soft landscape areas and will be specified within the tender package;
- Low water demand shrub planting is proposed.

PLANT ESTABLISHMENT MAINTENANCE

Maintenance works includes but is not limited to:

- Inspection of soil moisture levels and replenishment as necessary.
- Inspection for and control of soil and insect pests, diseases and other such infestations
- Pruning and repair of all branches and foliage, removal of debris and soil surface and addition of soil and / or mulch to soil surface.
- Maintenance of proper growing medium nutrient levels to ensure maximum vegetation health. A suitable list of health characteristics is to be provided by an agreed specialist and testing is to be maintained on a minimum yearly basis.
- Replacement of plants that fall below plant presentation standards for any cause.
- Monitoring and maintenance of efficiency and effectiveness of irrigation system.
- Control of pests and diseases infestation shall be in strict accordance with all regulations and manufactures recommendations. Supply documentation of such compliance upon request by responsible authority.

SAFETY AND SECURITY

An integrated approach to safety will improve actual and perceived personal security in pedestrian public domain areas:

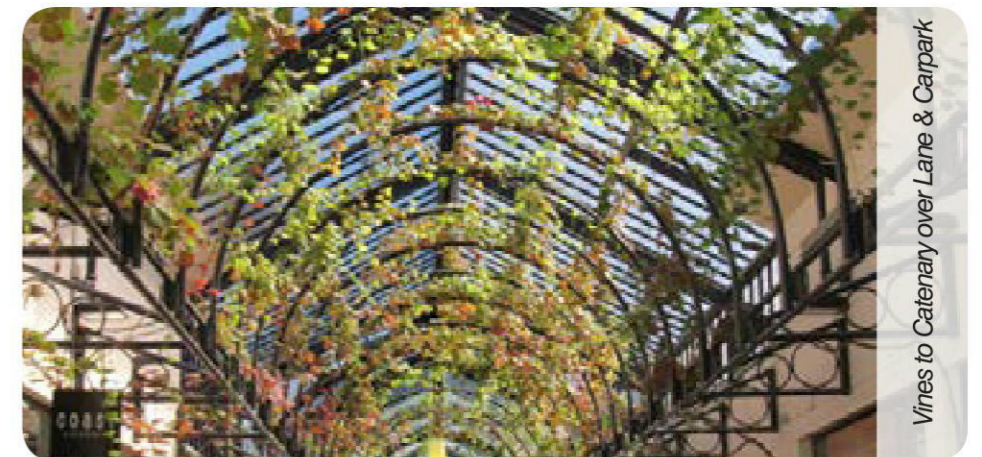
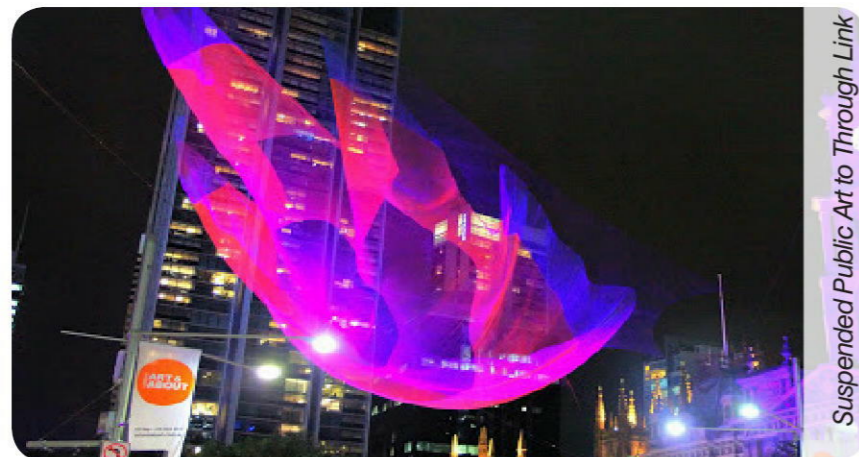
- Pedestrian routes will be continuous and without dead ends;
- All paths are overlooked from adjoining buildings and adjacent streets which will provide a high level of passive surveillance;

- All external spaces will have multiple clear sight lines without obstacles, proposed shrub planting is low level which will prevent places to hide;
- All paths will be well lit at night time and designed to meet relevant Australian Lighting Standards;
- Low-level lighting shall be provided to common areas of the development and be in accordance with AS 4282 to ensure external light does not spill onto adjoining properties.
- Signage will be provided across the precinct to assist with wayfinding and navigation through the site.
- Irrigation will be provided to all soft landscape areas.

ACCESIBILITY

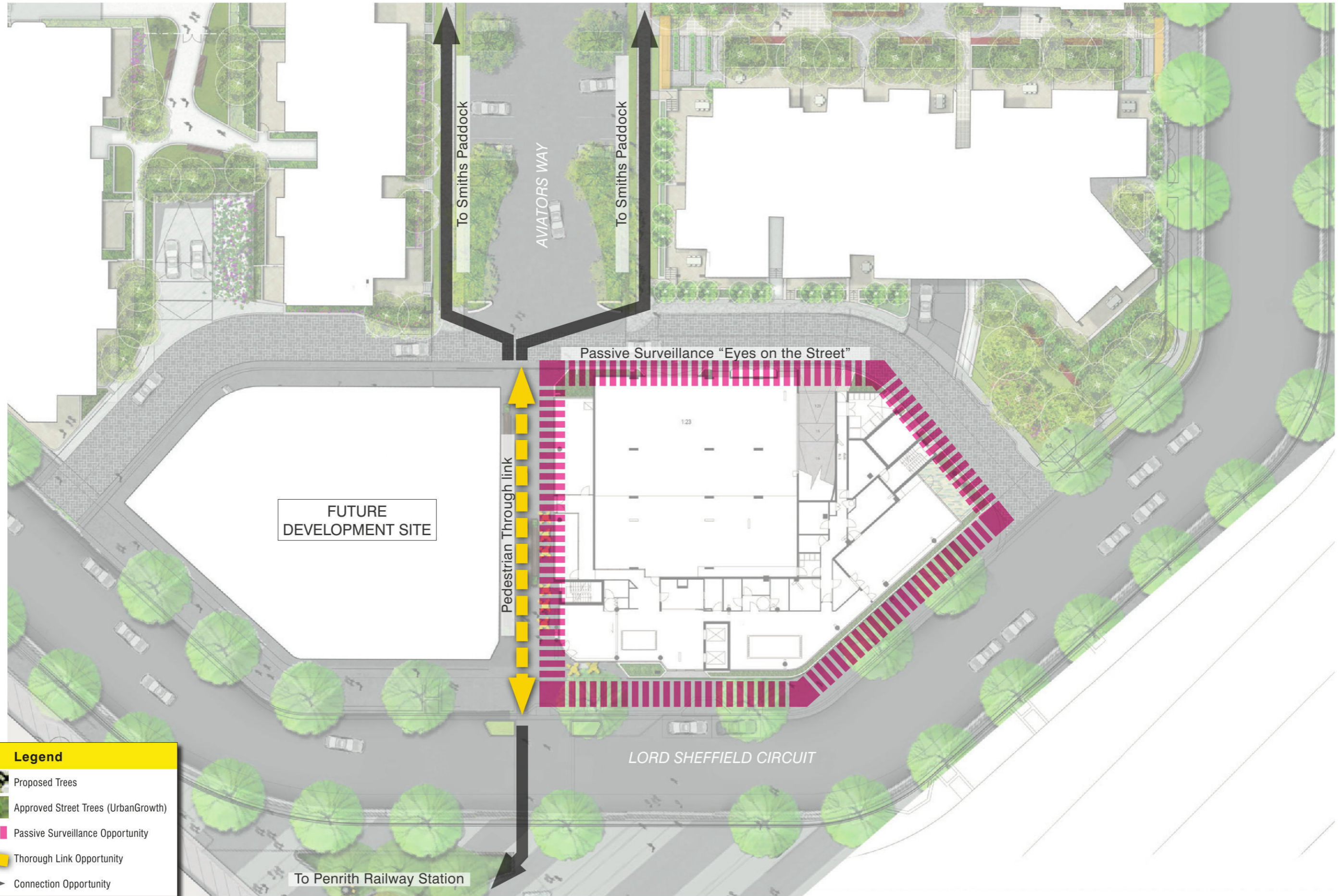
The landscape design will comply in accordance with the Federal Disabilities Discrimination Act 1992, the NSW Anti Discrimination Act 1977, the Disability (Access to Premises - Buildings) Standards 2010, and all relevant Australian Standards. The following design elements have been considered in the landscape proposal to ensure equal access for people with disabilities:

- Pedestrian routes;
- Tactile warning strips with a strong contrast to adjoining paving;
- Stairways/steps;
- Landings;
- Ramps;
- Handrails;
- Seating;
- Lighting; and
- Signage.






LOT 3008 - LANDSCAPE SITE ANALYSIS PLAN

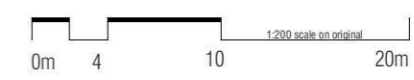
Scale 1:200 @ A1



Legend

-  Proposed Trees
-  Approved Street Trees (UrbanGrowth)
-  Passive Surveillance Opportunity
-  Thorough Link Opportunity
-  Connection Opportunity

Lot 3008 - Lord Sheffield Circuit, Penrith
 DA - Landscape Design Report



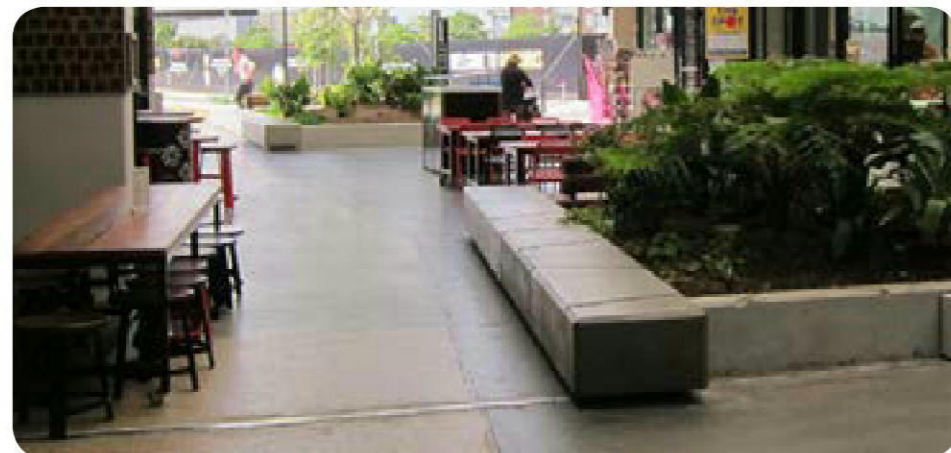
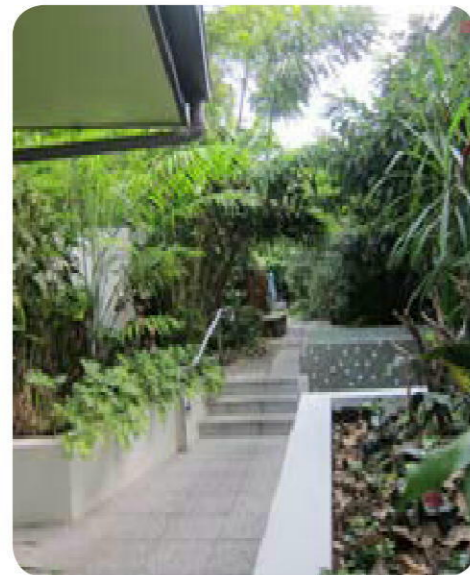
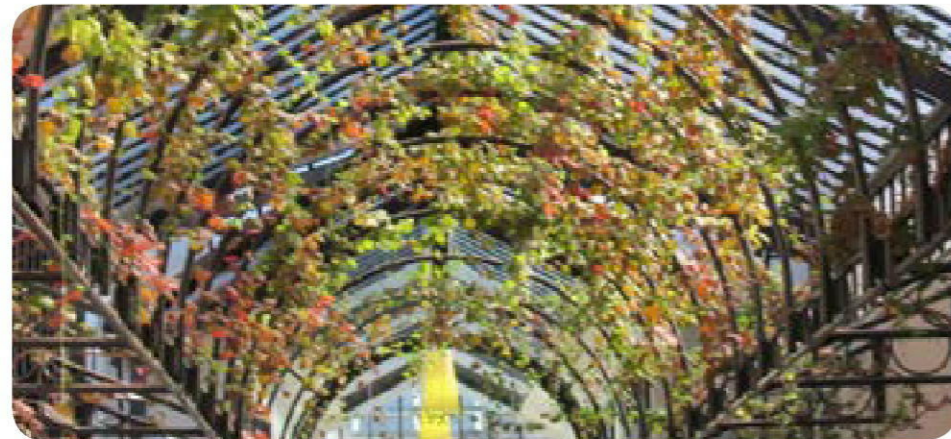
PROJECT NO: ND1444
 TYPE: DA
 DATE: 08.04.16
 ISSUE: A
 PAGE NO: 9

INDICATIVE PLANTING STRATEGY

Species Selection

Plants have been chosen for their contrasting form, foliage and colour, promoting a diversity of trees and understory planting. Responding to the proposed streetscape planting on the site, the surrounding context and climatic conditions, we have proposed a combination of exotic and native plants, providing a strong connection to the surrounding streets.

Proposed trees are primarily located along the new footpaths, providing shade to the walkways and seating benches on these circulation routes, the overall planting theme is to provide year round colour and vibrancy.



Botanical Name	Common Name	Height & Spread at Maturity (m)
STREETSCAPE		
SHRUBS AND HEDGES		
<i>Callistemon 'Captain Cook'</i>	Bottlebrush	4.0 x 3.0
<i>Callistemon 'Hannah Ray'</i>	Bottlebrush	2.5 x 2.0
<i>Gardenia augusta</i>	Gardenia	2.0 x 1.0
<i>Grevillea 'Coconut Ice'</i>	Grevillea	2.0 x 2.0
<i>Grevillea 'Honey Gem'</i>	Grevillea	1.0 x 0.75
<i>Grevillea 'Superb'</i>	Grevillea	1.5 x 2.0
<i>Grevillea juniperina</i>	Grevillea	1.5 x 0.5
<i>Westringia fruticosa</i>	Coastal Rosemary	1.5 x 1.5
<i>Westringia longifolia</i>	Long Leaf Westringia	3.0 x 3.0
COURTYARD & PODIUM ONLY		
<i>Agave Americana Marginata M Variegated</i>	Variegated Octopus Agave	1.8 x 1.8
<i>Camellia sasanqua</i>	Camellia	2.0 x 1.0
<i>Daphne odora</i>	Winter Daphne	3.0 x 1.5
<i>Dicksonia antarctica</i>	Winter Daphne	8.0 x 4
<i>Gardenia augusta</i>	Gardenia	2.0 x 1.0
<i>Lobelia gibberoa</i>	Lobelia	3.5 x 4.0
<i>Leucadendron 'Sundance'</i>	Conebushes	1.5 x 1.5
<i>Nandina domestica</i>	Sacred Bamboo	1.8 x 1.5
<i>Nandina domestica 'Nana'</i>	Dwarf Sacred Bamboo	1.2 x 1.0
<i>Syzygium paniculatum 'Nana'</i>	Dwarf Bush Cherry	3.0 x 1.5
<i>Viburnum tinus</i>	Laurustinus	2.5 x 2.0
<i>Westringia fruticosa</i>	Coastal Rosemary	1.5 x 1.5
VINES		
<i>Pandorea jasminoides</i>	Bower of Beauty	15-20m runners
<i>Trachelospermum jasminoides</i>	Star Jasmine	15-20m runners

Landscape Typology



INDICATIVE PLANTING PALETTE

SHRUBS



Callistemon 'Captain Cook'



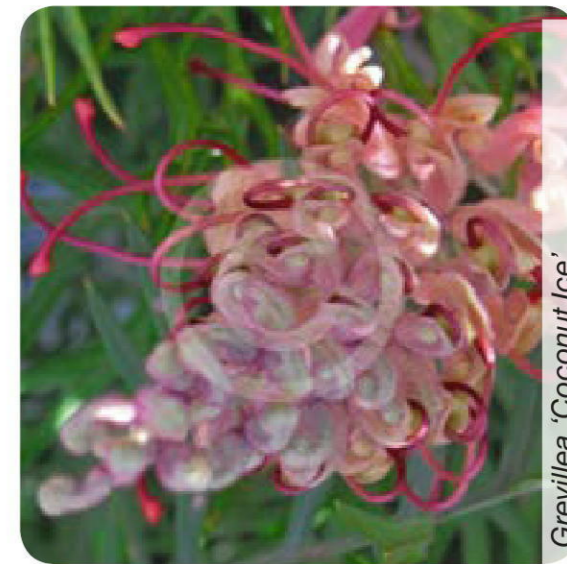
Callistemon 'Hannah Ray'



Westringia fruticosa



Gardenia augusta

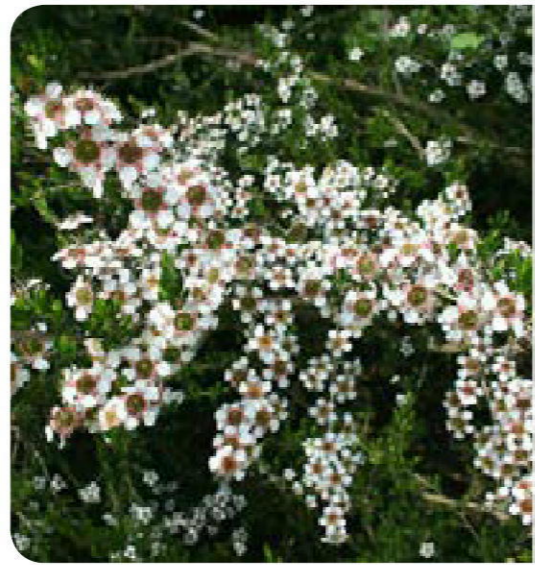


Grevillea 'Coconut Ice'

ACCENT + TREE FERNS



Grevillea 'Honey Gem'



Leptospermum flavescens



Dicksonia antarctica

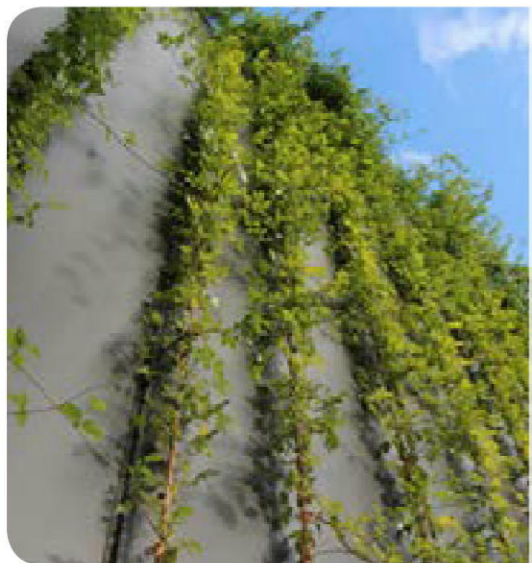


Agave Americana Marginata M
Variegated



Lobelia gibberoa

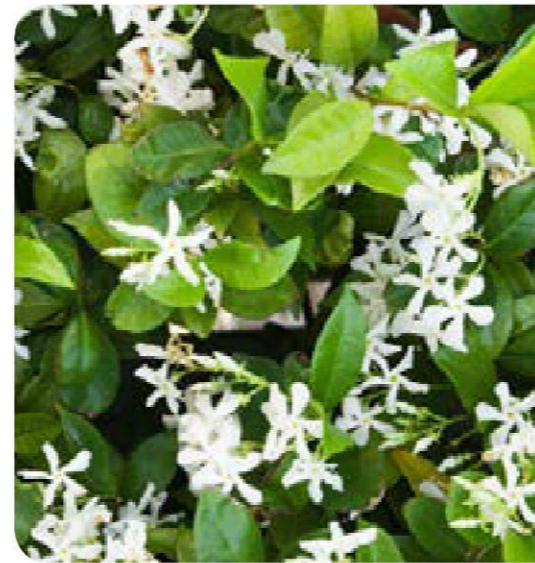
VINES



Trachelospermum asminoides



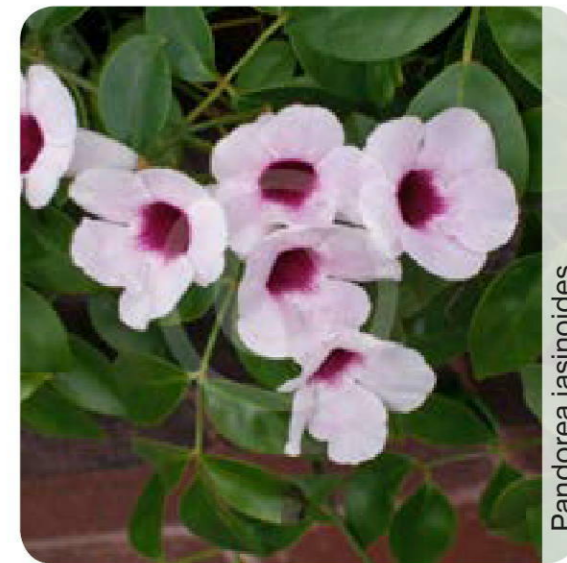
Trachelospermum asminoides



Trachelospermum asminoides



Pandorea jasinooides



Pandorea jasinooides

MATERIALS STRATEGY

All paving materials and street furniture would be subject to relevant Australian Standards and comply with Council's guidelines.

Paving to the through link will be an extension of the public domain paving.

The courtyard will consist of contrasting finishes, textures and materials (concrete, stone and timber).

Through link benches have been provided along, cafe tables and chairs can also be accommodated adjacent to the proposed cafe and main entrance.

Indicative Materials Palette



Public Domain Through Link Furniture



Timber Decking to courtyard



Low-level Lighting Bollards to Paths



Complimentary Paving Palette



Raised Planter Beds to edges of site



Integrated Landscape Lighting

Sydney

Level 23, Darling Park Tower 2
201 Sussex Street
Sydney, NSW 2000
t 02 8233 9900
f 02 8233 9966

Melbourne

Level 12, 120 Collins Street
Melbourne VIC 3000
t 03 8663 4888
f 03 8663 4999

Brisbane

Level 7, 123 Albert Street
Brisbane QLD 4000
t 07 3007 3800
f 07 3007 3811

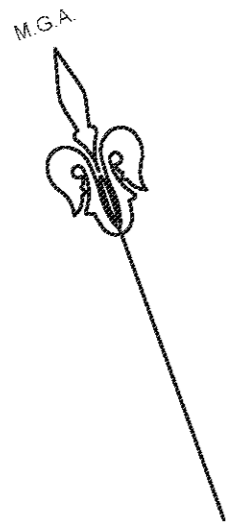
Perth

Level 1, 55 St Georges Terrace
Perth WA 6000
t 08 9346 0500
f 08 9221 1779

Australia · Asia · Middle East
www.urbis.com.au
info@urbis.com.au

SCHEDULE OF LINES

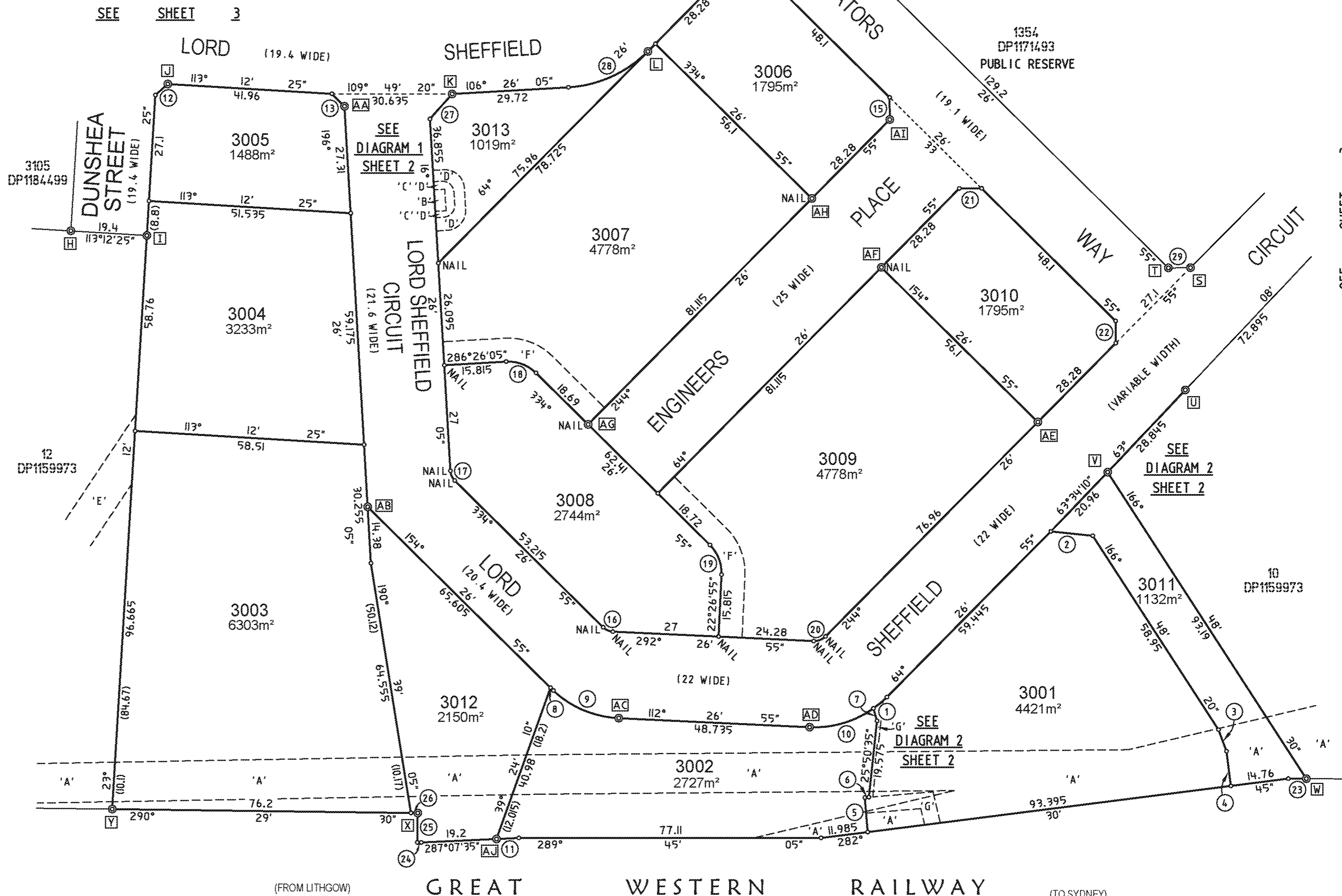
No.	BEARING	DISTANCE
2	115°37'40"	10.78
3	179°25'45"	5.85
4	192°30'45"	8.94
5	14°58'05"	8.84
6	104°58'05"	1.045
7	4°00'40"	3.305
8	154°26'55"	0.315
11	287°07'35"	5.7
12	68°12'25"	4.245
13	154°49'15"	4.485
14	109°26'55"	5.655
15	199°26'55"	5.655
21	109°26'55"	5.655
22	199°26'55"	5.655
23	289°54'10"	4.6
24	290°28'	0.985
25	20°29'30"	7.485
26	290°29'30"	1.74
27	61°26'05"	8.485
29	289°26'55"	5.655
30	19°26'55"	5.655



- 'A' - EASEMENT FOR TRANSMISSION LINE VARIABLE WIDTH (VIDE J885861)
- 'B' - EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE (VIDE DP1184495)
- 'C' - RESTRICTION ON THE USE OF LAND (VIDE DP1184495)
- 'D' - RESTRICTION ON THE USE OF LAND (VIDE DP1184495)
- 'E' - EASEMENT FOR ELECTRICITY PURPOSES 9 WIDE (VIDE DP1159973)
- 'F' - RIGHT OF CARRIAGE WAY 6 WIDE
- 'G' - EASEMENT FOR UNDERGROUND CABLES 1 WIDE, 4 WIDE AND VARIABLE WIDTH

SCHEDULE OF CURVED BOUNDARIES

No.	BEARING	CHORD	ARC	RADIUS
1	69°23'15"	4.48	4.485	26
9	133°26'55"	18.78	19.205	26.2
10	93°23'15"	16.98	17.3	26
16	313°26'55"	2.725	2.785	3.8
17	355°26'30"	2.725	2.785	3.8
18	310°26'30"	8.135	8.38	10
19	358°26'55"	8.135	8.38	10
20	268°26'55"	3.255	3.35	4
28	85°26'30"	22.21	22.715	31



SCHEDULE OF REFERENCE MARKS

No.	BEARING	DISTANCE	DESCRIPTION
H	67°19'35"	11.59	DH&WFD (DP1171491)
I	84°40'35"	17.64	DH&WFD (DP1171491)
J	156°28'50"	4.61 & 22.715	DH&WFD (DP1184495)
K	196°56'15"	4.045 & 17.84	DH&WFD (DP1184495)
L	160°45'10"	4.09 & 17.88	DH&WFD (DP1184495)
M	191°57'	5.03 & 22.53	DH&WFD (DP1184495)
N	46°25'50"	5.995 & 15.745	DH&WFD (DP1171493)
O	134°05'05"	4.315 & 19.07	DH&WFD (DP1171493)
S	334°23'10"	4.07 & 17.87	DH&WFD (DP1171493)
T	70°09'	5.75 & 15.05	DH&WFD (DP1171493)
U	192°23'25"	3.895	DH&WFD (DP1171491)
U	223°08'30"	8.53	SSM180838
U	159°11'30"	17.96	DH&W
V	297°23'45"	8	BOLTFD (DP1159973)
W	246°34'10"	5.325	BOLTFD (DP1159973)
X	180°39'10"	7.97	DH&WFD (DP1159973)
Y	205°34'35"	11.93	DH&WFD (DP1171491)
AA	352°48'25"	10.18	DH&W
AA	313°45'30"	19.72	DH&W
AB	280°20'25"	7.635	DH&W
AB	274°54'25"	19.095	DH&W
AC	188°31'45"	4.245	DH&W
AC	190°03'40"	18.435	DH&W
AD	257°13'20"	9.355	DH&W
AD	211°57'	18.79	DH&W
AE	342°53'	4.12	DH&W
AF	110°26'35"	4.835	DH&W
AG	269°56'10"	8.015	DH&W
AG	308°34'45"	16.225	DH&W
AH	15°04'25"	4.535	DH&W
AI	39°29'25"	8.155	DH&W
AI	333°39'35"	8.865	DH&W
AJ	103°27'40"	27.185	DH&W

Surveyor: GRAHAM JOHN HALL
 Date of Survey: 23 APRIL 2015
 Surveyor's Ref: 72-10-3A

PLAN OF
 SUBDIVISION OF LOT 1196 DP1171491

LGA: PENRITH
 Locality: PENRITH
 Subdivision No. 046/15
 Lengths are in metres. Reduction Ratio 1: 800

Registered
 1.7.2015

DP1184498

Rpt:R896806 /Doc:DP 1184498 P /Rev:02-Jul-2015 /Sts:SC.OK /Prt:10-Jul-2015 11:22 /Pgs:ALL /Seq:1 of 5
 Ref:Kemp Strang Lawyers /Src:P
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 Reason: 1, Version Date: 14/04/2016

DP1184498

CAD REF.: Z:\072-10 North Penrith - Survey\AutoCAD Files\07210829\01

- 'A' - EASEMENT FOR TRANSMISSION LINE VARIABLE WIDTH (VIDE J885861)
- 'B' - EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE (VIDE DP1184495)
- 'C' - RESTRICTION ON THE USE OF LAND (VIDE DP1184495)
- 'D' - RESTRICTION ON THE USE OF LAND (VIDE DP1184495)
- 'G' - EASEMENT FOR UNDERGROUND CABLES 1 WIDE, 4 WIDE AND VARIABLE WIDTH

M.G.A.

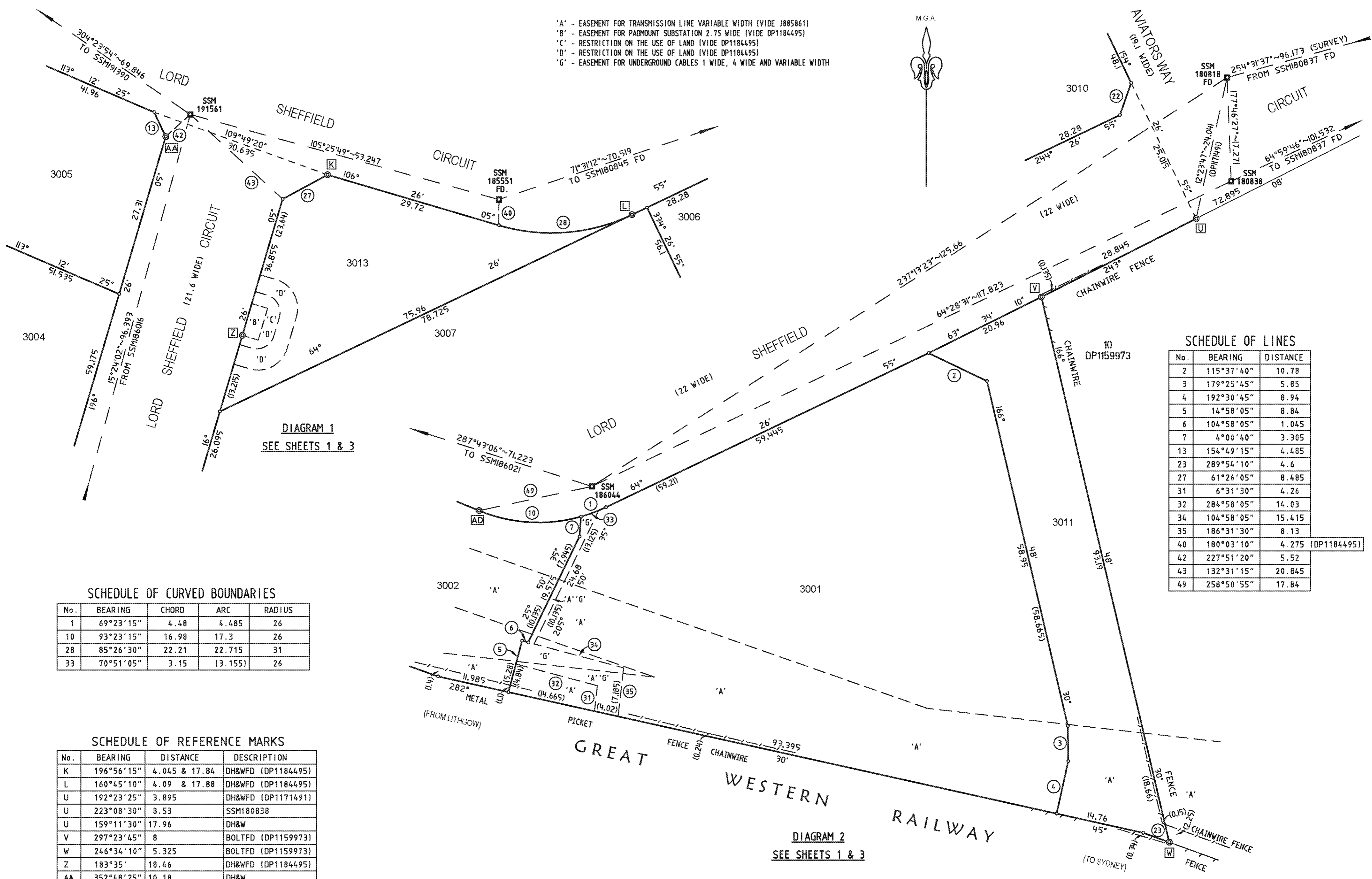
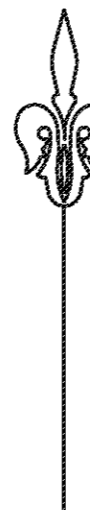


DIAGRAM 1
SEE SHEETS 1 & 3

DIAGRAM 2
SEE SHEETS 1 & 3

SCHEDULE OF CURVED BOUNDARIES

No.	BEARING	CHORD	ARC	RADIUS
1	69°23'15"	4.48	4.485	26
10	93°23'15"	16.98	17.3	26
28	85°26'30"	22.21	22.715	31
33	70°51'05"	3.15	(3.155)	26

SCHEDULE OF REFERENCE MARKS

No.	BEARING	DISTANCE	DESCRIPTION
K	196°56'15"	4.045 & 17.84	DH&WFD (DP1184495)
L	160°45'10"	4.09 & 17.88	DH&WFD (DP1184495)
U	192°23'25"	3.895	DH&WFD (DP1171491)
U	223°08'30"	8.53	SSM180838
U	159°11'30"	17.96	DH&W
V	297°23'45"	8	BOLTFD (DP1159973)
W	246°34'10"	5.325	BOLTFD (DP1159973)
Z	183°35'	18.46	DH&WFD (DP1184495)
AA	352°48'25"	10.18	DH&W
AA	313°45'30"	19.72	DH&W
AD	257°13'20"	9.355	DH&W
AD	211°57'	18.79	DH&W

SCHEDULE OF LINES

No.	BEARING	DISTANCE
2	115°37'40"	10.78
3	179°25'45"	5.85
4	192°30'45"	8.94
5	14°58'05"	8.84
6	104°58'05"	1.045
7	4°00'40"	3.305
13	154°49'15"	4.485
23	289°54'10"	4.6
27	61°26'05"	8.485
31	6°31'30"	4.26
32	284°58'05"	14.03
34	104°58'05"	15.415
35	186°31'30"	8.13
40	180°03'10"	4.275 (DP1184495)
42	227°51'20"	5.52
43	132°31'15"	20.845
49	258°50'55"	17.84

Surveyor: GRAHAM JOHN HALL
Date of Survey: 23 APRIL 2015
Surveyor's Ref: 72-10-3A

PLAN OF
SUBDIVISION OF LOT 1196 DP1171491

LGA: PENRITH
Locality: PENRITH
Subdivision No. 046/15
Lengths are in metres. Reduction Ratio 1: 400

Registered
1.7.2015

DP1184498

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Version: 1, Version Date: 14/04/2016

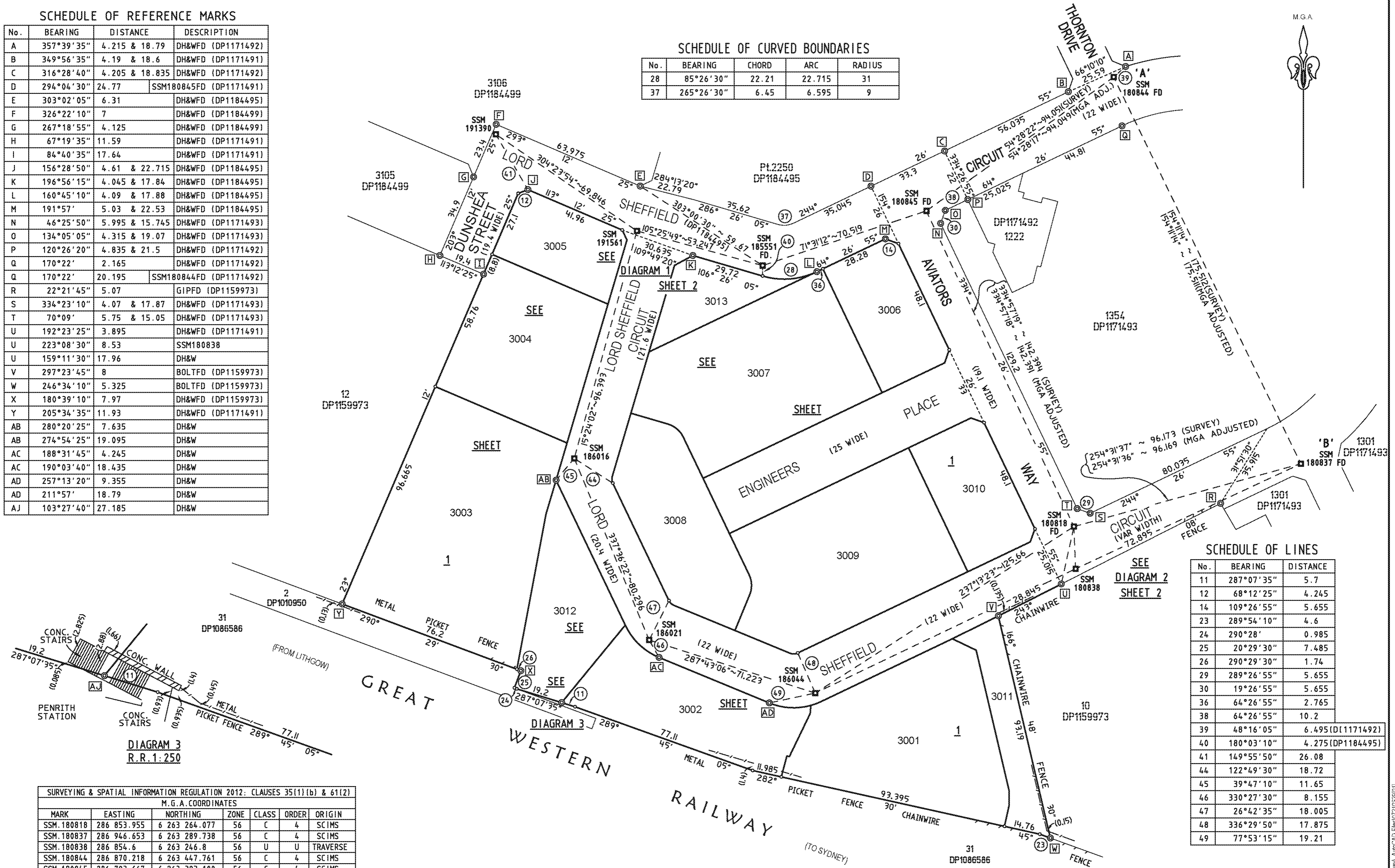
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SCHEDULE OF REFERENCE MARKS

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A	357°39'35"	4.215 & 18.79	DH&WFD (DP1171492)
B	349°56'35"	4.19 & 18.6	DH&WFD (DP1171491)
C	316°28'40"	4.205 & 18.835	DH&WFD (DP1171492)
D	294°04'30"	24.77	SSM180845FD (DP1171491)
E	303°02'05"	6.31	DH&WFD (DP1184495)
F	326°22'10"	7	DH&WFD (DP1184499)
G	267°18'55"	4.125	DH&WFD (DP1184499)
H	67°19'35"	11.59	DH&WFD (DP1171491)
I	84°40'35"	17.64	DH&WFD (DP1171491)
J	156°28'50"	4.61 & 22.715	DH&WFD (DP1184495)
K	196°56'15"	4.045 & 17.84	DH&WFD (DP1184495)
L	160°45'10"	4.09 & 17.88	DH&WFD (DP1184495)
M	191°57'	5.03 & 22.53	DH&WFD (DP1184495)
N	46°25'50"	5.995 & 15.745	DH&WFD (DP1171493)
O	134°05'05"	4.315 & 19.07	DH&WFD (DP1171493)
P	120°26'20"	4.835 & 21.5	DH&WFD (DP1171492)
Q	170°22'	2.165	DH&WFD (DP1171492)
R	170°22'	20.195	SSM180844FD (DP1171492)
S	22°21'45"	5.07	GIPFD (DP1159973)
T	334°23'10"	4.07 & 17.87	DH&WFD (DP1171493)
U	70°09'	5.75 & 15.05	DH&WFD (DP1171493)
V	192°23'25"	3.895	DH&WFD (DP1171491)
W	223°08'30"	8.53	SSM180838
X	159°11'30"	17.96	DH&W
Y	297°23'45"	8	BOLTFD (DP1159973)
Z	246°34'10"	5.325	BOLTFD (DP1159973)
AA	180°39'10"	7.97	DH&WFD (DP1159973)
AB	205°34'35"	11.93	DH&WFD (DP1171491)
AC	280°20'25"	7.635	DH&W
AD	274°54'25"	19.095	DH&W
AE	188°31'45"	4.245	DH&W
AF	190°03'40"	18.435	DH&W
AG	257°13'20"	9.355	DH&W
AH	211°57'	18.79	DH&W
AI	103°27'40"	27.185	DH&W

SCHEDULE OF CURVED BOUNDARIES

No.	BEARING	CHORD	ARC	RADIUS
28	85°26'30"	22.21	22.715	31
37	265°26'30"	6.45	6.595	9



SCHEDULE OF LINES


No.	BEARING	DISTANCE
11	287°07'35"	5.7
12	68°12'25"	4.245
14	109°26'55"	5.655
23	289°54'10"	4.6
24	290°28'	0.985
25	20°29'30"	7.485
26	290°29'30"	1.74
29	289°26'55"	5.655
30	19°26'55"	5.655
36	64°26'55"	2.765
38	64°26'55"	10.2
39	48°16'05"	6.495 (DP1171492)
40	180°03'10"	4.275 (DP1184495)
41	149°55'50"	26.08
44	122°49'30"	18.72
45	39°47'10"	11.65
46	330°27'30"	8.155
47	26°42'35"	18.005
48	336°29'50"	17.875
49	77°53'15"	19.21

SURVEYING & SPATIAL INFORMATION REGULATION 2012: CLAUSES 35(1)(b) & 61(2)						
M.G.A. COORDINATES						
MARK	EASTING	NORTHING	ZONE	CLASS	ORDER	ORIGIN
SSM.180818	286 853.955	6 263 264.077	56	C	4	SCIMS
SSM.180837	286 946.653	6 263 289.738	56	C	4	SCIMS
SSM.180838	286 854.6	6 263 246.8	56	U	U	TRAVERSE
SSM.180844	286 870.218	6 263 447.761	56	C	4	SCIMS
SSM.180845	286 793.667	6 263 393.100	56	C	4	SCIMS
SSM.185551	286 726.8	6 263 370.8	56	U	U	TRAVERSE
SSM.186016	286 649.9	6 263 292.0	56	U	U	TRAVERSE
SSM.186021	286 680.5	6 263 217.8	56	U	U	TRAVERSE
SSM.186044	286 748.3	6 263 196.1	56	U	U	TRAVERSE
SSM.191390	286 617.8	6 263 424.4	56	U	U	TRAVERSE
SSM.191561	286 675.5	6 263 384.9	56	U	U	TRAVERSE
COMBINED SCALE FACTOR 1.000151						
ESTABLISHED MARK SOURCE: SCIMS DATED 20/04/2015						

Surveyor: GRAHAM JOHN HALL
 Date of Survey: 23 APRIL 2015
 Surveyor's Ref: 72-10-3A

PLAN OF
 SUBDIVISION OF LOT 1196 DP1171491

LGA: PENRITH
 Locality: PENRITH
 Subdivision No. 046/15
 Lengths are in metres. Reduction Ratio 1: 1000

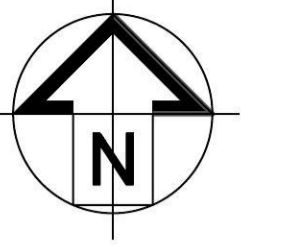
Registered
 1.7.2015

DP1184498

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 Ref: Kemp Strang Lawyers /Src:P
 Version: 1, Version Date: 14/04/2016

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NORTH PENRITH SERVICED APARTMENTS LORD SHEFFIELD CIRCUIT THORNTON PENRITH NSW



STORMWATER DRAINAGE

DRAWING LIST

H-900	LEGEND AND COVER SHEET
H-901	GROUND FLOOR DA SUBMISSION STORMWATER LAYOUT
H-902	LEVEL 01 DA SUBMISSION STORMWATER LAYOUT

SYMBOLS LEGEND

	AIR ADMITTANCE VALVE OR MAXI VENT		PENETRATES THROUGH WALL
	ARRESTOR TRAP FLOOR WASTE		PIPE CAP
	BALANCING VALVE		PIPE DROPPER
	BAYONET POINT (GAS)		PIPE RISER (LARGE)
	BOUNDARY TRAP		PIPE RISER (SMALL)
	CLEAR OUT		PIPE TEE
	CHECK VALVE / NON RETURN VALVE		PRESSURE GAUGE
	CONNECT TO EXISTING		PRESSURE LIMITING VALVE
	DIRECTION OF FLOW		PRESSURE RELIEF VALVE
	DOUBLE CHECK VALVE		PIT WITH GAS TIGHT LID
	DOWNPIPE		PIT WITH GRATED LID
	DRAWING CONTINUATION		PRESSURE SWITCH
	EXISTING DOWNPIPE		PUMP
	FILTER		PUMP CONTROL PANEL
	FIRE HOSE REEL		RAINWATER OUTLET
	FLANGE		REDUCED PRESSURE ZONE DEVICE
	FLOW SWITCH		REFLUX VALVE
	FLOOR WASTE		REVISION
	GARBAGE CHUTE SPRAYER		SERVICE IDENTIFICATION SYMBOL
	GAS BALL VALVE		SEWER MAN HOLE
	GAS METER		SOLENOID VALVE
	GAS REGULATOR		SPREADER
	GRATED DRAIN		STOP VALVE
	FIRE HYDRANT		STRAINER
	FIXTURE POINT		STREET FIRE HYDRANT
	FLEXIBLE CONNECTION / EXPANSION JOINT		TEMPERING VALVE
	HOT WATER UNIT		THERMOSTATIC MIXING VALVE
	HOSE TAP		THRUST BLOCK
	INSPECTION OPENING		TUNDISH
	OVERFLOW GULLY		WATER FILTER
	PATH VALVE		WATER METER

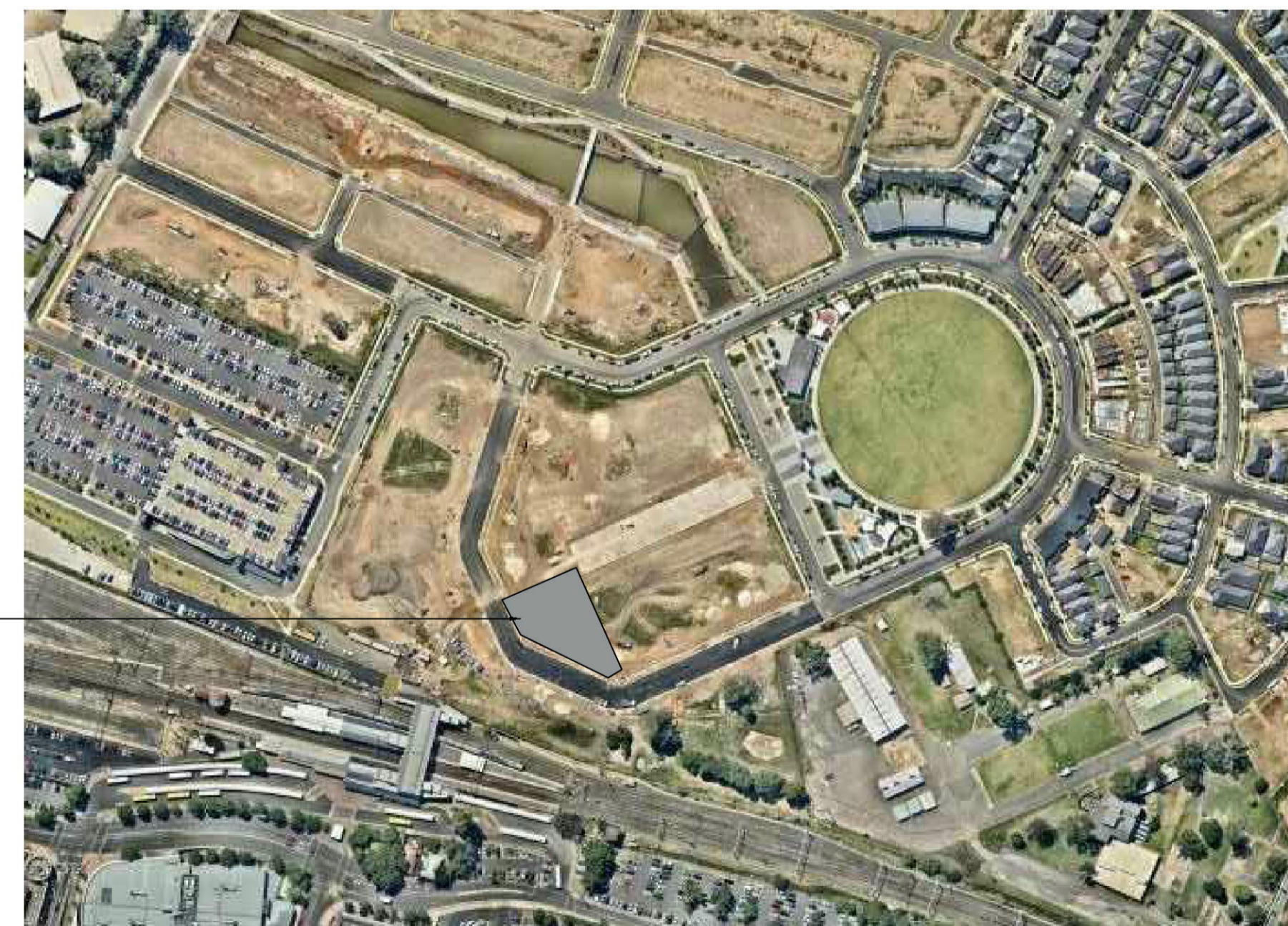
LINETYPES LEGEND

	COLD WATER PIPE		EXISTING SERVICE
	FIRE HYDRANT		EXISTING GAS SERVICE
	FIRE HOSE REEL		EXISTING DRAINAGE SERVICE
	FIRE SPRINKLERS		EXISTING WATER SERVICE
	GAS PIPE		STRUCTURAL BEAM
	HOT WATER PIPE		PIPEWORK CAST IN SLAB
	HOT WATER RETURN PIPE		ACOUSTIC LAGGING
	RECYCLED COLD WATER		
	WARM WATER		
	PUMPED SEWER DRAINAGE		
	SANITARY DRAINAGE		
	SANITARY PLUMBING		
	STORMWATER		
	SUBSOIL DRAINAGE		
	TRADE WASTE		
	VENT PIPE		

ABBREVIATIONS

AAV	AIR ADMITTANCE VALVE	IQ	INSPECTION OPENING
ABV	AIR BLEED VALVE	IPMF	INDUCT PIPE MICA FLAP
AFFL	ABOVE FINISHED FLOOR LEVEL	LL	LOW LEVEL
ATFW	ARRESTOR TRAP FLOOR WASTE	LT	LAUNDRY TUB
B	BASIN	LU	LOADING UNITS
BD	BALCONY DRAIN	MDL	METER DATA LOGGER
BDP	BALCONY DOWNPIPE	NRV	NON RETURN VALVE
BT	BOUNDARY TRAP	OF	OVERFLOW
BV	BALANCING VALVE	PD	PLANTER DRAIN
CO	CLEAR OUT	PLV	PRESSURE LIMITING VALVE
CV	CHAMBER VENT	PVC	POLYVINYL CHLORIDE
CW	COLD WATER	RL	REDUCED LEVEL
DCV	DOUBLE CHECK VALVE	RDZD	REDUCED PRESSURE ZONE DEVICE
DP	DOWNPIPE	RWO	RAINWATER OUTLET
DW	DISH WASHER	SYDP	SYPHONIC DOWNPIPE
FFL	FINISHED FLOOR LEVEL	SHR	SHOWER
FH	FIRE HOSE REEL	SK	KITCHEN SINK
FHR	FIRE HYDRANT	SL	SURFACE LEVEL
FU	FIXTURE UNIT	SP	SANITARY PLUMBING
FW	FLOOR WASTE	SPD	SEWER PUMP DISCHARGE
GD	GRATED DRAIN	SPO	SEWER PUMP OUT
GL	GROUND LEVEL	ST	SOIL STACK
GM	GAS METER	STW	STORMWATER
HL	HIGH LEVEL	SV	STOP VALVE
HT	HOSE TAP	TD	TUNDISH
HW	HOT WATER	UB	UNDER BENCH
HWR	HOT WATER RETURN	V	VENT PIPE
HWU	HOT WATER UNIT	WC	WATER CLOSET
IL	INVERT LEVEL	WM	WASHING METER

SITE LOCATION MAP



AMENDMENTS/REVISIONS

Rev	Description	Initials	Date
01	APPROVAL ISSUE	N.G	10.04.16

AMENDMENTS/REVISIONS

Rev	Description	Initials	Date
-----	-------------	----------	------

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PROJECT

THORNTON QUEST LOT 3008, NORTH PENRITH

DRAWING TITLE

HYDRAULIC SERVICES COVER SHEET & DRAWING SCHEDULE STORMWATER SERVICES

FOR APPROVAL NOT TO BE USED FOR CONSTRUCTION PURPOSES

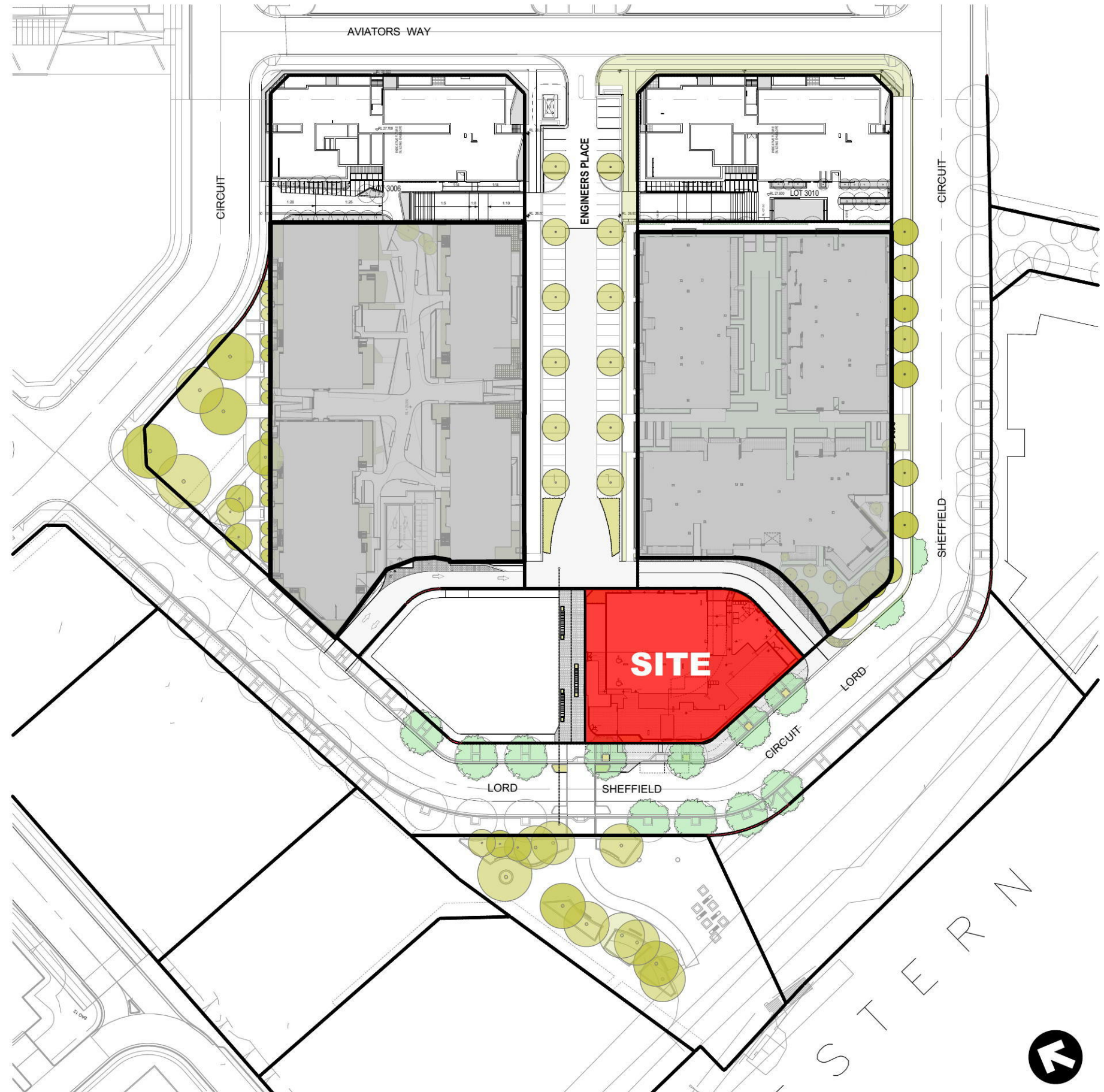
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N.G	N.G	J.G	1:100 @ A1	MAR '16
PROJECT No. EN-N15_78		DRAWING No. H-901		REVISION 01

North Penrith Serviced Apartments

Town Planning Drawing Register			
Number	Drawing Type	Drawing Name	Scale
DA000	Cover Pages	Cover Sheet	
DA100	Site Series	Site Plan	
DA101	Site Series	CONTEXT PLAN	
DA200	Plans	Ground Floor Plan	1:100@A1
DA201	Plans	Level 1	
DA202	Plans	Level 2	
DA203	Plans	Level 3	
DA204	Plans	Level 4	
DA205	Plans	Level 5	
DA206	Plans	Level 6	
DA207	Plans	Level 7	
DA208	Plans	Roof Plan	
DA209.1	1:50 unit plans	1:50 Unit Plans	
DA209.2	1:50 unit plans	1:50 Unit Plans	
DA300	Elevations & Sections	West / South Elevations	
DA301	Elevations & Sections	Elevations - Streetscapes	
DA302	Elevations & Sections	North Elevation	
DA303	Elevations & Sections	East Elevation	
DA304	Elevations & Sections	Elevations - Northern S.S	
DA305	Elevations & Sections	Sections	
DA306	Elevations & Sections	Sections	
DA307	Elevations & Sections	Sections	
DA400	Supporting Drawings	Shadows - 21 June-9-3pm	
DA401	Supporting Drawings	Artists Impression	
DA402	Supporting Drawings	Artists Impression	
DA403	Supporting Drawings	Artists Impression	



Location Map



Location Plan
1:1000

Document Set ID: 7117974
 Version: 1, Version Date: 14/04/2016



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Project Name	North Penrith Serviced Apartments	Project Number	11252
Project Address	Lot 3008, North Penrith, NSW 2750	Drawing Name	Cover Sheet
Client	St. Hilliers Property Pty Limited	Scale	1:100@A1 1:200@A3 1:23/03/16
		Drawing Number	DA000
		Revision	A



STAGE 2C

STAGE 2B

AVIATORS WAY

WATER FEATURE

KLEING PLACE

CIRCUIT

ENGINEERS PLACE

CIRCUIT

LANEWAY

SHEFFIELD

SHEFFIELD

SHEFFIELD

DUNSHEA PLACE

LORD

LORD

SHEFFIELD

CIRCUIT

RAILWAY

RN

Site Plan
1:500



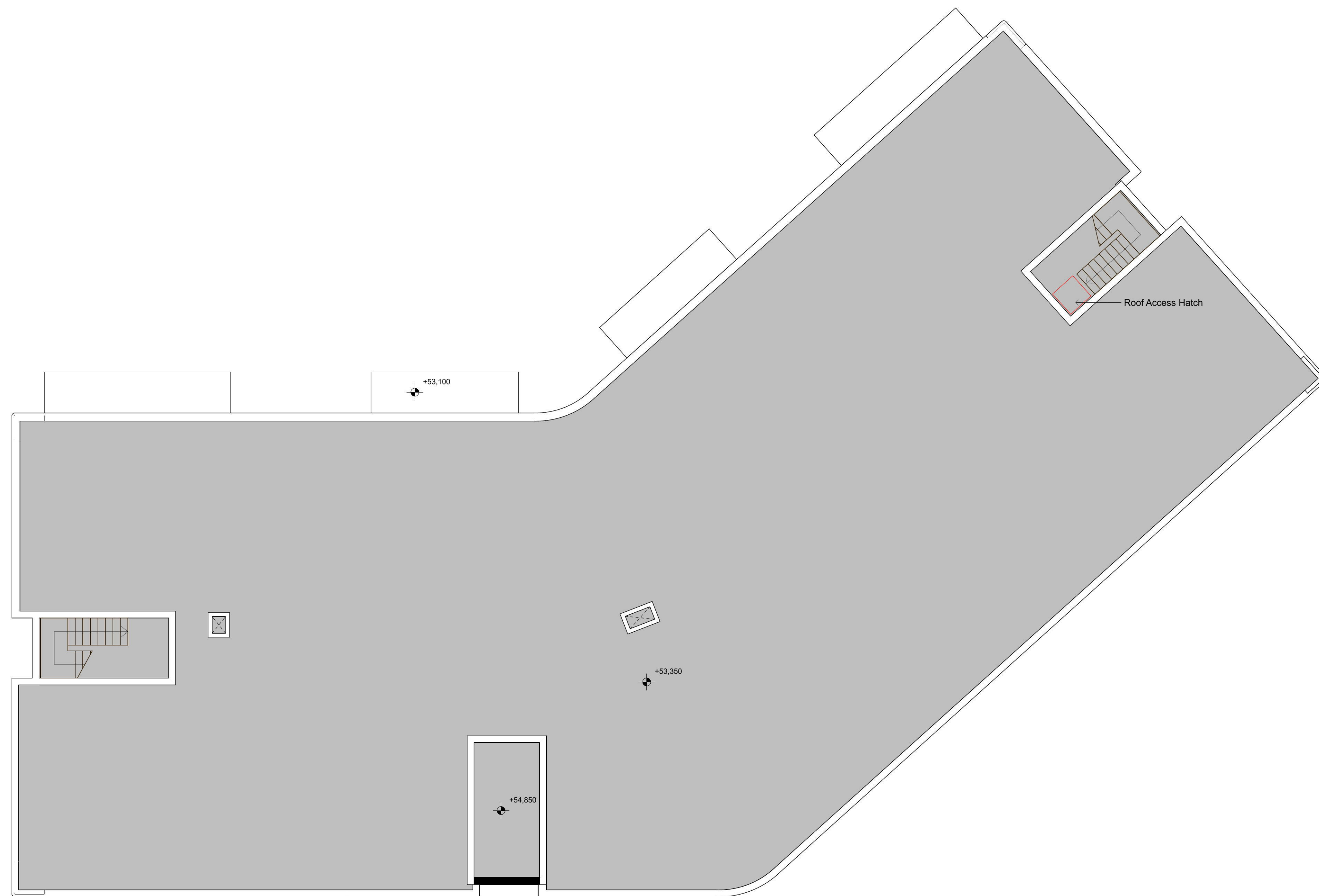
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Project Name Project Address	North Penrith Serviced Apartments Lot 3008, North Penrith, NSW 2750	Project Number Drawing Name Scale Date	11252 Site Plan 1:500@A1 1:1000@A3 23/03/16
Client	St. Hilliers Property Pty Limited	Drawing Number Revision	DA100 A



Roof
1:100



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Project Name
Project Address

North Penrith Serviced
Apartments
Lot 3008,
North Penrith, NSW
2750

Client

St. Hilliers Property Pty
Limited

Project Number
Drawing Name
Scale
Date

11252
Roof Plan
1:100@A1 1:200@A3
23/03/16

Drawing Number
Revision

DA208
A



02 WEST ELEVATION
1:100

Note: Not a True Elevation.



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North Penrith Serviced
Apartments
Lot 3008,
North Penrith, NSW
2750

St Hilliers Property Pty
Limited

Project Number
Drawing Name
Scale
Date

Drawing Number
Revision

11252
West / South Elevations
1100@A1 1:200@A3
23/03/16

Drawing Number
Revision

DA300
A



01 WEST ELEVATION
1:100

LORD SHEFFIELD CIRCUITE



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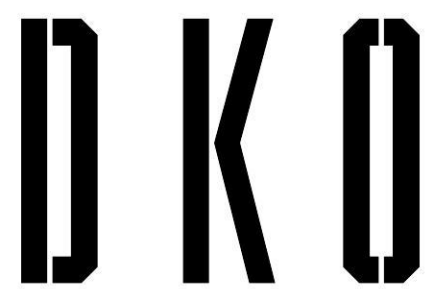
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Project Name
Project Address

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Apartments
Lot 3008,
North Penrith, NSW
2750

Project Number
Drawing Name
Scale
Date

11252
Elevations - Streetscapes
1100@A1 1:200@A3
23/03/16

Client

St Hilliers Property Pty
Limited

Drawing Number
Revision

DA301
A



01 NORTH ELEVATION
1:100



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Client

St. Hilliers Property Pty
Limited

Project Number
Drawing Name
Scale
Date

11252
North Elevation
1:100@A1 1:200@A3
23/03/16

Drawing Number
Revision

DA302
A



01 EAST ELEVATION
1:100



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Apartments
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Client

St. Hilliers Property Pty
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Project Number
Drawing Name
Scale
Date

11252
East Elevation
1:100@A1 1:200@A3
23/03/16

Drawing Number
Revision

DA303
A



01 NORTH ELEVATION
1:100



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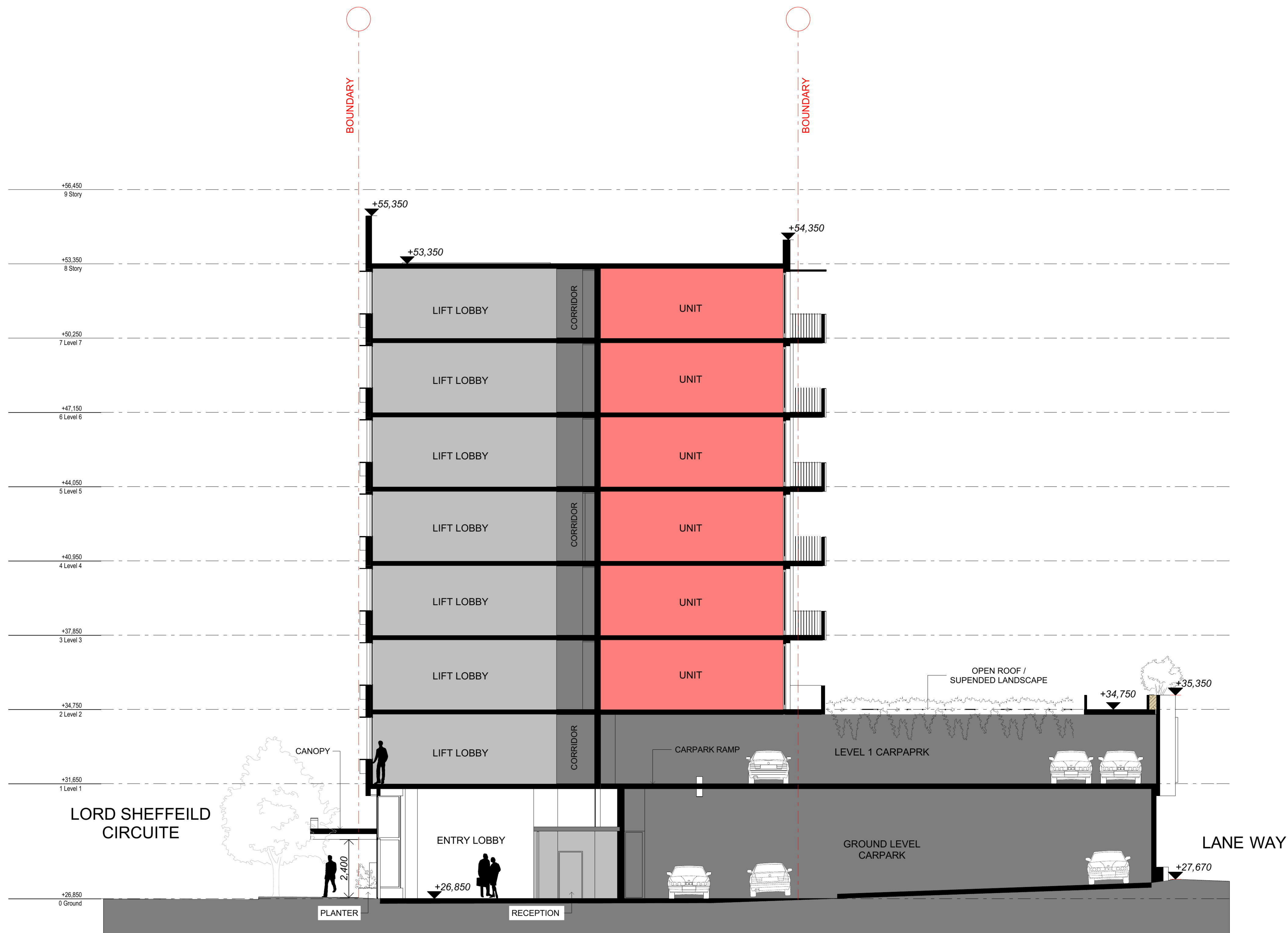
Project Number
Drawing Name
Scale
Date

Drawing Number
Revision

11252
Elevations - Northern S.S
1100@A1 1:200@A3
23/03/16

Drawing Number
Revision

DA304
A



01 SECTION A
1:100



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Project Name
Project Address

North Penrith Serviced
Apartments
Lot 3008,
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2750

Client

St. Hilliers Property Pty
Limited

Project Number
Drawing Name
Scale
Date

Drawing Number
Revision

11252
Sections
1100@A1 1:200@A3
23/03/16

DA305
A



01 SECTION B
1:100



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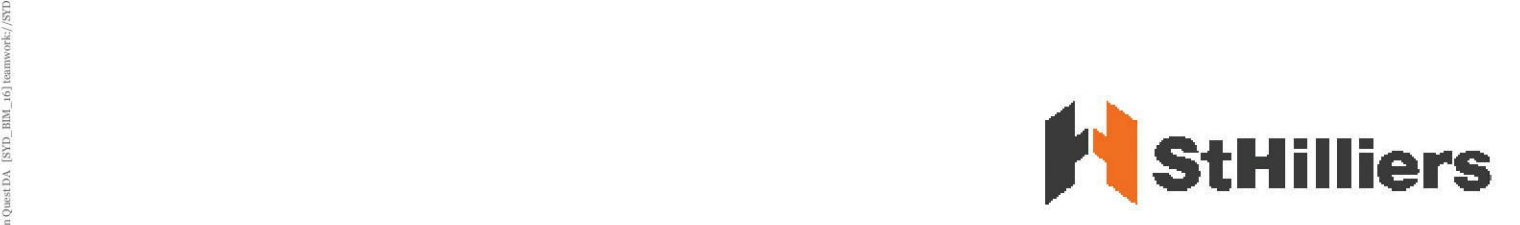
Project Number
Drawing Name
Scale
Date

Drawing Number
Revision

11252
Sections
1100@A1 1:200@A3
23/03/16

Drawing Number
Revision

DA306
A



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Project Name Apartment Serviced	North Penrith Serviced Apartments	Project Number 11252	Artists Impression N/A
Project Address Lot 3008, North Penrith, NSW 2750	Drawing Name Scale Date	Revision A	DA401
Client St. Hilliers Property Pty Limited	Drawing Number Revision	DA401	



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 23/03/2016 AK RM DA SUBMISSION



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Project Name
 Project Address

Client

North Penrith Serviced
 Apartments
 Lot 3008,
 North Penrith, NSW
 2750

St. Hilliers Property Pty
 Limited

Project Number
Drawing Name
Scale
Date

Drawing Number
Revision

11252
 Artists Impression
 N/A
 23/03/16

DA402
 A



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Rev.	Date	By	Ckd	Description
A	23/03/2016	AK	RM	DA SUBMISSION



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Project Name
 Project Address

North Penrith Serviced
 Apartments
 Lot 3008,
 North Penrith, NSW
 2750

Client

St. Hilliers Property Pty
 Limited

Project Number
 Drawing Name
 Scale
 Date

Drawing Number
 Revision

11252
 Artists Impression
 N/A
 23/03/16

DA403
 A