

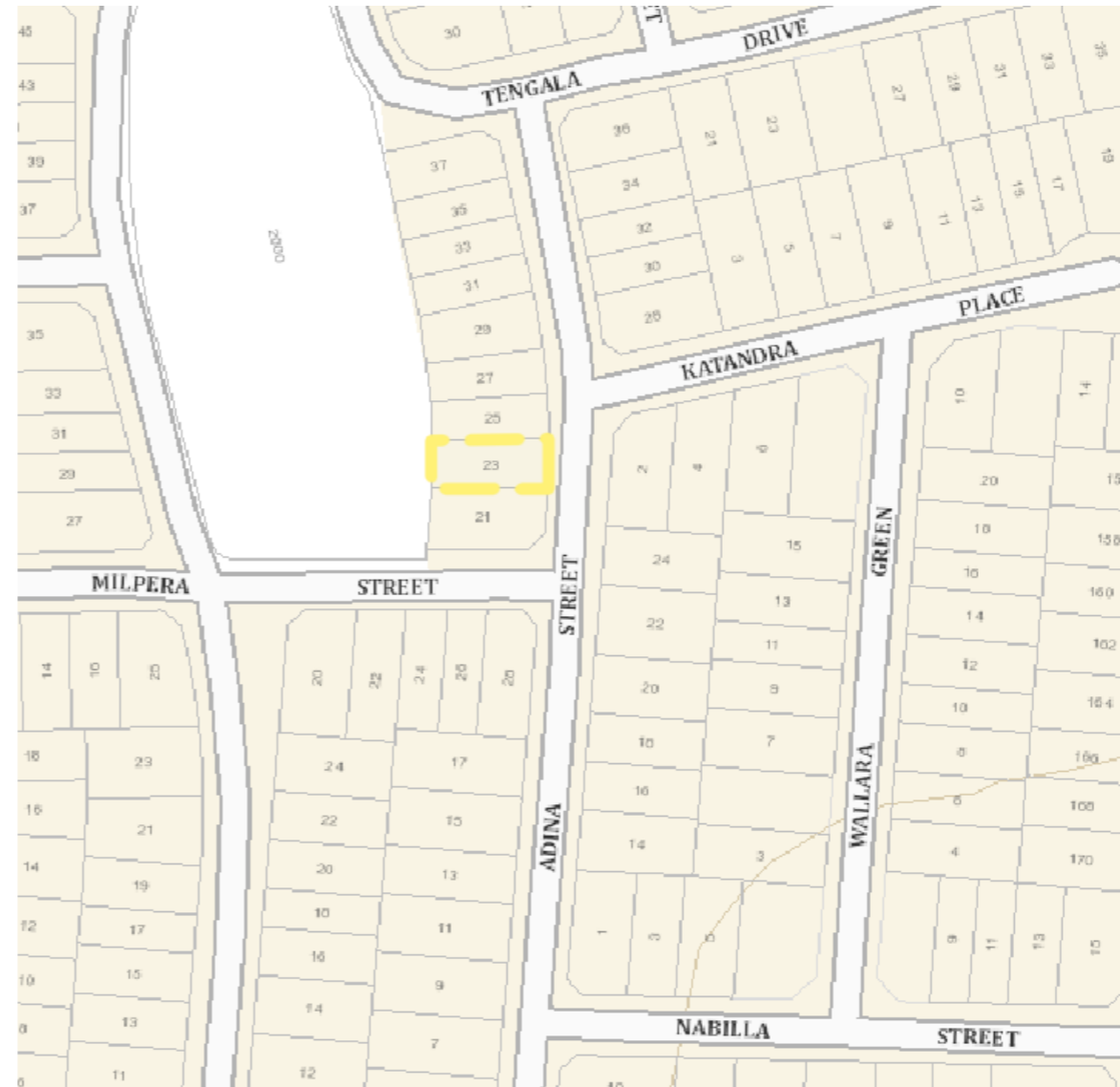
# PROPOSED DOUBLE STOREY DWELLING ON 23 ADINA STREET JORDAN SPRINGS

Disclaimer: Contractor must verify all dimensions on site and notify Nirva Designs any discrepancy prior to carrying out works. Written dimensions take precedence over scaled dimension. This drawings should be read in conjunction with all relevant contracts, specification, council guidelines, reports, drawings and all approved documentation issued unless specified otherwise. All workmanship, materials and their application shall be carried out in accordance with the BCA and Australian standards. No site works shall commence unless all relevant approvals have been obtained. All works shall be contained wholly with the legal boundaries of the subject site and required setbacks. All boundaries shall be identified by a registries surveyor prior to any work commencing. Fence lines shall not be used as prosperity boundaries. Nirva Designs retains all copyrights on this drawings. © 2020



23 Adina Street - 3D Render

1:2.50



## Revision History

RevID	ChID	Change Name	Date
01			7/03/2021

## Company Title



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Lot 2255 Jordan Springs

#Site City

Australia

#Site Postcode

Drawing Name

**23 Adina Street - 3D Render**

Drawing Status

Modified by

Date

Drawing Scale

**1:2.50**

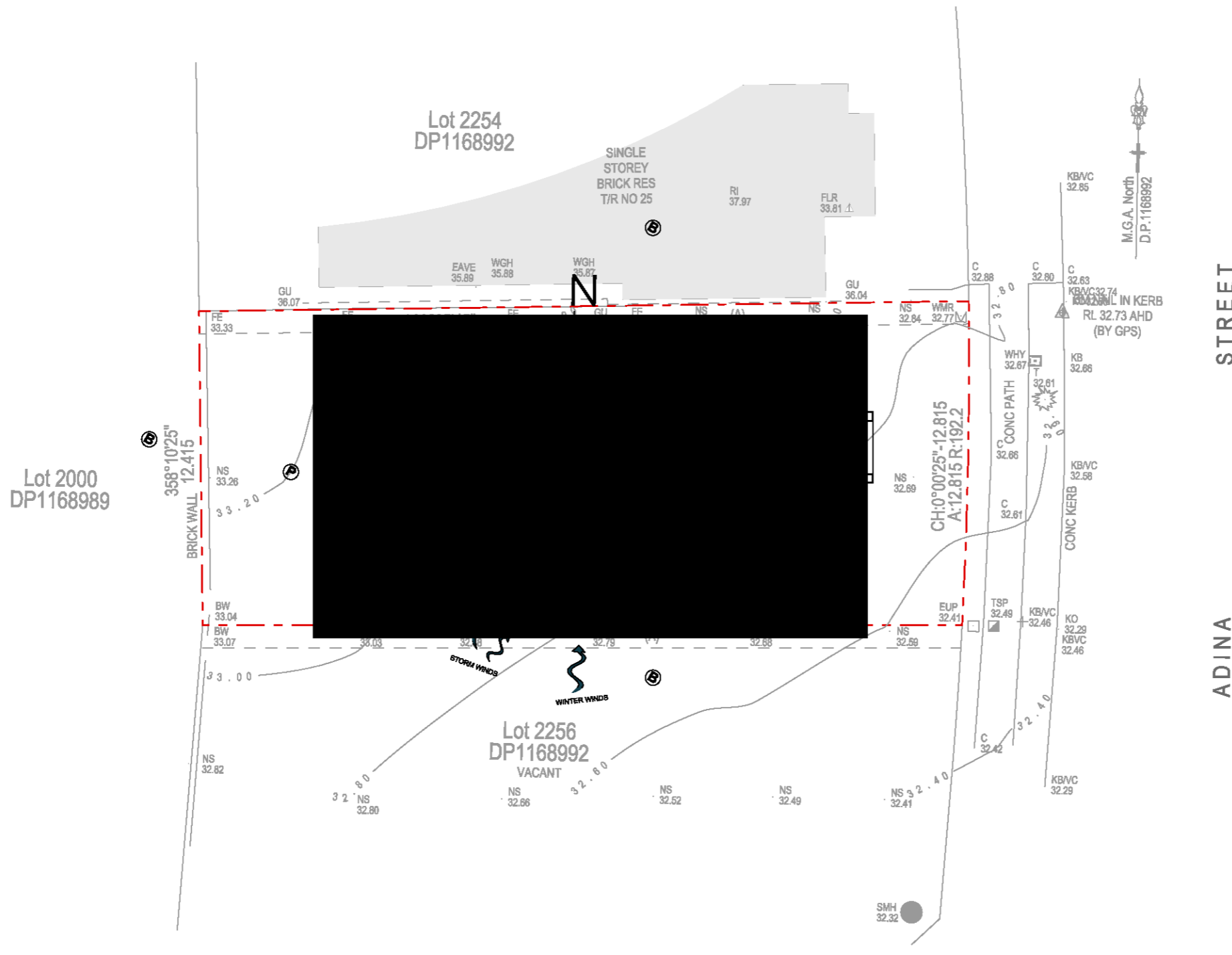
Layout ID

Revision

**01**








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Site Analysis

1:200

-  SITE BOUNDARY
-  WIND DIRECTION
-  PROPOSED BUILDING
-  NEIGHBOURHOOD PROPERTIES
-  PRIVATE OPEN SPACE

Revision History			
Revid	ChID	Change Name	Date

Company Title



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Drawing Name  
**Site Analysis**

Drawing Status

Modified by \_\_\_\_\_ Date \_\_\_\_\_

Drawing Scale  
**1:200**

Layout ID **A.01.1** Revision \_\_\_\_\_

**AUSTRALIAN STANDARDS COMPLIANCE:**

- THE BUILDING WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH, BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS.
- GLAZING AS 1288 AND AS 2047
  - COMPONENTS OF PROTECTION OF OPENINGS IN FIRE RESISTANT WALLS AS/NZS 1905
  - TIMBER FRAMING IN ACCORDANCE WITH AS 1684
  - FOOTINGS IN ACCORDANCE WITH AS 2870
  - STORMWATER IN ACCORDANCE WITH AS 3500
  - TERMITES MANAGEMENT IN ACCORDANCE WITH AS 3660.1
  - MASONRY CONSTRUCTION IN ACCORDANCE WITH AS 3700 & AS 4773.2
  - WATERPROOFING IN ACCORDANCE WITH AS 3740
  - SMOKE ALARMS IN ACCORDANCE WITH AS 3786
  - ELECTRICAL INSTALLATIONS AS 3013
  - CONCRETE CONSTRUCTION IN ACCORDANCE WITH AS 3600
  - METAL ROOF SHEETING IN ACCORDANCE WITH AS 1562.1 AND CLAUSE 3.5.1 OF THE BCA.
  - ROOF TILING IN ACCORDANCE WITH PART 3.5.1 OF THE BCA VOL.2 AND AS 2049
  - SOUND INSULATION IN ACCORDANCE WITH AS/NZS 1276
  - BALUSTRADE TO COMPLY WITH PART 3.9.2 OF BA VOL.2
  - STAIR CONSTRUCTION IN ACCORDANCE WITH PART 3.9.1 OF THE BCA
  - STAIR FLOOR FINISHES ARE REQUIRED TO COMPLY WITH PART 3.9.1.3 OF THE BCAS LIP RESISTANCE (WHEN TESTED IN ACCORDANCE WITH AS 4586)
  - STEEL STRUCTURES INCLUDING STEEL LINTELS COMPLIANCE WITH AS 4100
  - OFF STREET PARKING AS/NZS 2890.1

**BUILDING SPECIFICATION NOTES:**

- 0.2MM HIGH IMPACT VAPOUR MEMBRANE IS REQUIRED FOR ROOMS OR HABITABLE NATURE
- THE SLAB ON GROUND IS TO BE PROVIDED WITH A 0.2 MICRON HIGH IMPACT VAPOUR MEMBRANE

**STAIRS, STEPS AND BALUSTRADES**

- INTERNAL STAIR/ANTI-SKID NOSINGS THROUGHOUT THE DWELLING ARE IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.9 VOLUME 2 OF THE NCCS (BCA)
- ANY NEW STAIRS ARE REQUIRED TO MEET THE "NON SLIP" REQUIREMENTS DETAILED IN THE BCA, BEING A P3 OR R10 RATING FOR INDOOR (DRY) APPLICATIONS, OR A P4 OR R11 RATING FOR OUTDOOR (WET) APPLICATIONS (INTRODUCED IN BCA 2014)
- LANDINGS WHERE REQUIRED ARE TO BE IN ACCORDANCE WITH CLAUSE 3.9.1.3 OF BCA.
- ALL INTERNAL STAIRS ARE TO BE PROVIDED WITH HANDRAIL TO AT LEAST ONE SIDE IN ACCORDANCE CLAUSE 3.9.2.4 OF THE BCA
- BALUSTRADES SERVICING THE DWELLING ARE IN ACCORDANCE WITH REQUIREMENTS OF PART 3.9 OF VOLUME 2 OF THE NCCS (BCA).
- ALL GLASS BALUSTRADES REQUIRE A LOAD BEARING HANDRAIL, ARE TO BE COMPLIED WITH THE REQUIREMENTS OF AS 1288.
- EXTERIOR DOORS STEP DOWN AS PER THE REQUIREMENTS OF PART 3.9 OF VOLUME 2 OF THE NCCS (BCA)

**SMOKE ALARMS**

- SMOKE ALARMS ARE TO BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.7.2 OF VOLUME 2 OF NCCS (BCA)

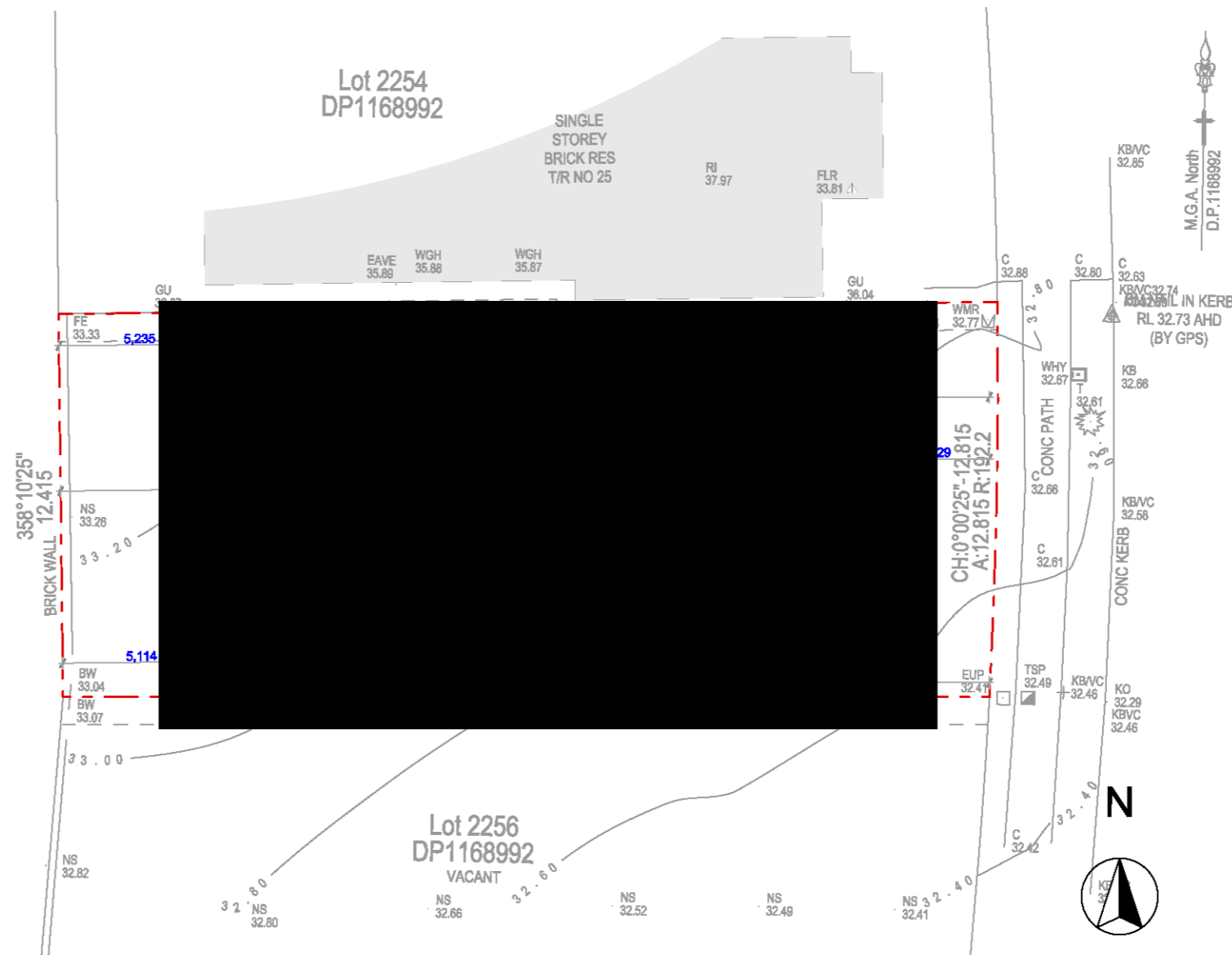
**LIFT OFF HINGES**

- DOOR SWING OF LIFT OFF HINGES ARE TO BE PROVIDED TO ENCLOSED WC AREA IN ACCORDANCE WITH REQUIREMENTS OF CLAUSE 3.8.3.3 OF VOLUME 2 OF THE NCCS (BCA)
- ALL WET AREAS ARE TO BE PROVIDED WITH FLOOR WASTES IN ACCORDANCE WITH BCA.
- INTERNAL FLOOR TO CEILING HEIGHT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.8.2 OF VOLUME 2 OF THE NCCS-BCA.

**ROOF AND GUTTERS**

- BRICK PARAPET CONSTRUCTION TO BE IN ACCORDANCE WITH CLAUSE 3.3.1.2 OF BCA
- ALL ROOF CLADDING IS TO BE IN ACCORDANCE WITH AS.1562.1
- ALL BOX GUTTERS WILL COMPLY WITH PART 3.5.2 OF BUILDING CODE OF AUSTRALIA (BCA)
- GUTTERS & DOWNPIPES ARE TO BE IN ACCORDANCE WITH CLAUSE 3.5.2 OF BCA & AS 3500 WITH ALL DOWNPIPES BEING A MINIMUM SIZE OF EITHER 100X75 OR 100DIA & ALL BOX GUTTERING WILL BE MINIMUM 400W X 200D.
- CONSTRUCTION PLANS/ DETAILS/ SPECIFICATIONS FOR THE PROPOSAL WILL BE PROVIDED PRIOR TO THE COMMENCEMENT OF ANY WORKS.

WE RELY ON SURVEY PROVIDED FOR SITE BOUNDARIES, LEVELS, EASEMENTS, SERVICES ETC. OWNER SHOULD CHECK ANY INCONSISTENCIES PRIOR TO COMMENCEMENT OF ANY WORK ON SITE.



Site

1:200

**Compliance for DA (Penrith DCP 2014)**

	Allowed	Proposed	Complied
Primary Road Setback	4.5m	4.5m	Yes
Lower Level Side A Setback	0mm	150mm	Yes
Lower Level Side B Setback	900mm	920mm	Yes
Upper Level Side A Setback	900mm	1200mm	Yes
Upper Level Side B Setback	900mm	920mm	Yes
Lower Level Rear Setback	4m	5.1m	Yes
Upper Level Rear Setback	6m	10.36m	Yes
Soft Landscape	Min. 25% of lot area	107.32m <sup>2</sup>	Yes

**Area Analysis**

Ground Floor	214.80m <sup>2</sup>
First Floor	136.20m <sup>2</sup>
<b>Total</b>	<b>351.00m<sup>2</sup></b>

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**Revision History**

RevID	ChID	Change Name	Date
01	Ch-01	Design	21/02/2021
02	Ch-02	Design & Elevations	7/03/2021
03	Ch-03	Design & Elevations	31/03/2021
04	Ch-04	Design & Elevations	1/04/2021

**Company Title**



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#Site Postcode

Drawing Name

**Site**

Drawing Status

**Design**

Modified by

NP

Date

Drawing Scale

**1:200**

Layout ID

**A.01.2**

Revision

**04**

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IES-02 Window Schedule			
Element ID	Quantity	W x H Size	W/D Nominal Sill Height
W001	1	900x1,800	600
W002	1	900x1,800	600
W003	1	2,150x1,200	1,350
W004	1	1,200x600	1,950
W005	1	1,800x900	1,650
W006	1	1,200x2,400	2,870
W007	1	1,200x1,800	750
W008	1	2,150x1,800	750
W009	1	2,150x1,800	750
W010	1	1,200x1,800	750
W011	1	1,200x600	950
W012	1	1,500x600	950
W101	1	900x1,800	600
W102	1	900x1,800	600
W103	1	900x1,800	600
W104	1	900x1,800	600
W105	1	900x1,800	600
W106	1	2,150x900	1,620
W107	1	1,500x600	1,920
W108	1	2,150x900	1,620
W109	1	1,500x900	1,620
W110	1	900x1,800	720
W112	1	2,150x900	1,620
W113	1	2,150x900	1,620
W114	1	900x1,800	720
W115	1	1,200x600	1,920
W116	1	1,200x600	1,920

IES-04 Window Schedule 1:1

IES-02 Door Schedule		
Element ID	Quantity	W x H Size
D01	1	4,500x2,400
D02	1	1,640x2,400
D03	1	820x2,340
D04	1	820x2,340
D05	1	820x2,340
D06	1	820x2,340
D07	1	820x2,340
D08	1	820x2,340
D09	1	820x2,340
D10	1	2,400x2,400
D11	1	3,200x2,400
D12	1	2,700x2,400
D13	1	820x2,340
D14	1	820x2,340
D15	1	820x2,340
D17	1	820x2,340
D18	1	820x2,340
D19	1	720x2,340
D20	1	720x2,340
D21	1	820x2,340
D22	1	720x2,340
D23	1	820x2,340
D24	1	820x2,340
D25	1	820x2,400
D26	1	820x2,400

IES-03 Door Schedule 1:1

Revision History			
RevID	ChID	Change Name	Date
01	Ch-02	Design & Elevations	7/03/2021
02	Ch-03	Design & Elevations	31/03/2021
03	Ch-04	Design & Elevations	1/04/2021

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Drawing Name  
**Window Schedule, Door**

Drawing Status  
**Schedule Design**

Modified by  
**NP**

Date

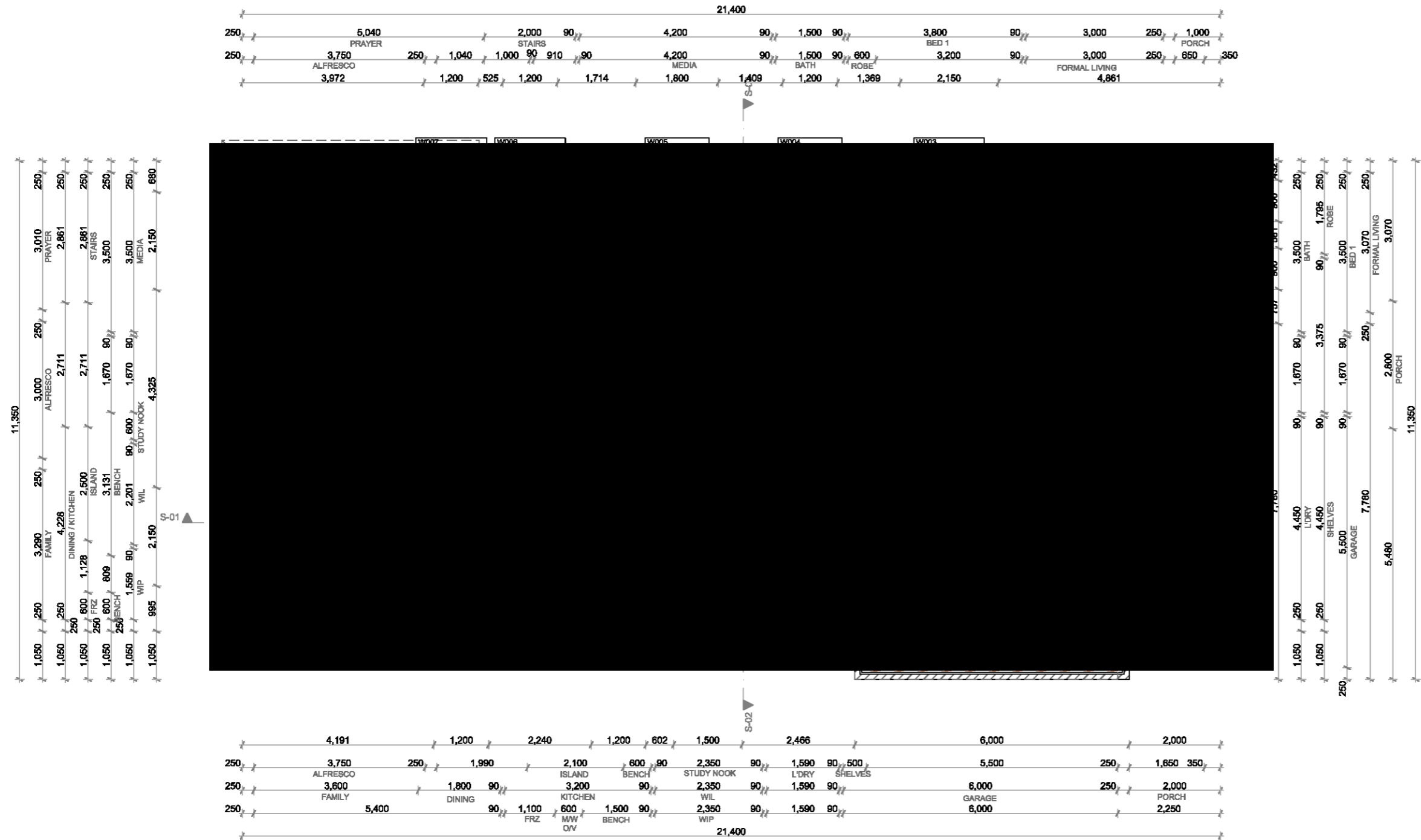
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Layout ID  
**A.02**

Revision  
**03**

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Revision History			
RevID	ChID	Change Name	Date
01	Ch-01	Design	21/02/2021
02	Ch-02	Design & Elevations	7/03/2021
03	Ch-03	Design & Elevations	31/03/2021
04	Ch-04	Design & Elevations	1/04/2021

Company Title



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Drawing Name  
**Ground Floor**

Drawing Status  
**Design**

Modified by  
 NP

Date

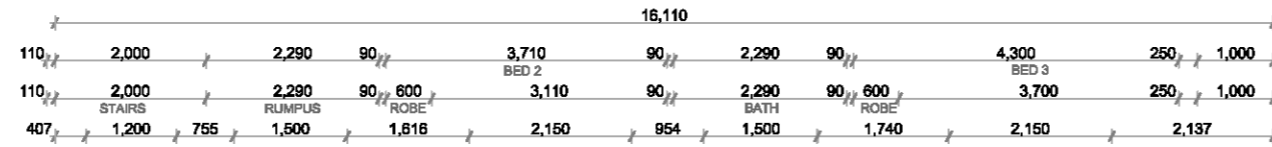
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**A.03.1**

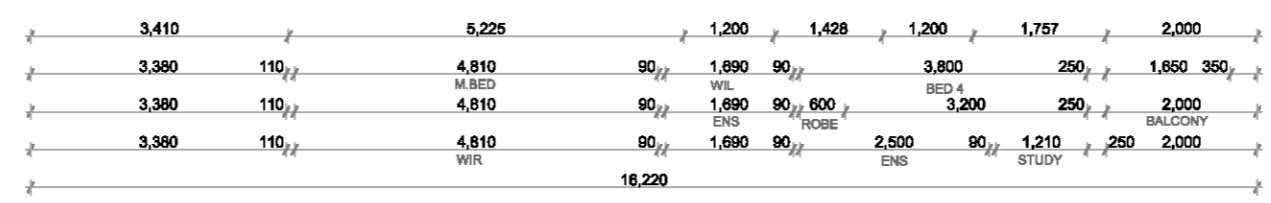
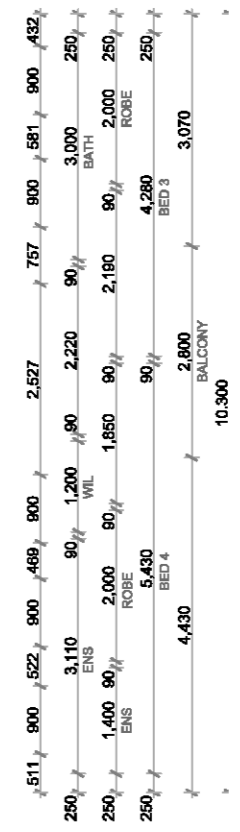
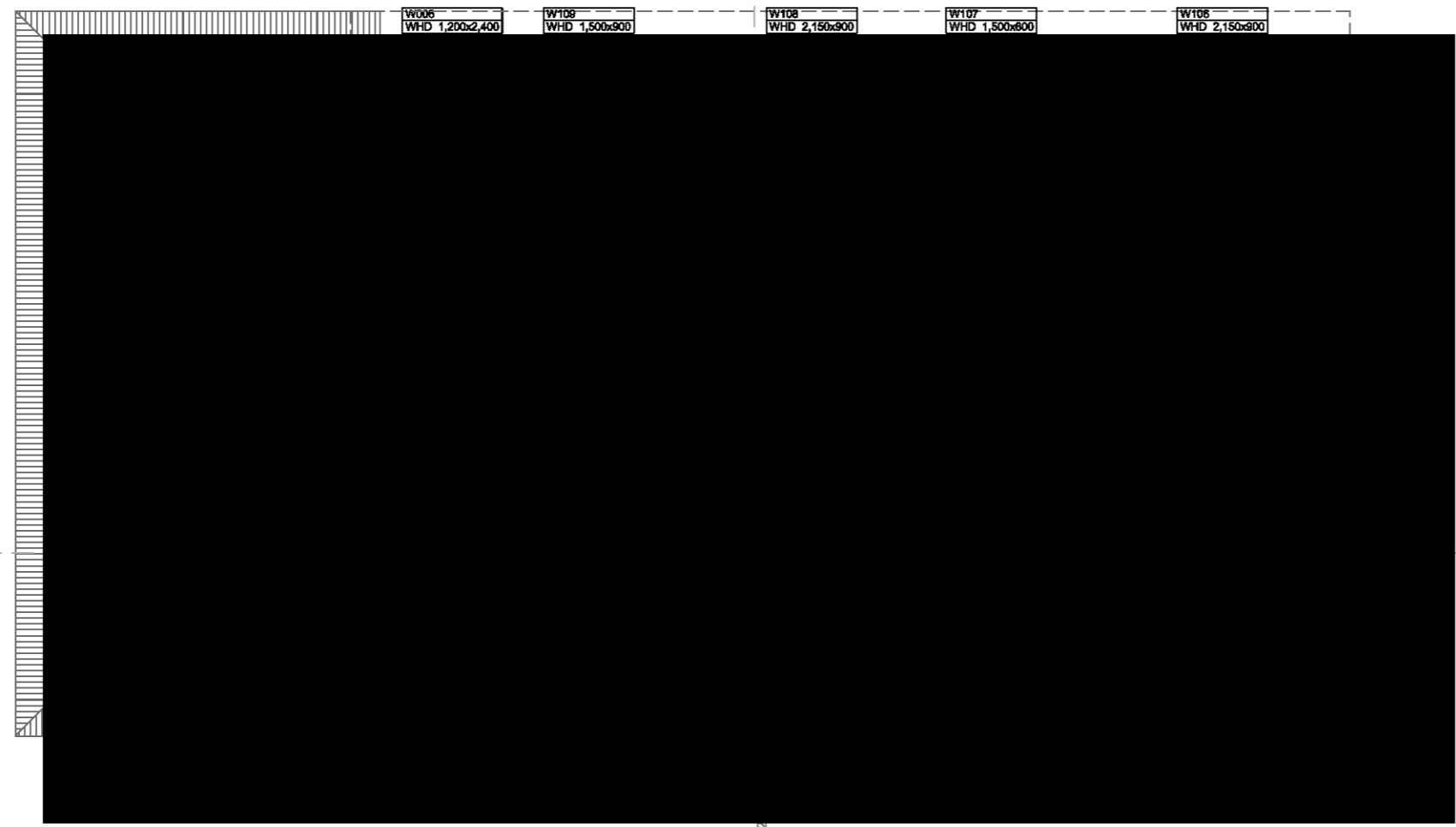
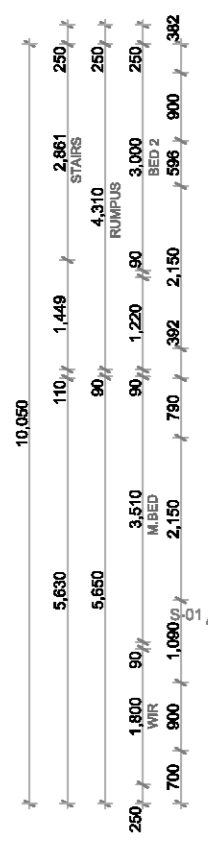
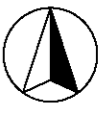
Revision  
**04**

2. Ground Floor 1:100

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3.

First Floor

1:100

Revision History			
RevID	ChID	Change Name	Date
01	Ch-01	Design	21/02/2021
02	Ch-02	Design & Elevations	7/03/2021
03	Ch-03	Design & Elevations	31/03/2021
04	Ch-04	Design & Elevations	1/04/2021

Company Title



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Drawing Name  
**First Floor**

Drawing Status  
**Design**

Modified by  
 NP

Date

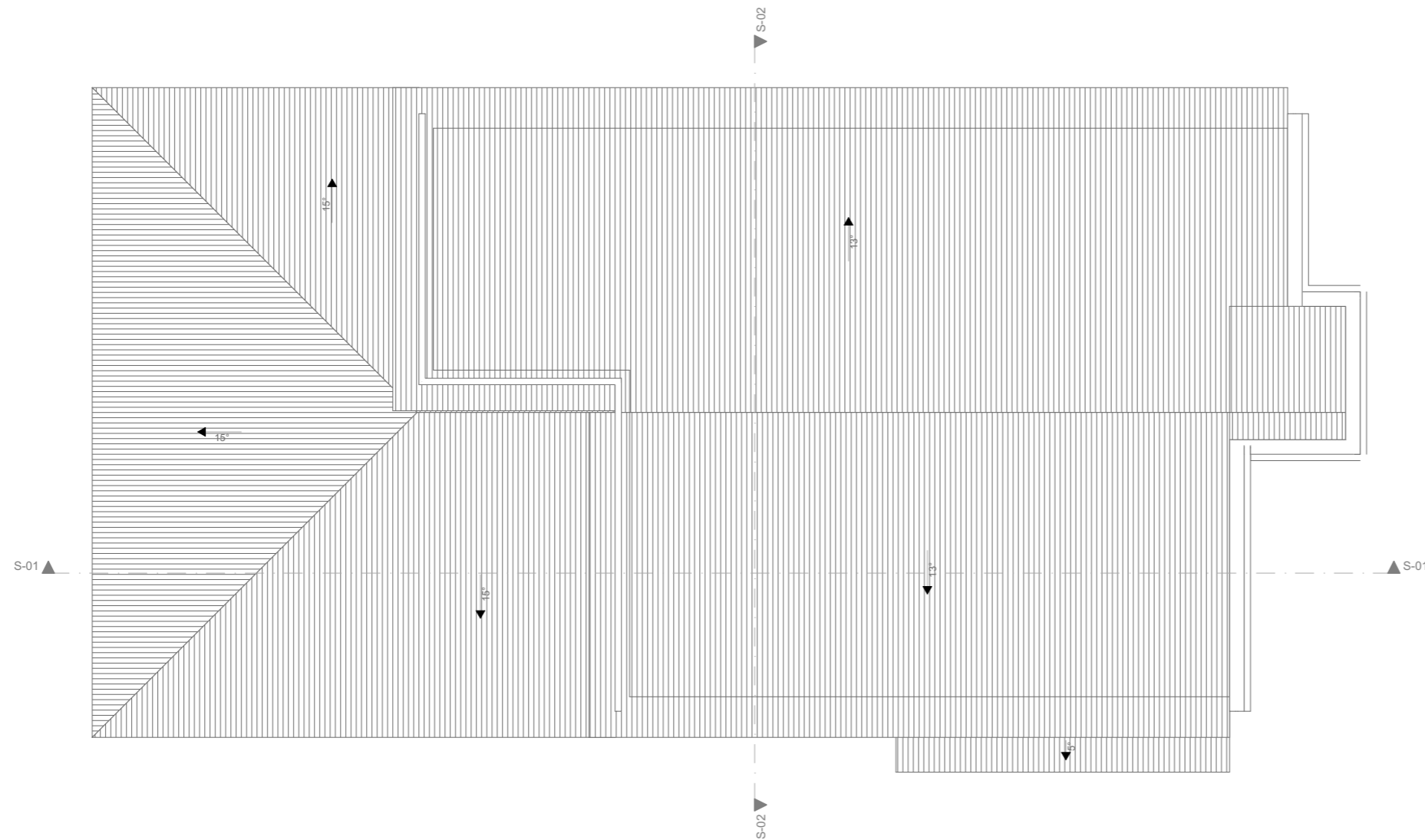
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Layout ID  
**A.03.2**

Revision  
**04**

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Revision History

RevID	ChID	Change Name	Date
01	Ch-02	Design & Elevations	7/03/2021
02	Ch-03	Design & Elevations	31/03/2021
03	Ch-04	Design & Elevations	1/04/2021

Company Title



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Drawing Name

**Roof**

Drawing Status

Modified by

Date

Drawing Scale

**1:100**

Layout ID

**A.03.3**

Revision

**03**

4.

Roof

1:100



**NOTES:**

ALL WINDOW SIZES ARE NOMINAL ONLY AND ARE TO BE MEASURED AND VERIFIED ON -SITE PRIOR TO ANY MANUFACTURE.

ALL WET AREA GLAZING TO BE OBSCURE.

EXPANSION JOINTS TO BE PROVIDED AS PER BCA/AUSTRALIAN STANDARDS.

WHERE FLOOR LEVEL IS >2M ABOVE EXTERNAL SURFACE BENEATH WINDOW, AND WHERE THE OPENABLE SASH IS <1.7M. ANY OPENABLE WINDOW IN A BEDROOM MUST BE RESTRICTED TO A 125MM OPENING. IN REGARDS TO OTHER ROOMS, THIS APPLIES WHERE THE FLOOR LEVEL IS >4M.

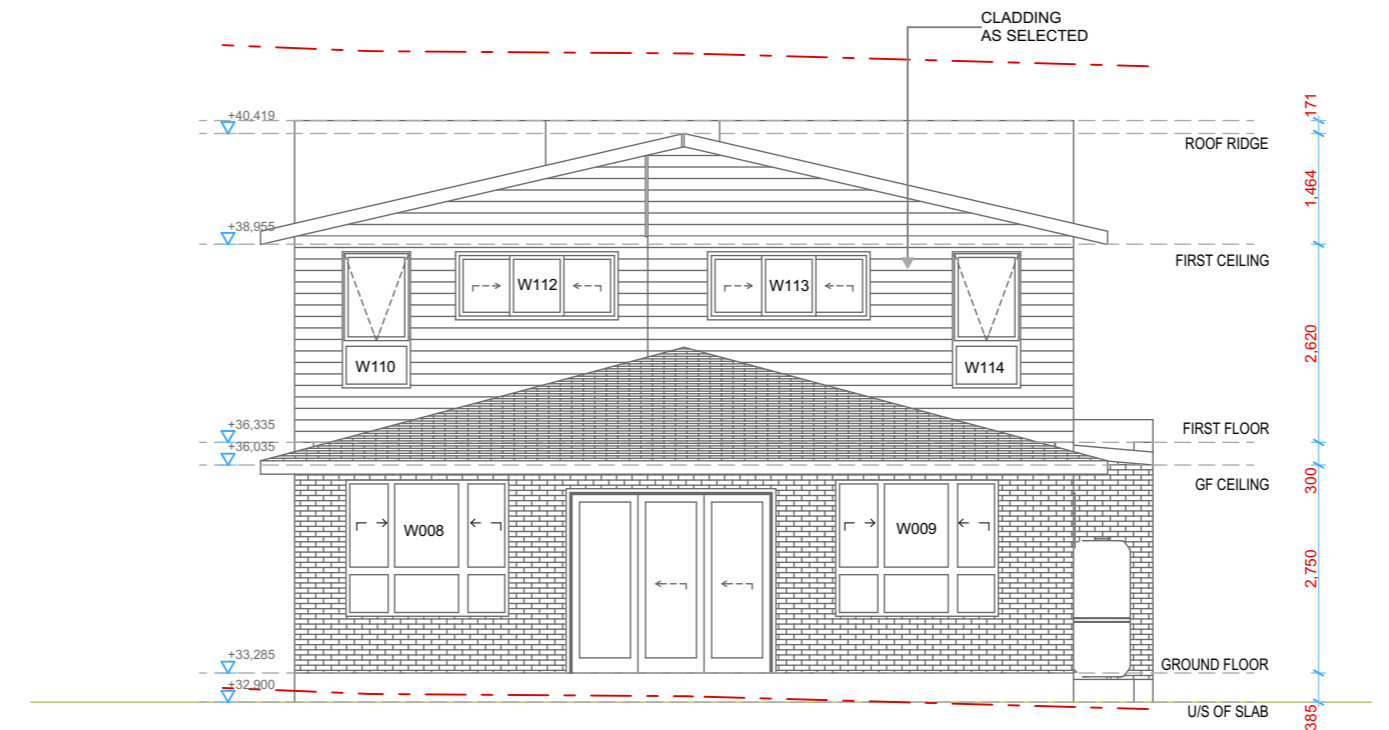
R DENOTES RESTRICTION ON THE WINDOW.

ALL DOWNPIPES TO BE PVC, CIRCULAR & PLUMBER TO CONNECT THE DOWNPIPES TO GUTTER.



East Elevation

1:100



West Elevation

1:100

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**Revision History**

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01	Ch-02	Design & Elevations	7/03/2021
02	Ch-03	Design & Elevations	31/03/2021
03	Ch-04	Design & Elevations	1/04/2021

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Drawing Name

**East Elevation, West Elevation**

Drawing Status

**Design**

Modified by

**NP**

Date

Drawing Scale

**1:100**

Layout ID

**A.04.1**

Revision

**03**

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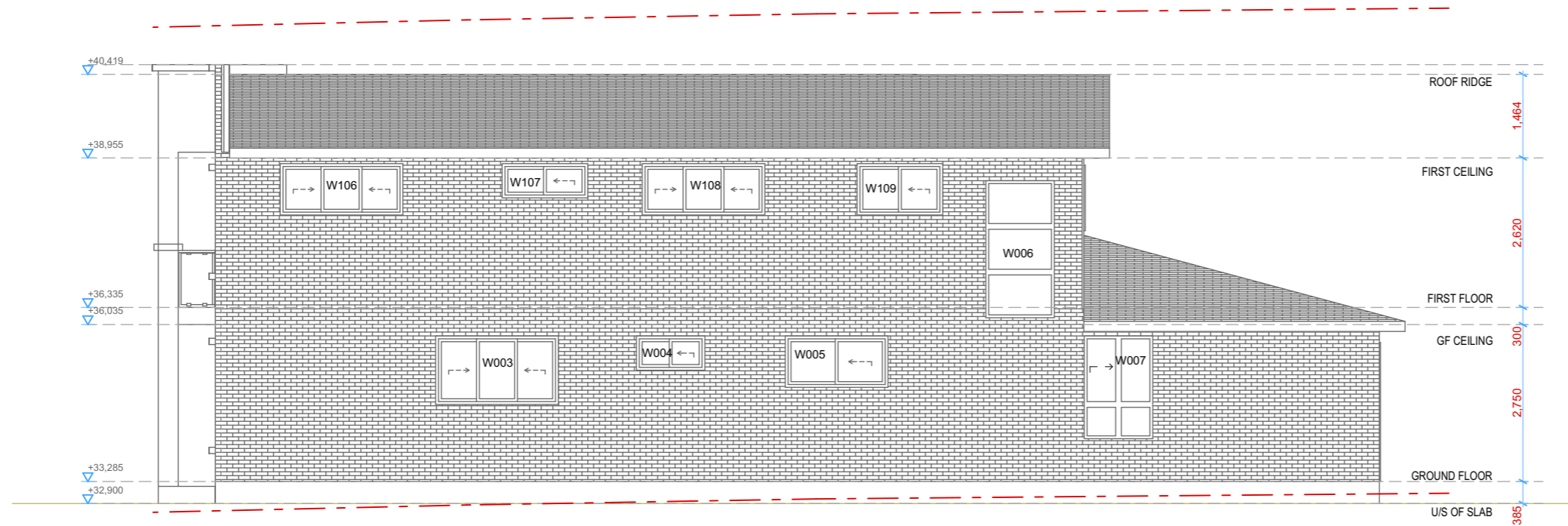
Revision History			
RevID	ChID	Change Name	Date
01	Ch-02	Design & Elevations	7/03/2021
02	Ch-03	Design & Elevations	31/03/2021
03	Ch-04	Design & Elevations	1/04/2021

Company Title



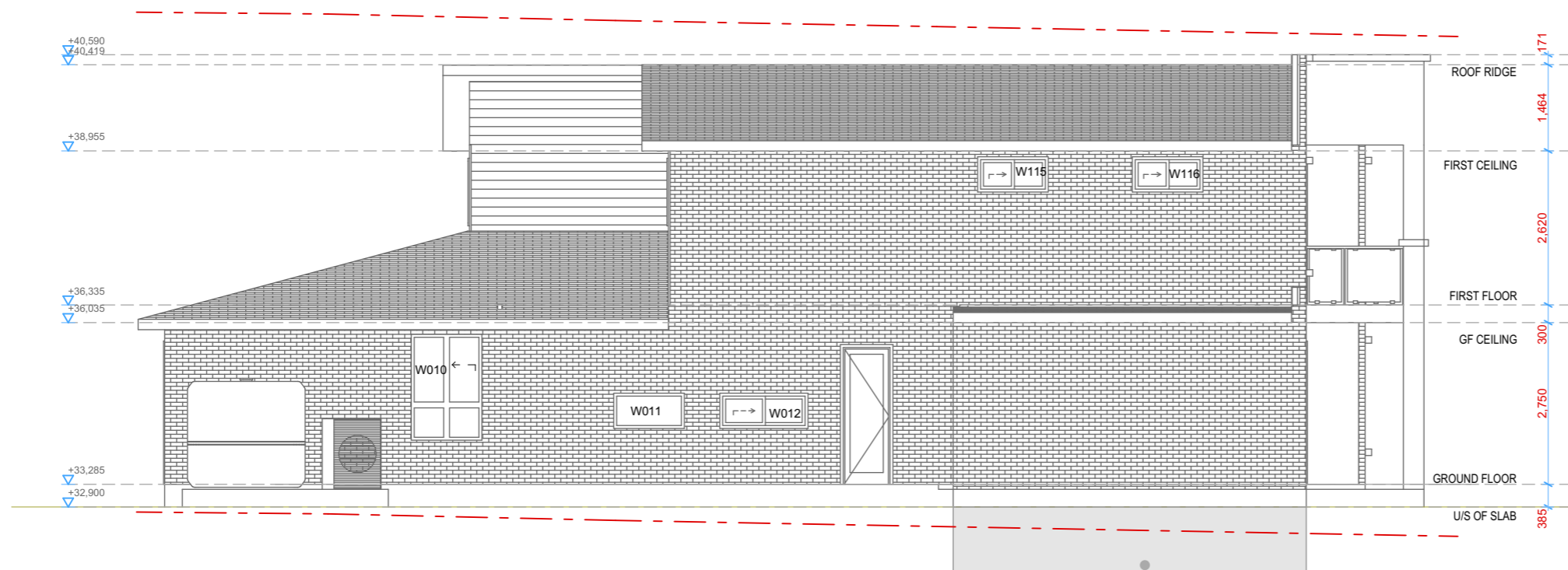
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Drawing Name	<b>North Elevation, South</b>
Drawing Status	<b>Elevation Design</b>
Modified by	Date
<b>NP</b>	
Drawing Scale	<b>1:100</b>
Layout ID	Revision
<b>A.04.2</b>	<b>03</b>



North Elevation

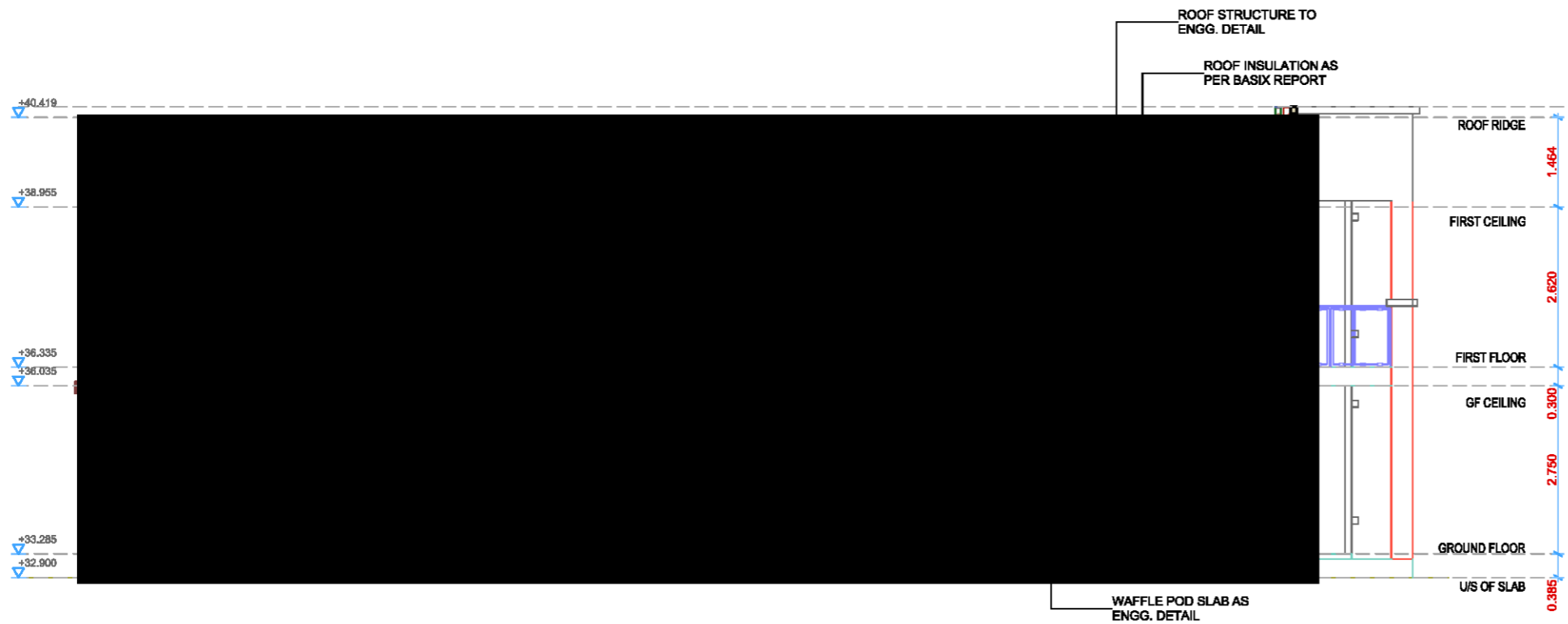
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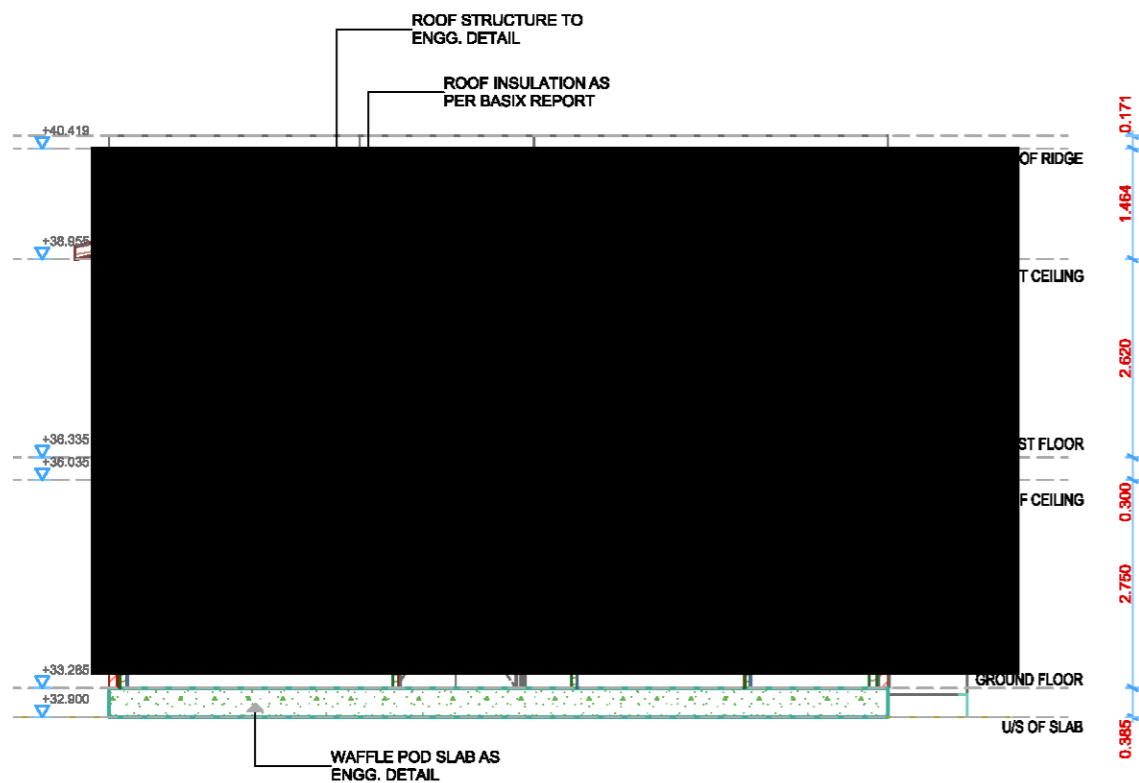
South Elevation

1:100

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S-01 Building Section 1:100



S-02 Building Section 1:100

Revision History			
RevID	ChID	Change Name	Date
01			7/03/2021

Company Title



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**Client Details**

Manko Homes  
 builder@manko.com.au

**ND202194**

Lot 2255 Jordan Springs  
 #Site City  
 Australia  
 #Site Postcode

Drawing Name  
**Building Section**

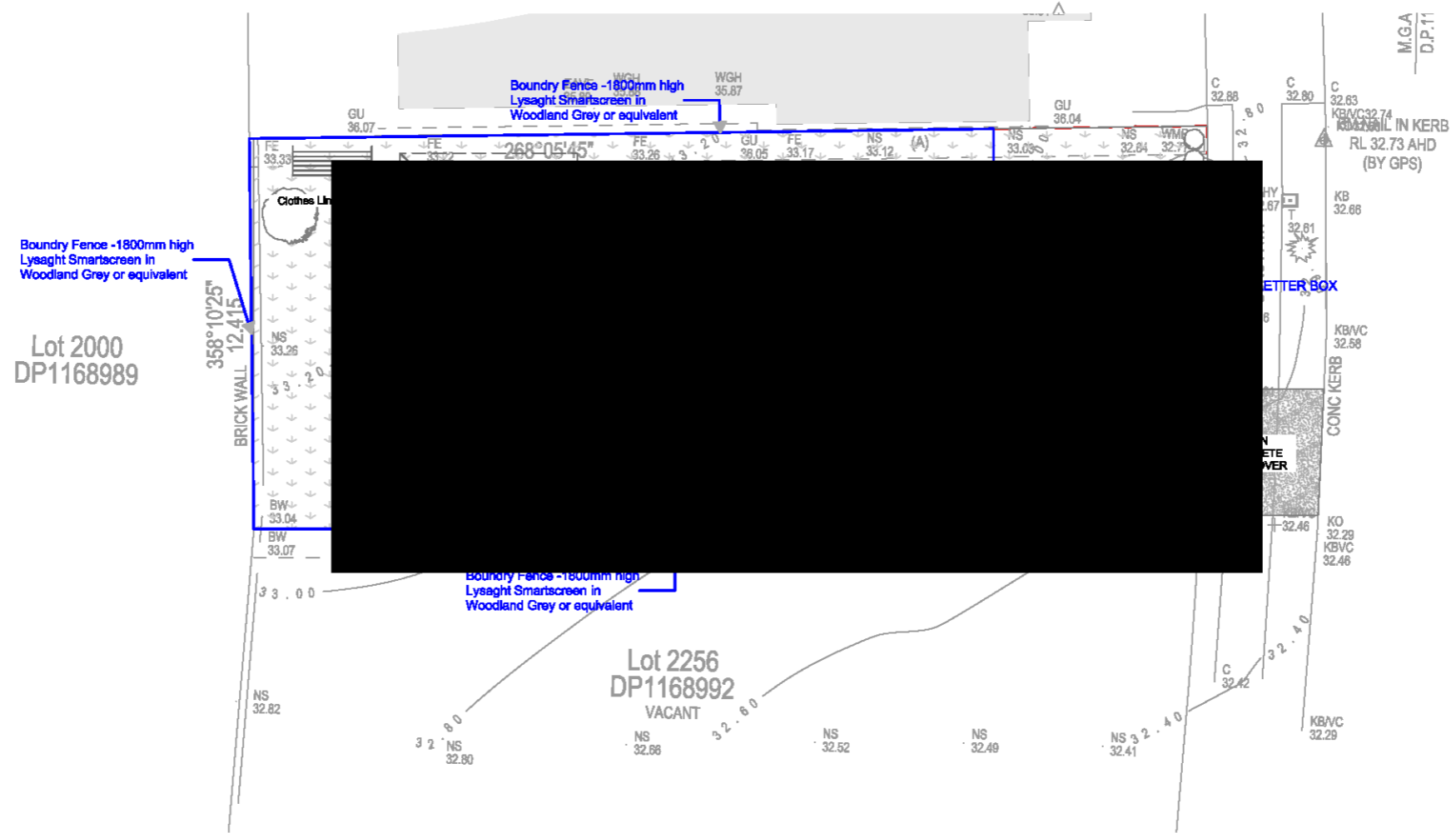
Drawing Status

Modified by \_\_\_\_\_ Date \_\_\_\_\_

Drawing Scale  
**1:100**

Layout ID **A.05.1** Revision **01**

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Concept Landscape

1:200

Revision History			
RevID	ChID	Change Name	Date
01			7/03/2021

Company Title



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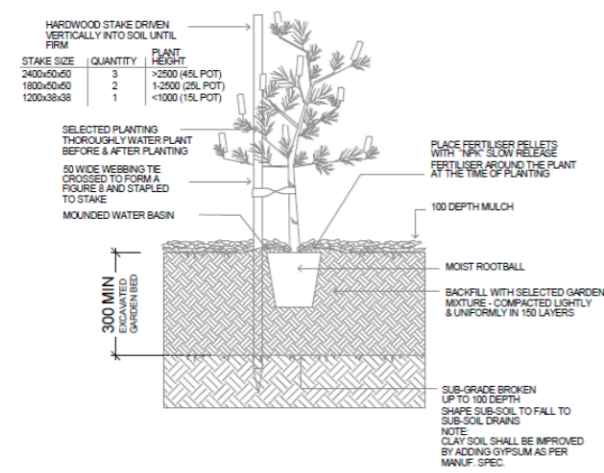
Drawing Name  
**Concept Landscape**

Drawing Status

Modified by \_\_\_\_\_ Date \_\_\_\_\_

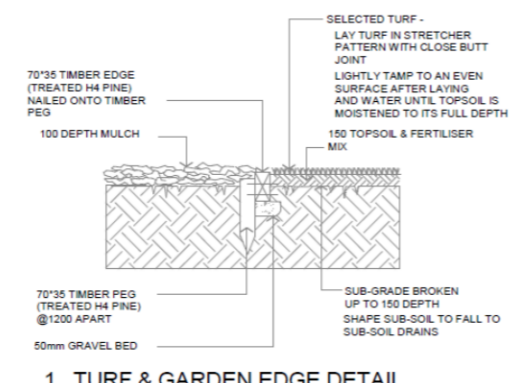
Drawing Scale  
**1:200**

Layout ID **A.06** Revision **01**







2. TREE & SHRUB PLANTING IN GARDEN BED

NOTE:  
 DO NOT PLANT IN UNSUITABLE WEATHER CONDITIONS SUCH AS EXTREME HEAT, COLD, WIND OR RAIN  
 CLAY SOIL IS TO BE TREATED WITH CLAY BREAKER AND ORGANIC COMPOST



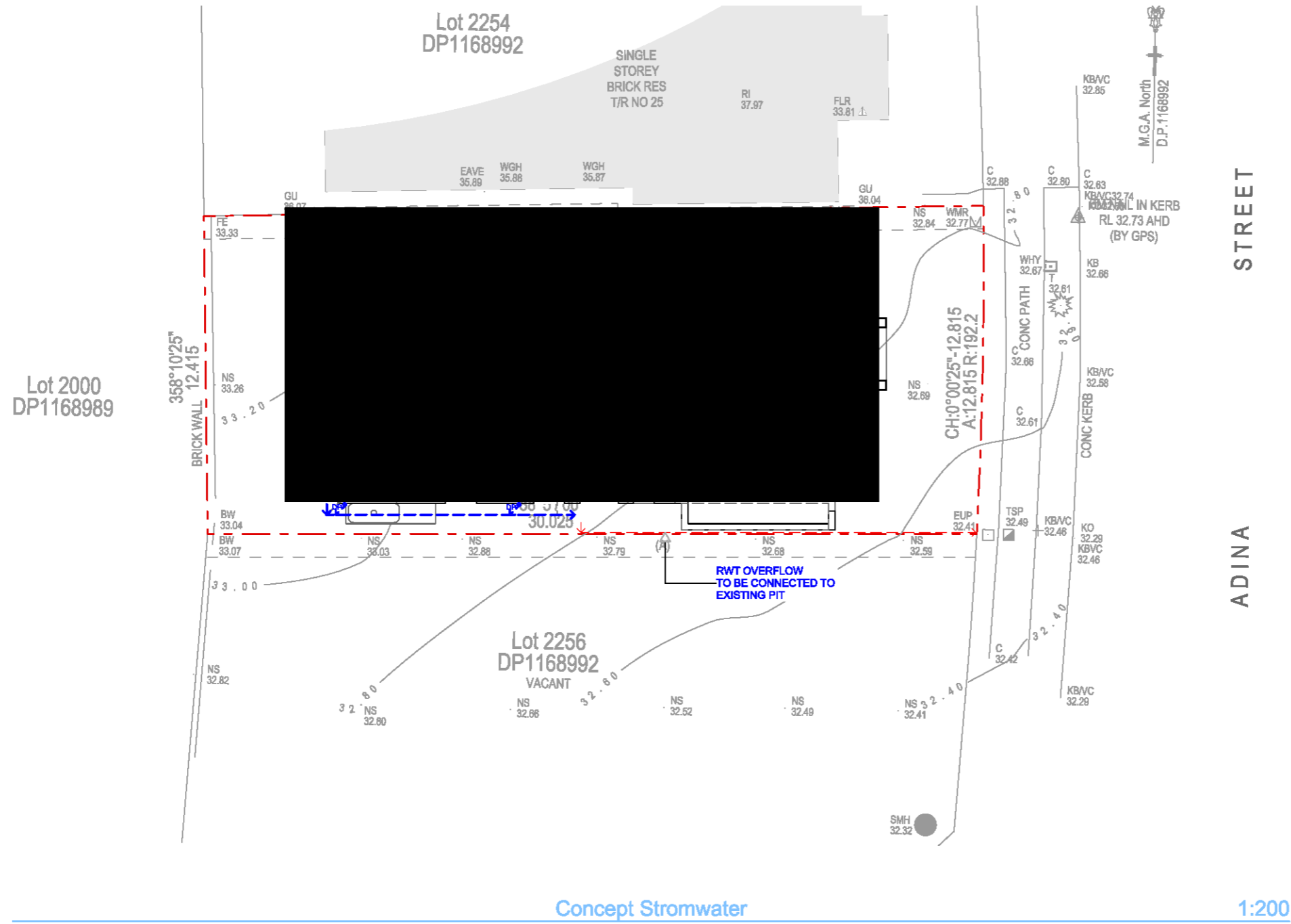
1. TURF & GARDEN EDGE DETAIL

NOTE:  
 ALIGNMENT OF BRICK EDGE SHALL BE EVEN & FREE FROM DIPS AND HUMPS.

LEGEND	
	PROPOSED TREES, SHRUBS, AND GROUND COVER
	STONES
	TURF
	DRIVEWAY – COLOURED CONCRETE

MARK	TYPE	NATIVE	POT SIZE	HEIGHT	COUNT
AS	Amena Smithi	Yes	200mm	1.8m	11
DS	Dianella 'Silver Streak'	Yes	150mm	500mm	12
WF	Waterhousea Floribunda	Yes	45L	8m	1
GA	Gordonia Axillaris	Yes	45L	5m	1

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Revision History			
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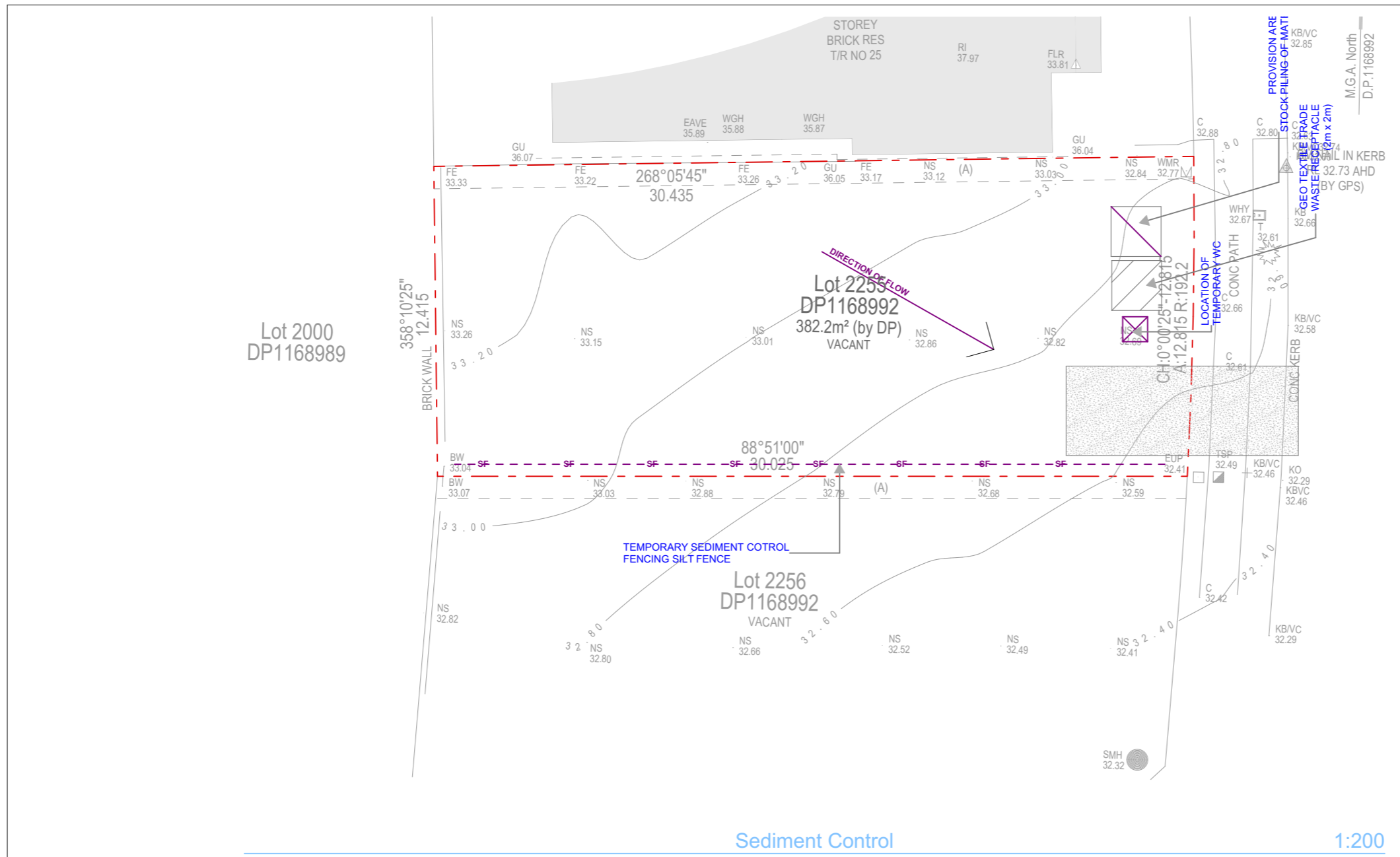
Drawing Name  
**Concept Stormwater**

Drawing Status

Modified by \_\_\_\_\_ Date \_\_\_\_\_

Drawing Scale  
**1:200**

Layout ID **A.07** Revision \_\_\_\_\_



Sediment Control

1:200

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Lot 2255 Jordan Springs  
 #Site City Australia  
 #Site Postcode

Drawing Name  
**Sediment Control**

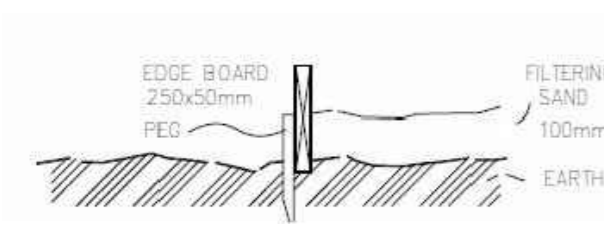
Drawing Status

Modified by Date

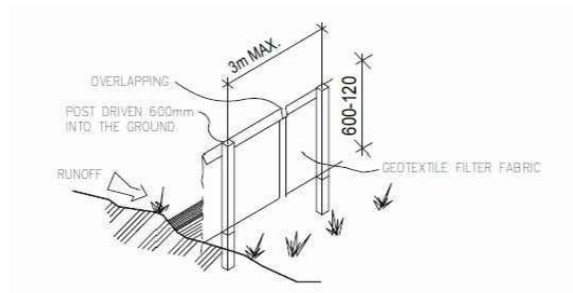
Drawing Scale  
**1:200**

Layout ID Revision  
**A.08**

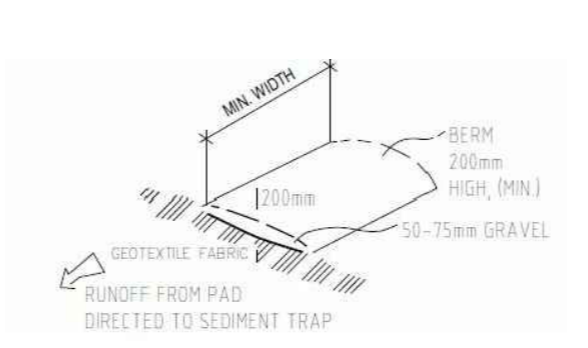
- SOIL CONSERVATION**
- Prior to commencement of construction provide "Sediment Fence", "Sediment Trap" and out area to ensure the capture of water borne material generated from the site.
  - Maintain the above during the course of construction, and clear the sediment trap after each storm
  - 500mm\*500mm wide, 300mm deep pit, located at the lowest point to the trap sediment
  - To be 1800mm\*1800mm allocated for the washing of tool & equipment



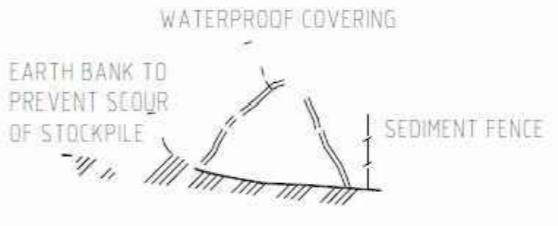
- Provide 'Sediment Fence' on the down slope boundary as shown on plan. Fabric to be buried below ground at lower edge.



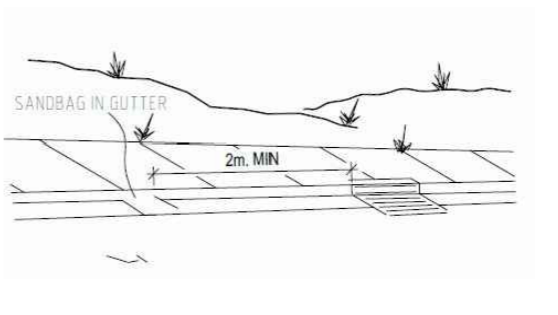
- Vehicle access to the building site should be restricted to a single point so as to reduce the amount of soil deposited on the street pavement

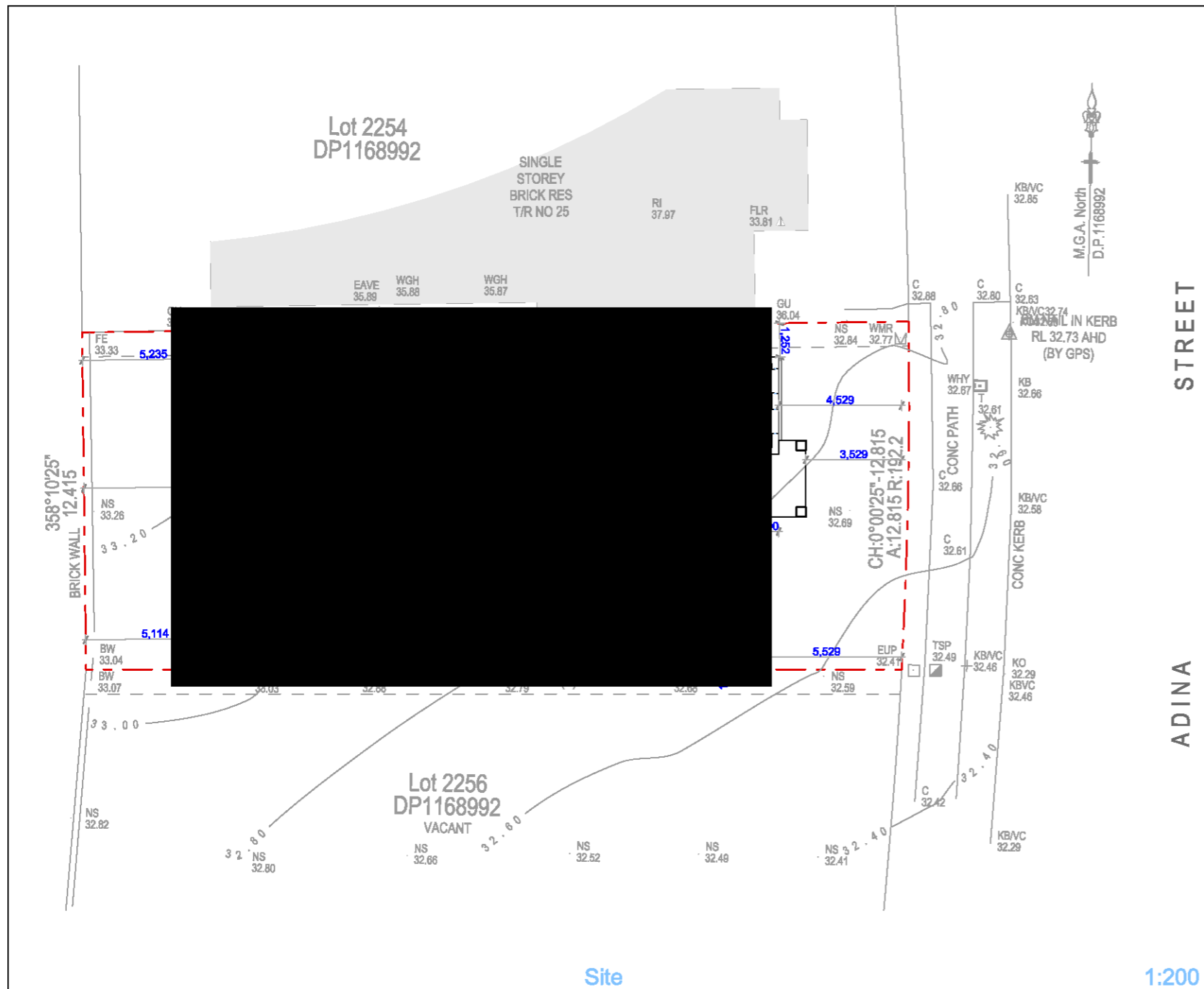


- All stockpiles of building materials such as sand and soil must be protected to prevent scour and erosion.
- This should never be placed in the street gutter where they will wash away with the first

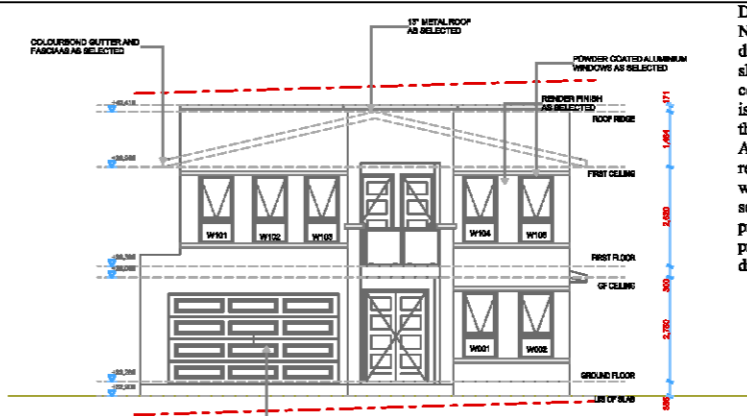


- In certain circumstances extra sediment trapping may be needed in the street gutter.

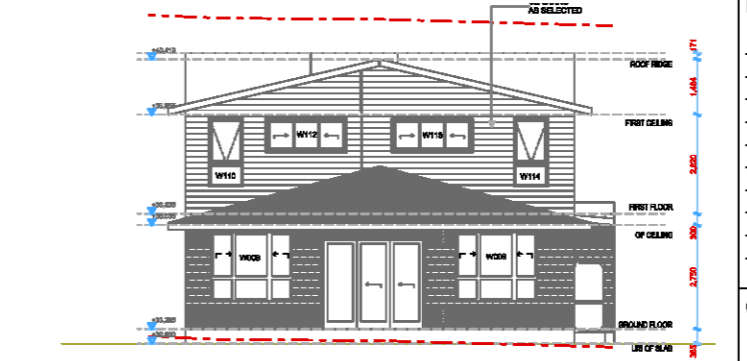




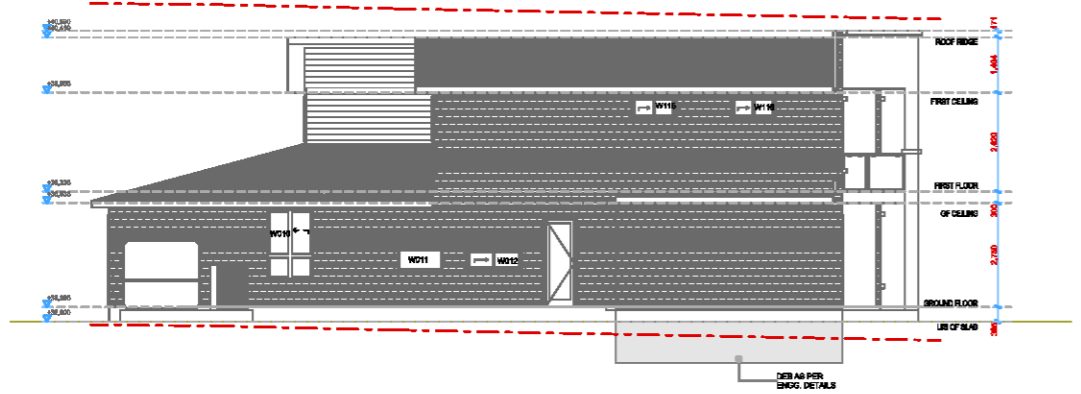
Site 1:200



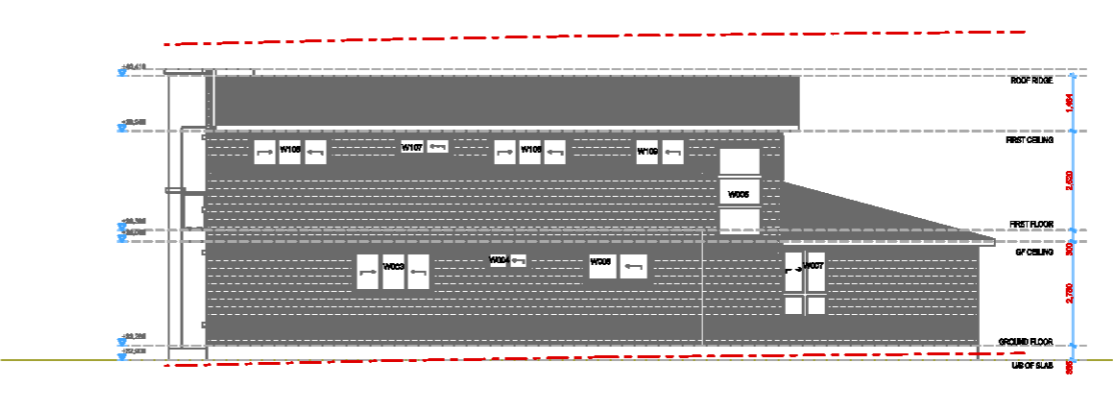
East Elevation 1:200



West Elevation 1:200



South Elevation 1:200



North Elevation 1:200

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Revision History			
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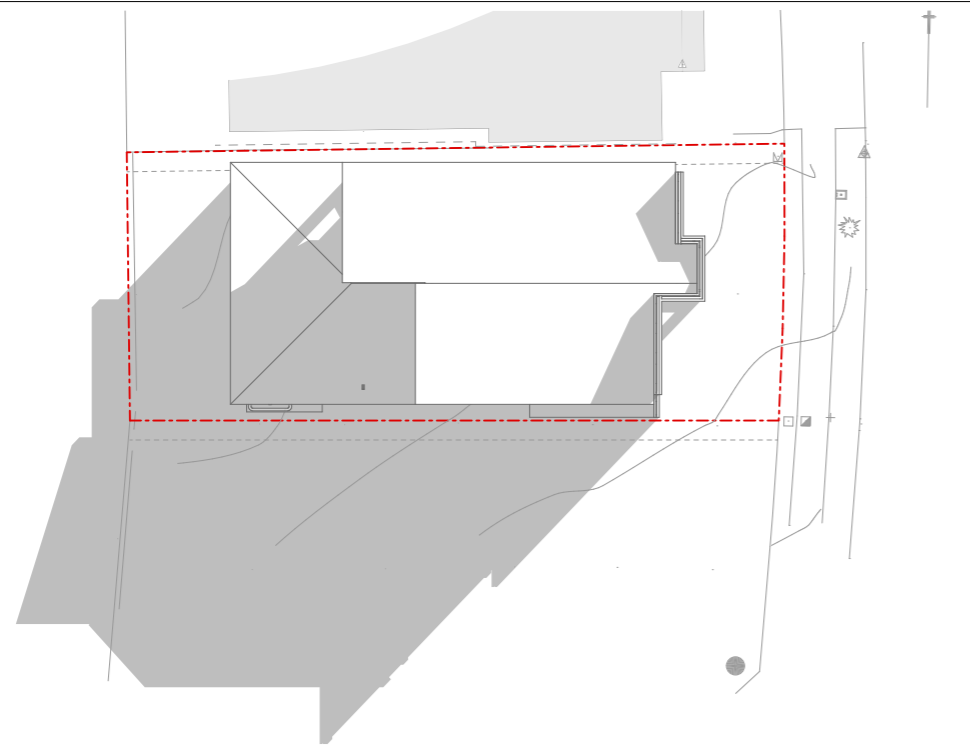
**ND202194**  
 Lot 2255 Jordan Springs  
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 Australia  
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Drawing Name  
**Site, North Elevation, South Elevation, East Elevation, West Elevation**

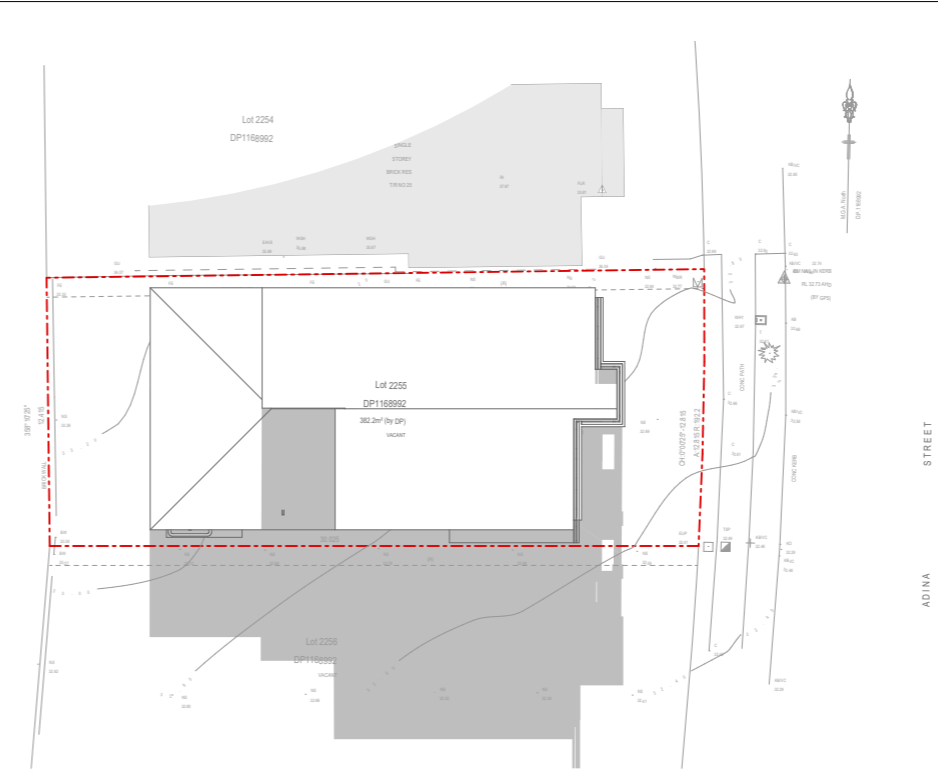
Modified by \_\_\_\_\_ Date \_\_\_\_\_

Drawing Scale  
**1:200**

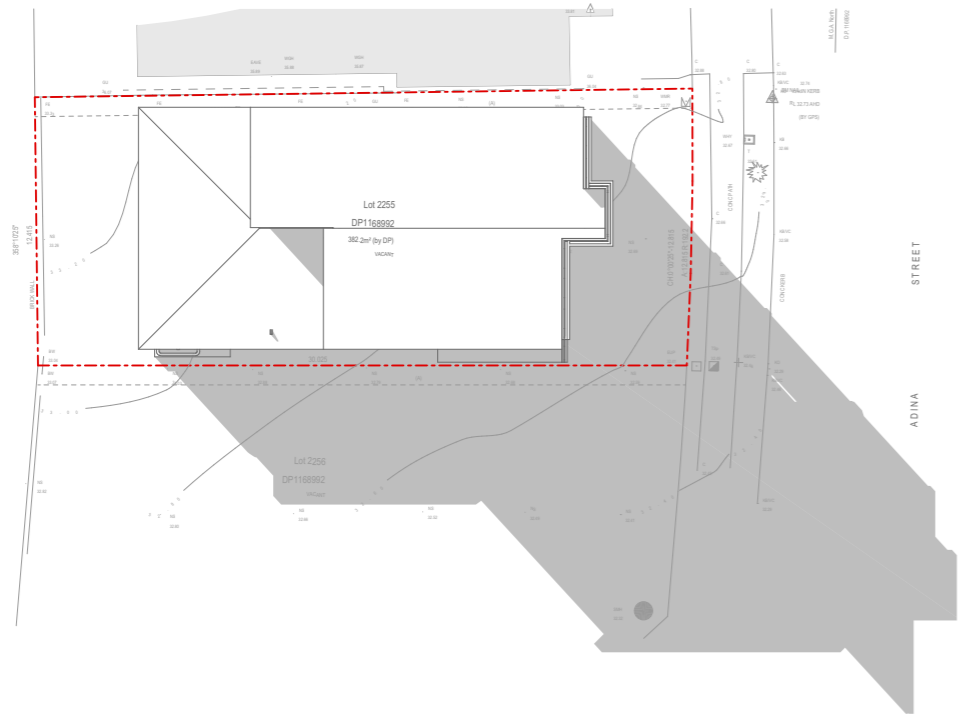
Layout ID  
**A.09** Revision \_\_\_\_\_



21 June 9AM 21 June 9AM 1:350



21 June 12PM 21 June 12PM 1:350



21 June 3PM 21 June 3PM 1:350

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Revision History

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Australia

#Site Postcode

Drawing Name

**21 June 12PM, 21 June 3PM, 21**

Drawing Status **June 9AM**

Modified by

Date

Drawing Scale

**1:350**

Layout ID

**A.10**

Revision



This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability. It is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary  
Date of issue: Monday, 24 May 2021  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Lot 2255 Jordan Springs	
Street address	23 Adina Street Jordan Springs 2747	
Local Government Area	Perrith City Council	
Plan type and plan number	deposited 1168992	
Lot no.	2255	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	5	
Project score		
Water	41	Target 40
Thermal Comfort	Pass	Target Pass
Energy	50	Target 50

**Certificate Prepared by**

Name / Company Name: Nirva Designs  
ABN (if applicable): 12526378243

**Description of project**

Project address		Assessor details and thermal loads	
Project name	Lot 2255 Jordan Springs	Assessor number	n/a
Street address	23 Adina Street Jordan Springs 2747	Certificate number	n/a
Local Government Area	Perrith City Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 1168992	Area adjusted cooling load (MJ/m <sup>2</sup> year)	n/a
Lot no.	2255	Area adjusted heating load (MJ/m <sup>2</sup> year)	n/a
Section no.	-	Ceiling fan in at least one bedroom	n/a
Project type	separate dwelling house	Ceiling fan in at least one living room or other conditioned area	n/a
Project type		Project score	
Project type	separate dwelling house	Water	41 Target 40
No. of bedrooms	5	Thermal Comfort	Pass Target Pass
Site details		Energy	50 Target 50
Site area (m <sup>2</sup> )	382		
Roof area (m <sup>2</sup> )	250		
Conditioned floor area (m <sup>2</sup> )	241.22		
Unconditioned floor area (m <sup>2</sup> )	19.49		
Total area of garden and lawn (m <sup>2</sup> )	107		

**Schedule of BASIX commitments**

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CCDC plans & specs	Certifier check
<b>Features</b>			
The applicant must install showerheads with a minimum rating of 4 star (>= 6 but <= 7.5 Litre plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	✓
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 150 square metres of the roof area of the development (including the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
- the cold water tap that supplies each clothes washer in the development		✓	✓
- at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✓	✓

Thermal Comfort Commitments			
	Show on DA plans	Show on CC/CCDC plans & specs	Certifier check
<b>General features</b>			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
<b>Floor, walls and ceiling/roof</b>			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
<b>Construction</b>	<b>Additional insulation required (R-Value)</b>	<b>Other specifications</b>	
floor - concrete slab on ground	nil		
external wall - brick veneer	2.00 (or 400 including construction)		
internal wall shared with garage - plasterboard	nil		
ceiling and roof - flat ceiling / pitched roof	ceiling: 4 (up), roof: fallbacking	gable end vents, medium (solar absorbance 0.475-0.70)	
<b>Note</b>	Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.		
<b>Note</b>	In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.		

Thermal Comfort Commitments					
	Show on DA plans	Show on CC/CCDC plans & specs	Certifier check		
<b>Windows, glazed doors and skylights</b>					
The applicant must install the windows, glazed doors and shading devices described in the table below. In accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓		
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table:	✓	✓	✓		
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓		
- For the following glass and frame types, the certifier check can be performed by visual inspection.			✓		
- Aluminium single clear			✓		
- Aluminium double (air) clear			✓		
- TimberUPVC/Clonglass single clear			✓		
- TimberUPVC/Clonglass double (air) clear			✓		
- For other glass or frame types, each window and glazed door must be accompanied with certification showing a U value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range of those listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Frame and glass types shown in the table below are for reference only.			✓		
<b>Window/glazed door no.</b>	<b>Maximum height (mm)</b>	<b>Maximum width (mm)</b>	<b>Type</b>	<b>Shading Device (Dimension within 10%)</b>	<b>Overshadowing</b>
<b>North facing</b>					
W007	1800	1200	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W006	2400	1200	aluminium, single, clear	eave 450 mm, 200 mm above head of window or glazed door	not overshadowed
W005	900	1800	aluminium, single, clear	none	not overshadowed
W004	600	1200	aluminium, single, clear	none	not overshadowed
W003	1200	2100	aluminium, single, clear	none	not overshadowed
W109	900	1500	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
<b>West facing</b>					
W108	900	2150	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W107	600	1500	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W106	900	2150	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
<b>East facing</b>					
W001	1800	900	aluminium, single, clear	none	not overshadowed
W002	1800	900	aluminium, single, clear	none	not overshadowed
W104	1800	900	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W105	1800	900	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W101	1800	900	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W102	1800	900	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W103	1800	900	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
<b>South facing</b>					
W010	1800	1200	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W011	600	1200	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W012	600	1500	aluminium, single, clear	none	not overshadowed
W115	600	1200	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W116	900	600	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
D11	2400	3200	aluminium, single, clear	verandah 3750 mm, 2700 mm above base of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
<b>West facing</b>					
W109	1800	1800	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tint Low-e)	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W108	1800	1800	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tint Low-e)	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
D10	2400	2400	aluminium, single, clear	verandah 4500 mm, 2700 mm above base of window or glazed door	not overshadowed
W110	1800	900	aluminium, single, clear	eave 450 mm, 500 mm above head of window or glazed door	not overshadowed
W112	1200	2150	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tint Low-e)	none	not overshadowed
W113	1200	2150	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tint Low-e)	none	not overshadowed
W114	1800	900	aluminium, single, clear	eave 450 mm, 500 mm above head of window or glazed door	not overshadowed
D12	2700	2400	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tint Low-e)	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed

Energy Commitments			
	Show on DA plans	Show on CC/CCDC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	✓	✓	✓
<b>Cooling system</b>			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning. Energy rating: EER 2.5 - 3.0	✓	✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning. Energy rating: EER 2.5 - 3.0	✓	✓	✓
The cooling system must provide for daylight zoning between living areas and bedrooms.	✓	✓	✓
<b>Heating system</b>			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase air conditioning. Energy rating: EER 2.5 - 3.0	✓	✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase air conditioning. Energy rating: EER 2.5 - 3.0	✓	✓	✓
The heating system must provide for daylight zoning between living areas and bedrooms.	✓	✓	✓
<b>Ventilation</b>			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to facade or roof. Operation control: interlocked to light	✓	✓	✓
Kitchen: individual fan, ducted to facade or roof. Operation control: manual switch on/off	✓	✓	✓
Laundry: natural ventilation only, or no laundry. Operation control: n/a	✓	✓	✓
<b>Artificial lighting</b>			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:	✓	✓	✓
- at least 5 of the bedrooms / study	✓	✓	✓

Energy Commitments			
	Show on DA plans	Show on CC/CCDC plans & specs	Certifier check
<b>Energy Commitments</b>			
- at least 3 of the living / dining rooms;	✓	✓	✓
- the kitchen;	✓	✓	✓
- all bathrooms/toilets;	✓	✓	✓
- the laundry;	✓	✓	✓
- all hallways;	✓	✓	✓
<b>Natural lighting</b>			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 4 bathroom(s/toilet) in the development for natural lighting.	✓	✓	✓
<b>Other</b>			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.	✓	✓	✓
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.	✓	✓	✓
The applicant must install a fixed outdoor clothes drying line as part of the development.	✓	✓	✓

Legend	
In these commitments, "applicant" means the person carrying out the development.	
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).	
Commitments identified with a ✓ in the "Show on CC/CCDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.	
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.	

Disclaimer: Contractor must verify all dimensions on site and notify Nirva Designs any discrepancy prior to carrying out works. Written dimensions take precedence over scaled dimension. This drawings should be read in conjunction with all relevant contracts, specification, council guidelines, reports, drawings and all approved documentation issued unless specified otherwise. All workmanship, materials and their application shall be carried out in accordance with the BCA and Australian standards. No site works shall commence unless all relevant approvals have been obtained. All works shall be contained wholly with the legal boundaries of the subject site and required setbacks. All boundaries shall be identified by a registries surveyor prior to any work commencing. Fence lines shall not be used as prosperity boundaries. Nirva Designs retains all copyrights on this drawings. © 2020

Revision History			
RevID	ChID	Change Name	Date

Company Title



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**Client Details**

Manko Homes  
builder@manko.com.au

**ND202194**

Lot 2255 Jordan Springs  
#Site City  
Australia  
#Site Postcode

Drawing Name  
**BASIX Commitments - 23 Adina Street**

Drawing Status

Modified by \_\_\_\_\_ Date \_\_\_\_\_

Drawing Scale  
**1:1**

Layout ID **A.11** Revision \_\_\_\_\_