

PLANT SCHEDULE - Lot 1157

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Aja	Acer japonicum 'Aconitifolium'	Japanese Maple	1	75L	3.5m
Aw	Agapanthus 'White'	White Agapanthus	10	200mm	0.5m
Dcl	Dianella caerulea 'Little Jess'	Compact Blue Flax Lily	19	200mm	0.3m
LI	Lomandra longifolia 'Katrinus Deluxe'	Mat Rush	7	200mm	0.75m
Lcb	Loropetalum chinense var. rubrum 'Burgundy'	Pink Fringe Flower	6	300mm	1-1.5m
Lcs	Lomandra confertifolia 'Seascape'	Mat Rush	4	200mm	50cm
Mp	Murraya paniculata	Orange Jessamine	3	300mm	3m
Vh	Viola hederacea	Native Violet	6	200mm	0.1m

Summary of planting

Total Plants	Total Fence Hedging	Other Shrubs/ ground-covers	Total Trees
56	6	49	1

Minimum of 1 tree and 20 shrubs / groundcovers to each front / side yard (excluding fence hedging)

PLANT SCHEDULE - CLEVELAND LANE - Supply + installation by BUILDER

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	POT SIZE	MATURE SIZE
Lix	Lagerstroemia 'Sioux'	Crepe Myrtle	1	75L	4m
LI	Lomandra longifolia 'Katrinus Deluxe'	Mat Rush	13	200mm	0.75m

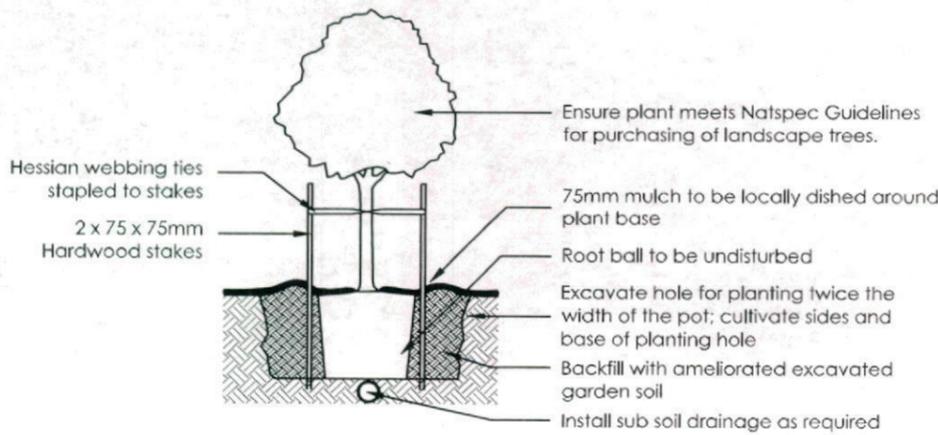
CLEVELAND LANE CROSS-OVER - Supply + construction by BUILDER

MATERIAL SCHEDULE	Area m ² LANDCOM*	Area m ² BUILDER**
HEADER COURSE Concrete pavers 'Adbri Quartzstone', 300x300x50mm in 'Cradle' colour, laid in stackbond pattern	2.47	3.76
IN-FILL PAVEMENT Concrete pavers 'Adbri Havenbrick', 200x100x50mm in 'Brushwood' colour, laid in herringbone pattern	4.25	1.57
Total area	6.72	5.33

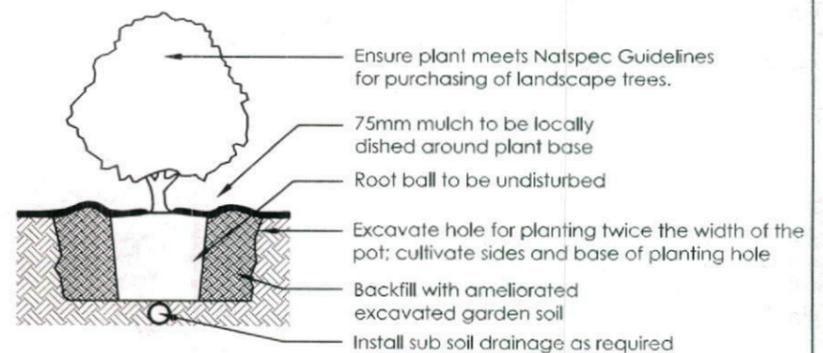
* Area's outside of the allotment boundary. ** Area's inside of the allotment boundary

LEGEND

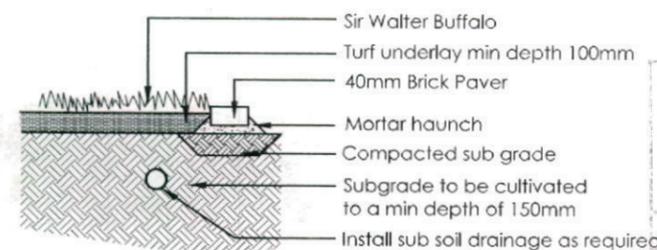
- Proposed trees - refer to plant schedule
- Proposed shrubs - refer to plant schedule
- Proposed accents & grasses - refer to plant schedule
- Proposed groundcovers and grasses - refer to plant schedule
- Existing levels
- Proposed levels
- Proposed Top Of Wall levels
- Boundary
- Fence
- Garden edging
- Timber retaining walls
- Masonry retaining walls
- Existing contours
- To be removed / demolished
- Existing tree to be retained
- Existing tree to be removed



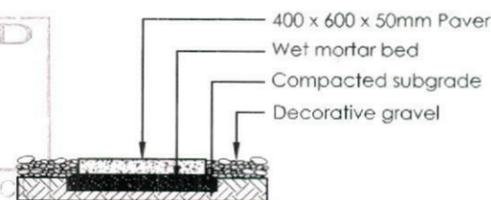
1 Tree Planting Detail
NTS 25L - 100L Pot Size



2 Planting Detail
NTS 150mm, 200mm Pot Size

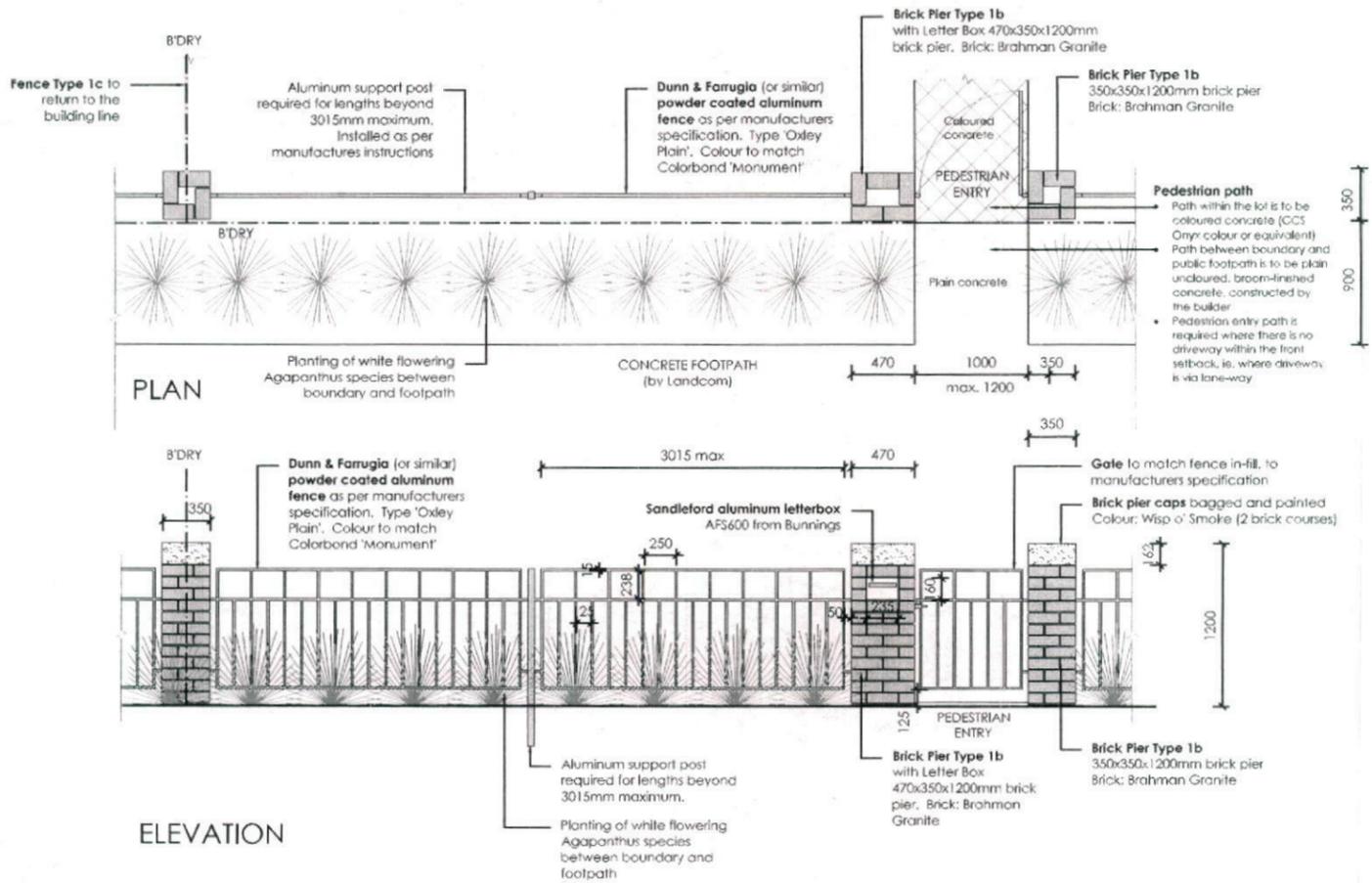


3 Turf Detail
NTS Brick Paver Edge

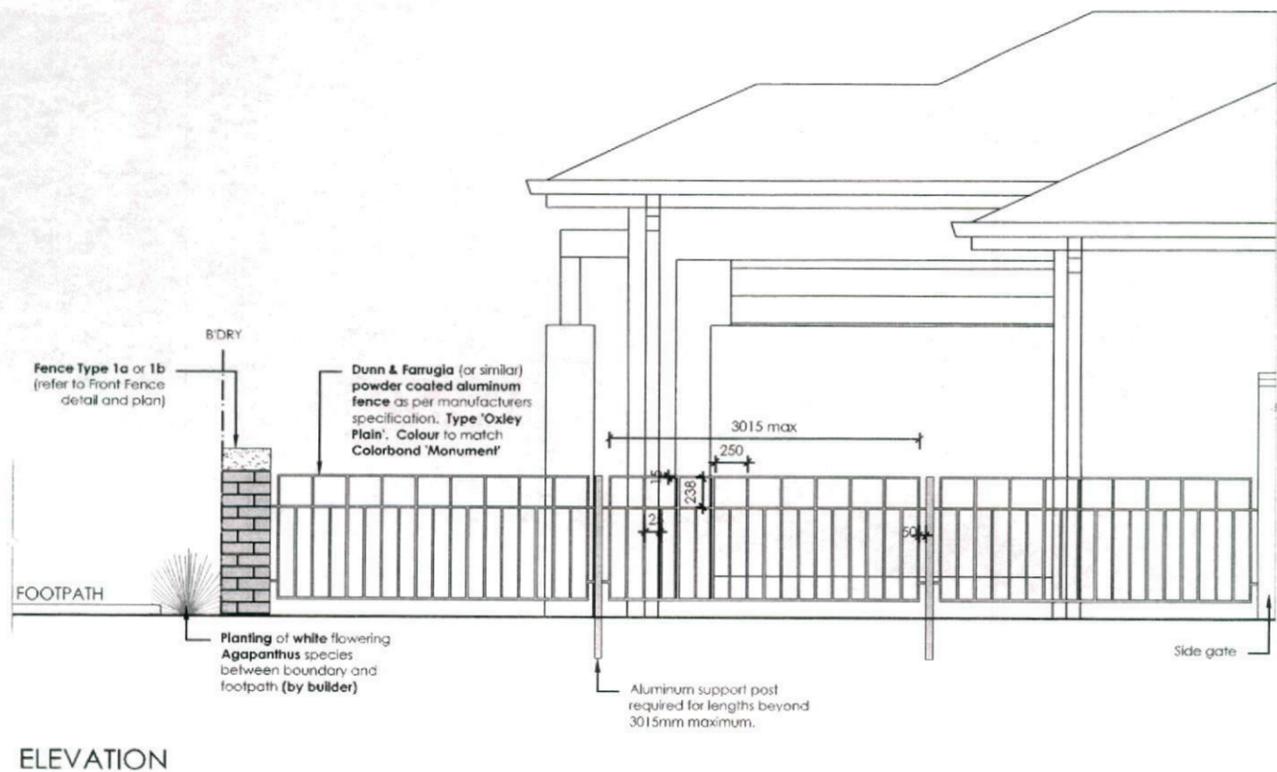


4 Stepping stones in gravel
NTS Low traffic zone

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5 FENCE TYPE 1b - Front Fence
1:50 Typical detail



6 FENCE TYPE 1c - Side Boundary Front Setback
1:50 Typical detail

REVISION	DESCRIPTION	DATE
A	SUBMITTED TO CLIENT FOR COMMENT	19-10-12
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7. All work to be performed by a suitably qualified tradesperson.
8. For application purposes only - NOT FOR CONSTRUCTION.

PROJECT: **LOT 1157 SYDNEY SMITH DRIVE, PENRITH**

CLIENT: **FIRSTYLE HOMES**

PROJECT: **NEW RESIDENCE**

PLAN: **LANDSCAPE PLAN**

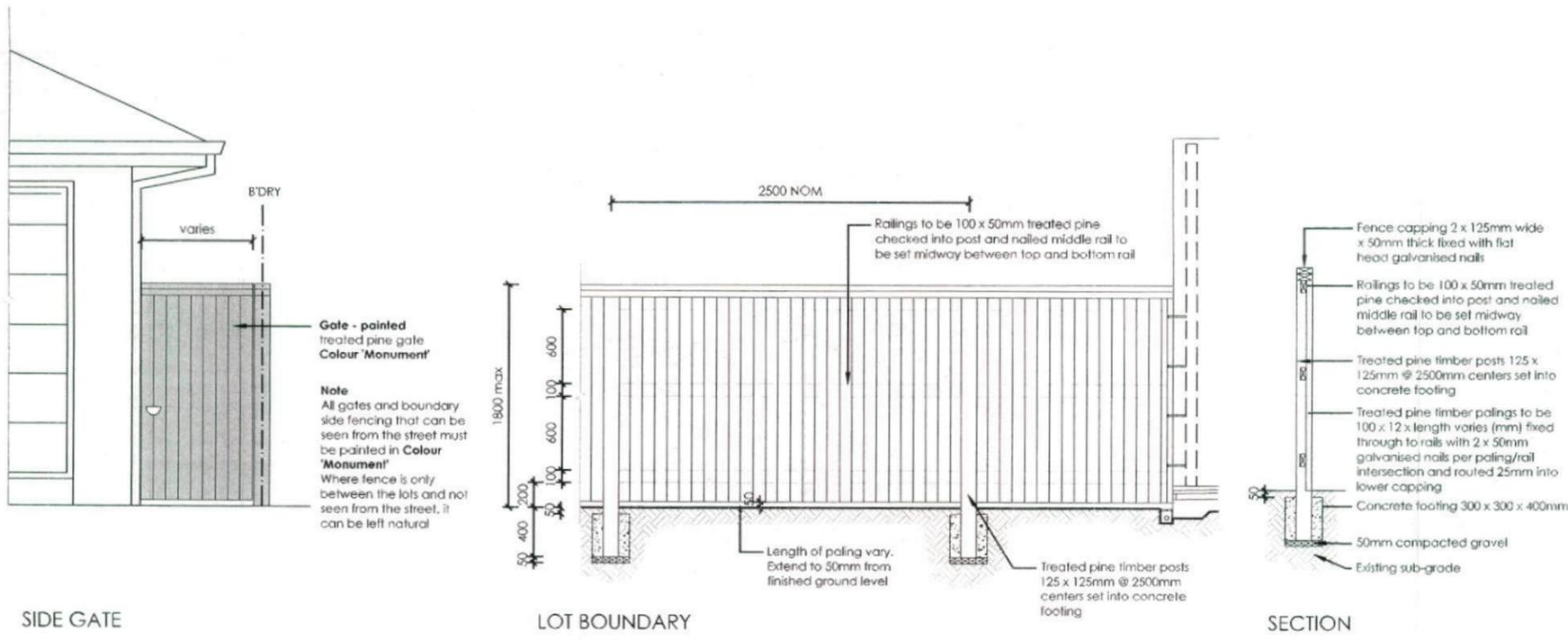
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DATE: **16-11-12**

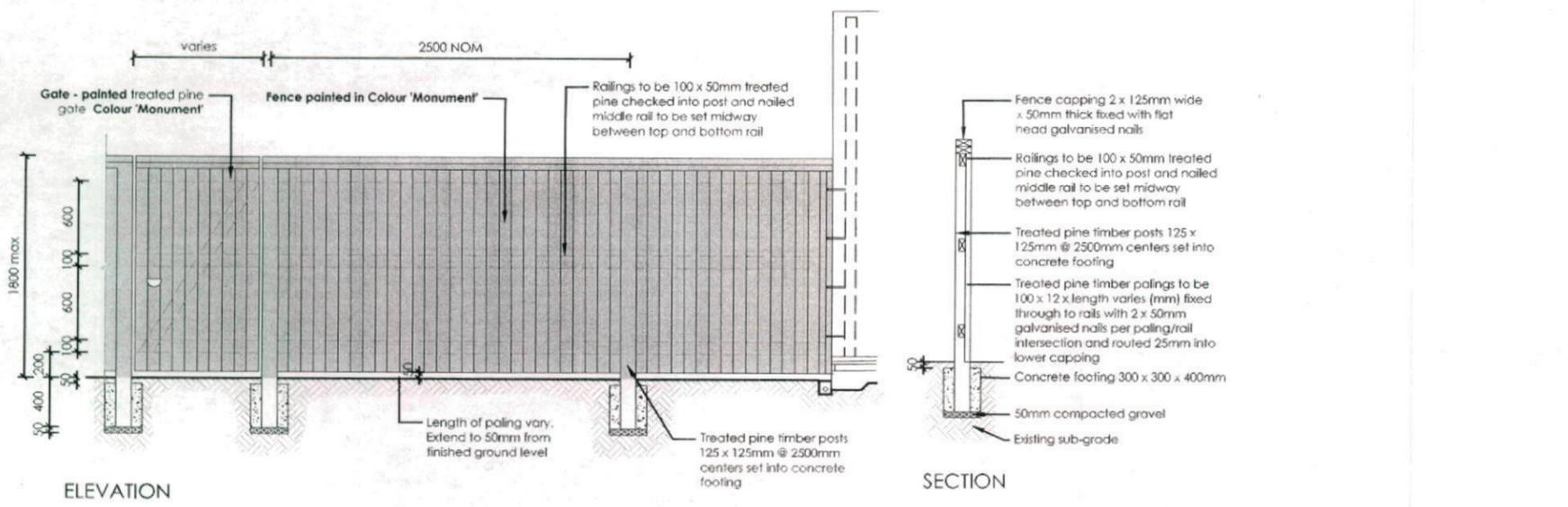
DESIGNER: **RS MD**

PROJECT NO: **L-03**

STATUS: **D**



7 **FENCE TYPE 4a - Side Boundaries**
1:50 Typical detail



8 **FENCE TYPE 4b - Rear Boundary**
1:50 All Laneways (except Bartlett Lane)
Typical detail

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GENERAL NOTES

THIS DRAWING IS SIGNED SUBJECT TO CERTIFICATE OF INSPECTION ISSUED BY ENGINEER.

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS
- ANY DISCREPANCIES SHALL BE REFERRED TO THE SUPERINTENDENT FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- ANY SETTING OUT DIMENSIONS SHOWN ON THE DRAWINGS SHALL BE VERIFIED BY THE BUILDER.
- DURING CONSTRUCTION THE BUILDER SHALL MAINTAIN THE STRUCTURE IN A STABLE CONDITION AND NO PART SHALL BE OVERSTRESSED
- ALL WORK SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA AND RELEVANT AUSTRALIAN STANDARD CODES
- SLAB & FOOTING DESIGN HAS BEEN BASED ON PRINCIPLES AS SET OUT IN AS2870 1996 'RESIDENTIAL SLABS & FOOTINGS'
- PROVIDED THE SLAB IS CONSTRUCTED IN ACCORDANCE WITH THESE DETAILS, THE SLAB CAN BE CONSIDERED AS A MONOLITHIC TERMITE BARRIER IN ACCORDANCE WITH AS 3660, WHERE THE REQUIREMENTS OF AS 3660 CANNOT BE ACHIEVED, ADVICE FROM A LICENSED PEST CONTROL EXPERT SHALL BE OBTAINED & THE SUPERINTENDENT SHALL BE ADVISED OF ANY NECESSARY CHANGES RESULTING FROM SUCH ADVICE. PRIOR TO PROCEEDING WITH CONSTRUCTION, ADDITIONAL TERMITE TREATMENT IN ACCORDANCE WITH AS 3660 SHALL BE PROVIDED TO ALL CAVITIES, PENETRATIONS, JOINTS & CHASES AS REQUIRED.
- THE DESIGN AND DETAILS SHOWN ON THESE DRAWINGS ARE APPLICABLE TO THIS PROJECT ONLY AND MAY NOT BE REPRODUCED IN WHOLE OR PART, OR BE USED FOR ANY OTHER PROJECT OR PURPOSE, WITHOUT THE WRITTEN PERMISSION OF "SECTA CONSULTING ENGINEERS Pty Ltd" WITH WHOM THE COPYRIGHT RESIDES. WRITTEN CONSENT FROM "SECTA" FOR THE USE OF THESE PLANS MUST BE OBTAINED PRIOR TO ANY CHANGE OF PARTIES INCLUDING BUT NOT LIMITED TO OWNER, BUILDER & SUPERINTENDANT.

ENGINEERS DRAWINGS ARE SIGNED & ISSUED ON THE UNDERSTANDING THAT THE BUILDER MAINTAINS IN FORCE, PROPER AND ADEQUATE CONTRACT WORKS INSURANCE AND PUBLIC LIABILITY INSURANCE DURING THE FULL COURSE OF THE CONSTRUCTION, AND/OR ANY MAINTENANCE PERIOD. CLAIMS OF DAMAGE TO ANY ADJACENT PROPERTY OR BUILDING IS NOT THE RESPONSIBILITY OF THE ENGINEER.

SITE PREPARATION & MAINTENANCE NOTES

- THE BUILDER SHALL ENSURE THAT THE OWNER'S ATTENTION IS DRAWN TO THE CSIRO'S "GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCE"
- STRIP TOP SOIL AND VEGETATION. BENCH SITE BY CUT & FILL TO REQUIRED LEVEL. FILL TO BE PLACED AS PER AS2870(6.4.2) AND IN LAYERS NOT EXCEEDING 150mm USING MULTIPLE PASSES OF EXCAVATOR. THE ACTUAL PREPARATION OF THE BUILDING PLATFORM IS NOT THE RESPONSIBILITY OF THE ENGINEER.
- THE SITE SHALL BE GRADED AND DRAINED SO THAT STORMWATER WILL BE DIRECTED AWAY FROM THE BUILDING PLATFORM.
- THE MINIMUM HEIGHT OF THE SLAB ABOVE FINISHED CONSTRUCTION LEVEL SHALL BE 300mm OR GREATER AS MAY BE REQUIRED BY COUNCIL.
- ALL EARTH DRAINS SHALL BE GRADED AT 1% (1 IN 100) MINIMUM. THE GROUND SHALL FALL AWAY FROM THE EARTHRAIN AT 5% (1 IN 20) FOR THE FIRST METRE THEN AT 2.5% (1 IN 40). ANY VERTICAL OR NEAR VERTICAL PERMANENT EXCAVATION (CUT) DEEPER THAN 0.6 METRES.
- IN MATERIAL OTHER THAN ROCK SHALL BE ADEQUATELY RETAINED OR BATTERED AT A MINIMUM OF 3:1.
- WHERE CUT OR FILL BATTERS CANNOT BE PROVIDED THEY SHALL BE ADEQUATELY RETAINED.
- ALL SERVICE TRENCHES ARE TO BE LOCATED IN ACCORDANCE WITH THE DETAILS SHOWN ON DRAUDLIC CONSULTANTS DRAWINGS.
- STORMWATER MUST NOT BE CONCENTRATED ON TO ADJACENT PROPERTY.
- STORMWATER MUST BE CONNECTED TO THE NEAREST DISPOSAL POINT APPROVED BY COUNCIL. TYPICALLY THIS MAY BE DIRECTLY TO THE KERB OR TO AN INTER-ALLOTMENT DRAINAGE PIPELINE.
- THE PROVISION OF SURFACE OR SUBSOIL DRAINAGE OR PAVING WILL ALL IMPROVE SITE DRAINAGE.
- GOOD DRAINAGE MUST BE MAINTAINED THROUGHOUT CONSTRUCTION AS WELL AS AFTER COMPLETION.
- ALL EXPOSED GROUND SHOULD BE REVEGETATED AS SOON AS PRACTICAL AFTER COMPLETION.
- SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE PROVIDED IN ACCORDANCE WITH COUNCIL REQUIREMENTS.

PIERING NOTES

- PIERS TO EXTERNAL WALLS SHALL BE SPACED AT NO GREATER THAN:
1.5m c/c FOR DOUBLE STOREY AREAS (Ø400min DIA TO CLAY BRG 350kPa) - UNO ON SLAB PLAN
1.8m c/c FOR SINGLE STOREY AREAS (Ø400min DIA TO CLAY BRG 350kPa) - UNO ON SLAB PLAN
1.8m c/c FOR SINGLE AND DOUBLE STOREY AREA (Ø300min DIA TO ROCK/SHALE BRG 600kPa)
IF PIERS EXCEED 2.5m Deep THEN Ø450min (Must Be) Adopted PIERS GREATER THAN 2.8m Deep (Must Be) REINFORCED WITH A MINIMUM OF 4-N12 Bars + R6 Ties @400c/c

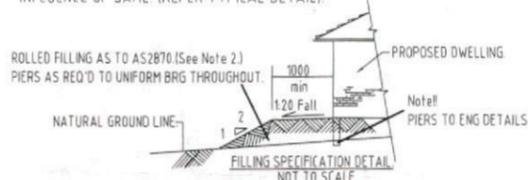


NOTE: SHOULD PIERS COLLAPSE DURING CONSTRUCTION, THEN "SCREW-IN" PIER MAY NEED TO BE USED (6t SWL).

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE PIER TOPS ARE CLEAN AND FREE OF FOREIGN MATTER PRIOR TO THE LAYING OF THE MEMBRANE AND CONCRETE SLAB. ENGINEER'S REINFORCEMENT CHECK DOES NOT RELEASE THE CONTRACTOR FROM THIS RESPONSIBILITY.

FOUNDATION NOTES

- ALL FOOTING BEAMS AND PADS ARE DESIGNED TO BEAR ON UNIFORM NATURAL GROUND WITH AN ALLOWABLE BEARING CAPACITY OF 100 kPa.
- PRIOR TO CONSTRUCTION OF THE BUILDING PLATFORM FOR THE SLAB
(i) AN AREA EXTENDING AT LEAST 1.0M BEYOND THE EDGE OF THE SLAB AND TO THE TOE OF ANY FILL BATTERS SHALL BE STRIPPED OF ALL ORGANIC MATTER AND ASSOCIATED TOPSOIL & NATURAL FILL AS NOTED ON BOREHOLE
(ii) FILL PLACED IN THE BUILDING PLATFORM SHALL BE PLACED IN ACCORDANCE WITH CL6.4.2 AS2870-1996
FOUNDATION MATERIAL SHALL BE APPROVED BY A SUITABLY QUALIFIED ENGINEER BEFORE COMMENCING FOOTING CONSTRUCTION.
- WHERE SOFT SPOTS (BEARING CAPACITY OF LESS THAN 100 kPa) ARE ENCOUNTERED IN NATURAL FOUNDATION MATERIAL OR BUILDING PLATFORM, OR WHERE FILL EXCEEDS 300mm THEN ADDITIONAL PIERS TO SUITABLE FOUNDING MATERIAL MAY BE REQUIRED AS DIRECTED BY THE ENGINEER AT THE TIME OF CONSTRUCTION.
- WHERE ROCK IS ENCOUNTERED THE REMAINDER OF THE FOOTING SYSTEM SHALL BE FOUNDED ON ROCK AS DIRECTED BY THE ENGINEER AT THE TIME OF CONSTRUCTION
- WHERE THE INTEGRITY OF FOUNDATION MATERIAL IS LIKELY TO BE DISTURBED BY SERVICE TRENCHES ADJACENT, PIERS SHALL BE FOUNDED BELOW THE ZONE OF INFLUENCE OF SAME. (REFER TYPICAL DETAIL).



CONCRETE NOTES

- ALL WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH AS3600 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS. CONCRETE QUALITY - AS NOTED ON THE DRAWINGS.
- CONCRETE 20 MPa AT 28 DAYS. 80mm SLUMP, & TO BE CURED IMMEDIATELY
- FOLLOWING THE CONCRETE POUR, NO ADDITIONAL WATER TO BE ADDED TO CONCRETE ON SITE.
- KEEP CONCRETE CONTINUALLY WET FOR 7 DAYS MINIMUM AFTER PLACEMENT, PLASTIC OR WAX LIQUID SPRAYS MAY BE USED. EXTRA PRECAUTION SUCH AS THE USE OF EVAPORATIVE RETARDERS (ALPHATIC ALCOHOLS) ARE RECOMMENDED DURING HOT WEATHER. CONCRETE POURS TO HELP AVOID THERMAL RELATED SLAB CRACKING. CLEAR COVER OF REINFORCEMENT SHALL BE AS NOTED ON THE DRAWINGS.
- REINFORCEMENT SHALL BE RIGIDLY SUPPORTED TO MAINTAIN SPECIFIED COVER DURING CONSTRUCTION.
- CONSTRUCTION JOINTS WHERE NOT SHOWN SHALL BE LOCATED TO THE APPROVAL OF THE SUPERINTENDENT.
- BEAM DEPTHS ARE GIVEN FIRST AND INCLUDE SLAB THICKNESS.
- SPLICES IN REINFORCEMENT SHALL BE MADE ONLY IN THE POSITION SHOWN. OBTAIN APPROVAL FROM THE SUPERINTENDENT FOR ANY OTHER SPLICES.
- WHERE SLABS OR BEAMS BEAR UPON MASONRY, THE TOP COURSE SHALL BE LEVEL, SMOOTH & COVERED BY TWO LAYERS OF GALVANISED FLAT STEEL WITH GRAPHITE GREASE BETWEEN LAYERS.
- METHOD OF CURING CONCRETE SHALL BE SUBMITTED TO THE SUPERINTENDENT FOR APPROVAL.
- NO HOLES OR CHASES OTHER THAN THOSE SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE MADE IN CONCRETE MEMBERS WITHOUT THE PRIOR APPROVAL OF THE SUPERINTENDENT.
- CONDUITS, PIPES, ETC. SHALL ONLY BE LOCATED IN THE MIDDLE ONE THIRD OF SLAB DEPTH, U.N.O.
- REINFORCEMENT SYMBOLS
R - GRADE 250N PLAIN BAR IN ACCORDANCE WITH AS/NZS 4671
N - GRADE 500 DEFORMED BAR IN ACCORDANCE WITH AS/NZS 4671
L - GRADE 500 DEFORMED WELDED WIRE MESH IN ACCORDANCE WITH AS/NZS 4671
REINFORCEMENT IS REPRESENTED DIAGRAMMATICALLY & IT IS NOT NECESSARILY IN TRUE PROJECTION.
- WELDING OF REINFORCEMENT SHALL NOT BE PERMITTED UNLESS SHOWN ON THE STRUCTURAL DRAWINGS.
- MESH SHALL BE LAPPED 1 MESH + 50mm.
- BUNDLED BARS SHALL BE TIED TOGETHER AT 30 BAR DIAMETERS CENTRES WITH 3 WRAPS OF THE WIRE.
- MASONRY WALLS SHALL NOT BE CONSTRUCTED ON SUSPENDED CONCRETE UNTIL ALL TEMPORARY SUPPORTS ARE REMOVED.
- STRUCTURAL STEELWORK WHERE CONCRETE ENCASED SHALL HAVE 50mm CONCRETE COVER, REINFORCED WITH GALVANISED SL41 MESH WITH 25mm COVER, LAPPED 150mm AT SPLICES.
- BRITTLE FLOOR COVERINGS TO BE LAID ON A SUITABLE FLEXIBLE TYPE BEDDING SYSTEM & SUPPLIED WITH CONTROL JOINTS @ 4000 CENTERS MAX ALTERNATIVELY FABRIC SL-92 TO BE USED, AS IF ADVISED BY BUILDER.

CONCRETE QUALITY

ELEMENT	Strength Grade	Slump mm	Max. Agg. mm	Cement Type
SLAB	N20-TBA	80	20	SL
PIERS	N20	80	20	SL
SALINE ENVIRONMENT (Pier & Slab High Impact Membrane)	N32	80	20	SL

KEEP SLAB CONTINUALLY WET FOR 7 DAYS min.

THE BUILDER TO CONFIRM & ADHERE TO RELEVANT CONDITIONS OF CONSENT IN RELATION TO CONSTRUCTION INCLUSIONS ON SITES LOCATED OR LIKELY TO BE IMPACTED BY SALINITY LEVELS.

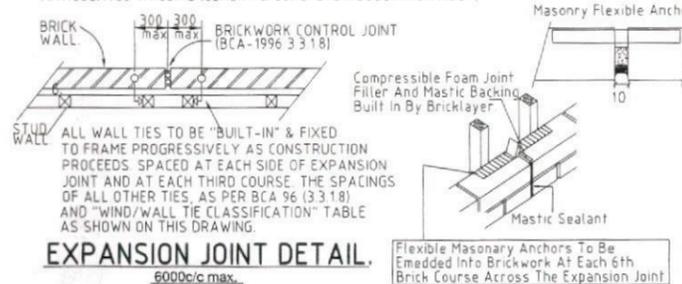


TIMBER FRAMING NOTES

- ALL DESIGN, WORKMANSHIP & MATERIALS SHALL BE IN ACCORDANCE WITH NATIONAL TIMBER FRAMING CODE AS1684 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS
- TIMBER SIZES, CONNECTIONS AND BRACING WALL SHALL BE TO FRAME MANUFACTURER'S DETAILS & SPECIFICATIONS & SHALL BE IN ACCORDANCE WITH AS1684. TIMBER FRAMING OUTSIDE THE SCOPE OF AS1684 SHALL BE REFERRED TO THE SUPERINTENDENT FOR A DECISION BEFORE PROCEEDING.
- ROOF BRACING & ANCHOR DETAILS WHERE NOT SHOWN ON DRAWINGS SHALL BE IN ACCORDANCE WITH AS1684.

BRICKWORK NOTES

- BRICKWORK TO BE IN ACCORDANCE WITH AS3700
- ALL BRICKS TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF 20MPa
- BRICKWORK MORTAR TO BE A MIX OF 1 CEMENT : 1 LIME : 4.5 SAND (REFER TO DURABILITY CLASS)
- BRICK WALLS TO BE PROVIDED WITH VERTICAL CONTROL JOINTS AT 6 METRE MAX CTS.
- TWO BED JOINTS ABOVE AND BELOW ALL OPENINGS TO HAVE BRICK REINFORCEMENT AND TO EXTEND 600 EACH SIDE OF OPENING
- ALL CLAY BRICKS SHALL BE EXPOSED TO AMBIENT CONDITIONS FOR A MINIMUM OF 3 MONTHS BEFORE USE.
- MAXIMUM 5 YEAR UNRESTRAINED EXPANSION OF CLAY BRICKS SHALL BE 0.8MM PER METRE
- CLAY BRICKS SHALL NOT BE LAID OVER FLOOR SLAB FOR A MINIMUM OF 10 DAYS AFTER CONCRETING THE SLAB
- BRICKWORK ARTICULATION SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF TN61 ARTICULATED WALLING (CEMENT & CONCRETE ASSOCIATION AUST)



DURABILITY CLASSIFICATION. EXTERIOR

CATEGORY (durability)	WALL TIES	GRADE OF BRICKS	MORTAR	STRUCTURAL STEEL (Surface finish)
severe marine	R4 Stainless or Polymer	AS/NZS 4456.10	AS 3700	GALVANISED (GZLP) (600g per sq.m)
marine	R3	GENERAL PURPOSE	M4 (1:4)	AS/ANZ 2312/1994.
exterior	R2	GENERAL PURPOSE	M2 (1:2:8)	AS/ANZ 2312/1994.

WIND/WALL TIE CLASSIFICATION N2 "W33"

WIND Class (Vp)	WALL TIE	HORIZONTAL SPACING	VERTICAL SPACING
N1	W2BN1	LIGHT DUTY	600
N2	W33N2	MEDIUM DUTY	600
N3	W4IN3	MEDIUM DUTY	600 (5 COURSES)

WALL TIE SPACINGS AROUND OPENINGS 300c/c EACH WAY.
POLYMER WALL TIES RATED "LIGHT DUTY ONLY" (W2BN1).
(Vp = PERMISSABLE STRESS METHOD)

SEWER AFFECTED

NOTES REGARDING SUBTERRANEAN TERMITE PROTECTION.

- ALL CONCRETE TO BE Z5MPa. CONCRETE TO BE MECHANICALLY VIBRATED DURING POUR. KEEP SLAB CONTINUALLY WET FOR 7 DAYS MIN. PLASTIC OR WAX SPRAYS MAY BE USED.
- ALL WORKS TO BE IN ACCORDANCE WITH AS 3660 1 1995
- INSPECTIONS OF THE RESIDENCE AND IMMEDIATE SURROUNDS TO BE CARRIED OUT BY A QUALIFIED PEST EXPERT ON AN ANNUAL BASIS BY THE HOMEOWNER.
- ANY FUTURE CRACKING OCCURRING IN THE SLAB IS TO BE ASSESSED BY A QUALIFIED PEST EXPERT AND WHERE DIRECTED BE SEALED BY EPOXY INJECTION.
- SITE MAINTENANCE IS THE RESPONSIBILITY OF THE HOME OWNER. ALL RECOMMENDATIONS OUTLINED BY THE C.S.I.R.O. IN SHEET 10-91 TO BE CARRIED OUT.

STRUCTURAL STEELWORK NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS4100 CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS
- STEELWORK DESIGN AS PER "AS4100 STEEL STRUCTURES CODE CURRENT EDITION AND AS1170 DEAD AND LIVE LOADS
- STEEL QUALITY: ALL STEELWORK SHALL BE GRADE 250 UNLESS NOTED OTHERWISE. ROLLED SECTIONS (UB, UC, PFC, EA, ETC) SHALL BE GRADE BHP-300 PLUS. RECTANGULAR HOLLOW SECTIONS SHALL BE IN ACCORDANCE WITH AS1397 AND AS1538, AND BE EQUIVALENT TO BHP GALVASPAN. COATING CLASS Z350.
- WELDING: ALL WELDING SHALL BE IN ACCORDANCE WITH AS1554. UNLESS NOTED OTHERWISE ALL CONNECTIONS BETWEEN MEMBERS SHALL BE 6mm CONTINUOUS FILLET WELD TYPE G.P. BUTT WELDS SHALL BE COMPLETE PENETRATION TYPE SP. WELDING SYMBOLS ON DRAWINGS ARE IN ACCORDANCE WITH AS1101 PART 3. HOLES IN MEMBERS FOR FIXINGS OF OTHER TRADES SHALL NOT EXCEED 14mm DIAMETER.
- BOLTING: BOLTS SHALL BE M20 4.6/5 UNLESS NOTED OTHERWISE. MEMBERS SHALL BE CONNECTED WITH 2 BOLTS UNLESS NOTED OTHERWISE. APPROVED LOAD-INDICATING WASHERS SHALL BE USED UNDER THE BOLT HEAD OF 8.8/TF AND 8.8/TB JOINTS.
- NO PRIMING COAT SHALL BE APPLIED TO CONTACTING SURFACES UTILISING 8.8/TF BOLTS NOR TO MEMBERS TO BE SUBSEQUENTLY CONCRETE ENCASED OR FIRE RATED.
- MEMBERS NOTED Z SHALL BE GIVEN A CLASS 2.5 PREPARATION IN ACCORDANCE WITH AS1627.4 AND COATED WITH A MINIMUM OF 75 MICRONS OF AN APPROVED INORGANIC ZINC SILICATE.
- MEMBERS NOTED G SHALL BE HOT DIP GALVANISED. ALL BOLTS, NUTS AND WASHERS USED IN CONNECTION OF MEMBERS NOTED Z OR G SHALL BE HOT DIP GALVANISED. MAKE GOOD PROTECTIVE COATINGS AT SITE WELDS AND UNCOATED STEELWORK AT T.F. BOLTED JOINTS.

BOLTING PROCEDURE	BOLT NAME	AUSTRALIAN STANDARD	INSTALLATION AS6100
4.6/5	COMMERCIAL	AS1111	SNUG TIGHTENED
8.8/5	HIGH STRENGTH	AS1252	SNUG TIGHTENED
8.8/TF	HIGH STRENGTH	AS1252	TENSIONED FRICTION
8.8/TB	HIGH STRENGTH	AS1252	TENSIONED BEARING

DRAWING SCHEDULE

- E-00 GENERAL NOTES
- E-01 REINFORCED SLAB PLAN
- E-02 SLAB DETAIL SHEET
- E-03 DEEPEDED EDGE BEAM SHEET
- E-04 CONC DETAIL SHEET
- E-05 STEEL MARKING PLAN
- E-06 BRICK ARTICULATION PLAN
- E-07 RET WALL DETAILS
- E-08 SEWER DETAILS
- E-09
- E-10



Rev	DATE	AMENDMENT	Arch Ref: 411B-12 (Rev QA2) - CHESTER 21 MILLEN
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SLAB DESIGN AS PER "AS2870-1996 CODE FOR RESIDENTIAL SLABS AND FOOTINGS" AND IN ACCORDANCE WITH ENGINEERING PRINCIPLES, AND SECTION 3 & 4 OF AS2870.1996.



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DATE:	28/6/13

FOR:	R.N. VENKATAKRISHNA & R.H VENKATAKAMIAH LOT 1157 SYDNEY SMITH DRIVE THORNTON, PENRITH NSW
SECTA Ref Nbr	SC_15938
DRG Nbr	E-00
REV	A
GENERAL NOTES	DO NOT SCALE

SITE CLASSIFICATION :
THE FOOTING SYSTEM HAS BEEN DESIGNED FOR A CLASS P SITE IN ACCORDANCE WITH AS 2870.

CONSTRUCTION: TWO STOREY
TYPE : ARTICULATED MASONRY VENEER
DURABILITY CLASS : EXTERIOR
WIND CLASS : N2 "W33"

CONCRETE QUALITY				
ELEMENT	Strength Grade	Slump mm	Max. Agg. mm	Cement Type
SLAB	N20-TBA	80	20	SL
PIERS	N20	80	20	SL
SALINE ENVIRONMENT Pier & Slab (High Impact Membrane)				
	N32	80	20	SL

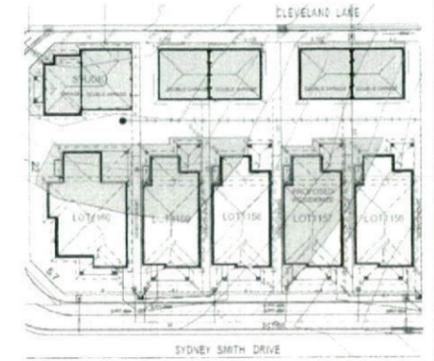
KEEP SLAB CONTINUALLY WET FOR 7 DAYS min.

THE BUILDER TO CONFIRM & ADHERE TO RELEVANT CONDITIONS OF CONSENT IN RELATION TO CONSTRUCTION INCLUSIONS ON SITES LOCATED OR LIKELY TO BE IMPACTED BY SALINITY LEVELS.

* CARE TO BE TAKEN DURING EXCAVATION, *

ENGINEER TO BE ADVISED IF ABNORMAL SUB CONDITIONS ARE ENCOUNTERED INCLUDING EXTENT OF ANY TREE ROOTS, PIPES, DEBRIS & "SOFT SPOTS".

IF IN DOUBT "STOP WORK AND ASK"



NOTES

- FOR COMPREHENSIVE GENERAL NOTES REFER TO TITLE SHEET E-00.
- USE 0.2mm POLYTHENE NOMINAL THICKNESS (1) VAPOUR BARRIER, (2) DAMP PROOF MEMBRANE AND OF HIGH IMPACT RESISTANCE.
 - LAP TOP & BTM BARS IN EDGE BEAMS 500 AT ; RETURNS LESS THAN 1200 (SINGLE STOREY) ALL RETURNS (DOUBLE STOREY)
 - PLACE 3-N12 TRIMMERS 2000 LONG TO ALL INTERNAL CORNERS TYPICAL
 - REINFORCEMENT LAPS: MESH 2 CROSSWIRES + 25mm
 - COVER TO REINFORCEMENT:
SLABS - TOP 20mm (INSIDE)
30mm (OUTSIDE)
- BTM 30mm
STIFFENING BEAMS - 30mm
STRIP FOOTINGS - 50mm
 - 30/45 MESHLOCK BAR CHAIRS ARE TO BE USED ON WAFFLE PODS. ALL POD SPACERS SHOULD BE APPROVED BY ENGINEER BEFORE PLACING PODS. BAR CHAIRS TO BE AT 800 CTRS BOTH WAYS.
 - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE PIER TOPS ARE CLEAN AND FREE OF FOREIGN MATTER PRIOR TO THE LAYING OF THE MEMBRANE AND CONCRETE SLAB. ENGINEER'S REINFORCEMENT INSPECTION DOES NOT RELEASE THE CONTRACTOR FROM THIS RESPONSIBILITY.
 - THE BUILDER TO CONFIRM & ADHERE TO RELEVANT CONDITIONS OF CONSENT IN RELATION TO CONSTRUCTION INCLUSIONS ON SITES LOCATED OR LIKELY TO BE IMPACTED BY SALINITY LEVELS
 - BRITTLE FLOOR COVERINGS TO BE LAID ON A SUITABLE FLEXIBLE TYPE BEDDING SYSTEM & SUPPLIED WITH CONTROL JOINTS @ 4000 CENTERS MAX ALTERNATIVELY FABRIC SL-92 TO BE USED, AS IF ADVISED BY BUILDER.
 - IT IS THE RESPONSIBILITY OF THE BUILDER/CONTRACTOR TO ENSURE THE HOUSEHOLD DRAINAGE SYSTEM INCLUDES FLEXIBLE JOINTING AS PER RELEVANT AUSTRALIAN STANDARDS. IT IS OUTSIDE THE ENGINEER'S SCOPE/EXPERTISE TO ENSURE THIS
 - SLAB AND FOUNDATIONS HAVE BEEN DESIGNED TAKEN INTO CONSIDERATION FINDINGS AND RECOMMENDATIONS AS NOTED IN GEOTECH REPORT.

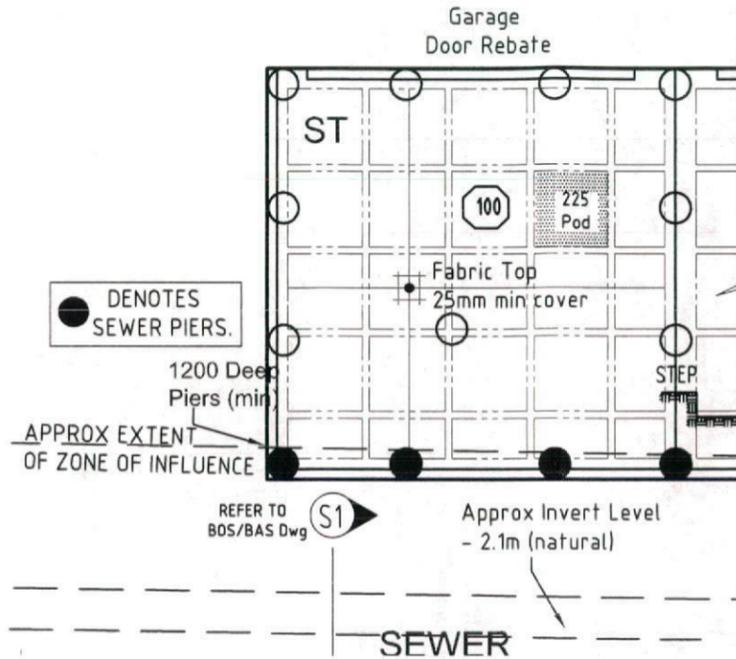
PIER NOTES

- REFER ALSO TO FOUNDATION NOTES ON SHEET No. S-00.
- ALL PIERS POURED SEPARATE TO NOMINATED SLAB
- CONCRETE PIERS TO BE CORRECTLY LOCATED BY CONTRACTOR AND ARE ADOPTED TO ACHIEVE EVEN BEARING AS REQUIRED BY ENGINEER AND SITE CONDITIONS.
- ⊙ DENOTES CONCRETE BEARING PIERS FOUNDED 200mm BELOW ZONE OF INFLUENCE OF SEWER AND OR PROPOSED ADJACENT SERVICE TRENCHES REFER TO DETAIL ON SHEET E-00.
- WHERE PIERS ARE PROVIDED PLACE ADDITIONAL STEEL TO INTERNAL BEAMS AS PER DETAILS ON PIERS TO EXTERNAL WALLS SHALL BE SPACED AT NO GREATER THAN:

PIERING NOTES

P1 PIERS TO EXTERNAL WALLS SHALL BE SPACED AT NO GREATER THAN:
1.5m c/c FOR DOUBLE STOREY AREAS (Ø400mm DIA TO CLAY BRG 350kPa) - UNO ON SLAB PLAN
1.8m c/c FOR SINGLE STOREY AREAS (Ø400mm DIA TO CLAY BRG 350kPa) - UNO ON SLAB PLAN
1.8m c/c FOR SINGLE AND DOUBLE STOREY AREA (Ø300mm DIA TO ROCK/SHALE BRG 600kPa)
IF PIERS EXCEED 2.5m Deep THEN Ø450mm (Must Be) Adopted. PIERS GREATER THAN 2.8m Deep (Must Be) REINFORCED WITH A MINIMUM OF 4-N12 Bars + R6 Ties @400c/c

- SLAB THICKNESS DENOTED ON PLAN BY
- PODS LAYED IN SEQUENCE AND STARTED WHERE SHOWN THUS ON PLAN.



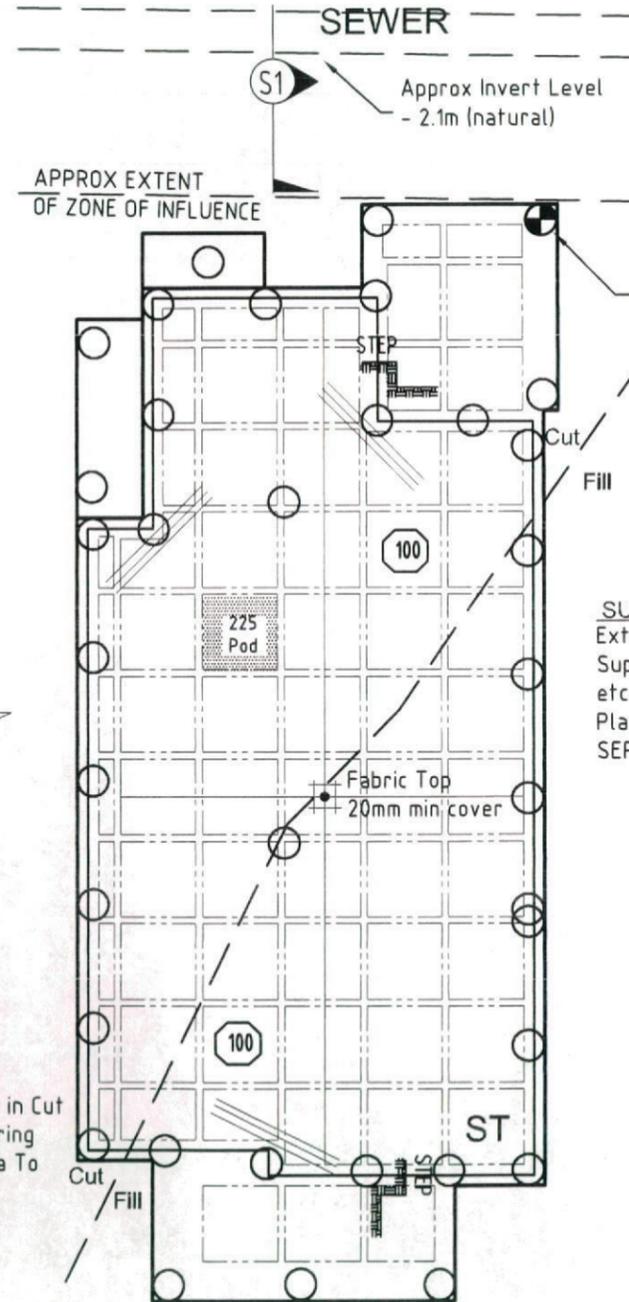
SLAB PLAN
Do Not Scale

ALL STEP-DOWNS, DEEP BEAMS, F.F.L, R.L, AND REBATES TO BE CONFIRMED WITH ARCHITECTURAL DOCUMENTATION. HWS & AIRCON PADS TO BE CONFIRMED WITH CONTRACT. IT IS NOT THE RESPONSIBILITY OF THE ENGINEER TO VERIFY THE ABOVE.

SLAB REINFORCEMENT - SL82

COVER TO REINFORCEMENT:
SLABS - TOP 20mm (INSIDE)
30mm (OUTSIDE)
- BTM 30mm
STIFFENING BEAMS - 30mm

EXPECTED PIERS UP TO 1.4m min in Cut Area, Then Pier To Uniform Bearing Through Out. Extent of Cut Area To Be Confirmed On-Site.



(START) - INITIAL PIER CONTRACTOR TO INITIATE AS SHOWN. ENGINEER TO BE CONTACTED UPON COMPLETION OF TEST PIT AND PRIOR TO PIER EXCAVATION SEQUENCE. ENGINEER TO ADVISE ON APPROX PIER DEPTH REQUIRED BASED ON FINAL TEST PIT FINDINGS.

SUPERVISOR NOTE

Extend Edge Beam To Suit.
Supervisor To Ensure All Feature Nibs etc Are Incorporated As Shown On Arch Plans. REFER TO SLAB DETAILS FOR SERVICE PAD EXTENTIONS.



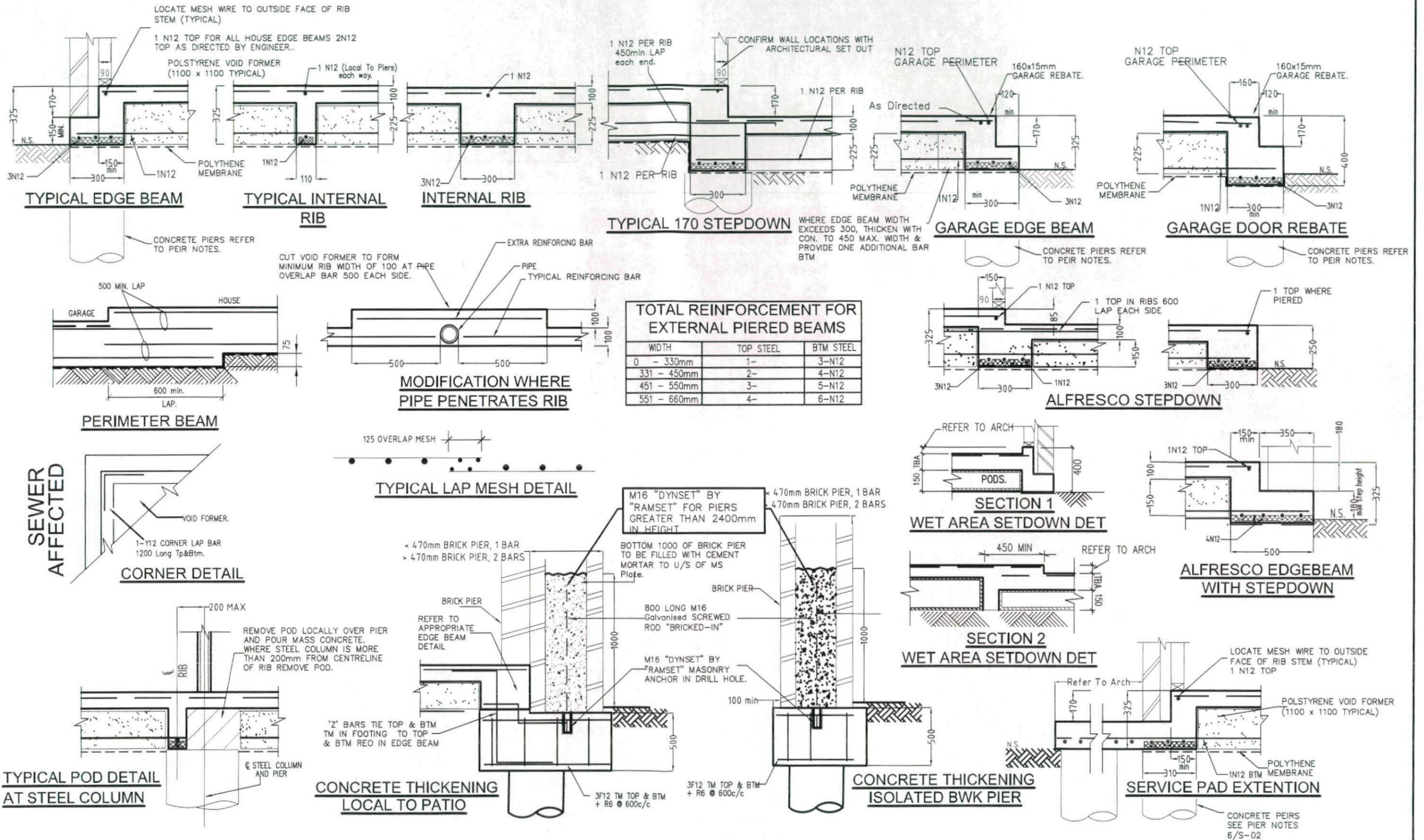
It is the responsibility of the Contractor/Supervisor, that any "on site" deviation/alteration to the Engineer's Drwgs/Design must be formally brought to the attention of the Engineer/Inspector, prior to any work proceeding.

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A	28/6/13	Issued for construction	

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APPROVED:	
DATE:	28/6/13

FOR:	R.N. VENKATAKRISHNA & R.H VENKATAKAMIAH LOT 1157 SYDNEY SMITH DRIVE THORNTON, PENRITH NSW		
Secta Ref Nbr	SC_15938	DRG Nbr	E-01
REV			A
REINFORCED SLAB PLAN			DO NOT SCALE



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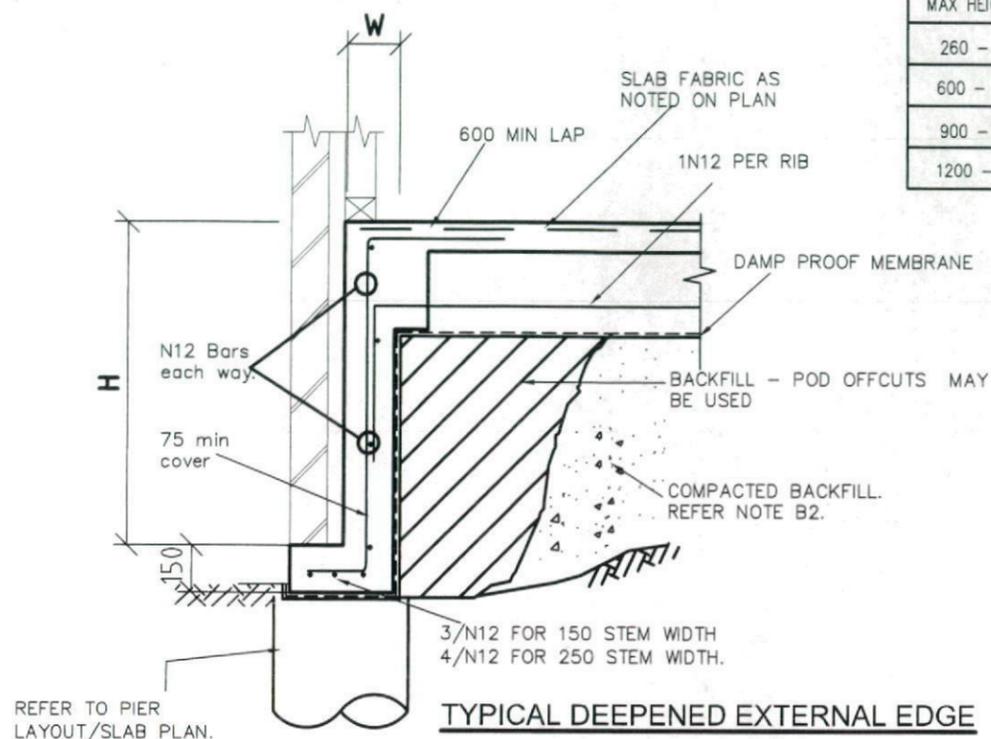
DATE: 28/6/13

FOR: R.N. VENKATAKRISHNA & R.H VENKATAKAMIAH
LOT 1157 SYDNEY SMITH DRIVE
THORNTON, PENRITH NSW

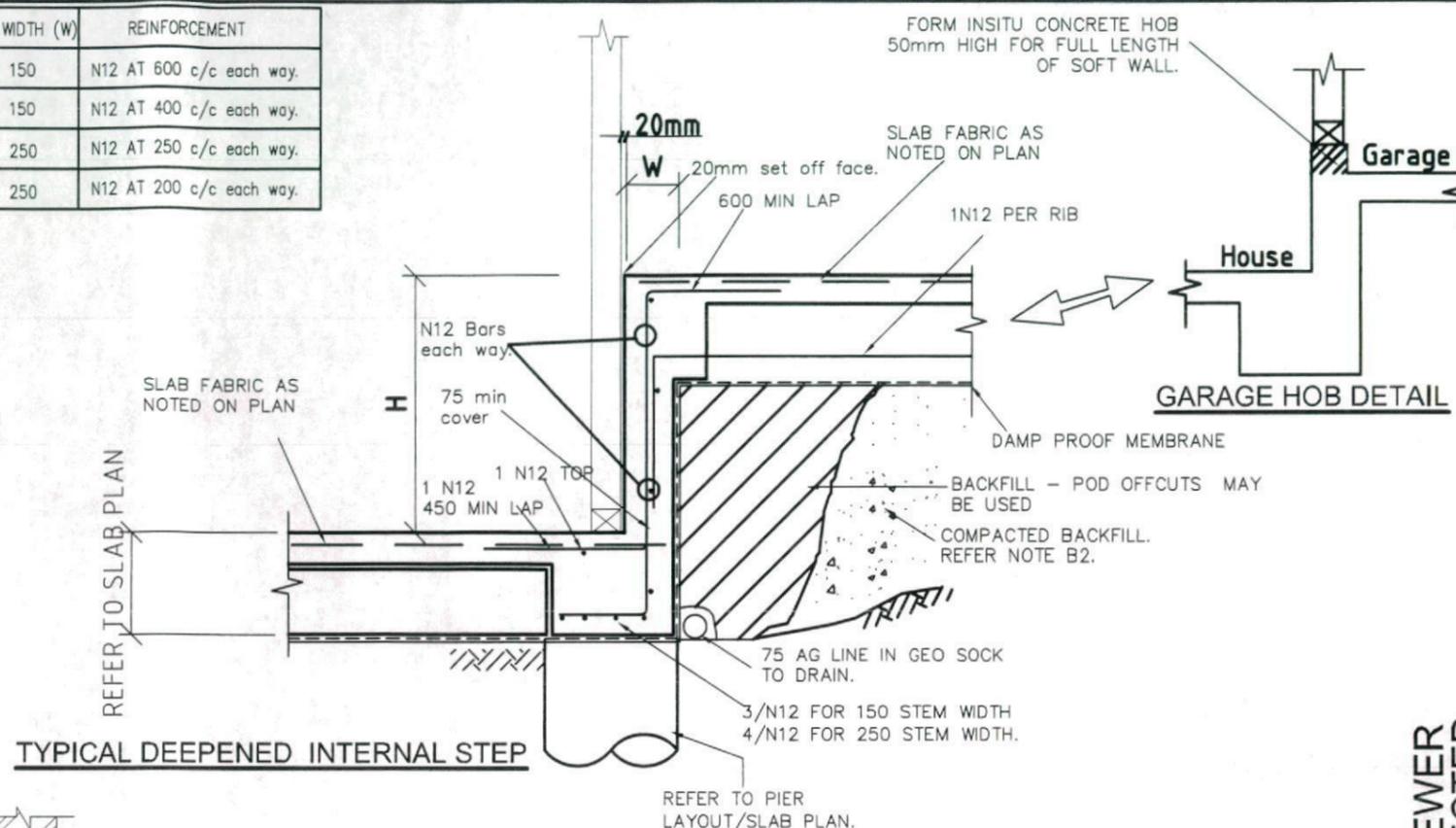
Secta Ref Nbr SC_15938
DRG Nbr E-02
REV A

SLAB DETAIL SHEET
DO NOT SCALE

MAX HEIGHT (H)	STEM WIDTH (W)	REINFORCEMENT
260 - 600	150	N12 AT 600 c/c each way.
600 - 900	150	N12 AT 400 c/c each way.
900 - 1200	250	N12 AT 250 c/c each way.
1200 - 1600	250	N12 AT 200 c/c each way.



TYPICAL DEEPEMED EXTERNAL EDGE



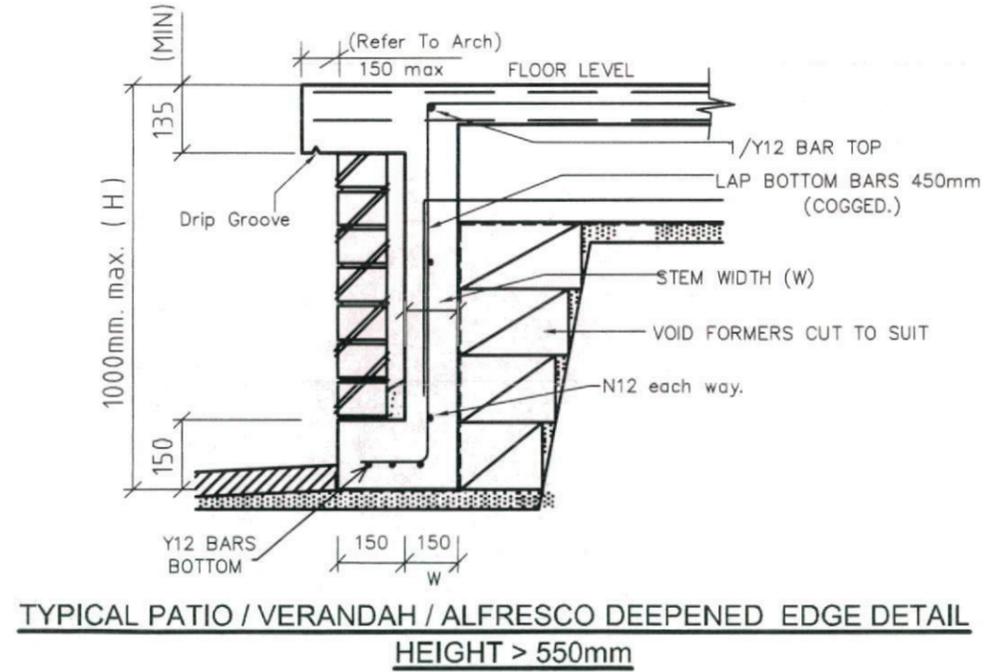
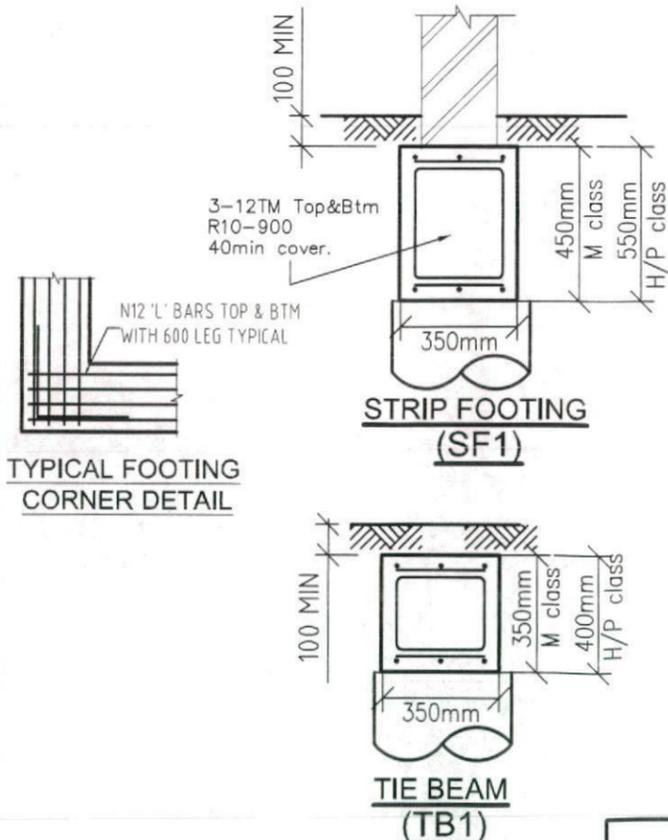
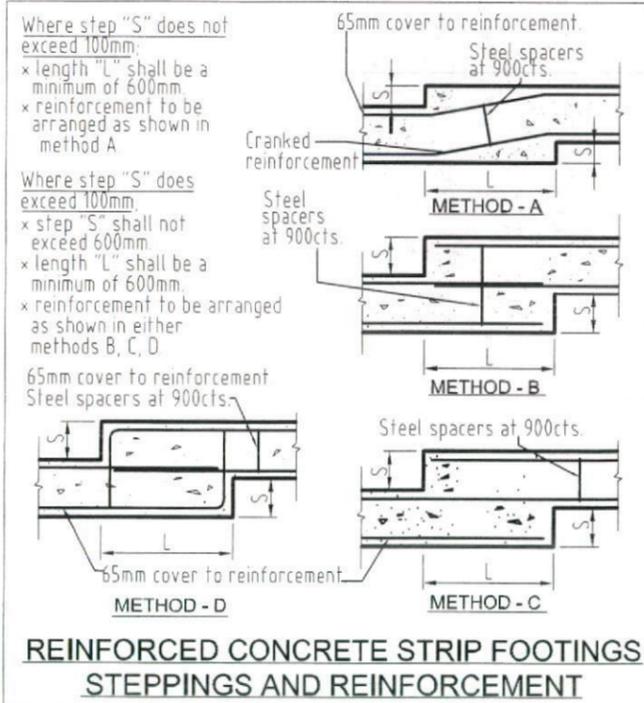
TYPICAL DEEPEMED INTERNAL STEP



REFER TO PIER LAYOUT/SLAB PLAN.

REFER TO PIER LAYOUT/SLAB PLAN.

SEWER AFFECTED



TYPICAL PATIO / VERANDAH / ALFRESCO DEEPEMED EDGE DETAIL HEIGHT > 550mm

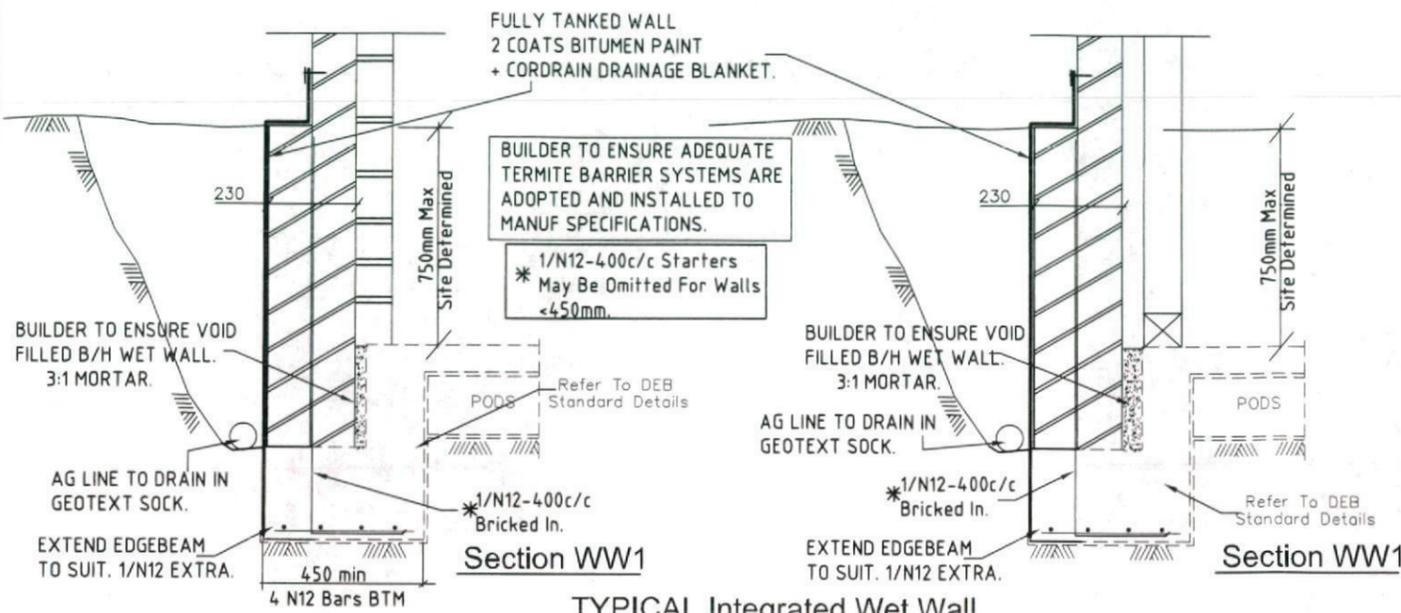


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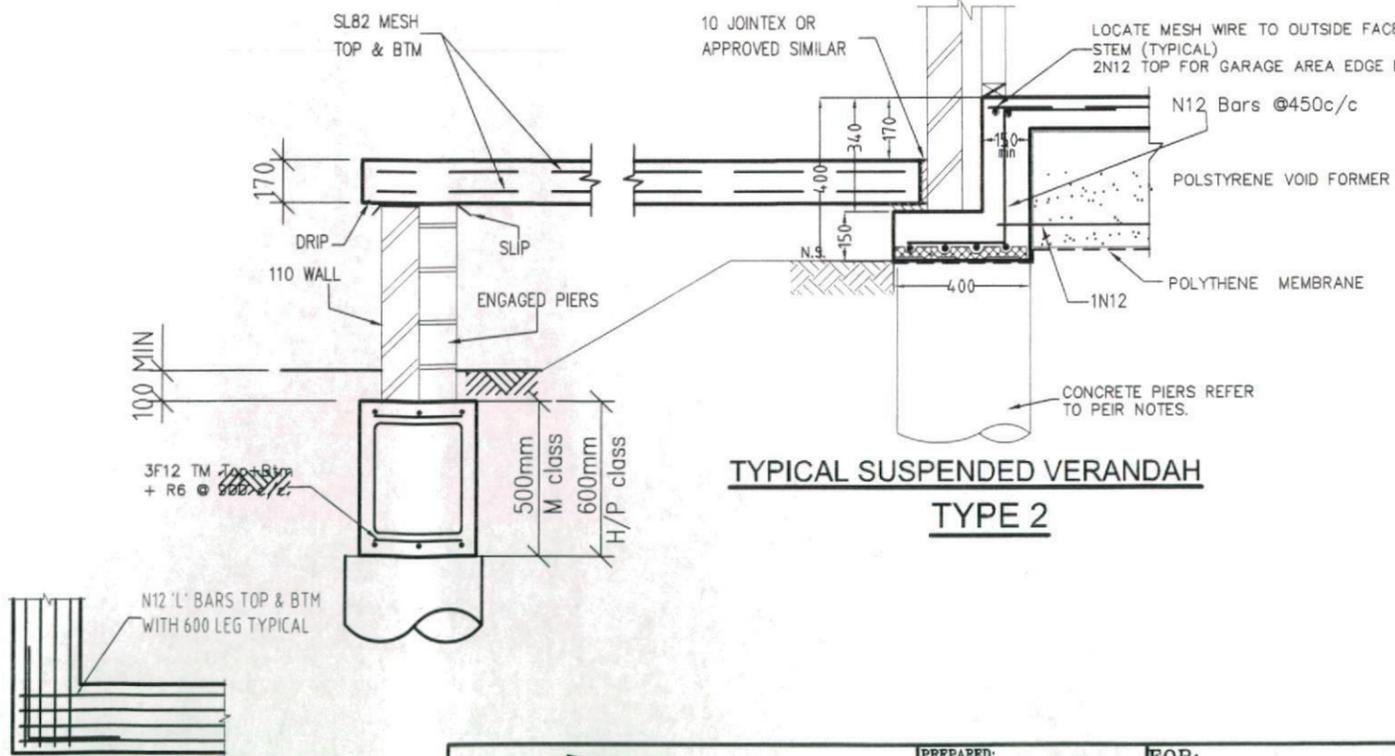
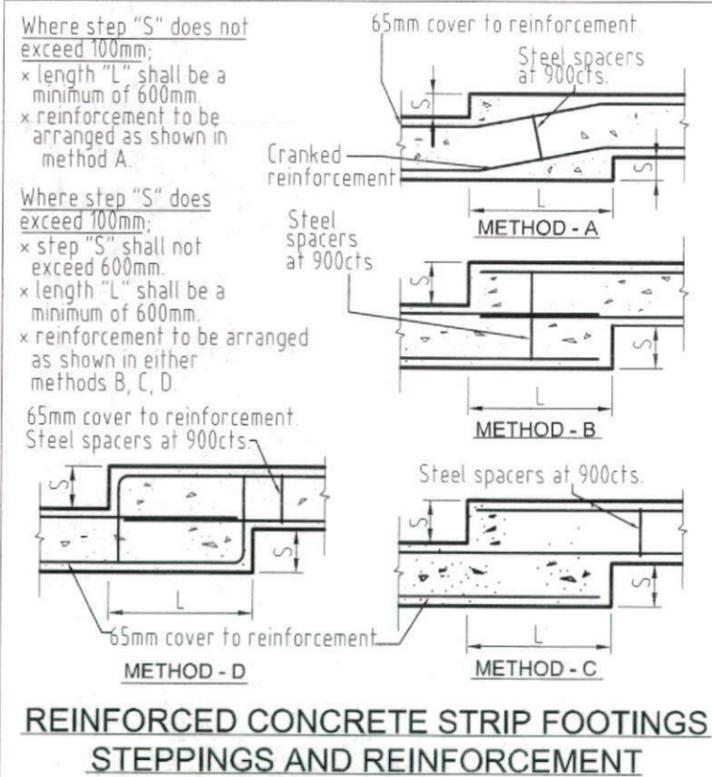
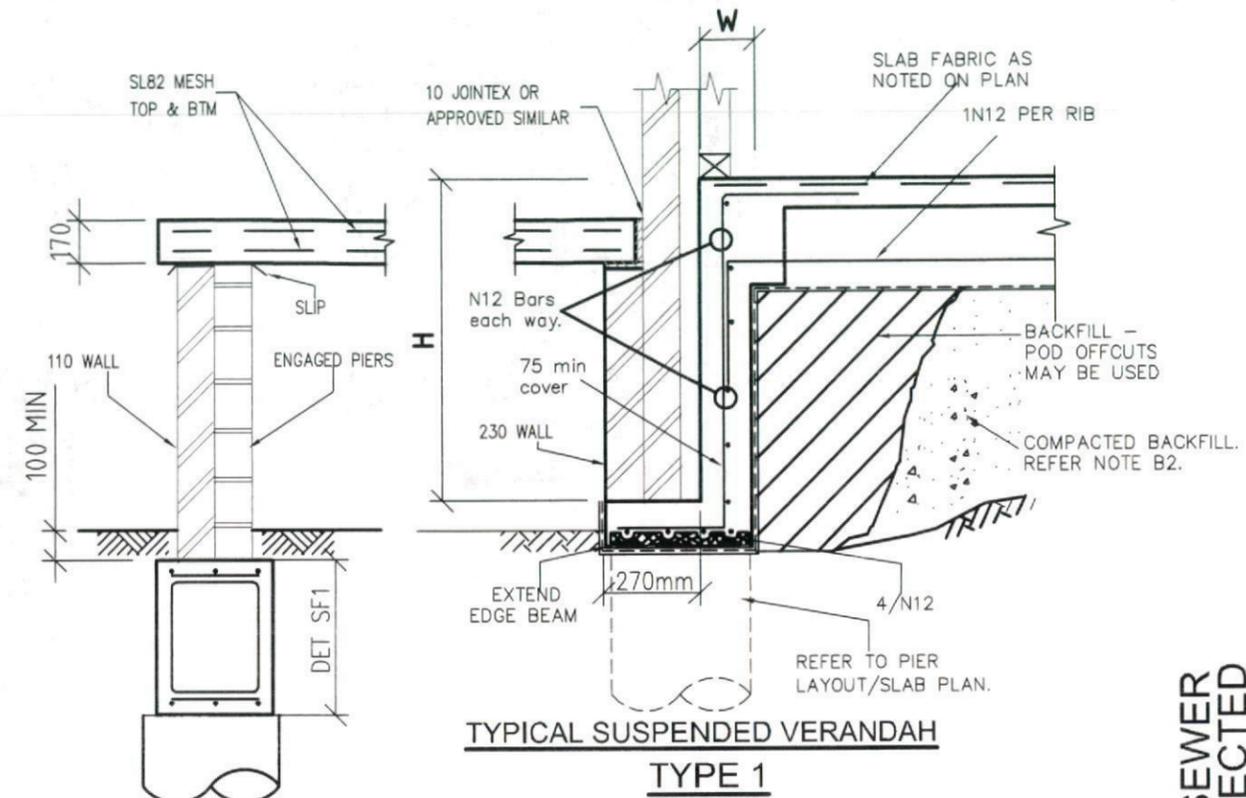
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FOR:	R.N. VENKATAKRISHNA & R.H VENKATAKAMIAH LOT 1157 SYDNEY SMITH DRIVE THORNTON, PENRITH NSW
SC_15938	E-03
DRG NMBR	A
DEEPEMED EDGE BEAM SHEET	
DO NOT SCALE	



TYPICAL Integrated Wet Wall
SUPERVISOR TO CONFIRM DETAIL VARIANCE.
REFER TO ARCHITECTURALS



TYPICAL FOOTING CORNER DETAIL

SEWER AFFECTED



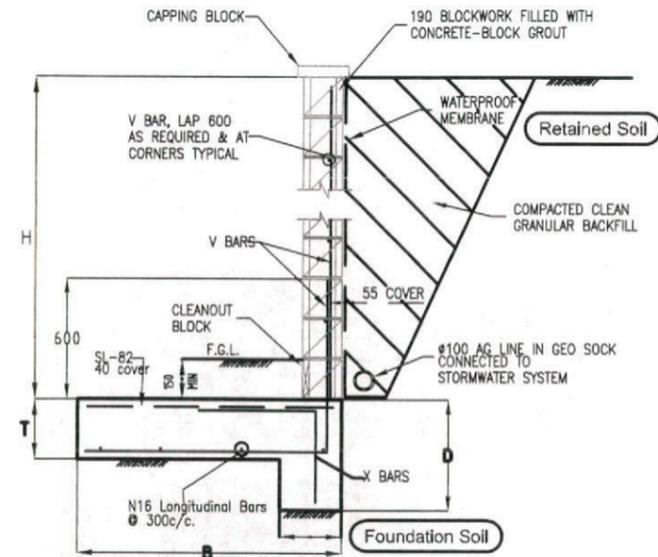
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PREPARED:	S.I.D	FOR:	R.N. VENKATAKRISHNA & R.H VENKATAKAMIAH LOT 1157 SYDNEY SMITH DRIVE THORNTON, PENRITH NSW
CHECKED:	S.A.A		
APPROVED:			
S. Abdelfattah MIE (Aust) CP Eng NPER Civ/Struct BPD Acc Certifier 0737		Secta Ref Nbr	SC_15938
DATE:	28/6/13	DRG Nbr	E-04
CONC DETAIL SHEET			REV A
			DO NOT SCALE

**RESPONSIBILITY OF OWNER
RETAINING STRUCTURE BY OWNER.**

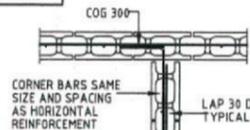
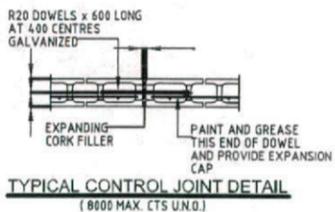
- A) ENSURE RET WALL TYPE COMPLIES WITH SUBDIVISION and/or COUNCIL CONDITIONS.
- B) ALL EXISTING SERVICES/STRUCTURES WITHIN CRITICAL ZONES ARE PROTECTED.
- C) USE OF PROPRIETY WALL SYSTEMS ARE INSTALLED AND SPECIFIED AS PER MANUFACTURERS SPECS.
- D) ENSURE SITE/SOIL CONDITIONS SUIT SELECTED RET WALL TYPE.
- E) ENSURE APPROPRIATE SURFACE DRAINAGE MEASURES ARE ADOPTED INCLUDING APPROPRIATE MATERIALS ARE PLACED BEHIND WALL TO CONVEY GROUND WATER AWAY FROM THE WALL AND ITS FOUNDATIONS.



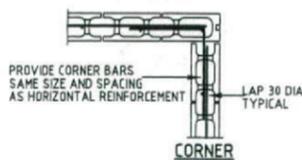
**TYPE A
RETAINING WALL HEIGHT 0 - 1000**

4.0kPa MAX ALLOWABLE SURCHARGE

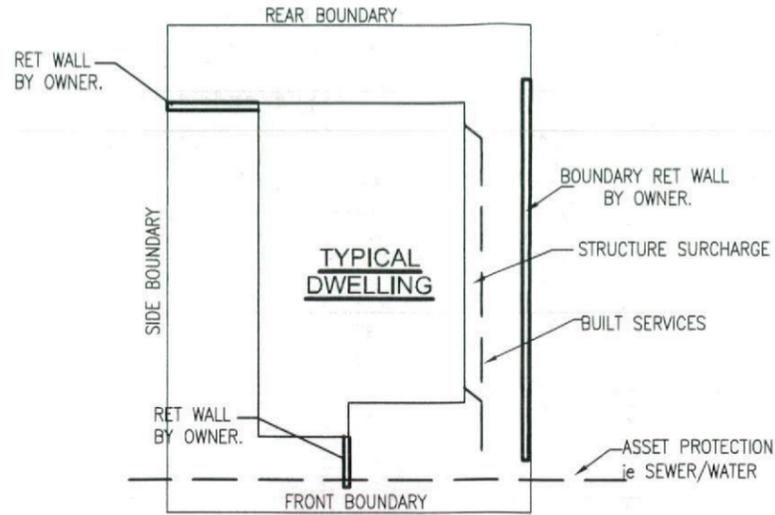
RETAINING WALL SCHEDULE					
H	B	D	T	V BARS	X BARS
0 - 800	800	400	200	N12-400	N12-400
800-1000	900	400	200	N12-400	N12-400



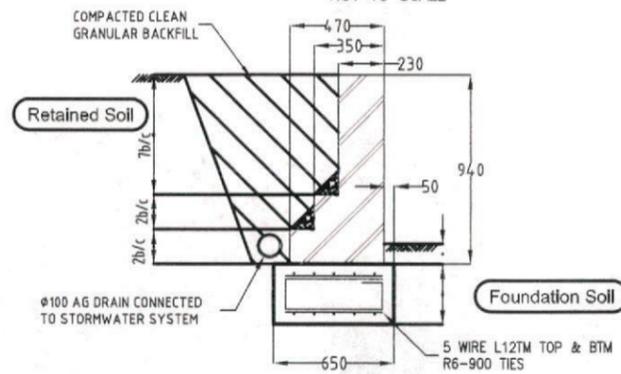
**INTERSECTION
JUNCTION DETAILS**



CORNER

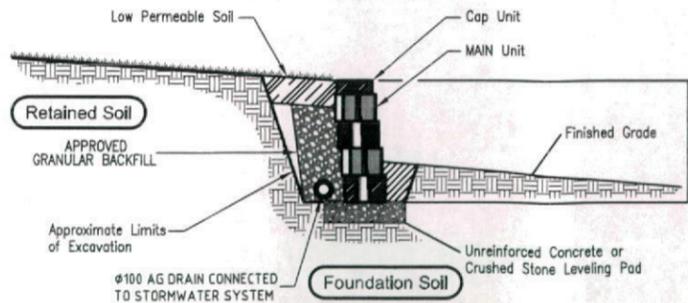


**TYPICAL SITE
NOT TO SCALE**

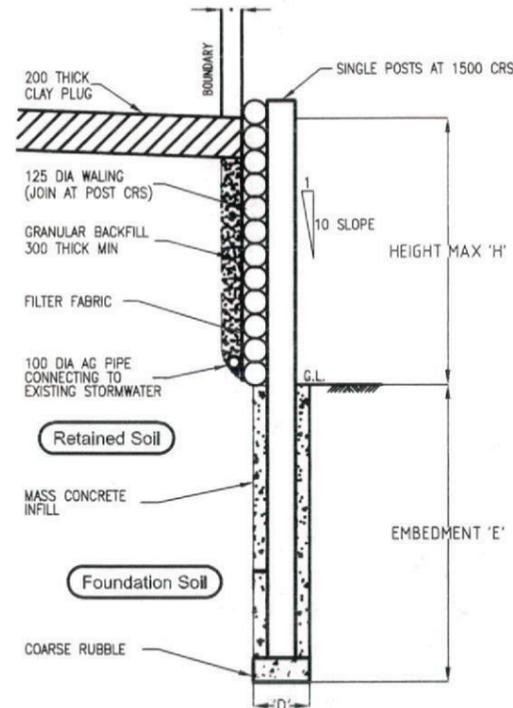


**TYPE B
TYPICAL GRAVITY BRICKWORK
RETAINING WALL DETAILS**

- 1. 4 kPa SURCHARGE ALLOWED
- 2. ALL BRICKWORK TO BE INTERLOCKED USING HEADER COURSES SO THAT THE WALLS ACT AS AN INTEGRAL UNIT
- 3. VERTICAL BRICK JOINTS AT 6000 CTRS U.N.D.



**TYPE C
Typical "PROPRIETY"
Gravity Wall Section**



**TYPE D
TYPICAL LOG RETAINING WALL**

TIMBER LOG RETAINING WALL				
HEIGHT MAX 'H'	EMBEDMENT 'E'	POST DIA MIN	POST Spacing MIN	WALL DIA MIN
900	1000 MIN	200	1500	125

CONSTRUCTION OF WALL TO BE IN ACCORDANCE WITH "KOPPERS LOG" RETAINING WALL SPECIFICATIONS
 'D' 400 DIA FOR POST 200 DIA
 'D' 2 x 400 DIA FOR DOUBLE POSTS

TYPICAL RET WALL TYPES

PRIOR TO SELECTION, OWNER MUST CONTACT EITHER MANUFACTURER and/or QUALIFIED ENGINEER TO DISCUSS SUITABILITY OF SYSTEM.

BRICKWORK AND BLOCKWORK

- B1 ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3700, SAA BLOCKWORK CODE AS445 AND ALL OTHER RELATED CODES.
- B2 STRENGTHS OF MASONRY UNITS AND TYPE OF MORTAR SHALL BE AS FOLLOWS:

ELEMENT	MATERIAL	CHARACTERISTIC UNCONFINED COMPRESSIVE STRENGTH (F'c)	MORTAR (CEMENT: LIME: SAND)	
			(F'c)	(F'c)
BRICKS	CLAY	20 MPa	1:1:6	
BLOCKS	CONC	15 MPa	1:0.25:3	

MORTAR ADMIXTURES SHALL NOT BE USED WITHOUT THE WRITTEN APPROVAL OF THE SUPERINTENDENT.

- B3 ONLY LOAD BEARING MASONRY WALLS ARE SHOWN UNDER CONCRETE SLABS.
- B4 OTHER THAN REINFORCED CONCRETE BLOCKWORK, MASONRY SUPPORTING SLABS AND BEAMS SHALL BE TROWELLED SMOOTH WITH MORTAR FILLING ALL VOIDS. TWO LAYERS OF MALTHOID SHALL BE PLACED FULL WIDTH ACROSS SUCH LOAD BEARING SURFACES EXCEPT WHERE PROPRIETARY BEARING STRIP IS NOTED OR ALTERNATIVE DETAIL IS DOCUMENTED. THE HEADS OF LOAD BEARING WALLS SHALL NOT EXTEND ABOVE THE SOFFIT OF THE CONCRETE SLAB ABOVE.
- B5 ALL DOUBLE SKIN SOLID WALLS SUCH AS 230mm THICK BRICKWORK SHALL BE BONDED BY A HEADER COURSE EVERY 4th COURSE.
- B6 ALL MASONRY SUPPORTING OR SUPPORTED BY CONCRETE FLOORS SHALL BE PROVIDED WITH VERTICAL JOINTS TO MATCH ANY CONTROL JOINTS IN THE CONCRETE.
- B7 NON LOAD BEARING WALLS BUILT PRIOR TO POURING CONCRETE SHALL BE SEPARATED FROM CONCRETE ABOVE BY 16 mm THICK CLOSED CELL POLYSTYRENE STRIP. WHERE BUILT AFTER CONCRETE IS POURED LEAVE 12 mm CLEAR OF CONCRETE SOFFIT.
- B8 NO CHASES OR RECESSES ARE PERMITTED IN LOAD BEARING MASONRY WITHOUT THE APPROVAL OF THE ENGINEER.
- B9 PROVIDE VERTICAL CONTROL JOINTS AT 8 m MAX. CENTRES GENERALLY, AND 5 m MAX. FROM CORNERS FOR BRICKWORK AND UNREINFORCED BLOCKWORK.
- B10 REFER TO CONCRETE NOTES FOR DE-PROPPING PRIOR TO CONSTRUCTION OF MASONRY WALLS ON SUSPENDED SLABS.
- B11 ALL CAVITY CONSTRUCTION SHALL INCLUDE STAINLESS STEEL TIES INSTALLED IN ACCORDANCE WITH CLAUSE 3.8 AS 3700.
- B12 REINFORCED CONCRETE BLOCKWORK SHALL COMPLY WITH THE FOLLOWING, UNLESS NOTED
 - * BLOCKS SHALL BE STRENGTH GRADE 15 CONFORMING TO AS 2733.
 - * MORTAR SHALL COMPRISE 1 CEMENT:0.25 LIME: 3 SAND.
 - * PROVIDE CLEANOUT HOLES 100 mm SQUARE MINIMUM AT BASE OF ALL WALLS AND ROD CORE HOLES TO REMOVE PROTRUDING MORTAR FINS PRIOR TO GROUTING.
 - * CORE FILLING GROUT SHALL BE :- F'c = 20 MPa MINIMUM CEMENT CONTENT = 300 kg/m, SLUMP = 230 ± 30 mm.

- * REINFORCEMENT PROJECTING FROM FOUNDATION OR SLABS INTO CORES, SHALL BE SET ACCURATELY IN PLACE USING TEMPLATES TO ALIGN WITH THE CENTRE OF THE LENGTH OF CORES AND WITH COVER AS NOTED. WHERE HORIZONTAL BARS ARE INDICATED, THE WEBS OF THE BLOCKS BELOW THE BARS SHALL BE CUT DOWN TO ACCOMMODATE THE BARS.
- * GROUT ALL CORES IN REINFORCED BLOCKWORK UNLESS OTHERWISE NOTED. HEIGHT OF BLOCKWORK TO BE GROUTED ON ONE DAY SHALL BE 2400mm. GROUT SHALL BE PLACED IN LIFTS OF 1200mm MAXIMUM AND COMPACTED BY POKER VIBRATOR. A SHORT TIME SHOULD ELAPSE BETWEEN SUCCESSIVE LIFTS TO ALLOW PLASTIC SETTLEMENT TO OCCUR.
- * PROVIDE 50 mm COVER FROM THE OUTSIDE OF THE BLOCKWORK UNLESS NOTED.

- B13 BACKFILL TO RETAINING WALLS SHALL BE FREE DRAINING GRANULAR MATERIAL PROVIDE SUBSOIL DRAIN AT BASE OF WALL. DO NOT BACKFILL UNTIL 14 DAYS AFTER GROUTING, OR IF APPLICABLE, AFTER RESTRAINING SLAB OVER HAS BEEN POURED AND CURED FOR 7 DAYS. BACKFILL SHALL BE COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT ± 2 %



Rev	DATE	AMENDMENT
A	28/6/13	Issued for construction

Arch Ref: 411B-12 (Rev QA2) - CHESTER 21 MILLEN



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 web: www.sectaengineering.com.au email: info@sectaengineering.com.au

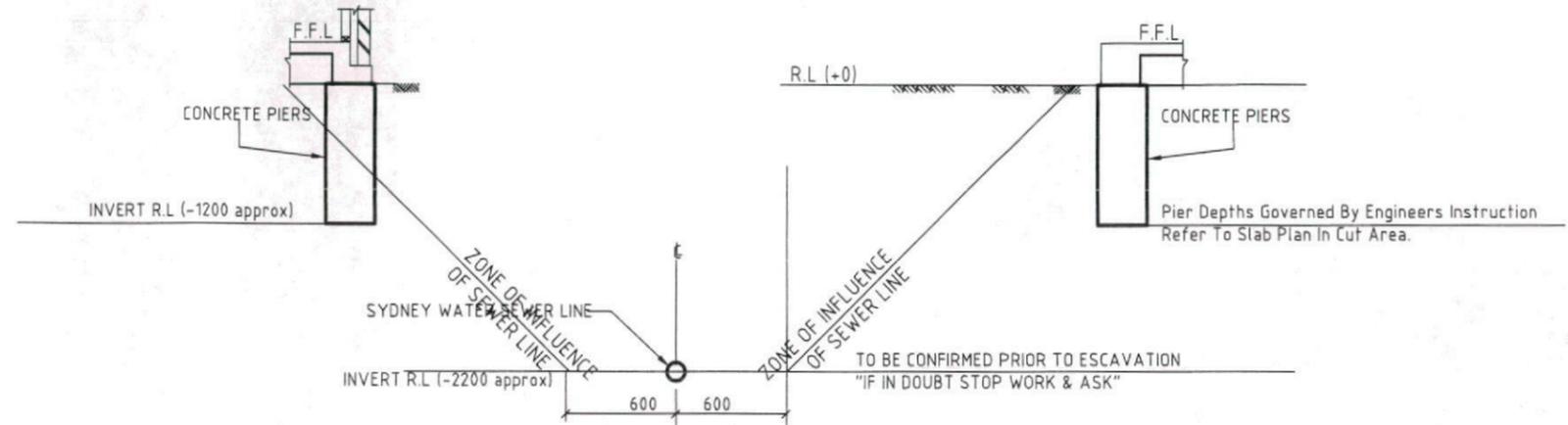
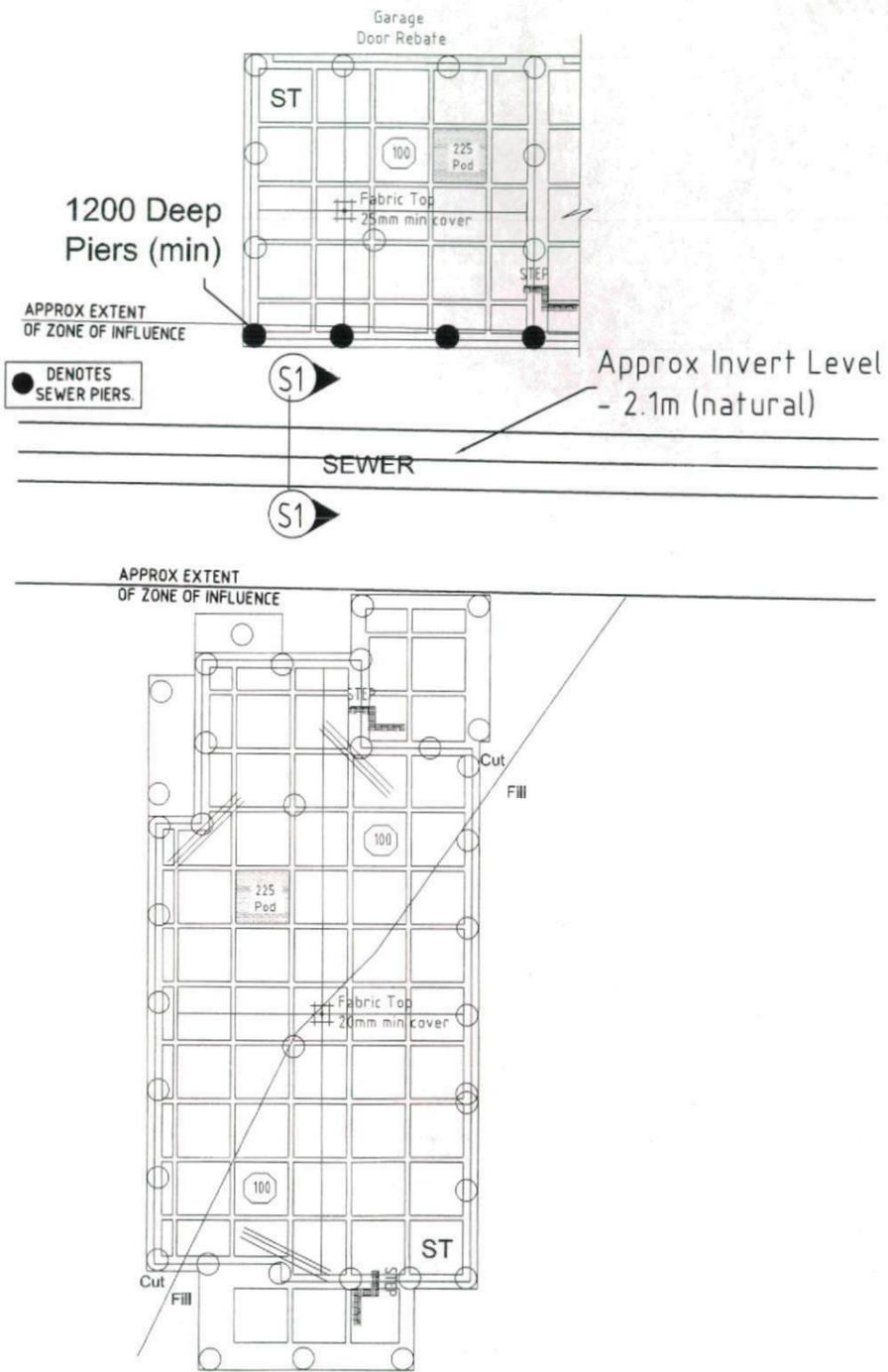
PREPARED:	S.I.D
CHECKED:	S.A.A
APPROVED:	
DATE:	28/6/13

FOR: R.N. VENKATAKRISHNA & R.H VENKATAKAMIAH
 LOT 1157 SYDNEY SMITH DRIVE
 THORNTON, PENRITH NSW

Secta Ref Nbr	SC_15938	DRG Nbr	E-07	REV	A
---------------	----------	---------	------	-----	---

RET WALL DETAILS

DO NOT SCALE



SECTION S1
Do Not Scale
BUILDING ADJACENT TO SEWER
Do Not Scale

NOTE: CHECK WITH SYDNEY WATER OR LOCAL AUTHORITY ON MIN. CLEARANCES

NOTE: PIERS TO BE FOUNDED 200 BELOW ZONE OF INFLUENCE OF SEWER. IF ROCK IS ENCOUNTERED NOTIFY ENGINEER PRIOR TO COMPLETION.



Rev	DATE	AMENDMENT	Arch Ref: 411B-12 (Rev QA2) - CHESTER 21 MILLEN
A	28/6/13	Issued for construction	

SECTA
Consulting Engineers Pty Ltd
A.B.N.64 180 170 853

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web: www.sectaengineering.com.au email: info@sectaengineering.com.au

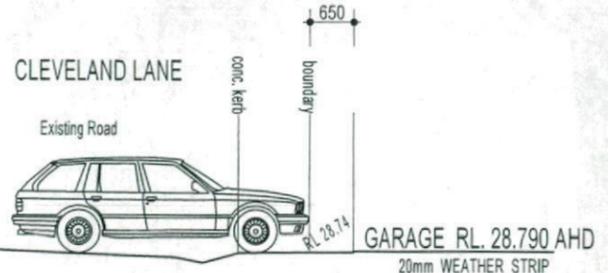
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APPROVED:	
DATE:	28/6/13

FOR:	R.N. VENKATAKRISHNA & R.H VENKATAKAMIAH LOT 1157 SYDNEY SMITH DRIVE THORNTON, PENRITH NSW		
Secta Ref Nbr	SC_15938	DRG Nbr	E-08
REV			A
SEWER DETAILS			DO NOT SCALE

ASPECT DEVELOPMENT & SURVEY PTY LTD
CONSULTING REGISTERED SURVEYORS
ABN 60 078 649 000

SUITE 1
103 VANESSA STREET
KINGSGROVE NSW 2208
PHONE (02) 9554 8388
FAX (02) 9554 8588

PO BOX 161
KINGSGROVE NSW 1480
DK 11392
HURSTVILLE



NOTE:
DRIVEWAY DESIGN IN ACCORDANCE WITH AS/NZS 2890.1:2004 WITH COUNCIL DCP GUIDELINE
SIGN: *[Signature]* DATE: 26.06.13

NOTE:
FINAL GARAGE LEVELS TO BE DETERMINED ON SITE



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BASIX

= 55.65m² of roof area to discharge to water tank.
= stormwater and overflow to discharge to existing street channel.

o/a= 158.52m² of roof area.

LEGEND:

○ = SURFACE INLETS AS REQUIRED
○ = SURFACE INLETS LINE
- - - = STORMWATER LINE

EARTHWORKS TO AHD

HOUSE: FFL: R.L. 28.805 A.H.D.
(LIVING) FGL: R.L. 28.480 A.H.D.

GARAGE: FFL: R.L. 28.790 A.H.D.
FGL: R.L. 28.465 A.H.D.

NOTE:
REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

GENERAL DRAINAGE NOTES

- Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
- Stormwater pipes to be 100mm DIA. (Min) at 1 deg. Grade (Min) to AS 3500
- Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
- ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D
- Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.

note:
r.l. levels indicative to a building tolerance of +/- 90mm.

NOTE:
EAVES O/H TO ENCR OACH AS ALLOWED BY B.C.A. CL 3.7.1.7 & FIGURE 3.7.1.9

(AA) EAEMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE (DP1184391)

(BB) EAEMENT FOR SUPPORT 0.25 WIDE (DP1184391)

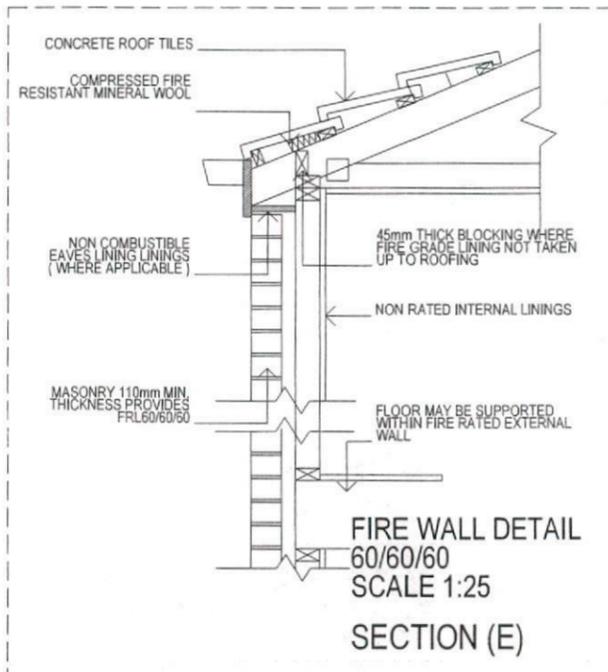
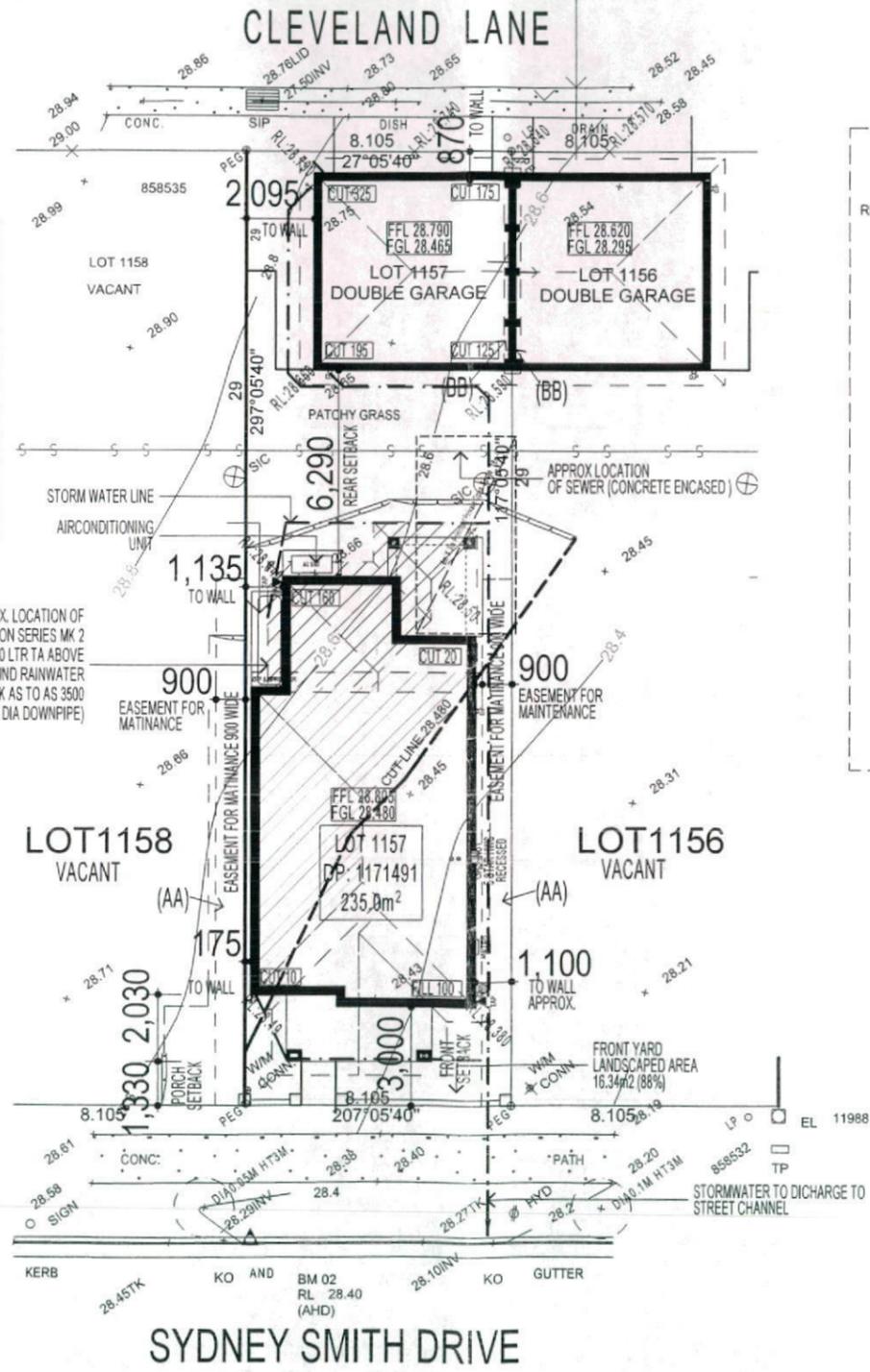
SYMBOLS & ABBREVIATIONS:

GP	GULLY PIT	-E-	OVERHEAD ELEC LINE
Φ	HYD HYDRANT	-S-	SEWER LINE
⊕	SIP SURFACE INLET PIT	□	GM GAS METER
○	SIC SEWER INSPECTION COVER	○	LP LIGHT POLE
○	SMH SEWER MANHOLE	EC	ELECTRICITY CONDUIT
□	WIM WATER METER	ECT	ELEC & TELE CONDUIT
□	EL ELECTRICITY BOX	TC	TELECOM CONDUIT
□	TP TELECOM PIT	WC	WATER CONDUIT
VC	VEHICLE CROSSING	INV	INVERT
SV	STOP VALVE	KO	KERB OUTLET
□	SWMH STORMWATER MANHOLE	TK	TOP OF KERB

LOCALITY SKETCH

UBD AREA: SYD REVISION: 48
MAP: 163 REF: K7

GPS
S
E



DEVELOPMENT CALCULATIONS

LOT: 1157 SITE AREA: 235.0m²

Itemised Floor Areas:	Totals:
living ground floor:	80.73m ²
first floor: (excl. void 3.79m ²)	61.35m ²
garage: (excess 00.000m ²)	36m ²
alfresco:	7.91m ²
porch:	7.83m ²
balcony:	6.44m ²
total floor area:	200.26m²

FLOOR SPACE RATIO CALCULATION:

gross floor areas:	Totals:
living ground floor: (internal area)	71.05m ²
first floor excl. void: (internal area)	53.34m ²
total gross floor area:	124.39m²
floor space ratio:	0.53:1

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	80.73m ²
garage:	36m ²
porch/alfresco:	15.74m ²
driveway/paved area:	17.19m ²
site coverage Area:	132.47m ² (56.4%)
landscape area:	102.43m ² (43.6%)
pervious areas (soft)	86m ² (84%)
impervious areas (hard)	16.55m ² (16%)
front yard landscape area	16.23m ² (88%)
front yard hard paved area	2.22m ² (12%)
private open space o/a:	50.22m ²
principal private open space:	18m ²
total car space incl. carstand:	2 carspace

COUNCIL ZONE: R1

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT: R.N.VENKATAKRISHNA & R.H.VENKATARAMIAH

LOCATION:
LOT 1157
SYDNEY SMITH DRIVE
PENRITH NSW 2750

NOTE:
PLEASE REFER TO "ECO DESIGN" LANDSCAPE PLANS ISSUE: D DATED 16.11.12

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3 - PHASE POWER

NOTE
AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER)
3-PHASE POWER

NOTE:
PLEASE REFER TO ACOUSTIC LOGIC'S ACOUSTIC REPORT. REF No.20120708.1/1508A/RO/HP - DATED:15/8/2012 > FOR ADDITIONAL INFORMATION

NOTE:
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NOTE:
PROVIDE GRANITGARD TERMITE TREATMENT

SITE PLAN & STORMWATER CONCEPT PLAN

DP: 1171491	council: PENRITH
model: CHESTER 21	facade: MILLENNIUM
date: 26/06/2013	revision assessment: QA2
Sheet: 1 of 11	scale: 1:200/1:100
drawn: N.K/GP	checked: P.D
411B-12	

- KEY**
-  FACE BRICK (AS SELECTED)
 -  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
 -  WEATHERTEX CLADDING PAINTED FINISH (AS SELECTED)

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

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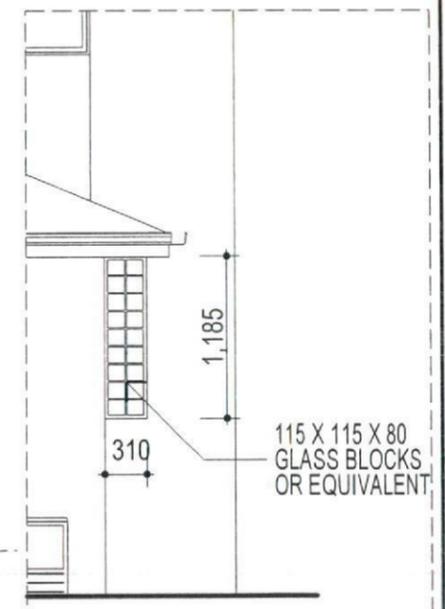
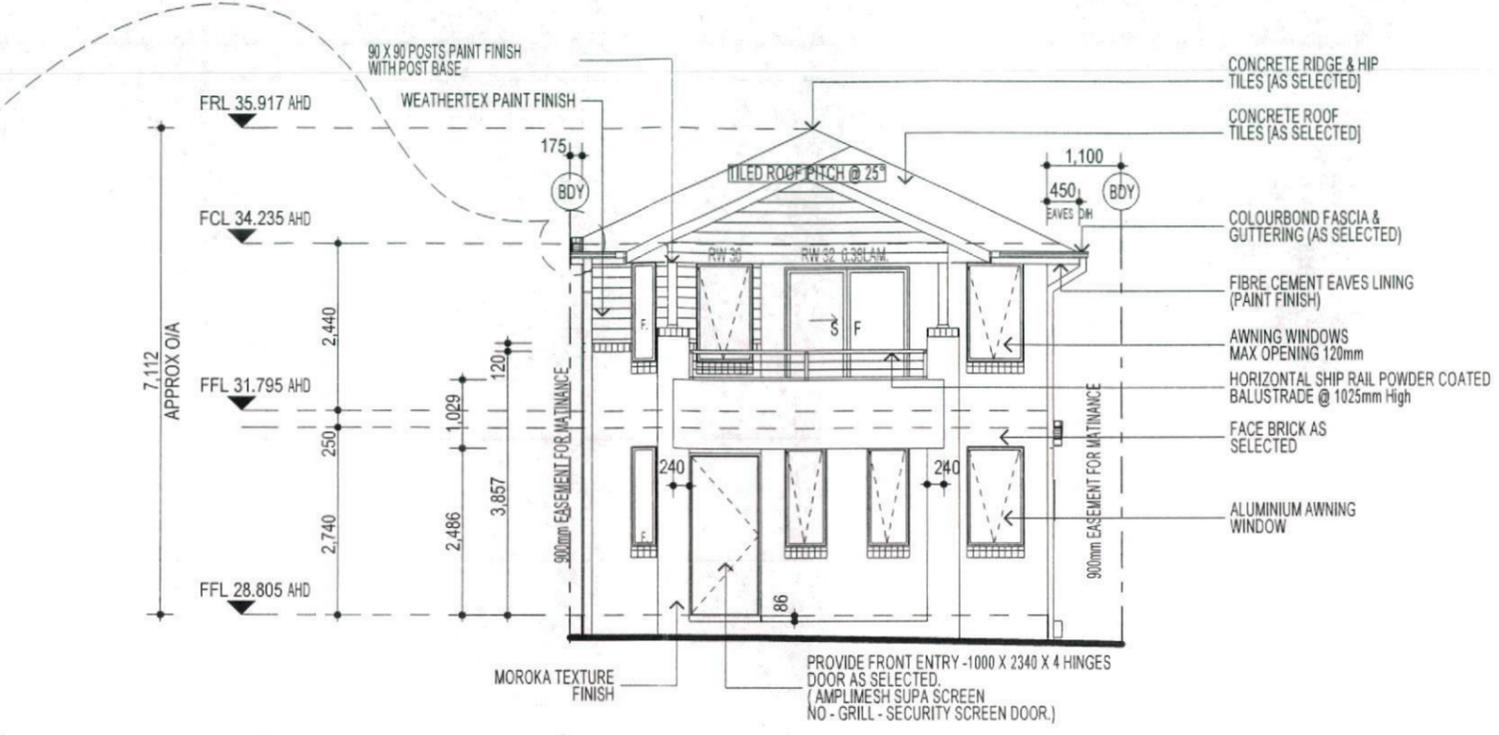
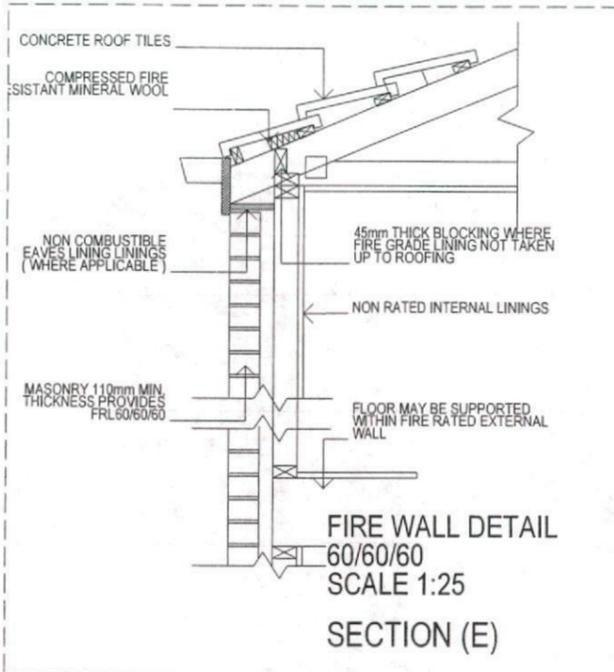
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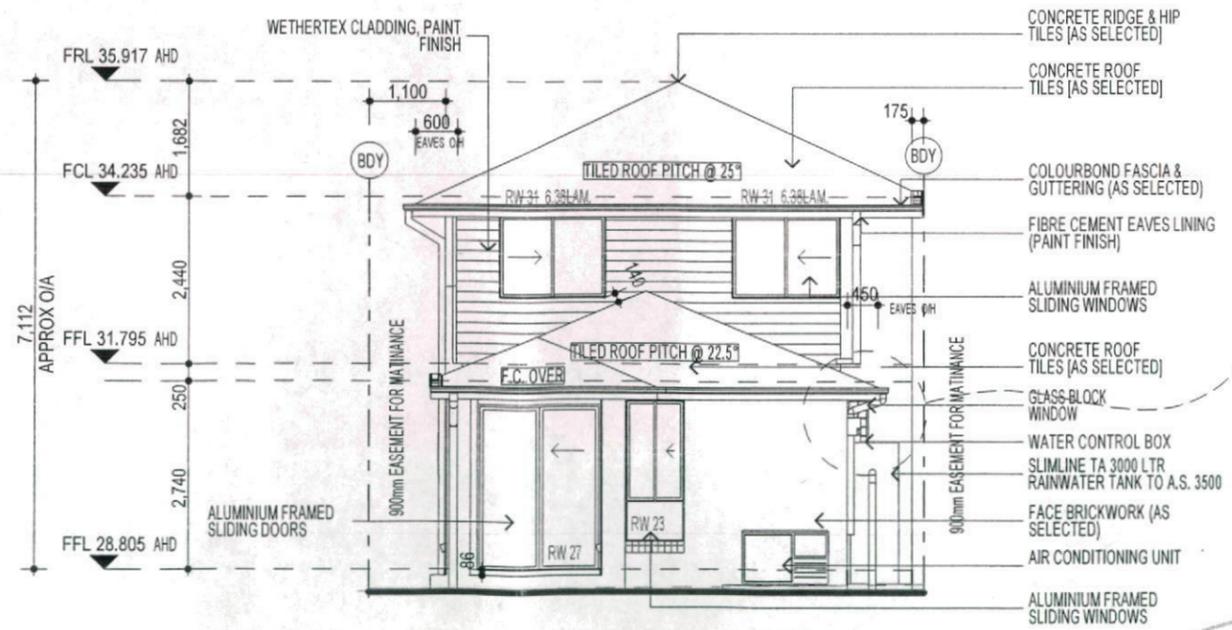
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NOTE:
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PROMOTION:
LIVING/STYLE COLLECTION
CLIENT: R.N.VENKATAKRISHNA & R.H.VENKATARAMIAH

LOCATION:
LOT 1157
SYDNEY SMITH DRIVE
PENRITH NSW 2750

DP: 1171491	council: PENRITH
model: CHESTER 21	facade: MILLENNIUM
date: 26/06/2013	scale: 1:100
Sheet: 5 of 11	drawn: N.K/GP
checked: P.D	PROJECT: 411B-12

ELEVATIONS

KEY

-  FACE BRICK (AS SELECTED)
-  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  WEATHEREX CLADDING PAINTED FINISH (AS SELECTED)

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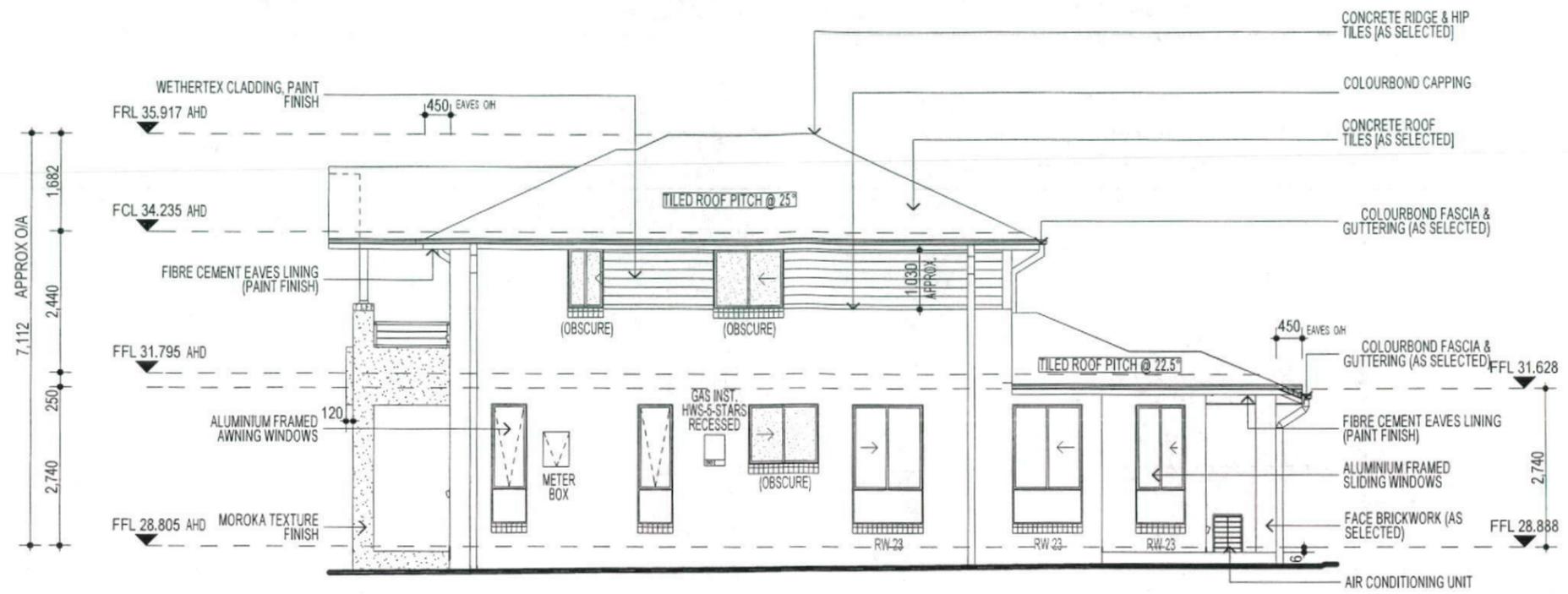
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ELEVATION D



ELEVATION B

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3 - PHASE POWER

NOTE
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PROMOTION: **LIVING/STYLE COLLECTION**

CLIENT: **R.N.VENKATAKRISHNA & R.H.VENKATARAMIAH**

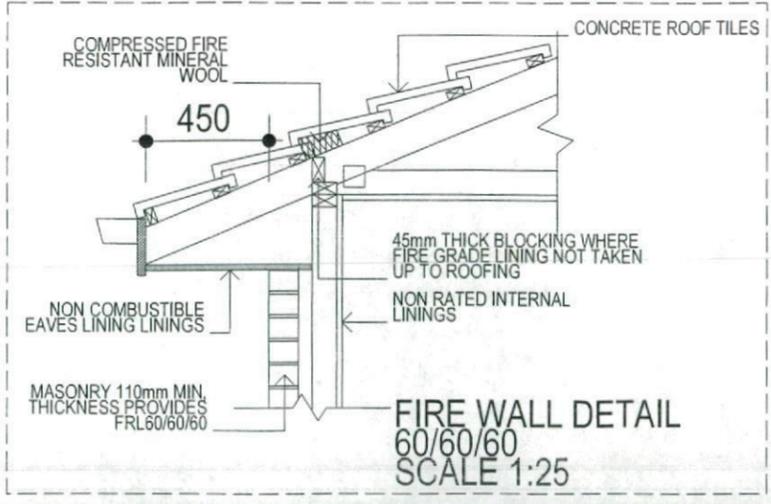
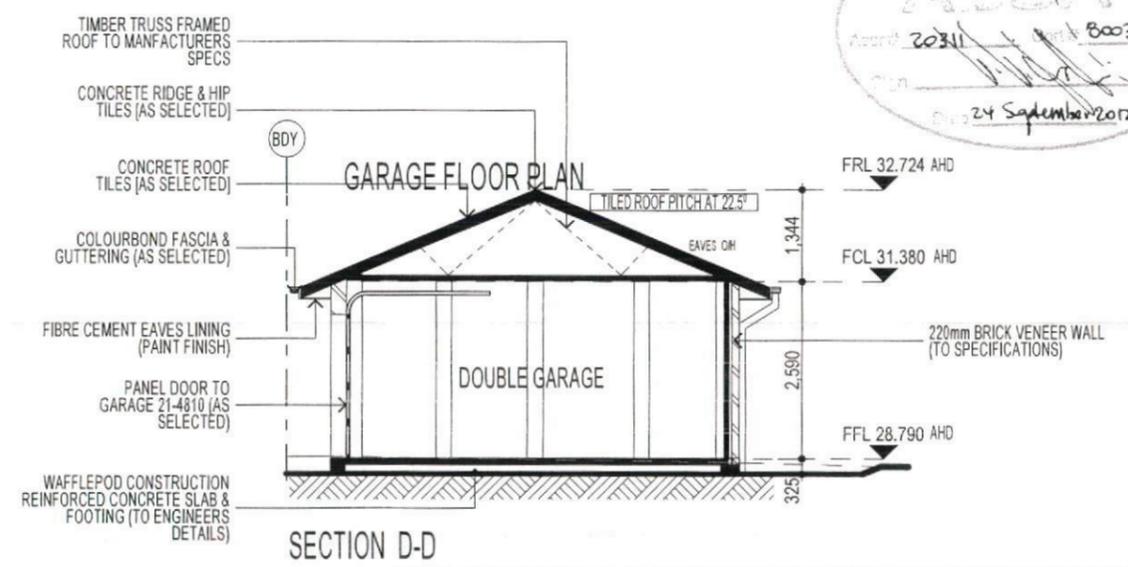
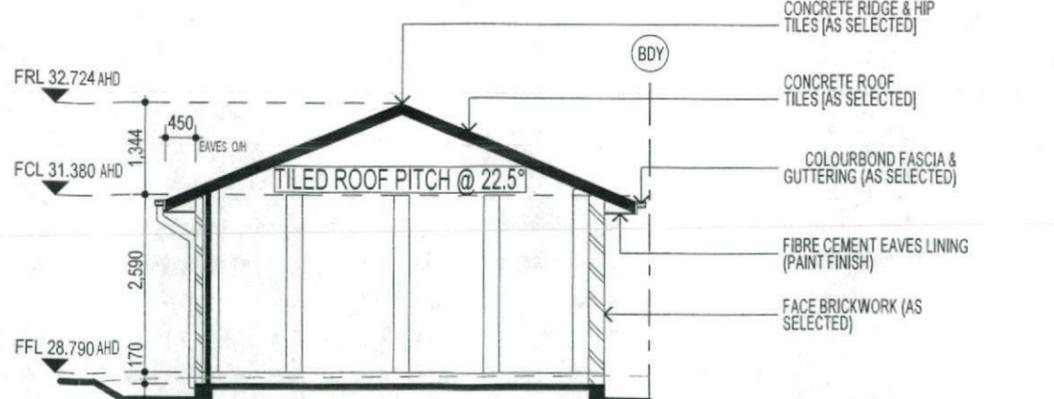
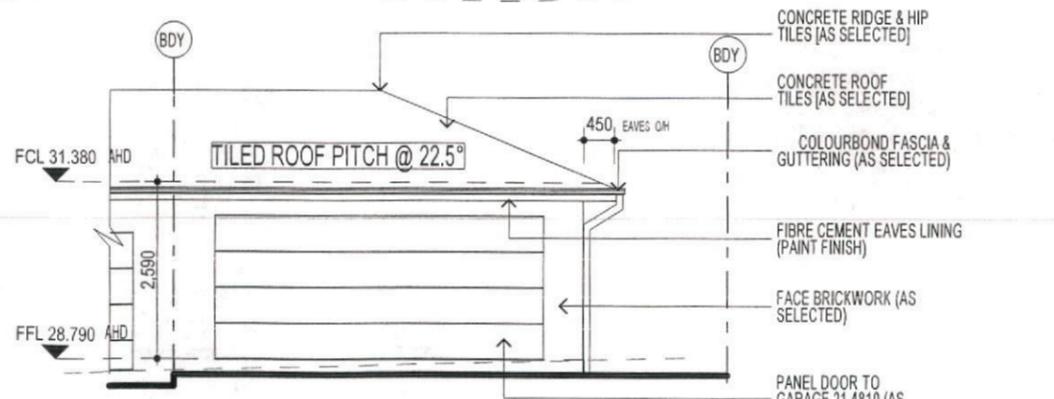
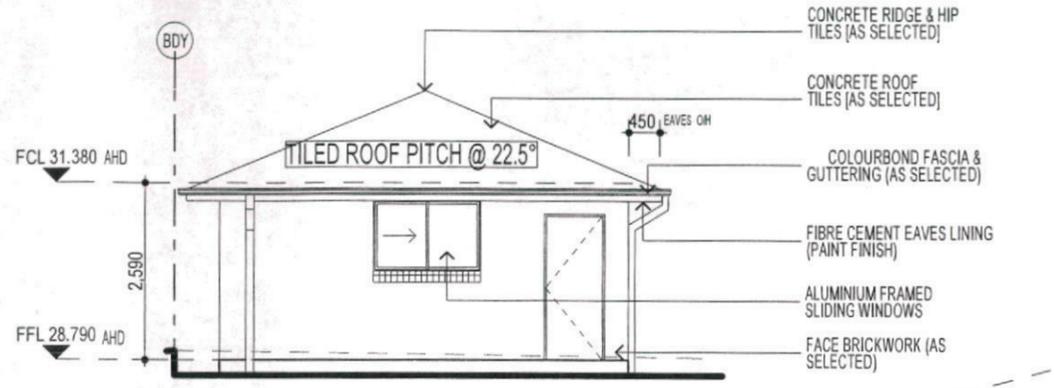
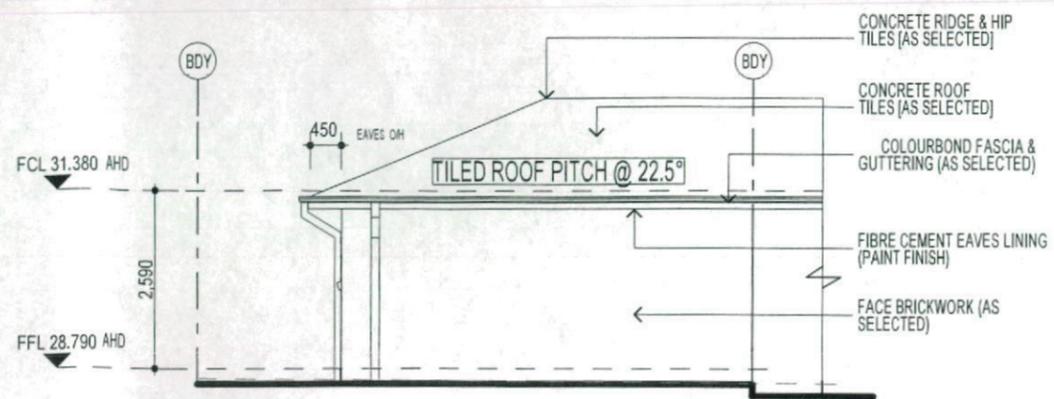
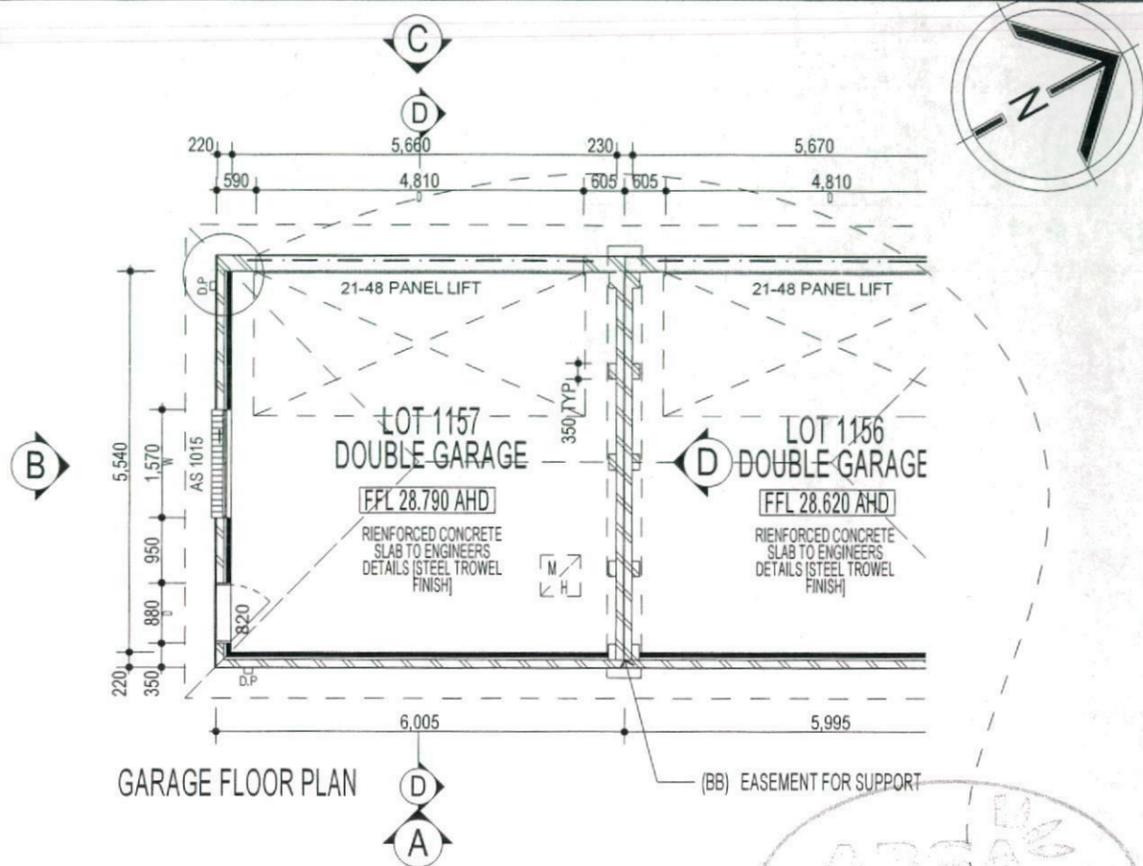
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DP: **1171491** council: **PENRITH**

model: **CHESTER 21** facade: **MILLENNIUM** date: **26/06/2013** QA2

Sheet: **6 of 11** draw: **N.K/GP** checked: **P.D** scale: **1:100** **411B-12**

ELEVATIONS



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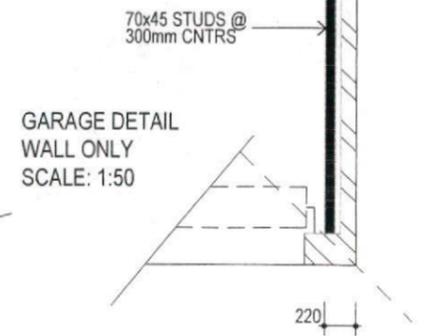
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3 - PHASE POWER

NOTE
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 3-PHASE POWER

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT: R.N.VENKATAKRISHNA & R.H.VENKATARAMIAH

LOCATION:
 LOT 1157 SYDNEY SMITH DRIVE PENRITH NSW 2750

DP: 1171491 council: PENRITH

model: CHESTER 21 facade: MILLENNIUM date: 26/06/2013 QA2

Sheet: 7 of 11 scale: N.K/GP checked: P.D

411B-12

CLIENTS SIGNATURE DATE S.P. 00

- KEY**
-  FACE BRICK (AS SELECTED)
 -  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
 -  WEATHEREX CLADDING PAINTED FINISH (AS SELECTED)

NOTE:
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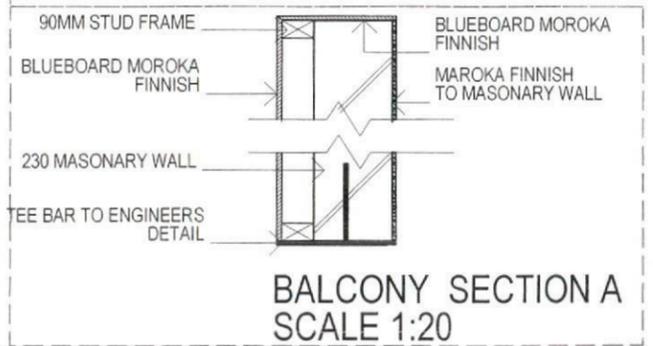
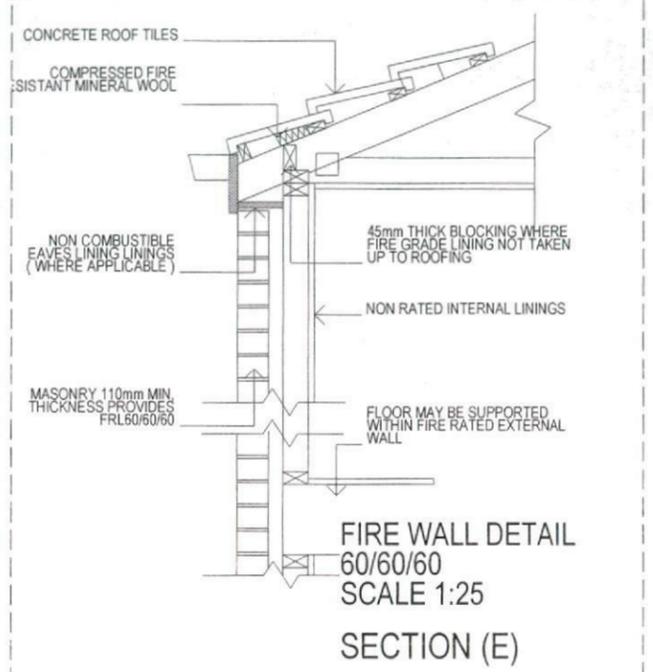
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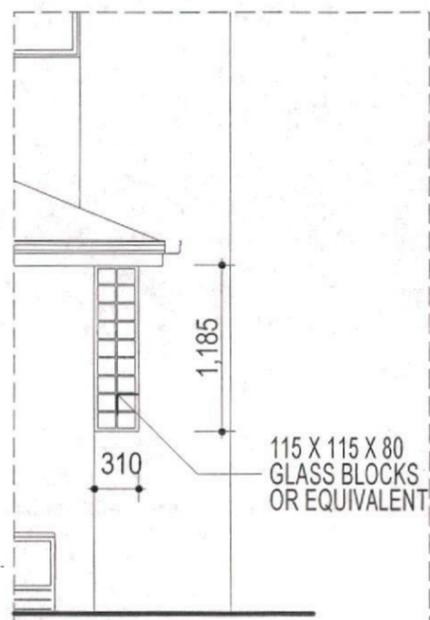
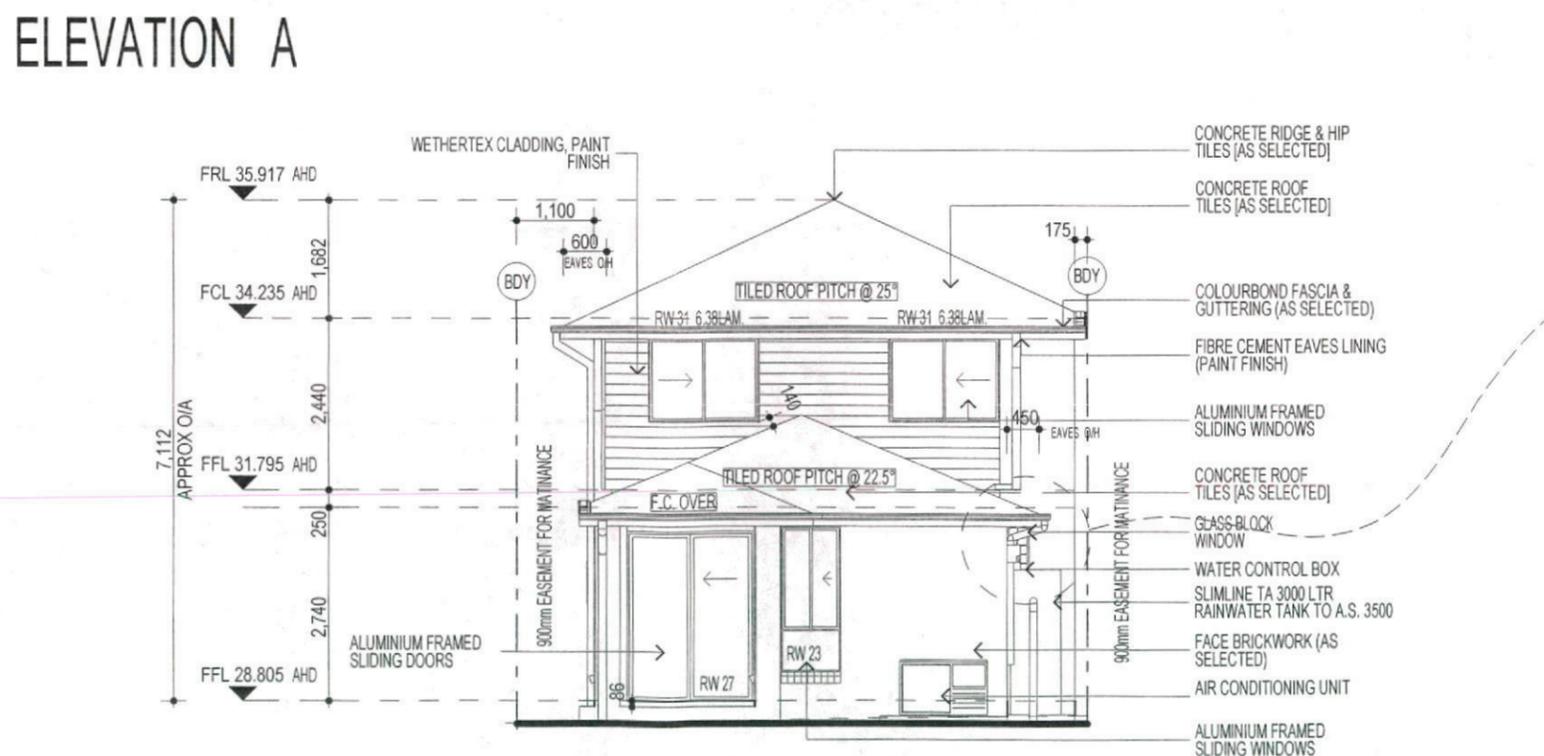
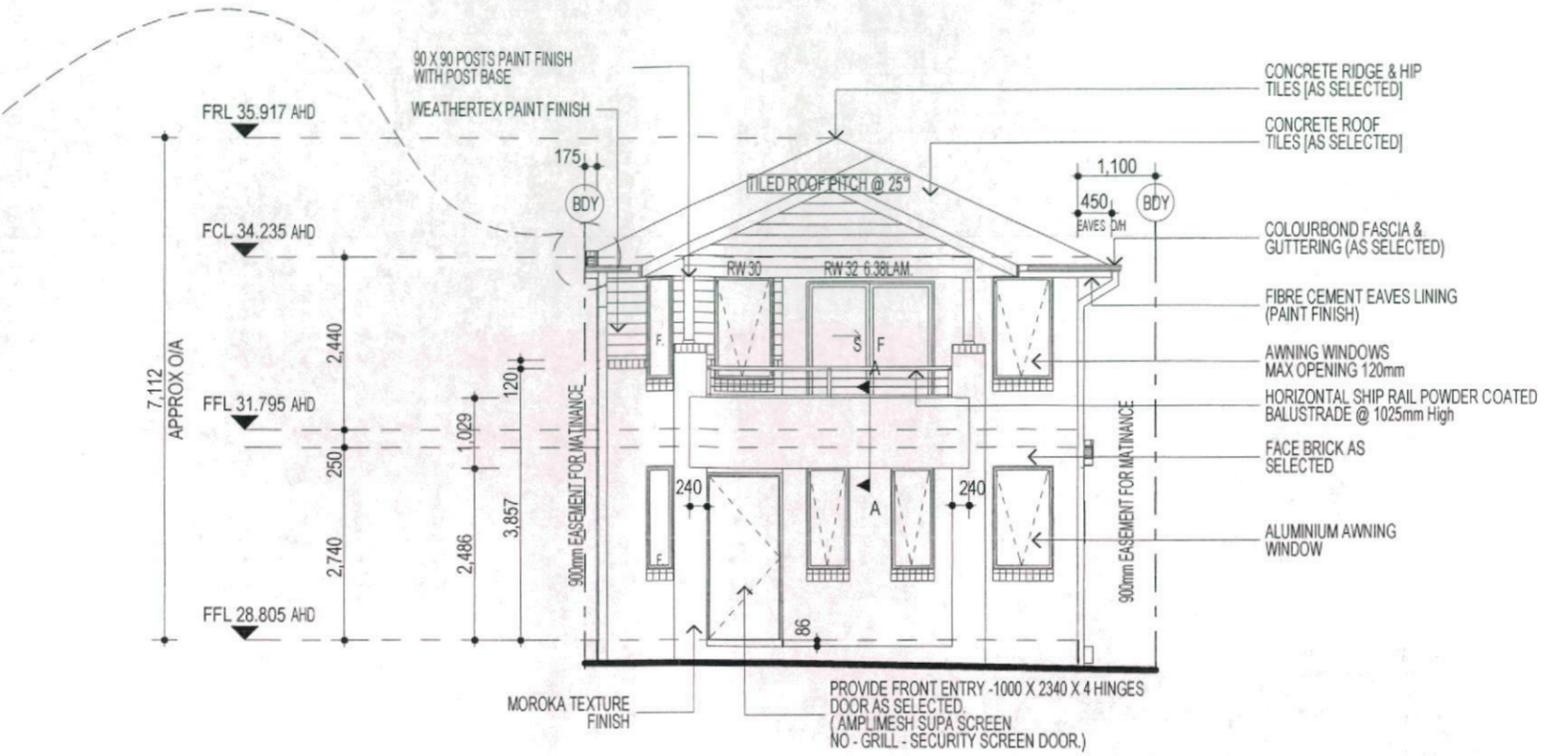
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3 - PHASE POWER

NOTE
AIR CONDITIONING ONLY (EER 2.5-3.0 OR GREATER) 3-PHASE POWER

NOTE:
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NOTE:
PROVIDE GRANITGARD TERMITE TREATMENT



ELEVATION C1
SCALE 1:50

NOTE:
ACOUSTIC SEALS REQUIRED ON ALL BEDROOM WINDOWS AND DOORS FACING SYDNEY SMITH DRIVE. IN ACCORDANCE WITH ACOUSTIC LOGIC'S ACOUSTIC REPORT. REF No.20120708.1/1508A/RO/HP

PROMOTION:
LIVING/STYLE COLLECTION

CLIENT: R.N.VENKATAKRISHNA & R.H.VENKATARAMIAH

LOCATION:
LOT 1157
SYDNEY SMITH DRIVE
PENRITH NSW 2750

DP: 1171491	council: PENRITH
model: CHESTER 21	facade: MILLENNIUM
date: 1/07/2013	revision assessment: QA2
drawn: N.K/GP	checked: P.D
scale: 1:100	411B-12

5 of 11

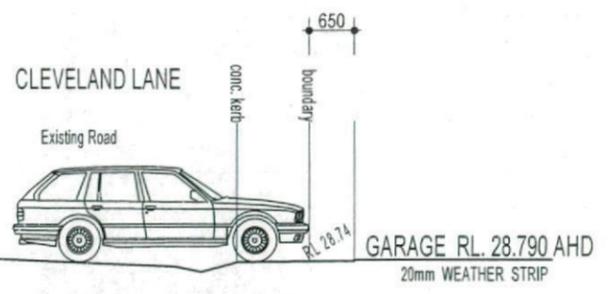
CLIENT'S SIGNATURE _____ DATE _____ SP 00

ELEVATIONS

ASPECT DEVELOPMENT & SURVEY PTY LTD
CONSULTING REGISTERED SURVEYORS
ABN 60 078 549 000

SUITE 1
103 VANESSA STREET
KINGS GROVE NSW 2208
PHONE (02) 9554 8388
FAX (02) 9554 8588

PO BOX 161
KINGS GROVE NSW 1480
DX 11362
HURSTVILLE



NOTE:
DRIVEWAY DESIGN IN ACCORDANCE WITH AS/NZS 2890.1:2004 WITH COUNCIL DCP GUIDELINE
SIGN: *[Signature]* DATE: 21.06.19

NOTE:
FINAL GARAGE LEVELS TO BE DETERMINED ON SITE



FIRSTYLE HOMES

FIRSTYLE HOMES Pty Ltd
Lic No. 113412C
ACN. 867 773 778
PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 9601 8111
FAX: (02) 9601 0711
EMAIL: design@firstyle.com.au

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MASTER BUILDERS ASSOCIATION
MEMBER

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BASIX

= 55.65m² of roof area to discharge to water tank.
= stormwater and overflow to discharge to existing street channel.

o/a = 158.52m² of roof area.

LEGEND:

○ = SURFACE INLETS AS REQUIRED
○ = SURFACE INLETS LINE
- - - = STORMWATER LINE

EARTHWORKS TO AHD

HOUSE: FFL: R.L.: 28.805 A.H.D.
(LIVING) FGL: R.L.: 28.480 A.H.D.

GARAGE: FFL: R.L.: 28.790 A.H.D.
FGL: R.L.: 28.465 A.H.D.

NOTE:
REFER TO BASIX CERTIFICATE FOR MORE INFORMATION ON WATER USAGE.

GENERAL DRAINAGE NOTES

1. Roof Plumber to locate Downpipes as indicated on FLOOR PLANS per spec. provided.
2. Stormwater pipes to be 100mm DIA. (Min) at 1 deg. Grade (Min) to AS 3500
3. Stormwater pipes may run via sub-floor to achieve minimum Grade to invert level.
4. ALL LEVELS SHOWN ON PLAN ARE APPROXIMATE ONLY UNLESS ACCOMPANIED BY LEVELS PREPARED BY REGISTERED SURVEYOR TO A.H.D.
5. Stormwater lines to be Discharged into Existing City Drainage system & connected to local government authority requirements.

note:
r.l. levels indicative to a building tolerance of +/- 90mm.

NOTE:
EAVES OH TO ENCR OACH AS ALLOWED BY B.C.A:CL3.7.1.7 & FIGURE 3.7.1.9

NOTE:
PLEASE REFER TO ACOUSTIC LOGIC'S ACOUSTIC REPORT. REF No. 20120708.1/1508A/RO/HP - DATED: 15/8/2012 > FOR ADDITIONAL INFORMATION

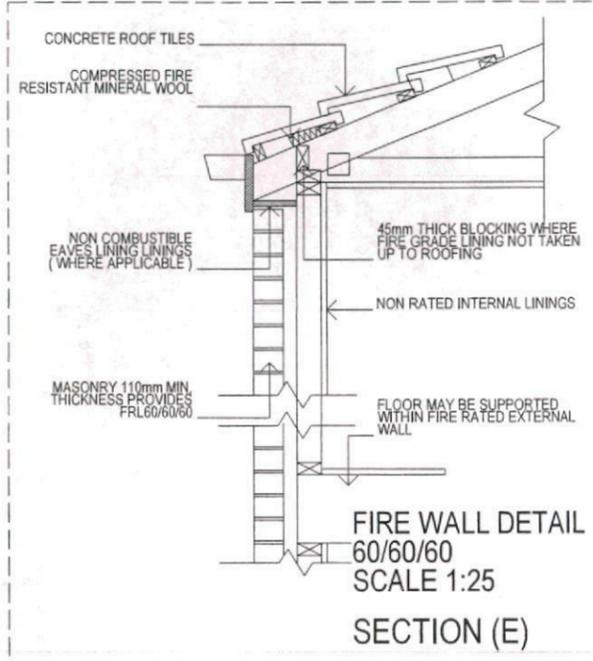
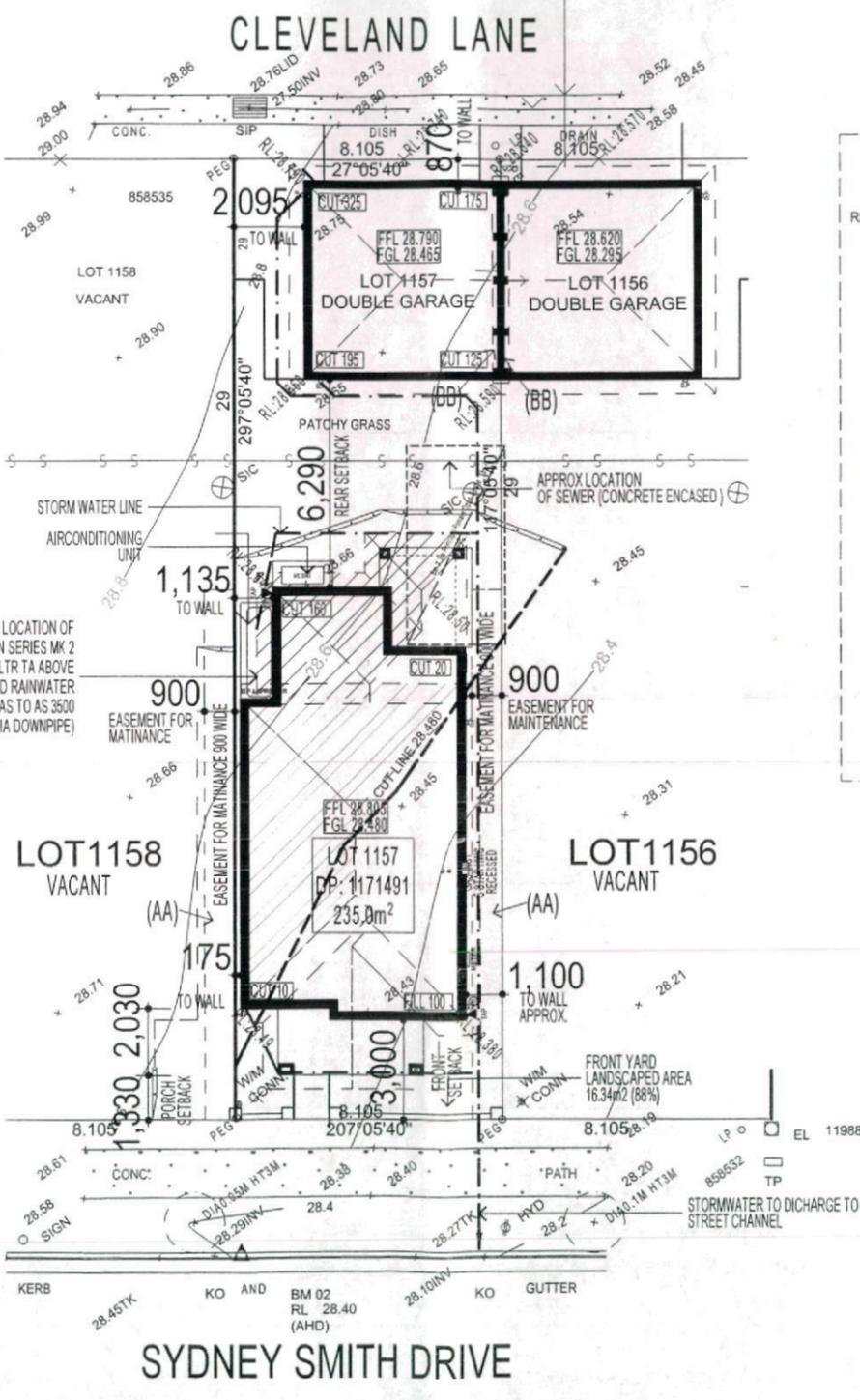
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(AA) EAESMENT FOR ACCESS AND MAINTENANCE 0.9 WIDE (DP1184391)
(BB) EAESMENT FOR SUPPORT 0.25 WIDE (DP1184391)

SYMBOLS & ABBREVIATIONS:

GP	GULLY PIT	-E-	OVERHEAD ELEC LINE
Φ	HYD HYDRANT	-S-	SEWER LINE
SIP	SURFACE INLET PIT	□	GM GAS METER
○	SIC SEWER INSPECTION COVER	○	LP LIGHT POLE
○	SMH SEWER MANHOLE	EC	ELECTRICITY CONDUIT
□	WM WATER METER	ECT	ELEC & TELE CONDUIT
□	EL ELECTRICITY BOX	TC	TELECOM CONDUIT
□	TP TELECOM PIT	WC	WATER CONDUIT
VC	VEHICLE CROSSING	INV	INVERT
SV	STOP VALVE	KO	KERB OUTLET
○	SWMH STORMWATER MANHOLE	TK	TOP OF KERB

LOCALITY SKETCH
UBD AREA: SYD REVISION: 48
MAP: 163 REF: K7
GPS
E



DEVELOPMENT CALCULATIONS

LOT: 1157 SITE AREA: 235.0m²

Itemised Floor Areas:	Totals:
living ground floor:	80.73m ²
first floor: (excl. void 3.79m ²)	61.35m ²
garage: (excess 00.000m ²)	36m ²
alfresco:	7.91m ²
porch:	7.83m ²
balcony:	6.44m ²
total floor area:	200.26m²

FLOOR SPACE RATIO CALCULATION:

gross floor areas:	Totals:
living ground floor: (internal area)	71.05m ²
first floor excl. void: (internal area)	53.34m ²
total gross floor area:	124.39m²
floor space ratio:	0.53:1

SITE AREA COVERAGE/LANDSCAPE:

house ground floor:	80.73m ²
garage:	36m ²
porch/alfresco:	15.74m ²
driveway/paved area:	17.19m ²
site coverage Area:	132.47m ² (56.4%)
landscape area:	102.43m ² (43.6%)
pervious areas (soft)	86m ² (84%)
impervious areas (hard)	16.55m ² (16%)
front yard landscape area	16.23m ² (88%)
front yard hard paved area	2.22m ² (12%)
private open space o/a:	50.22m ²
principal private open space:	18m ²
total car space incl. carstand:	2 carspace

COUNCIL ZONE: R1

PROMOTION:
LIVING/STYLE COLLECTION
CLIENT: R.N.VENKATAKRISHNA & R.H.VENKATARAMIAH

LOCATION:
LOT 1157
SYDNEY SMITH DRIVE
PENRITH NSW 2750

DP: 1171491	council: PENRITH
model: CHESTER 21	facade: MILLENNIUM
date: 26/06/2013	QA2
Sheet: 1 of 11	drawn: N.K/GP
checked: P.D	scale: 1,200/1:100
411B-12	

NOTE:
PLEASE REFER TO "ECO DESIGN" LANDSCAPE PLANS ISSUE: D DATED 16.11.12

NBN PACK

3 - PHASE POWER

NOTE
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NOTE:
PROVIDE GRANITGARD TERMITE TREATMENT

SITE PLAN & STORMWATER CONCEPT PLAN

- KEY**
-  FACE BRICK (AS SELECTED)
 -  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
 -  WEATHEREX CLADDING PAINTED FINISH (AS SELECTED)

NOTE:
FIRST FLOOR WINDOWS TO COMPLY WITH CLAUSE 3.9.2.5 OF VOLUME 2 OF THE BCA.

FIRST STYLE HOMES

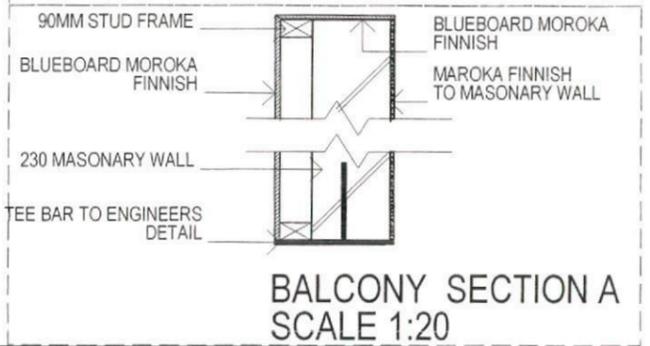
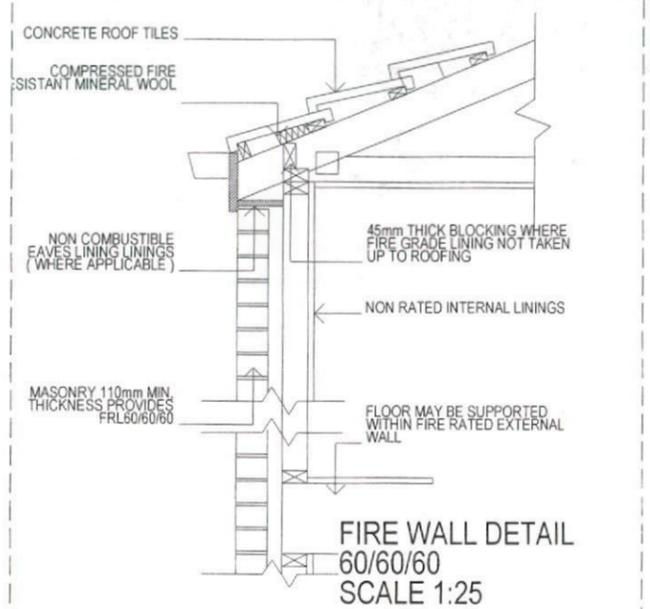
FIRST STYLE HOMES Pty Ltd
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 ACN. 087 773 779
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 EMAIL: design@firststyle.com.au

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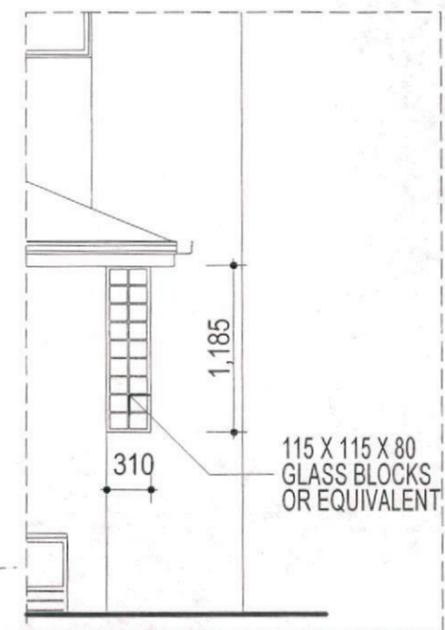
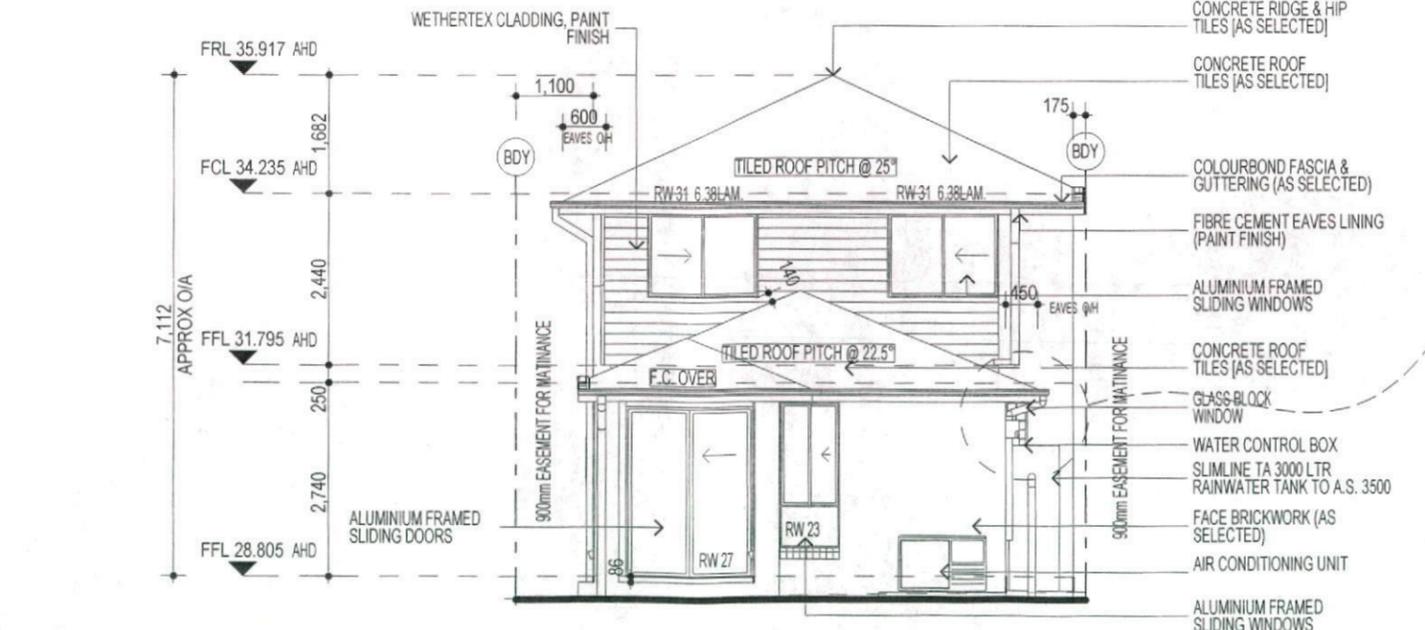
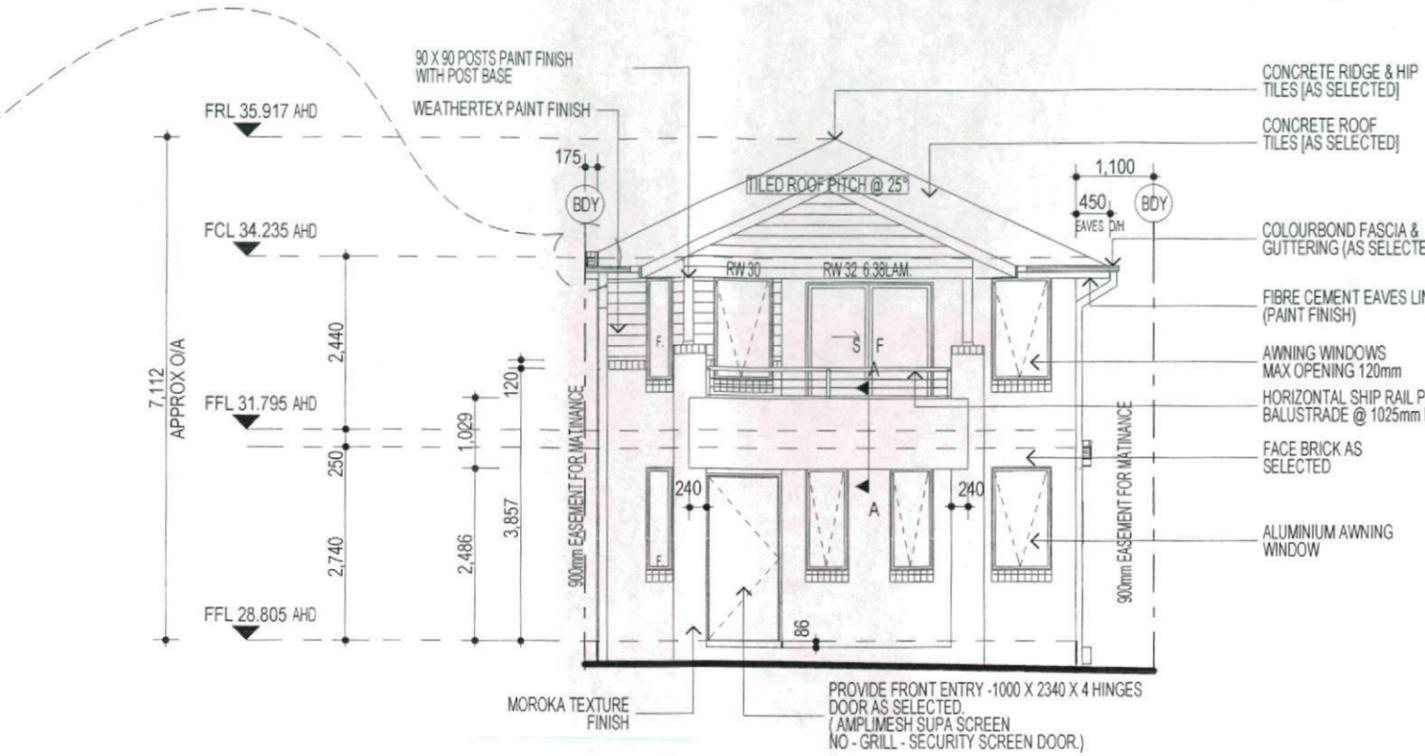
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PROMOTION:
LIVING/STYLE COLLECTION

CLIENT: **R.N.VENKATAKRISHNA & R.H.VENKATARAMIAH**

LOCATION:
LOT 1157
SYDNEY SMITH DRIVE
PENRITH NSW 2750

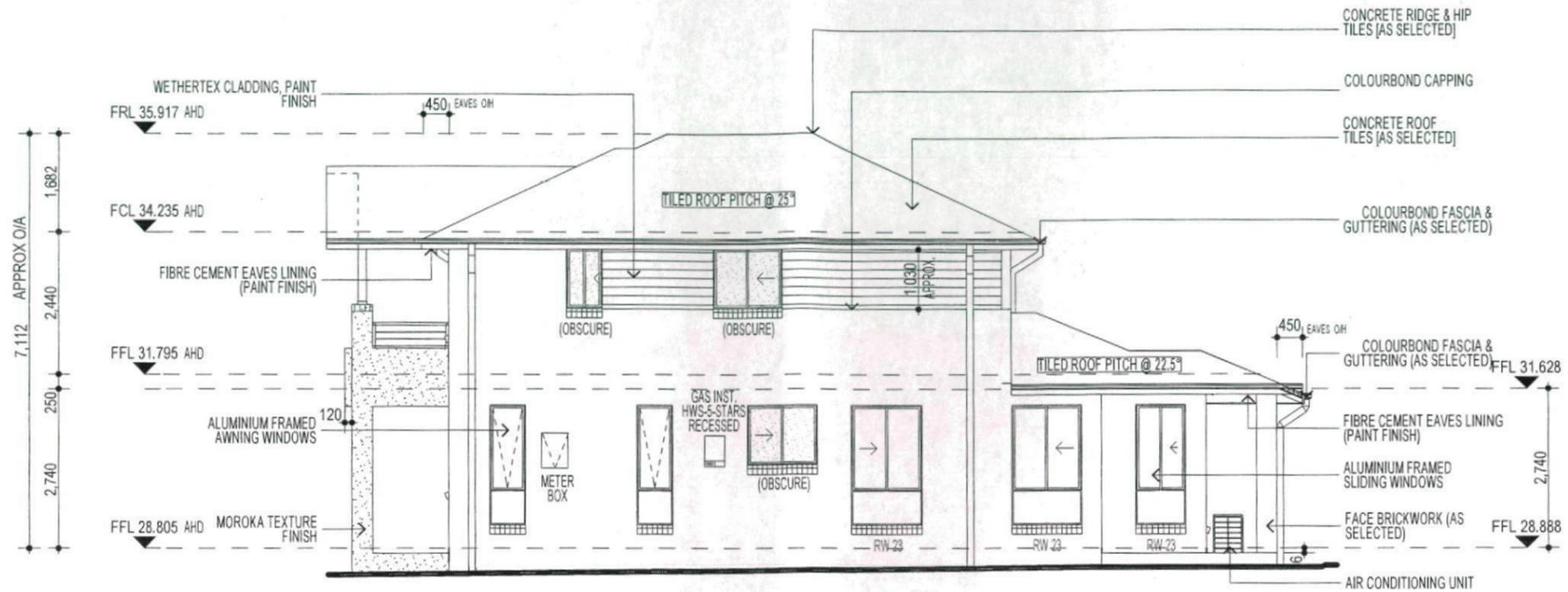
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model: CHESTER 21	facade: MILLENNIUM
date: 1/07/2013	position assessment: QA2
Sheet: 5 of 11	drawn: N.K/GP
checked: P.D	scale: 1:100
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CLIENT'S SIGNATURE _____ DATE _____ SP 90

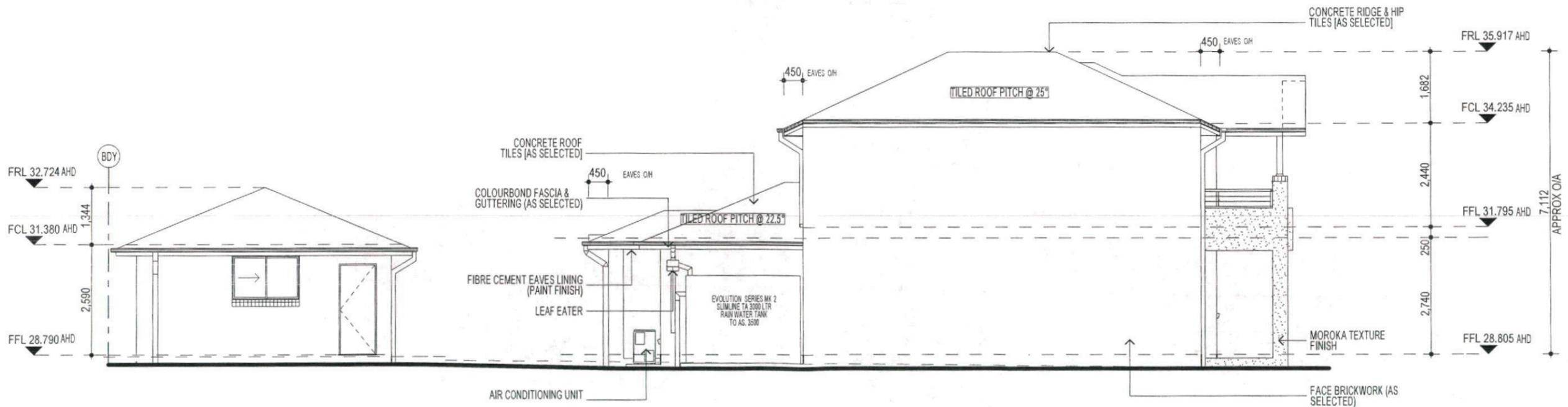
ELEVATIONS

KEY

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-  MOROKA TEXTURE TO FRONT AND RETURN AS DRAWN (AS SELECTED)
-  WEATHERTEX CLADDING PAINTED FINISH (AS SELECTED)



ELEVATION D



ELEVATION B

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ELEVATIONS



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Lic No. 1134126
ACH. 887 773 778
PO BOX 171, HOXTON PARK 2171

ADMIN: (02) 8691 0111
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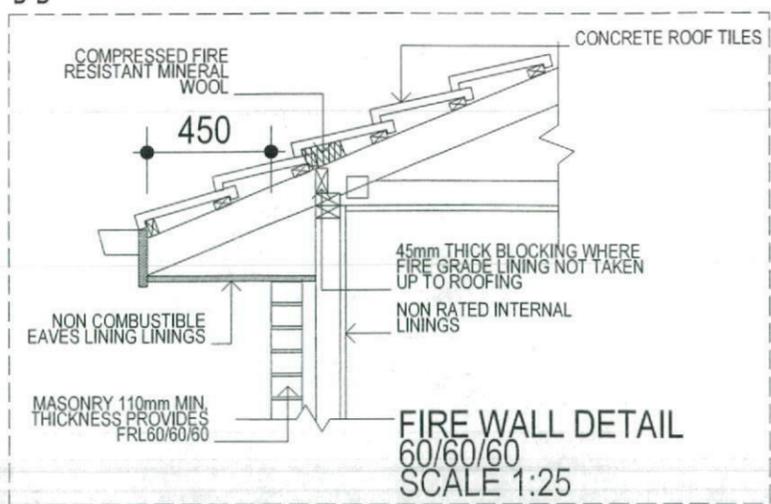
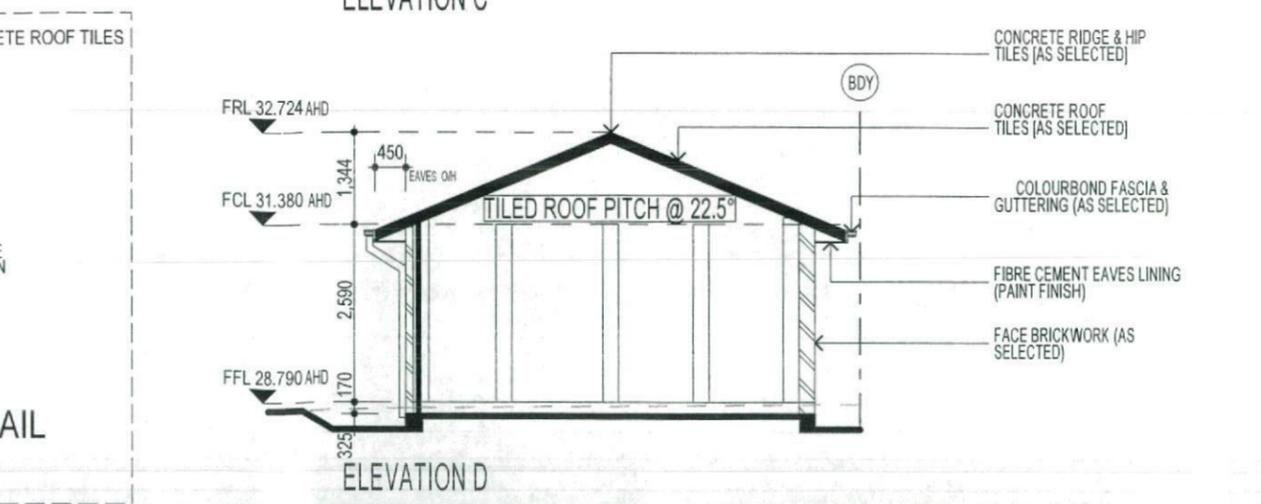
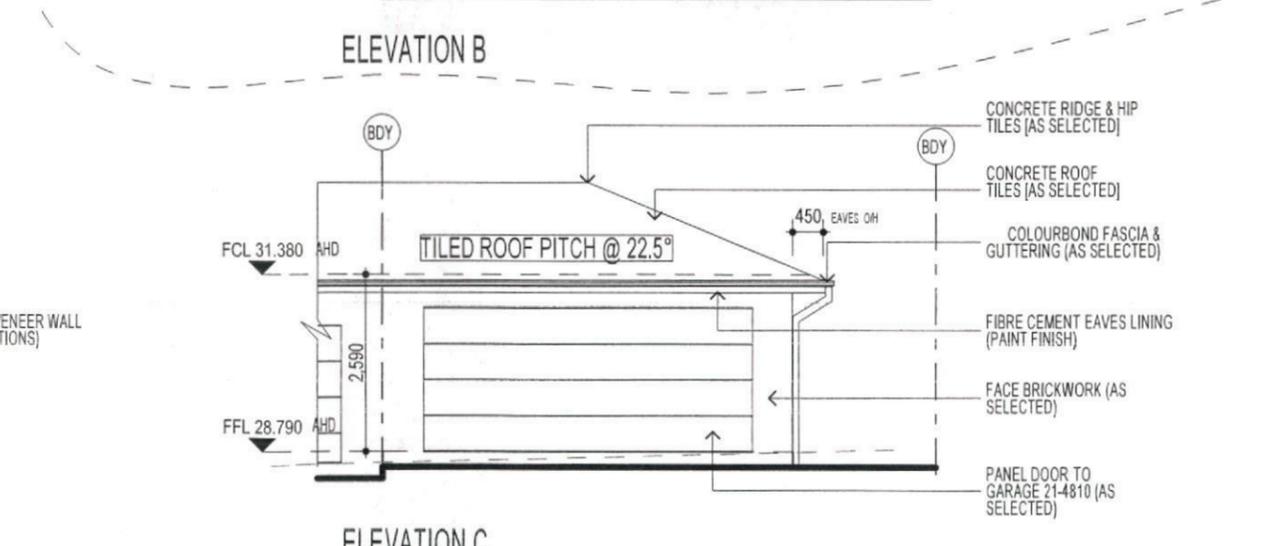
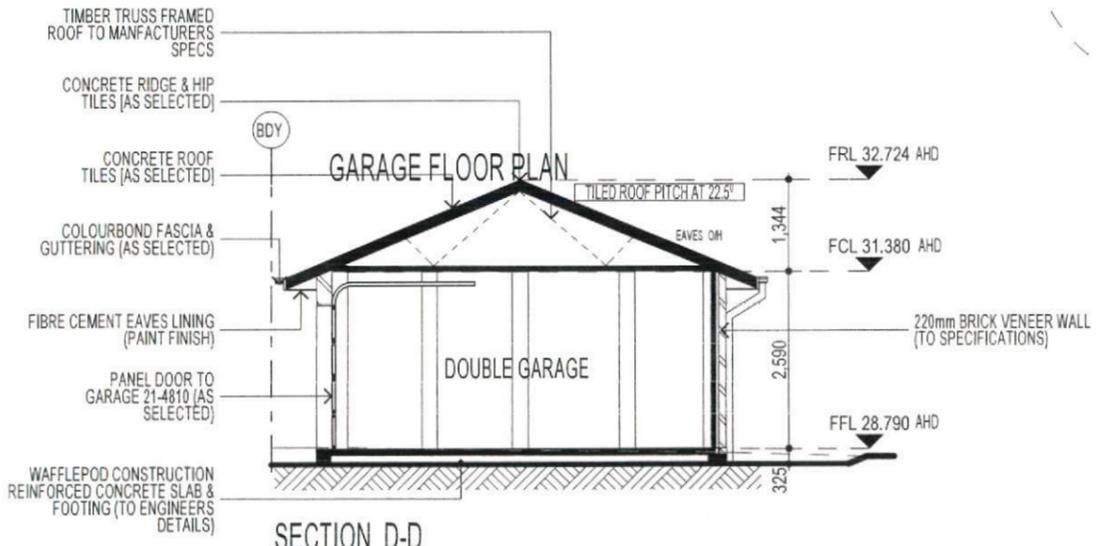
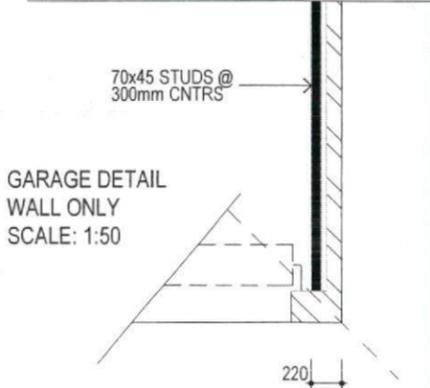
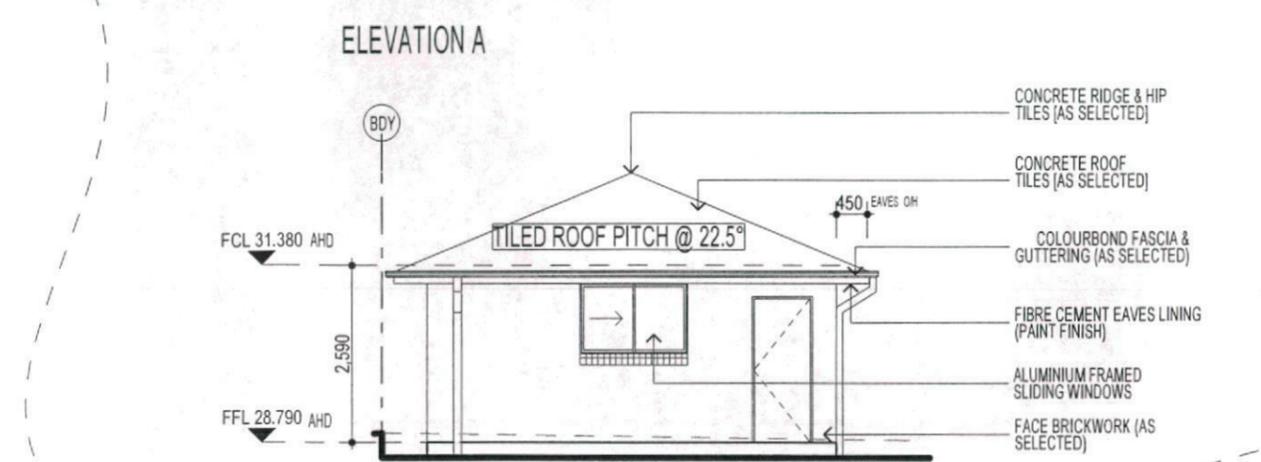
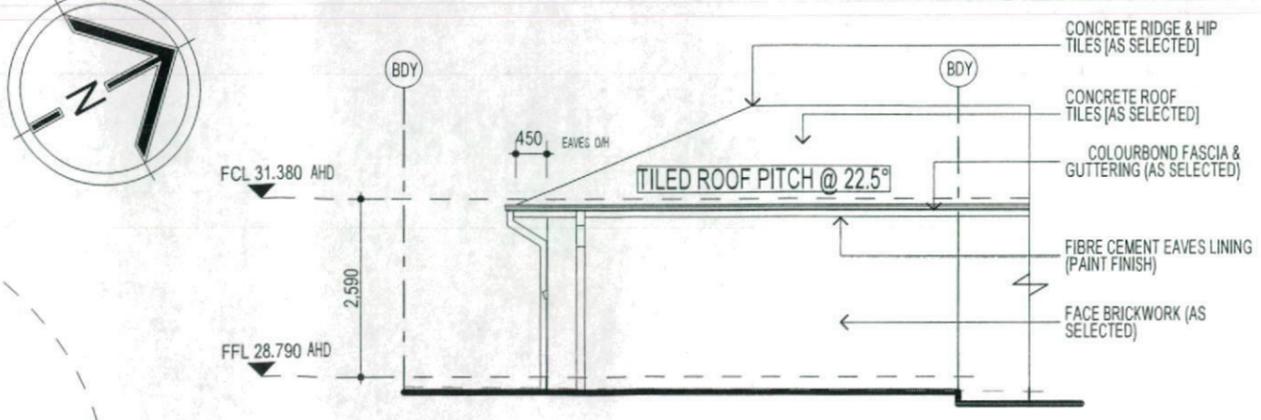
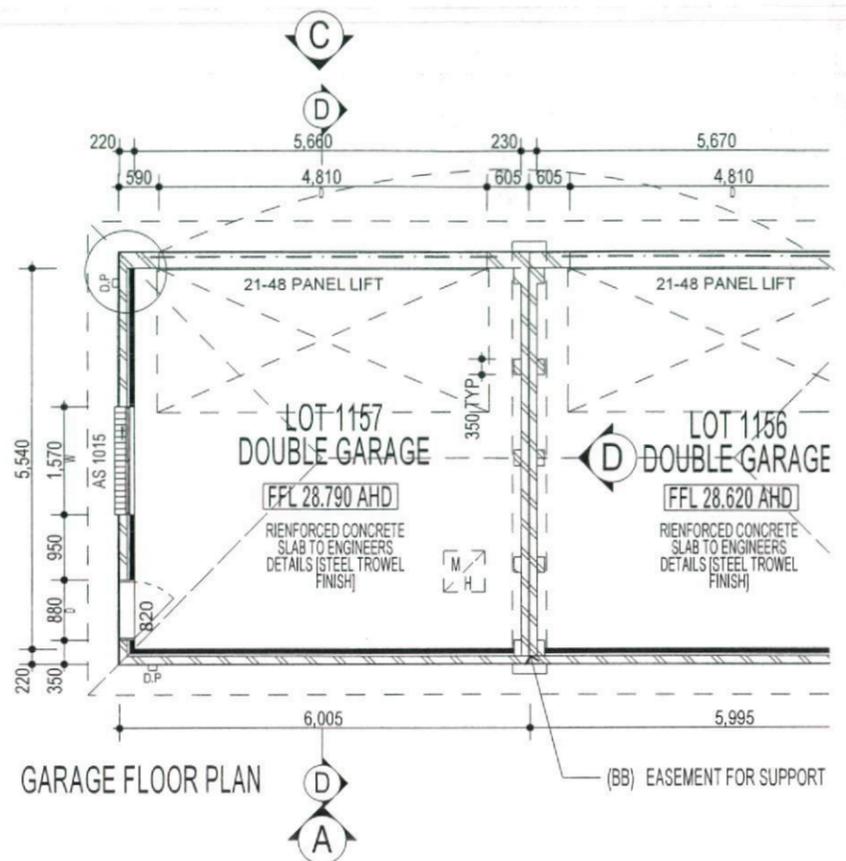
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PROMOTION: LIVING/STYLE COLLECTION			
CLIENT: R.N.VENKATAKRISHNA & R.H.VENKATARAMIAH			
LOCATION: LOT 1157 SYDNEY SMITH DRIVE PENRITH NSW 2750			
DP: 1171491	facade: MILLENNIUM	council: PENRITH	date: 26/06/2013
model: CHESTER 21	drawn: N.K/GP	checked: P.D	scale: 1:100
Sheet: 6 of 11	411B-12		QA2
CLIENTS SIGNATURE		DATE	S.P. 08.

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3 - PHASE POWER

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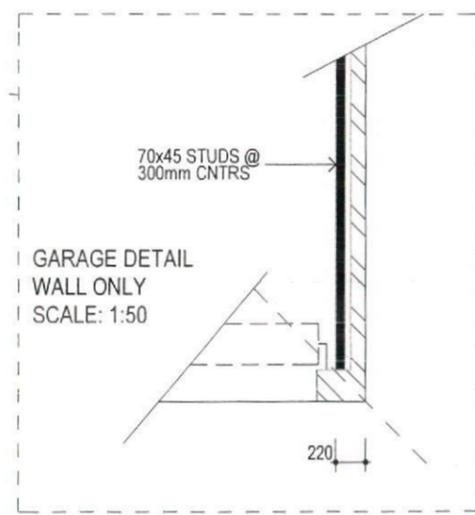
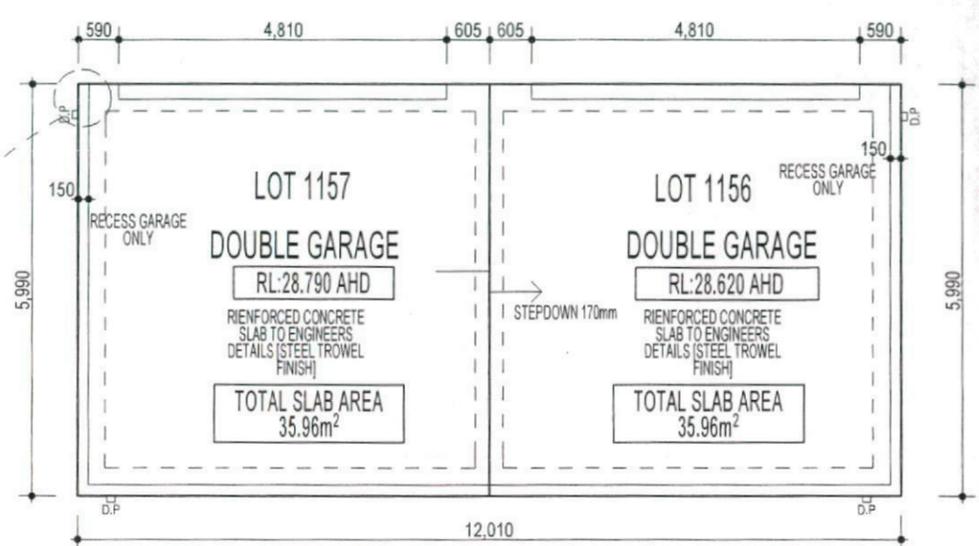
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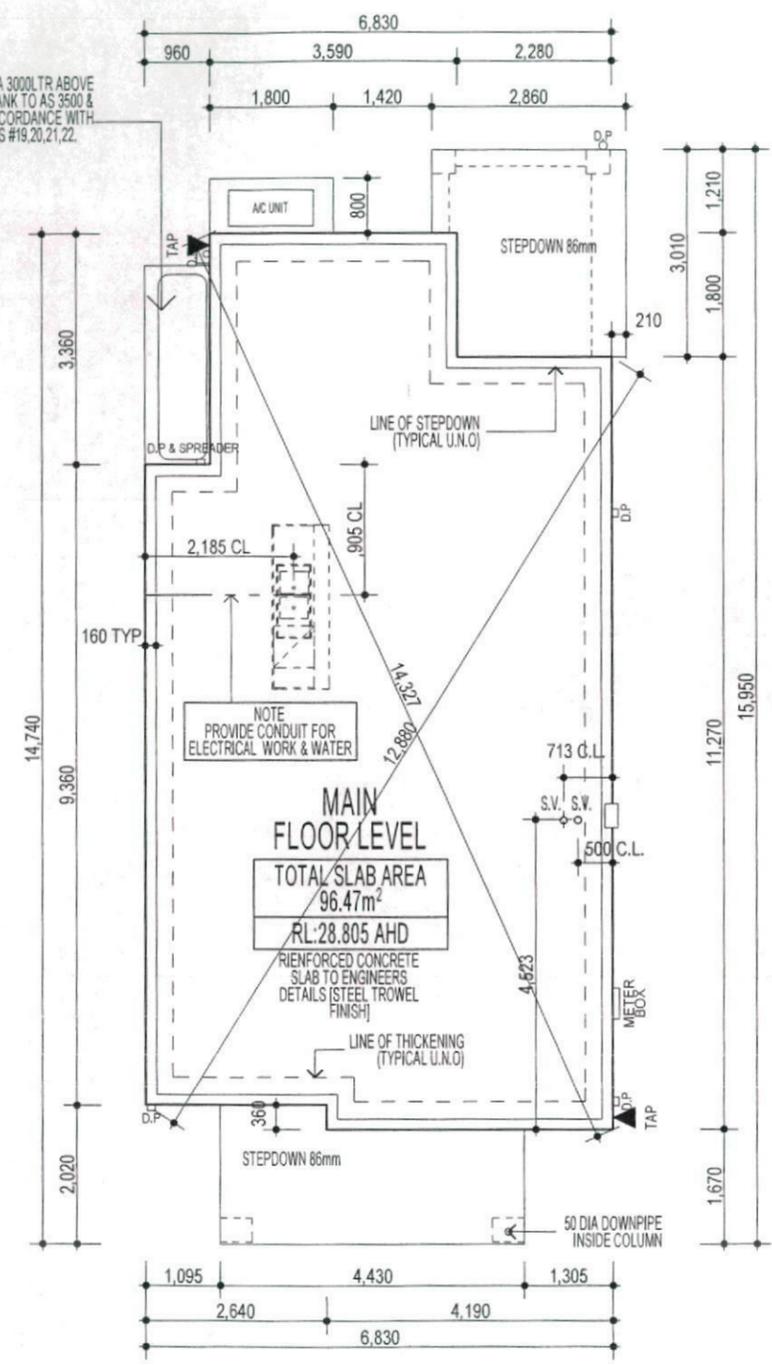
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SUPPLEMENTARY NOTES

- THE "SLAB LAYOUT PLAN" IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL FLOOR PLANS.
- THE "SLAB LAYOUT PLAN" IS TO BE READ FOR THE SOLE PURPOSE OF "SETTING OUT" THE SLAB.
- THE "SLAB LAYOUT PLAN" SHALL NOT BE USED TO DETERMINE THE LOCATION OF THICKENING BEAMS AND OTHER STRUCTURAL ELEMENTS.
- QUERIES OR DISCREPANCIES ARE TO BE RESOLVED PRIOR TO THE COMMENCEMENT OF EXCAVATION.
- REFER TO ENGINEER'S DRAWINGS FOR STRUCTURAL DETAILS & CONCRETE SPECIFICATIONS.
- REFER TO ENGINEER'S DRAWINGS FOR PLUMBING & OTHER SERVICE PENETRATION DETAILS.
- IF IN DOUBT... CONTACT THE BUILDING DESIGNER PRIOR TO COMMENCEMENT OF WORKS.



SLIMLINE TA 3000LTR ABOVE GROUND TANK TO AS 3500 & ALSO IN ACCORDANCE WITH CONDITIONS #19,20,21,22.



NOTE:
 PROVIDE GRANITGARD TERMITE TREATMENT

NOTE:
 ACOUSTIC SEALS REQUIRED ON ALL BEDROOM WINDOWS AND DOORS FACING SYDNEY SMITH DRIVE. IN ACCORDANCE WITH ACOUSTIC LOGIC'S ACOUSTIC REPORT, REF No.20120708.1/1508A/RO/HP

NOTE:
 ALL COMPONENTS SUCH AS: APPLIANCES; PLUMBING FITTINGS & FIXTURES; DOORS; CABINETS; HANDLES; PC ITEMS; ARE SHOWN ON THE PLANS & ELEVATIONS FOR ILLUSTRATION PURPOSES ONLY & TO COMMUNICATE APPROX SIZES. PLEASE REFER TO YOUR SPECIFICATIONS FOR YOUR RELEVANT INCLUSIONS

SLAB LAYOUT PLAN

PROMOTION: LIVING/STYLE COLLECTION			
CLIENT: R.N.VENKATAKRISHNA & R.H.VENKATARAMIAH			
LOCATION: LOT 1157 SYDNEY SMITH DRIVE PENRITH NSW 2750			
DP: 1171491	model: CHESTER 21	facade: MILLENNIUM	council: PENRITH
date: 26/06/2013	drawn: N.K/GP	checked: P.D	approval assessment: QA2
9 of 11	scale: 1:100	411B-12	
CLIENT'S SIGNATURE		DATE	



- ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH B.C.A. RELEVANT AUSTRALIAN STANDARDS, LOCAL & STATE ORDINANCES, LOCAL ELECTRICITY, WATER REGULATING AND ALL OTHER RELEVANT AUTHORITIES CONCERNED.
- ALL ENGINEERING WORK INCLUDING STRUCTURAL, CIVIL AND SITE DRAINAGE TO BE SUBJECT TO ENGINEER'S DETAILS AND CERTIFICATION AS PER REQUIRED BY COUNCIL.
- ALL WORK TO BE CARRIED OUT IN A PROFESSIONAL AND WORKMANSHIP LIKE WORKMANSHIP LIKE MANNER ACCORDING TO THE PLANS AND SPECIFICATION.
- ALL DIMENSIONS ARE TO BE CHECKED & VERIFIED ON SITE BEFORE COMMENCEMENT OF ANY WORK. ALL LEVELS ARE SUBJECT TO FINAL SURVEY AND SET OUT BY REGISTERED SURVEYOR.
- FIRSTYLE HOMES SITE SAFETY RULES APPLY.
- DO NOT SCALE FROM DRAWING. LARGER SCALE DRAWINGS & WRITTEN DIMENSIONS TAKE PREFFERENCE.
- THIS DRAWING & DESIGN IS COPYRIGHT & THE PROPERTY OF FIRSTYLE HOMES, AND MUST NOT BE RETAINED, COPIED OR USED WITHOUT THE AUTHORITY OF THIS FIRM.

SHADOW DIAGRAM

9:00am June 21st	
12:00pm June 21st	
3:00pm June 21st	

NOTE:
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PROMOTION:
LIVING/STYLE COLLECTION

CLIENT: R.N.VENKATAKRISHNA & R.H.VENKATARAMIAH

LOCATION:
 LOT 1157
 SYDNEY SMITH DRIVE
 PENRITH NSW 2750

DP: 1171491	facade: MILLENNium	date: 26/06/2013	council: PENRITH
model: CHESTER 21	drawn: N.K/GP	checked: P.D	revision: 0A2
Sheet: 11 of 11	scale: 1:200	411B-12	
CLIENT'S SIGNATURE		DATE	

SHADOW DIAGRAM

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