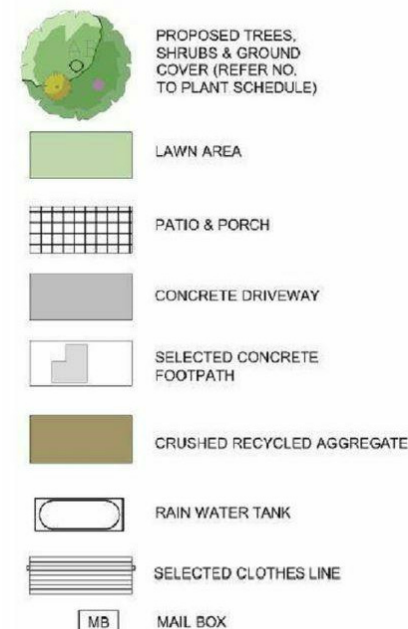


LEGEND



SPECIFICATION

Driveway/ Path	Patio
Selected coloured concrete	Selected tiles
Soils - all soil types as per Australia native landscape supply or equivalent	
Lawn area: 1 st Quality top soil	
Garden bed: native garden mix	
Lawn – refer to detail 1	Mulch – Refer to detail 1&2
Sir Walter Buffalo	Selected hard wood chip
No obvious signs of weed infestation in grass areas, pavements or mass planting beds	Decorative gravel to OSD area
Plant material - As per planting schedule	
No visible signs of wilting of leaves or stems, with all plants to be fully turgid at all times	
Performance of planting will be indicated by new growth with visible sign of new leaves; plants to possess a level of 'greenness' characteristic with the particular species; Strong floral habit and colour appropriate to the season and species; Absence of dead or damaged foliage, flowers or branches	
Illumination	
Selected bollard illumination in accordance with AS1158.3.1:1999	
Fence	
Sides & Rear boundary - 1800 High lapped & capped timber fence or 1800 High colorbond courtyard separation fence	
Courtyard separation fence – 1800 high lapped & capped timber fence or 1800 high colorbond fence	
Front – refer to architect's details	

LANDSCAPE PLAN

1

1 : 200

PROPOSED PLANTS AND TREES

LOW WATERING PLANTS



Dionella Revoluta



Phormium Tenax



Ozothomnus Diosmifolius



Westringia Fractiosa

NOTE : ANY APPROVED STREET TREE CONFLICTING WITH THE DRIVEWAY NEEDS TO BE RELOCATED



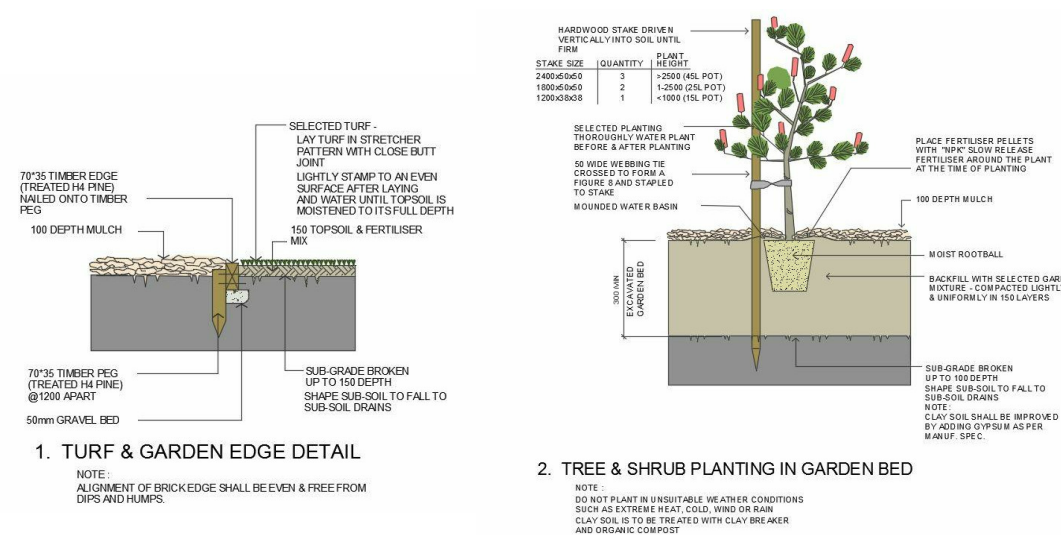
Quercus Palustris



Angophora Floribunda

PROPOSED PLANTING SCHEDULE

No.	BOTANICAL NAME	COMMON NAME	APPROX MATURED HEIGHT	POT SIZE	QUANTITY
STREET TREES					
QP	Quercus Palustris	Pin Oak	25 - 30m	75LT	2
AF	Angophora Floribunda	Rough Barked Apple	8 - 12m	75LT	1
SHRUBS					
DR	Dionella Revoluta	Mauve Faux Lily	0.5m	300mm	3
PT	Phormium Tenax	New Zealand Flax	1m	250mm	5
OD	Ozothomnus Diosmifolius	Everlasting	2m	300mm	2
WF	Westringia Fractiosa	Coastal Rosemary	1.5m	300mm	1



DA ISSUE

REV	DATE	DESCRIPTION	BY	PROJECT:	DRAWING TITLE:	NORTH:	PROJECT NO:	DATE:	SCALE:	DRAWING No:	REV:
				326-330 CADDENS ROAD	LANDSCAPE PLAN		LOT 53	26/11/2021	As indicated	L.01	A
				PROPOSED LOT 53, 5 GULSHAN AVENUE, CLAREMONT MEADOWS NSW (IN SUBDIVISION OF LOT 1 DP1265913) DP1241192			SM	VV			ISSUED BY: SM
R:\KENT ROAD 27 & CADDENS ROAD 326-330, CLAREMONT MEADOWS\Lot 53\03 DA\ARCHITECTURAL\REVIT\PROJECT\LINKS\Lot 53_DA.rvt											