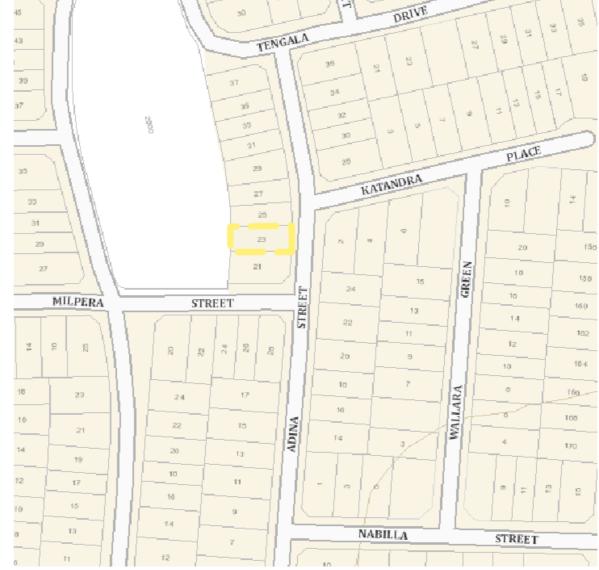
PROPOSED DOUBLE STOREY DWELLING ON 23 ADINA STREET JORDAN SPRINGS

Disclaimer: Contractor must verify all dimensions on site and notify Nirva Designs any discrepancy prior to carrying out works. Written dimensions take precedence over scaled dimension. This drawings should be read in conjunction with all relevant contracts, specification, council guidelines, reports, drawings and all approved documentation issued unless specified otherwise. All workmanship, materials and their application shall be carried out in accordance with the BCA and Australian standards. No site works shall commence unless all relevant approvals have been obtained. All works shall be contained wholly with the legal boundaries of the subject site and required setbacks. All boundaries shall be identified by a registries surveyor prior to any work commencing. Fence lines shall not be used as prosperity boundaries. Nirva Designs retains all copyrights on this drawings. © 2020



23 Adina Street - 3D Render 1:2.50



Revision History							
RevID	ChID	Change Name	Date				
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-							
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Company Title



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Client Details

Manko Homes builder@manko.com.au

ND202194

Lot 2255 Jordan Springs #Site City Australia

#Site Postcode
Drawing Name

23 Adina Street - 3D Render

Drawing Status

Modified by Date

Drawing Scale

1:2.50

Layout ID Revision
01

BCA COMPLIANCE

Section A General Provisions

Vol. 2 Part 1.3, Clause 1.3.2 Classifications

CLASS 1: One or more buildings which in association constitute (a) Class 1A - A single dwelling, being (i) a detached house, or
(ii) one or more attached dwellings, each being a building, separated by a fire resisting wall, including a row house, terrace house, town house or villa unit

CLASS 10: A non-habitable building being a private garage, carport, shed, or the

Section C Fire Separation

Part 3.7.1 Fire Separation 3.7.1.1 Application Compliance with this Part satisfies Performance Requirement P2.3.1 for fire

3.7.1.2 General Concession - Non-combustible materials

The following materials, though combustible or containing combustible fibres, may be used combustible is required in the Housing Provisions: plasterboard, and perforated gypsum lath with a normal paper finish, and fibrous-plaster sheet, and

- fibre-reinforced cement sheeting, and
- pre-finished metal sheeting having a combustible surface finish not exceeding Imm thick and where the Spread-of-Flame Index of the product is not more than 0; and bonded laminated materials, where
- - each laminate is non-combustible; and each adhesive layer is not more than 1mm thick; and
 - the total thickness of adhesive layers is not more than 2mm; and
 - the Spread-of-Flame Index and the Smoke-Development Index of
 - material as a whole does not exceed 0 and 3 respectively.

3.7.1.3 External Walls of Class 1 buildings An external wall of a Class 1 building and any openings in that wall must comply with 3.7.1.5, if the wall is less than-

(a) 900mm from the allotment boundary other than the boundary adjoining a road alignment or

other public space; or (b) 1.8m from another building on the same allotment other than appurtenant Class 10 building or a detached part of the same Class 1 building.

3.7.1.4 Measurement of distances

(a) The distance from any point on an external wall of a building to an allotment boundary or (a) The distance from any point of an external warful a obtuning to all another boundary or another building is the distance to that point measured along a line at right angles from the allotment boundary or external wall of the other building which intersects that point without obstruction by a wall complying with 3.7.1.5.

(b) Where a wall within a specified distance is required to be constructed in a certain manner, only that part of the wall, (including any openings) within the specified distance, must be constructed in

3.7.1.5 Construction of External Walls

(a) External walls (including gables) required to be fire-resisting [Referred to in 3.7.1.3 or 3.7.1.6] must extend to the underside of a non-combustible roof covering or non-combustible eaves lining, and must-

(i) have an FRL of not less than 60/60/60 when tested from the outside; or (ii) be of masonry-veneer construction in which the external masonry veneer is not less than 90mm thick; or (iii) be of masonry construction not less than 90mm thick; or (iii) be of masonry construction not less than 90mm thick.

(b) Openings in external walls required to be fire-resisting [referred to in 3.7.1.3 or 3.7.1.6] must be

(i) non-operable fire-windows or other construction with an FRL of not less than

(c) Sub-floor vents, roof vents, weep holes and penetrations for pipes, conduits and the like need not comply with (b) above.
(d) Concessions for non-habitable room windows, conduits and the like-Despite the requirements

in (b), in a non-habitable room a window that faces the boundary of an adjoining allotment may be not less than 600mm from that boundary, or, where the building faces another building on the same ment, not less than 1.2m from that building; providing that(i) in a bathroom, laundry or toilet, the opening has an area of not more than 1.2sqm; or

(ii) in a room other than referred to in (i), opening has an area of not more than 0.54sam: and-

(A) The window is steel-framed, there are no opening sashes and it is glazed in wire glass; or (B) The opening is enclosed with hollow glass blocks.

3.7.1.8 Separating walls

(a) A wall that separates Class 1 dwellings, or separates a Class 1 building from a Class 10a building which is not apurtenant to that Class 1 building, must have an FRL of not less than 60/60/60 and-

nce at the footings or ground slab; and

(A)if the building has a non-combustible roof covering, to the underside of the roof covering; or (B)if the building has a combustible roof covering, to not less than 450mm above

SPECIFICATION C1.10 Fire Hazard Properties

Materials used in the building having flammability, smoke developed and spread-of-flame indices

SECTION F Health and Amenity

Part F1: Damp and Weatherproofing -Stormwater drainage must comply with AS/NZS 3500.3.2 -Roof covering to comply with F1.5

-Sarking must comply with AS/NZS 4200. Parts 1 and 2. -Water proofing of wet areas in buildings to comply with F1.7
-Damp-proofing of floors on ground to comply with F1.11

Part F3.7: Fire safety
-Automatic fire detection system to be provided in accordance with Part

3.7.2 General concession:

Part 3.7.2: Smoke alarms - requirements for smoke alarms:

(a) Smoke alarms must be installed in:
 (i) any storey containing bedrooms.

Part 3.8: Health and amenity

Wet areas within the building must comply with the requirements of Part 3.8.1 Wet areas.
 Part 3.8.6: Sound insulation requirements

3.8.6.1 Application - Compliance with this Part satisfies performance ent P2.4.6 for sound insulation

(a) to provide insulation from air-born and impact sound, a separating wall between two or more Class 1 buildings, must-

(i)achieve the weighted sound reduction with spectrum adaption term [Rw+Ctr] and discontinuous construction requirements, as required by Table 3.8.6.1; and

(ii) be installed in accordance with the appropriate requirements of 3.8.6.3 and 3.8.6.4.

(b) For the purpose of this Part, the Rw+Ctr must be determined in accordance with As/NZS. 1276.2 or ISO 717.1, using results from laboratory me

The treads and risers of the proposed stairs are to comply with Part 3.9.1.2 General requirements

BUILDING DESIGN SAFETY REPORT

1. FALLS, SLIPS, TRIPS a) WORKING AT HEIGHTS DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this

building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible.

Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance

with relevant codes of practice, regulations or legislation

b) SLIPPERY OR UNEVEN SURFACES FLOOR FINISHES by Owner

Designer has not been involved in the selection of surface finishes; the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004

STEPS LOOSE ORIECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the predestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the persons working above ground ever of above moon levels, where this occurs one of more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below:

1. Prevent or restrict access to areas below where the work is being carried out.

2. Provide toe boards to scaffolding or work platforms.

- Provide protective structure below the work area.

3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).
During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a

BUILDING COMPONENTS

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or

3. TRAFFIC MANAGEMENT

3. IRAFFIC MANAGEMEN! For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible.

and toading areas should be provided. Irained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas. For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic towing within the site. A traffic management plan supervised by trained traffic management should be adopted for the work site.

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans, but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate exceptions are provided by the propriate service (such as Dial Before You Dig), appropriate exceptions are provided by the provide Locations with underground power:
Underground power lines MAY be located in or around this site. All underground power lines must

be disconnected, or carefully located and adequate warning signs used prior to any construction, tenance or demolition commencing.

hamicanic of unforthed reminder. Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more orkers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should

workers or by inectination arming evidence where this is not practical, suppries or indiricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a

specifications and no decisions of the control of the control decision of the control decision and the control decision of the control of the

6. HAZARDOUS SUBSTANCES

ASBESTOS

ons to a building constructed prior to 1990:

If this existing building was constructed prior to: 1990 - it therefore may contain asbestos

1986 - it therefore is likely to contain ashestos

either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The desiring of this haids are all the productions and the production of the control of the production of t

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk

TIMBER FLOORS This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACE

EACAYATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers revent accidental or unauthorised access to all excavations should be provided

to prevent accidental or unauthorised access to all excavations snound be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be

For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

ruction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided.
Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9 OPERATIONAL USE OF BUILDING

9. OFERATIONAL USE OF BUILDING
RESIDENTIAL BUILDINGS
This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use. 10. OTHER HIGH-RISK ACTIVITY

All electrical work should be carried out in accordance with code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All

work should be carried out in accordance with code of Practice: Managing Noise and Preventing Hearing Loss at Work Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

council guidelines, reports, drawings and all approved documentatio issued unless specified otherwise. All workmanship, materials and their application shall be carried out in accordance with the BCA and Australian standards. No site works shall commence unless all relevant approvals have been obtained. All works shall be contained wholly with the legal boundaries of the subject site and required setbacks. All boundaries shall be identified by a registries surveyor prior to any work commencing. Fence lines shall not be used as prosperity boundaries. Nirva Designs retains all copyrights on this drawings. © 2020

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dimensions take precedence over scaled dimension. This drawing

should be read in conjunction with all relevant contracts, specification

Revision History						
RevID	ChID	Change Name	Date			
01			7/03/2021			

Company Title



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Lot 2255 Jordan Springs #Site City Australia

Drawing Status

#Site Postcode

Drawing Name

Modified by

Drawing Scale

Lavout ID Revision

01

Date



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Revision	on Hist	ory	
RevID	ChID	Change Name	Date
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		(N)	
		NIRVA DESIGNS II: info@nirvadesigns.com Call: 0449903736	
		Client Details	
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		ND202194	
Lot 22	55 Jor	dan Springs	
#Site 0	•		
Austra	-		
#Site F	ostco	de	
Drawir	ıg Nan	ne	
		Site Analysis	
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Layout	: ID		Revision
A.01	.1		

AUSTRALIAN STANDARDS COMPLIANCE: THE BUILDING WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH - COMPONENTS OF PROTECTION OF OPENINGS IN FIRE RESISTANT WALLS - TIMBER FRAMING IN ACCORDANCE WITH - FOOTINGS IN ACCORDANCE WITH - STORMWATER IN ACCORDANCE WITH - TERMITE MANAGEMENT IN ACCORDANCE WITH - MASONARY CONSTRUCTION IN ACCORDANCE WITH - WATERPROOFINGIN ACCORDANCE WITH

- SMOKE ALARMS IN ACCORDANCE WITH

- ROOF TILING IN ACCORDANCE WITH

- ELECTRICAL INSTALLATIONS AS 3013 - CONCRETE CONSTRUCTION IN ACCORDANCE WITH AS 3600 - METAL ROOF SHEETING IN ACCORDANCE WITH AS 1562.1 AND CLAUSE 3.5.1 OF THE BCA.

AS 1288 AND AS 2047

AS 3700 & AS 4773.2

PART 3.5.1 OF THE BCA VOL.2 AND AS 2049

AS/NZS 1905

AS 1684

AS 2870

AS 3500

AS 3660 1

AS 3740

AS 3786

- SOUND INSULATION IN ACCORDANCE WITH - BALUSTRADE TO COMPLY WITH PART 3.9.2 OF BA VOL.2

- STAIR CONSTRUCTION IN ACCORDANCE WITH PART 3.9.1 OF THE BCA

PART 3.9.1.3 OF THE BCASLIP RESISTANCE (WHEN TESTED IN ACCORDANCE WITH AS 68989

- STAIR FLOOR FINISHES ARE REQUIRED TO COMPLY WITH

- STEEL STRUCTURES INCLUDING STEEL LINTELS COMPLIANCE WITH AS 4100 -OFF STREET PARKING AS/NZS 2890.1

BUILDING SPECIFICATION NOTES:

0.2MM HIGH IMPACT VAPOUR MEMBRANE IS REQUIRED FOR ROOMS OR THE SLAB ON GROUND IS TO BE PROVIDED WITH A 0.2 MICRON HIGH IMPACT

STAIRS STEPS AND BALUSTRADES

- INTERNAL STAIR/ANTI-SKID NOSINGS THROUGHOUT THE DWELLING ARE IN ACCORDANCE WITH THE REQUIREMENTS OF PART3.9 VOLUME 2 OF THE NCCS (BCA) - ANY NEW STAIRS ARE REQUIRED TO MEET THE "NON SLIP" REQUIREMENTS DETAILED IN THE BCA, BEING A F3 OR RIO RATING FOR INDOOR (DRY) APPLICATIONS, OR A P4 OR RI1 RATING FOR OUTDOOR (WET) APPLICATIONS (INTRODUCED IN BCA 2014)
- L'ANDINGS WHERE REQUIRED ARE TO BE IN ACCORDANCE WITH CLAUSE 3.9.1.3 OF BCA.

- ALL INTERNAL STAIRS ARE TO BE PROVIDED WITH HANDRAIL TO AT LEASE ONE
- ALL INTERNAL ISTAIRS ARE TO BE PROVIDED WITH HARDKALL TO AT LEASE ONE SIDE IN ACCORDANCE CLAUSE 3.9.2.4 OF THE BCA
 BALUSTRADES SERVICING THE DWELLING ARE IN ACCORDANCE WITH REQUIREMENTS OF PART 3.9 OF VOLUME 2 OF THE NCCS (BCA).
- ALL GLASS BALUSTRADES REQUIRE A LOAD BEARING HANDRAIL, ARE TO BE COMPLIED WITH THE REQUIREMENTS OF AS 1288.
 EXTERIOR DOORS STEP DOWN AS PER THE REQUIREMENTS OF PART 3.9 OF VOLUME 2 OF THE NCCS (BCA)

SMOKE ALARMS

- SMOKE ALARMS ARE TO BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.7.2 OF VOLUME 2 OF NCCS (BCA)

LIFT OFF HINGES

- DOOR SWING OF LIFT OFF HINGES ARE TO BE PROVIDED TO ENCLOSED WC AREA IN ACCORDANCE WITH REQUIREMENTS OF CLAUSE 3.8.3.3 OF VOLUME 2 OF THE NCCS (BCA)
-ALL WET AREAS ARE TO BE PROVIDED WITH FLOOR WASTES IN ACCORDANCE WITH BCA.

INTERNAL FLOOR TO CEILING HEIGHT IN ACCORDANCE WITH THE REQUIREMENTS OF PART 3.8.2 OF VOLUME 2 OF THE NCCS-BCA.

ROOF AND GUTTERS

- BRICK PARAPET CONSTRUCTION TO BE IN ACCORDANCE WITH CLAUSE 3.3.1.2 OF

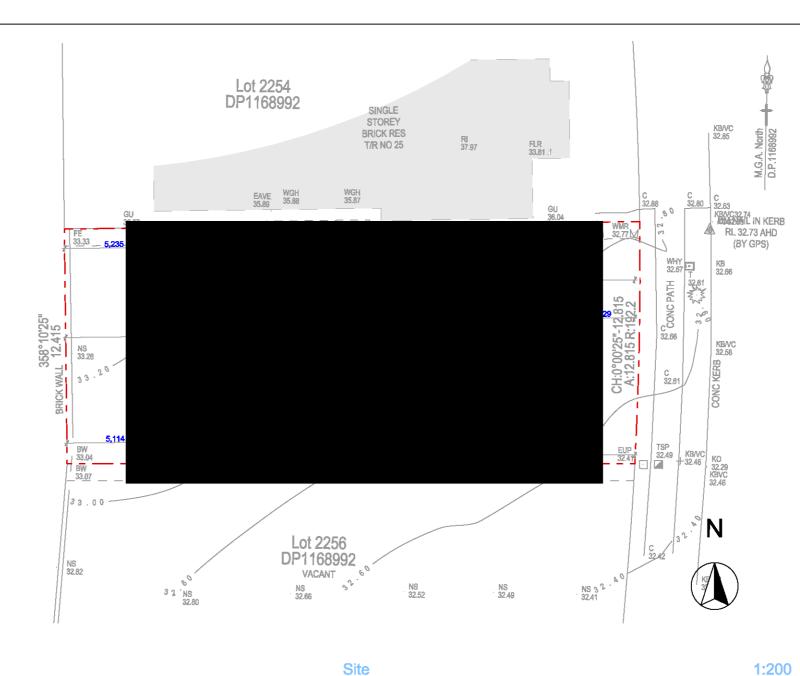
BCA
- ALL ROOF CLADDING IS TO BE IN ACCORDANCE WITH AS.1562.1
- ALL BOX GUTTERS WILL COMPLY WITH PART 3.5.2 OF BUILDING CODE OF AUSTRALIA (BCA)
- GUTTERS & DOWNPIPES ARE TO BE IN ACCORDANCE WITH CLAUSE 3.5.2 OF BCA &

AS 3500 WITH ALL DOWNPIPES BEING A MINIMUM SIZE OF EITHER 100X75 OR 100DIA & ALL BOX GUTTERING WILL BE MINIMUM 400W X 200D.

- CONSTRUCTION PLANS/ DETAILS/ SPECIFICATIONS FOR THE PROPOSAL

WILL BE PROVIDED PRIOR TO THE COMMENCEMENT OF ANY WORKS,

WE RELY ON SURVEY PROVIDED FOR SITE BOUNDARIES, LEVELS, EASEMENTS, SERVICES ETC. OWNER SHOULD CHECK ANY INCONSISTENCIES PRIOR TO COMENCEMENT OF ANY WORK ON SITE.



Compliance for DA (Penrith DCP 2014)

Allowed	Proposed	Complied
4.5m	4.5m	Yes
0mm	150mm	Yes
900mm	920mm	Yes
900mm	1200mm	Yes
900mm	920mm	Yes
4m	5.1m	Yes
6m	10.36m	Yes
Min. 25% of lot area	107.32m ²	Yes
	4.5m 0mm 900mm 900mm 900mm 4m 6m	4.5m 4.5m 0mm 150mm 900mm 920mm 900mm 1200mm 900mm 920mm 4m 5.1m 6m 10.36m

Area Analysis **Ground Floor** 214.80m² 136.20m² First Floor Total 351.00m²

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Revision History

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01	Ch-01	Design	21/02/2021
02	Ch-02	Design & Elevations	7/03/2021
03	Ch-03	Design & Elevations	31/03/2021
04	Ch-04	Design & Elevations	1/04/2021

Company Title



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ND202194

Lot 2255 Jordan Springs #Site City

#Site Postcode

Australia

Drawing Name

Site

Drawing Status

Design

Modified by Date

Drawing Scale

1:200

Layout ID Revision A.01.2 04

	IES-02 Window Schedule					
Element ID	Quantity	W x H Size	W/D Nominal Sill Height			
W001	1	900×1,800	600			
W002	1	900×1,800	600			
W003	1	2,150×1,200	1,350			
W004	1	1,200×600	1,950			
W005	1	1,800×900	1,650			
W006	1	1,200×2,400	2,870			
W007	1	1,200×1,800	750			
W008	1	2,150×1,800	750			
W009	1	2,150×1,800	750			
W010	1	1,200×1,800	750			
W011	1	1,200×600	950			
W012	1	1,500×600	950			
W101	1	900×1,800	600			
W102	1	900×1,800	600			
W103	1	900×1,800	600			
W104	1	900×1,800	600			
W105	1	900×1,800	600			
W106	1	2,150×900	1,620			
W107	1	1,500×600	1,920			
W108	1	2,150×900	1,620			
W109	1	1,500×900	1,620			
W110	1	900×1,800	720			
W112	1	2,150×900	1,620			
W113	1	2,150×900	1,620			
W114	1	900×1,800	720			
W115	1	1,200×600	1,920			
W116	1	1,200×600	1,920			

IES-02 Door Schedule					
Element ID	Quantity	W x H Size			
D01	1	4,500×2,400			
D02	1	1,640×2,400			
D03	1	820×2,340			
D04	1	820×2,340			
D05	1	820×2,340			
D06	1	820×2,340			
D07	1	820×2,340			
D08	1	820×2,340			
D09	1	820×2,340			
D10	1	2,400×2,400			
D11	1	3,200×2,400			
D12	1	2,700×2,400			
D13	1	820×2,340			
D14	1	820×2,340			
D15	1	820×2,340			
D17	1	820×2,340			
D18	1	820×2,340			
D19	1	720×2,340			
D20	1	720×2,340			
D21	1	820×2,340			
D22	1	720×2,340			
D23	1	820×2,340			
D24	1	820×2,340			
D25	1	820×2,400			
D26	1	820×2,400			

IES-03 Door Schedule

1:1

IES-04 Window Schedule 1:1

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Revision History						
RevID	ChID	Change Name	Date			
01	Ch-02	Design & Elevations	7/03/2021			
02	Ch-03	Design & Elevations	31/03/2021			
03	Ch-04	Design & Elevations	1/04/2021			

Company Title



NIRVA DESIGNS

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Client Details

Manko Homes builder@manko.com.au

ND202194

Lot 2255 Jordan Springs #Site City Australia #Site Postcode

Drawing Name

Window Schedule, Door

Drawing Status Schedule
Design

Modified by NP

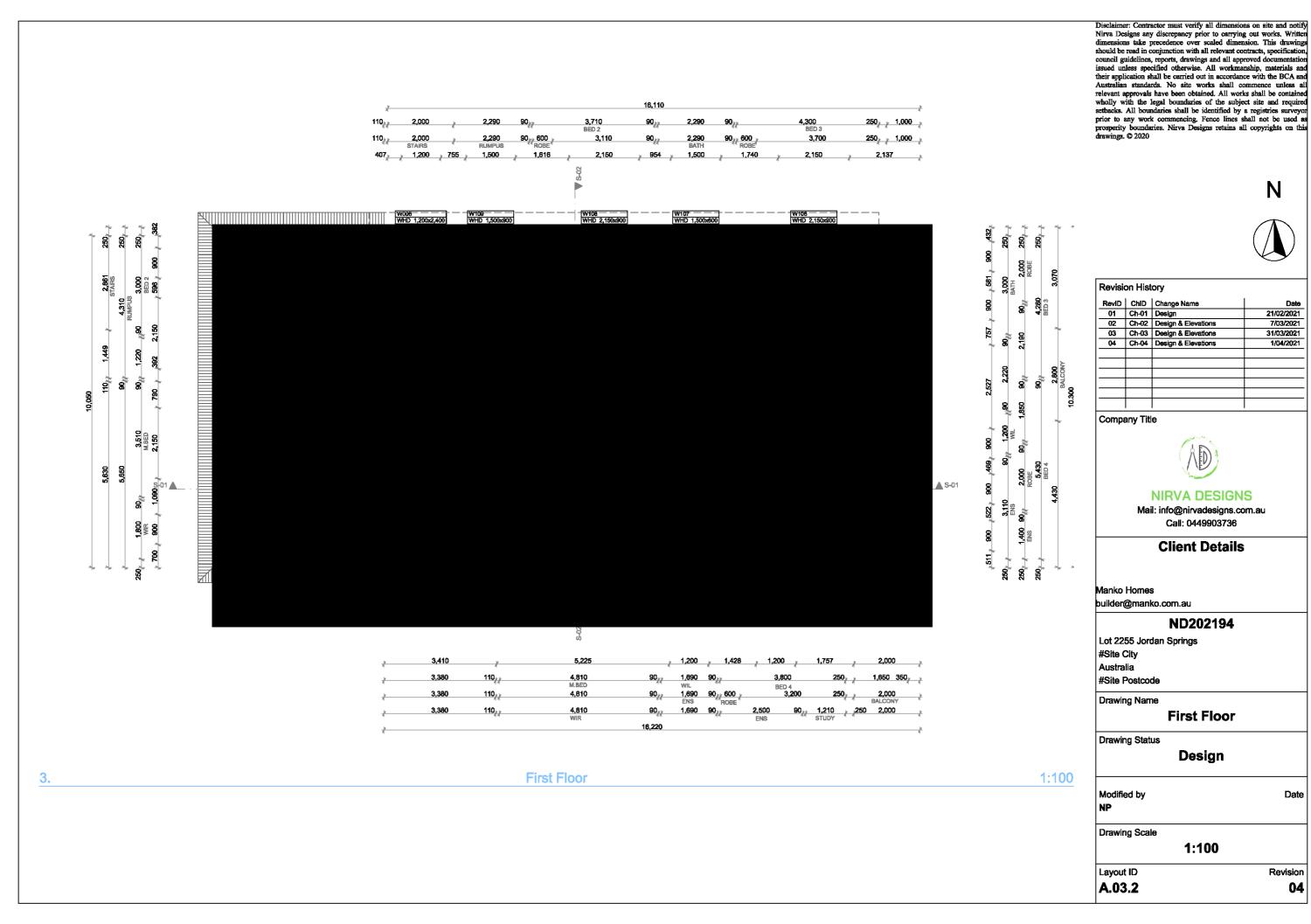
Drawing Scale 1:1

Layout ID Revision

A.02 03

Date

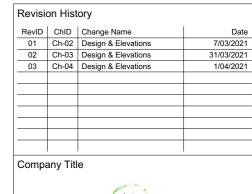
Disclaimer: Contractor must verify all dimensions on site and notify Nirva Designs any discrepancy prior to carrying out works. Writted dimensions take precedence over scaled dimension. This drawing should be read in conjunction with all relevant contracts, specification council guidelines, reports, drawings and all approved documentation issued unless specified otherwise. All workmanship, materials and issued unless specified otherwise. All workmanship, materials and their application shall be carried out in accordance with the BCA and Australian standards. No site works shall commence unless all relevant approvals have been obtained. All works shall be contained wholly with the legal boundaries of the subject site and required setbacks. All boundaries shall be identified by a registries surveyor prior to any work commencing. Fence lines shall not be used as prosperity boundaries. Nirva Designs retains all copyrights on this drawings. © 2020 21,400 2,000 90 4,200 90), 1,500 90), 3,800 250, 1,000 90_{ji} 1,500 90_{ji} 600 BATH ROBE 250 1,040 1,000 90 910 90 3,000 250, 650 350 FORMAL LIVING 4,861 3,972 1,714 (1,200 (525 (1,714 1,800 1,409 1,200 1,369 Ν 250 250 250 250 250 250 250 250 3,010 PRAYER 2,861 STAIRS 3,500 MEDIA Revision History RevID | ChID | Change Name Date 01 Ch-01 Design 21/02/2021 02 Ch-02 Design & Elevations 7/03/2021 03 Ch-03 Design & Elevations 04 Ch-04 Design & Elevations 31/03/2021 1/04/2021 3,000 ALRESCO 2,711 1,670 90, 600 sTUDY NOOK 8 Company Title 4,450 L'DRY 4,450 HELVES **NIRVA DESIGNS** Mail: info@nirvadesigns.com.au Call: 0449903736 **Client Details** 53 1,050 1,050 1,050 Manko Homes builder@manko.com.au ND202194 Lot 2255 Jordan Springs 6,000 4,191 1,200 602 1,500 2,000 #Site City 3,750 5,500 2.100 2,350 90 jr jr STUDY NOOK 1,590 90,,500 I DRY SHELVES 250 1,650 350 Australia ISLAND 3,200 2,350 90 3,600 1,800 90 6,000 2,000 #Site Postcode 90_{jrj} 1,590 90 90 1,100 600 FRZ MW OVV DINING GARAGE 6,000 250____ 1,500 90 BENCH 5,400 2,350 90,, 1,590 90,, 2.250 Drawing Name **Ground Floor** Drawing Status Design **Ground Floor** 1:100 Modified by Date NP Drawing Scale 1:100 Layout ID Revision A.03.1 04



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Client Details

Manko Homes builder@manko.com.au

ND202194

Lot 2255 Jordan Springs #Site City Australia

#Site Postcode
Drawing Name

Roof

Drawing Status

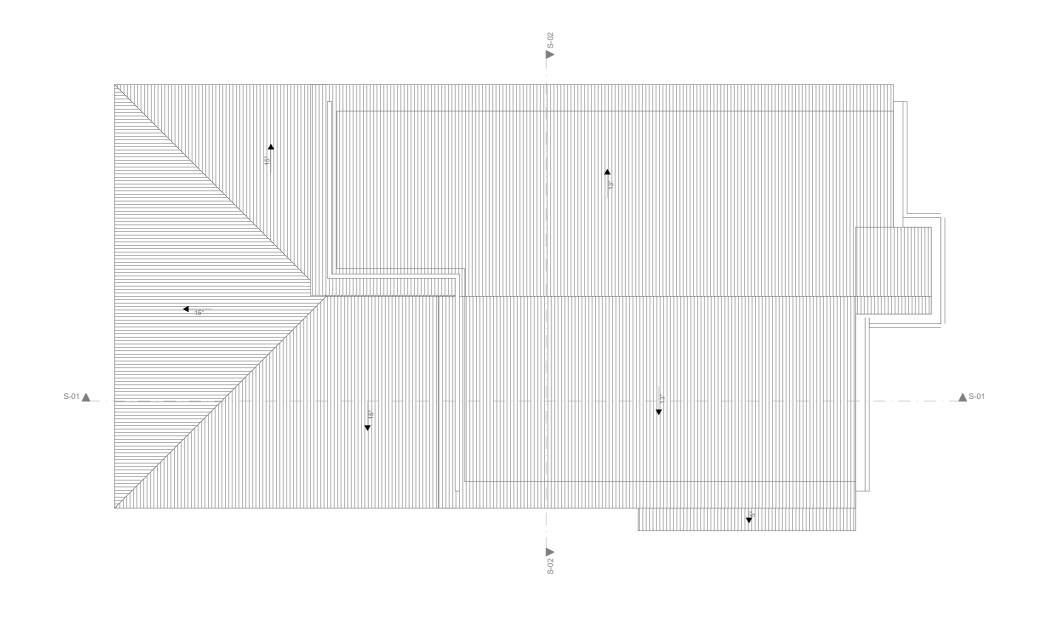
Modified by Date

Drawing Scale

1:100

1:100

Layout ID Revision A.03.3 03



Roof

NOTES:

ALL WINDOW SIZES ARE NOMINAL ONLY AND ARE TO BE MEASURED AND VERIFIED ON -SITE PRIOR TO ANY MANUFACTURE.

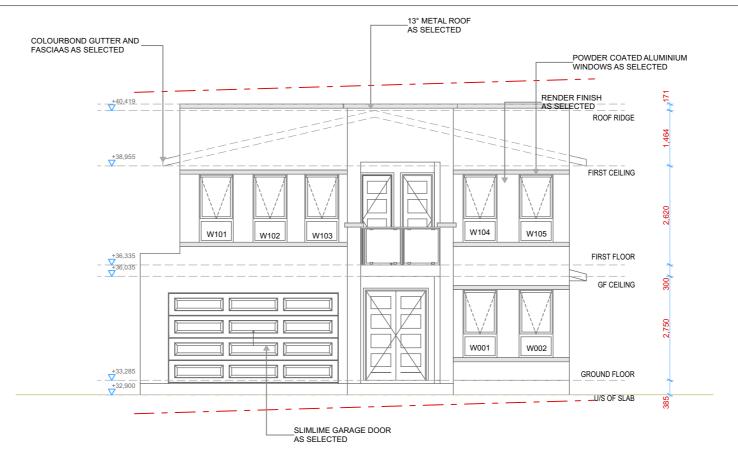
ALL WET AREA GLAZING TO BE OBSCURE.

EXPANSION JOINTS TO BE PROVIDED AS PER BCA/AUSTRALIAN STANDARDS.

WHERE FLOOR LEVEL IS >2M ABOVE EXTERNAL SURFACE BENEATH WINDOW, AND WHERE THE OPENABLE SASH IS <1.7M, ANY OPENABLE WINDOW IN A BEDROOM MUST BE RESTRICTED TO A 125MM OPENING.
IN REGARDS TO OTHER ROOMS, THIS APPLIES WHERE THE FLOOR LEVEL IS >4M.

R DENOTES RESTRICTION ON THE WINDOW.

ALL DOWNPIPES TO BE PVC, CIRCULAR & PLUMBER TO CONNECT THE DOWNPIPES TO GUTTER.



East Elevation 1:100



West Elevation

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	Revision History							
	RevID	ChID	Change Name	Date				
	01	Ch-02	Design & Elevations	7/03/2021				
ı	02	Ch-03	Design & Elevations	31/03/2021				
ı	03	Ch-04	Design & Elevations	1/04/2021				
ı								
ı								

Company Title



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Client Details

Manko Homes builder@manko.com.au

ND202194

Lot 2255 Jordan Springs #Site City Australia

#Site Postcode
Drawing Name

East Elevation, West Elevation

Drawing Status

Design

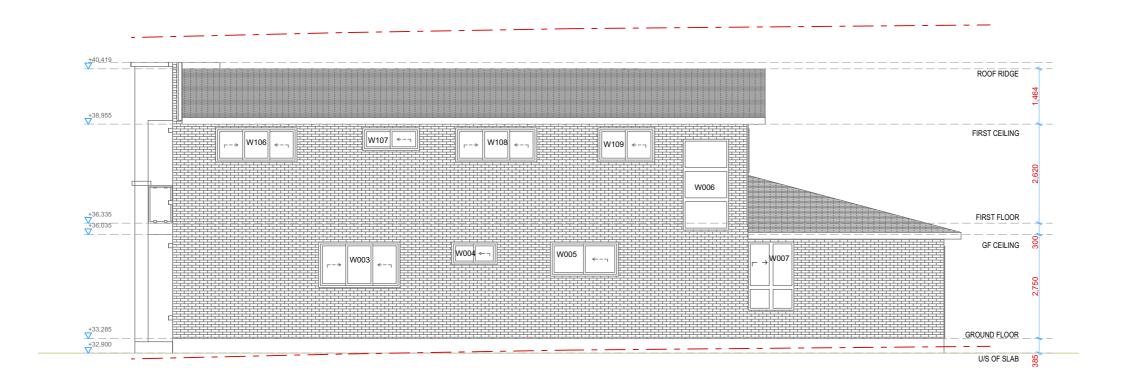
Modified by Date NP

Drawing Scale

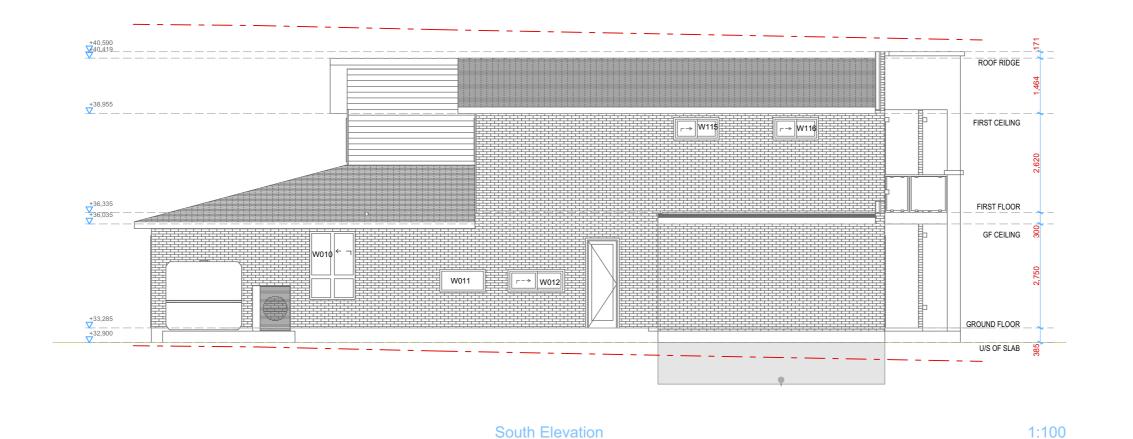
1:100

1:100

Layout ID Revision A.04.1 03



North Elevation 1:100



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Revision	Revision History							
RevID	ChID	Change Name	Date					
01	Ch-02	Design & Elevations	7/03/2021					
02	Ch-03	Design & Elevations	31/03/2021					
03	Ch-04	Design & Elevations	1/04/2021					

Company Title



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Client Details

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ND202194

Lot 2255 Jordan Springs #Site City Australia #Site Postcode

Drawing Name

Modified by

North Elevation, South

Drawing Status Elevation
Design

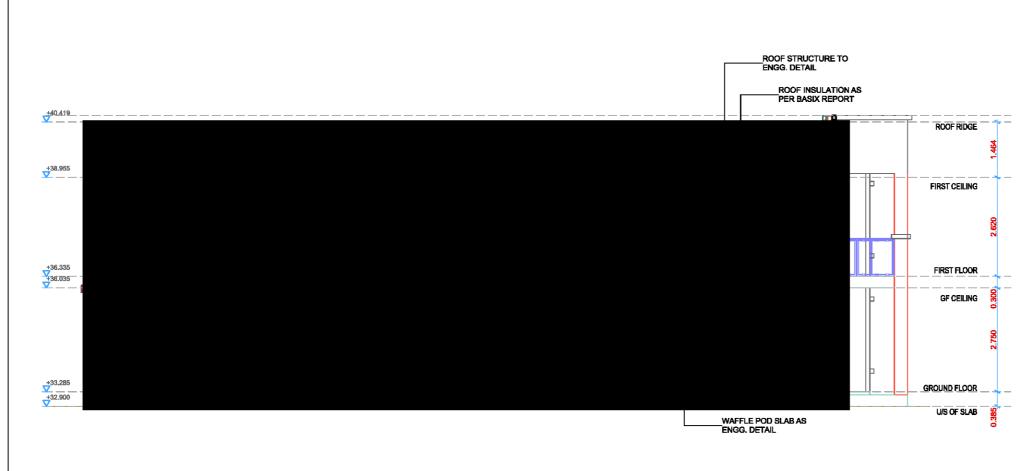
Drawing Scale 1:100

Date

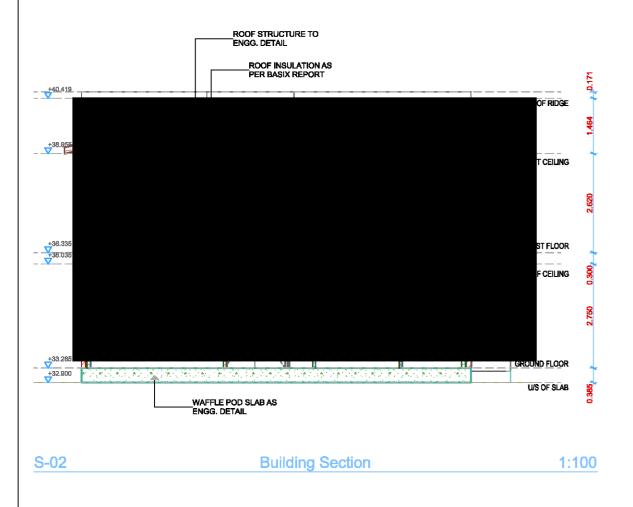
Revision

Layout ID

A.04.2 03



S-01 Building Section 1:100



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01			7/03

Company Title



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Client Details

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ND202194

Lot 2255 Jordan Springs #Site City Australia #Site Postcode

Drawing Name

Building Section

Drawing Status

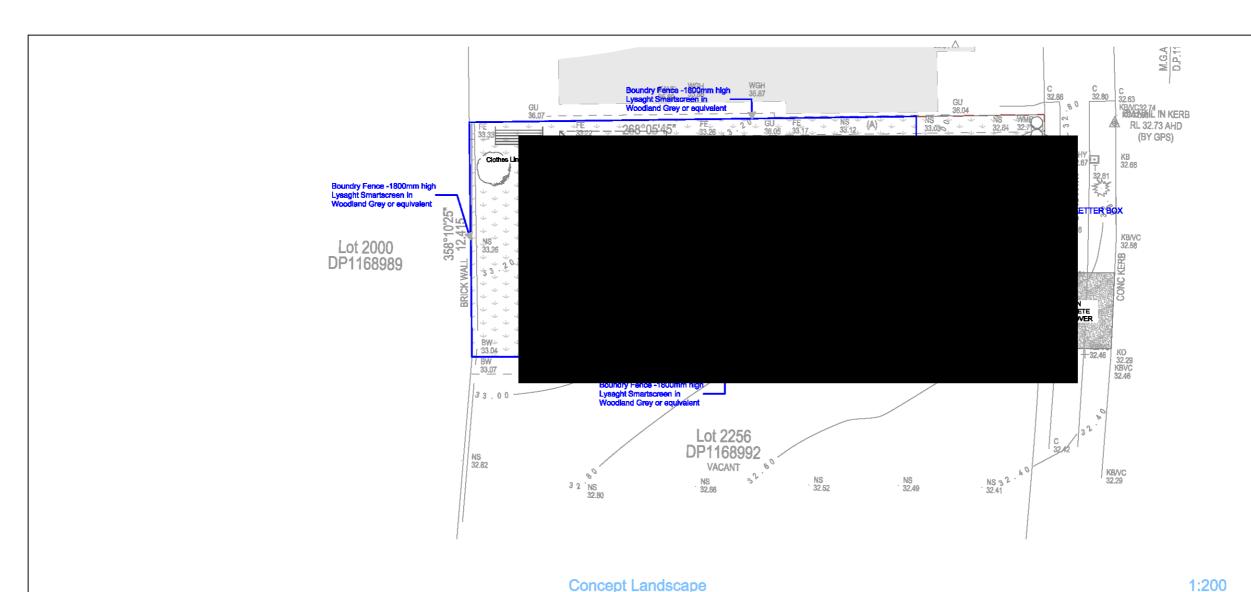
Modified by

Date

Drawing Scale

1:100

Layout ID Revision A.05.1 01



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Revision History

RevID ChID Change Name Date
01 7/03/2021

Company Title



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Client Details

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ND202194

Lot 2255 Jordan Springs #Site City Australia #Site Postcode

Drawing Name

Concept Landscape

Drawing Status

Modified by

Drawing Scale

1:200

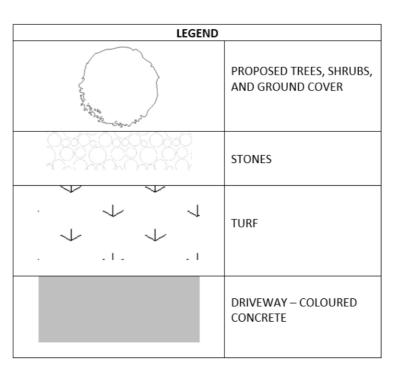
A.06 Revision

Date

HARDWOOD STAKE GRIVEN

STAKE SUE JUNG AND THE SUE JUNG AN

PLANTING S	PLANTING SCHEDULE								
MARK	TYPE	NATIVE	POT SIZE	HEIGHT	COUNT				
AS	Amena Smithi	Yes	200mm	1.8m	11				
DS	Dianella 'Silver Streak'	Yes	150mm	500mm	12				
WF	Waterhousea Floribunda	Yes	45L	8m	1				
GA	Gordonia Axillaris	Yes	45L	5m	1				



Lot 2254 DP1168992 SINGLE STOREY **BRICK RES** RI 37.97 T/R NO 25 2 32.83 32.63 KBAC32.74 IN KERB ш Ш RL 32.73 AHD α (BY GPS) \vdash WHY 32.67 S CONC PATH CH:0°00'25"-12.815 A:12.815 R:192.2 358°10'25" 12.415 KB/VC 32.58 Lot 2000 DP1168989 C 32.61 KB/VC -32,46 DINA · NS __32.68 RWT OVERFLOW

TO BE CONNECTED TO EXISTING PIT ⋖ Lot 2256 DP1168992 NS 32.82 VACANT KB/VC 32.29 NS 3 ² 32.41 NS 32.49 NS 32.52 SMH 32.32 **Concept Stromwater** 1:200 Disclaimer: Contractor must verify all dimensions on site and notify Nirva Designs any discrepancy prior to carrying out works. Written dimensions take precedence over scaled dimension. This drawings should be read in conjunction with all relevant contracts, specification, council guidelines, reports, drawings and all approved documentation issued unless specified otherwise. All workmanship, materials and their application shall be carried out in accordance with the BCA and Australian standards. No site works shall commence unless all relevant approvals have been obtained. All works shall be contained wholly with the legal boundaries of the subject site and required setbacks. All boundaries shall be identified by a registries surveyor prior to any work commencing. Fence lines shall not be used as prosperity boundaries. Nirva Designs retains all copyrights on this drawings. © 2020 Disclaimer: Contractor must verify all dimensions on site and notify

Revision	Revision History							
ReviD	ChID	Change Name	Date					
	-	•	-					

Company Title



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Client Details

Manko Homes builder@manko.com.au

ND202194

Lot 2255 Jordan Springs #Site City Australia #Site Postcode

Drawing Name

Concept Stromwater

1:200

Drawing Status

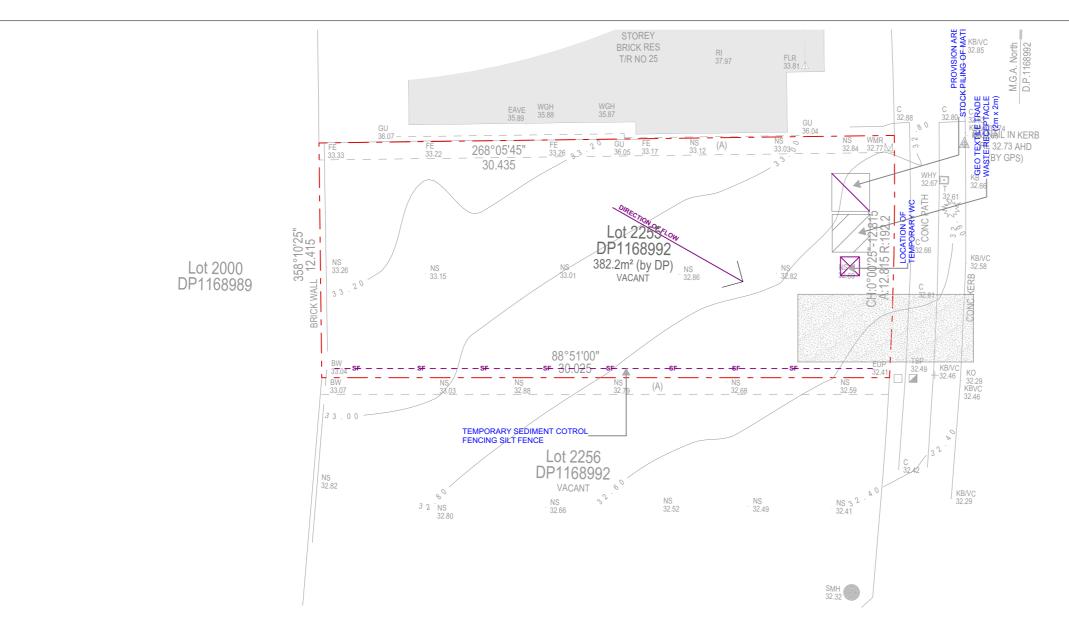
Modified by

Date

Revision

Drawing Scale

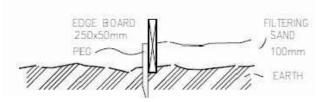
Layout ID A.07



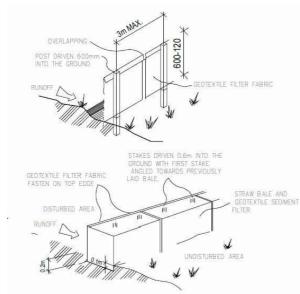
Sediment Control 1:200

SOIL CONSERVATION

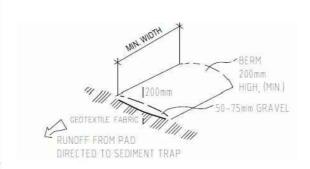
- Prior to commencement of construction provide "Sediment Fence', 'Sediment Trap' and out area to ensure the capture of water borne material generated from the site.
- Maintain the above during the course of construction, and clear the sediment trap after each storm
- 500mm*500mm wide, 300mm deep pit, located at the lowest point to the trap sediment
- To be 1800mm*1800mm allocated for the washing of tool & equipment



- Provide 'Sediment Fence' on the down slope boundary as shown on plan. Fabric to be buried below ground at lower



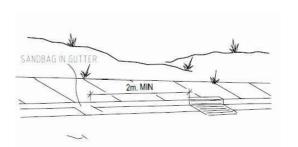
- Vehicle access to the building site should be restricted to a single point so as to reduce the amount of soil deposited on the street pavement



- All stockpiles of building materials such as sand and soil must be protected to prevent scour and erosion.
- This should never be placed in the street gutter where they will wash away with the first



- In certain circumstances extra sediment trapping may be needed in the street gutter.



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	RevID	ChID	Change Name	Date
ŀ		'		1

Company Title



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> Call: 0449903736 **Client Details**

Manko Homes builder@manko.com.au

ND202194

Lot 2255 Jordan Springs #Site City Australia

Drawing Name

#Site Postcode

Sediment Control

Drawing Status Modified by Date

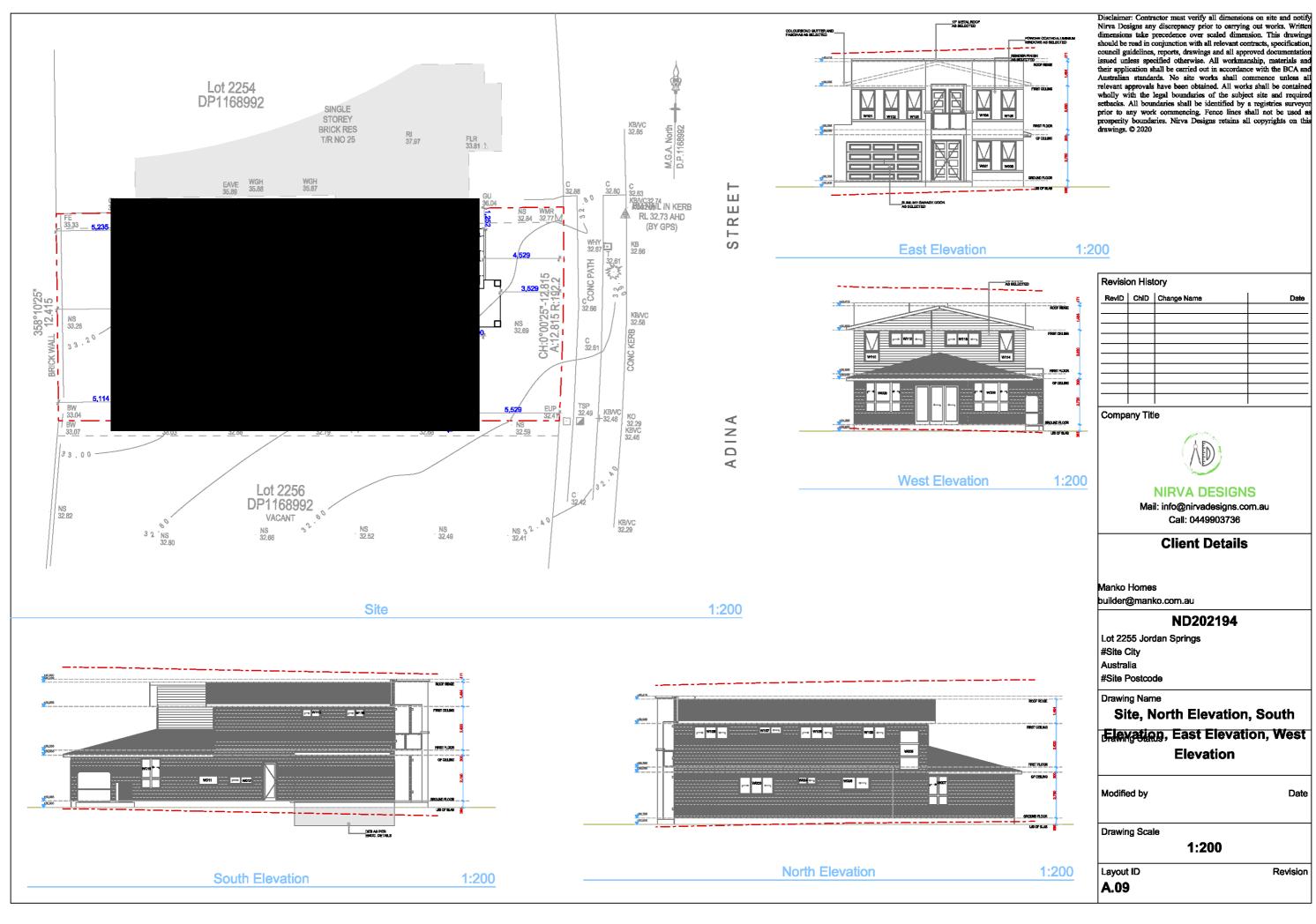
Drawing Scale

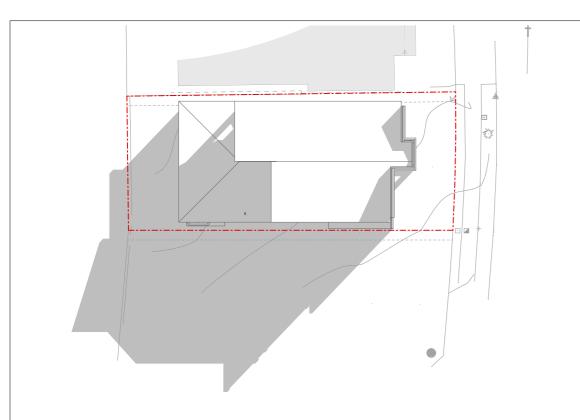
1:200

Layout ID Revision

A.08

edge.





Revision History

RevID | ChID | Change Name | Date

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Company Title

1:350



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Client Details

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ND202194

Lot 2255 Jordan Springs #Site City Australia #Site Postcode

Drawing Name

A.10

21 June 12PM, 21 June 3PM, 21

Drawing Status	June 9AM	
Modified by		Date
Drawing Scale		
	1:350	
Layout ID		Revision

21 June 9AM 21 June 9AM 1:350

21 June 12PM

21 June 12PM

21 June 3PM 21 June 3PM 1:350

BASIX Certificate

Single Dwelling



Project summary		
Project name	Lot 2255 Jordan Sp	irings
Street address	23 Adina Street Jor	dan Springs 2747
Local Government Area	Penrith City Counci	I
Plan type and plan number	deposited 1168992	
Lot no.	2255	
Section no.	-	
Project type	separate dwelling h	ouse
No. of bedrooms	5	
Project score		
Water	✓ 41	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 50	Target 50

Certificate Prepared by
Name / Company Name: Nirva Designs
ABN (if applicable): 12526379243

dress	Lot 2255 Jordan Spr	ings					
name ddress		ings					
		lan Springs 2747	Description of	of project			
overnment Area Pennith City Council				1 - 3			
e and plan number	deposited 1168992						
	2255		Project address		Assessor details and thermal le	oads	
no.			Project name	Lot 2255 Jordan Springs	Assessor number	nia	
type	separate dwelling ho	ouse	Street address	23 Adina Street Jordan Springs 2747	Certificate number	nía	
edrooms	5		Local Government Area	Penrith City Council	Climate zone	nía	
ct score			Plan type and plan number	Deposited Plan 1168992	Area adjusted cooling load (MJ/m².year)	nia	
	✓ 41	Target 40	Lot no.	2255	Area adjusted heating load (MJ/m² year)	nia	
	•		Section no.		Ceiling fan in at least one bedroom	nía	
I Comfort	✓ Pass	Target Pass	Project type		Ceiling fan in at least one living room or ofter conditioned area	n/a	
	✓ 50	Target 50	Project type	separate dwelling house	Project score		
	-		No. of bedrooms	5	· ·		
			Site details		Water	✓ 41	
			Site area (m²)	382	Thermal Comfort	✓ Pass	
			Roof area (m²)	250] <u> </u>	-	
			Conditioned floor area (m2)	241.22	Energy	✓ 50	
			Unconditioned floor area (m2)	19.49			
			Total area of garden and lawn (m2)	107			
icate Prepared by							
Company Name: Nirva Designs							
. , ,							
applicable): 12526379243							

The following requirements must also be satisfied in relation to each window and glazed door.

ription of	project					Schedule of BASIX commitments The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any of development certificate issued, for the proposed development, that BASIX commitments be compiled with.
idress		Assessor details and thermal le	oads			Water Commitments
	Lot 2255 Jordan Springs	Assessor number	n/a			Fixtures
5	23 Adina Street Jordan Springs 2747	Certificate number	nia			The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage te
ment Area	Penrith City Council	Climate zone	n/a			all showers in the development.
plan number	Deposited Plan 1168992	Area adjusted cooling load (MJ/m².year)	n/a			The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
	2255	Area adjusted heating load (MJ/m² year)	n/a			The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.
		Ceiling fan in at least one bedroom	n/a			
pe		Ceiling fan in at least one living room or other conditioned area	n/a			The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.
	separate dwelling house	Project score				Alternative water
ms	5	Water				Rainwater tank
s		Water	✓ 41	Target 40		The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in
	382	Thermal Comfort	✓ Pass	Target Pass		accordance with, the requirements of all applicable regulatory authorities.
) loor area (m2)	250	Energy	✓ 50	Target 50		The applicant must configure the rainwater tank to collect rain runoff from at least 150 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).
d floor area (m2)	19.49					The applicant must connect the rainwater tank to:
parden and lawn (m2)	107					the cold water tap that supplies each clothes washer in the development.
						at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)
g, Industry & Environment www.l	basix.nsw.gov.au Version: 3.0 / DARWINIA_3_	16_6 Certificate No.: 1191714S M	fonday, 24 May 2021	page 2/1	10	BASIX Planning, Industry & Emironment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_16_6 Certificate No.: 11917145

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but \Leftarrow 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		~	~
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		~	~
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		V	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		~	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	~	~	~
The applicant must configure the rainwater tank to collect rain runoff from at least 150 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		~	~
The applicant must connect the rainwater tank to:			
the cold water tap that supplies each clothes washer in the development		~	~
 at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 		~	~

		piulis a specs	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.	1	~	~
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		~	~
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		~	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		~	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	V	~	~
The applicant must configure the rainwater tank to collect rain rundif from at least 150 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		~	V
The applicant must connect the rainwater tank to:			
the cold water tap that supplies each clothes washer in the development		~	~
 at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with notable water supply.) 			
 all lead one audisor by in the development (Note NSN Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) 			

Thermal Com	fort Commitments		Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General featur	res				
The dwelling must	t not have more than 2 storeys.		-	-	· ·
The conditioned fl	oor area of the dwelling must not exceed				
				_	-
The dwelling must	t not contain open mezzanine area excee	_	~	~	
The dwelling must	t not contain third level habitable attic roo	v		v	
Floor walls a	nd ceiling/roof				_
		roof of the dwelling in accordance with the specifications listed in the	table		T
below.		,	~	~	~
Construction		Additional insulation required (R-Value) 0	ther specifications		
floor - concrete siz	ab on ground	ni			
external wall - bric	k veneer	2.06 (or 2.60 including construction)			
internal wall share	d with garage - plasterboard	ni			
oeiling and roof - f	lat ceiling / pitched roof	ceiling: 4 (up), roof: foil/sarking ga	able end vents; medi	um (solar absorptance 0	.475-0.70)
Note Insulation	on specified in this Certificate must be ins	stalled in accordance with Part 3.12.1.1 of the Building Code of Australi	a.		
Note • In some	climate zones, insulation should be insta	alled with due consideration of condensation and associated interaction	with adjoining build	ing materials.	

					•
- Aluminium single cl	ear				
- Aluminium double (a	air) clear				
- Timber/uPVC/fibreg	lass single clear				
- Timber/uPVC/fibreg	lass double (air) cle	ar			
than that listed and a	Solar Heat Gain Co dance with National	efficient (SHGC) within	ist be accompanied with certification the range of those listed. Total sy Council (NFRC) conditions. Frame:	stem U values and SHGC must	•
Windowiglazed door no.	Maximum height (mm)	Maximum width (mm)	Туре	Shading Device (Dimension within 10%)	Overshadowing
North facing					
	1800	1200	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W007	1800	1200	aluminium, single, clear aluminium, single, clear		not overshadowed not overshadowed
W007	1.00			window or glazed door eave 450 mm, 200 mm above head	
W007 W006 W004	2400	1200	aluminium, single, clear	window or glazed door eave 450 mm, 200 mm above head of window or glazed door	not overshadowed
W007 W006 W005	2400	1200	aluminium, single, clear	window or glazed door eave 450 mm, 200 mm above head of window or glazed door none	not overshadowed not overshadowed

Windowiglazed door no.	Maximum height (mm)	Maximum width (mm)	Туре	Shading Device (Dimension within 10%)	Overshadowing
W108	900	2150	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W107	600	1500	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W106	900	2150	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
East facing					
W001	1800	900	aluminium, single, clear	none	not overshadowed
W002	1800	900	aluminium, single, clear	none	not overshadowed
W104	1800	900	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W105	1800	900	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W101	1800	900	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W102	1800	900	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W103	1800	900	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
South facing					
W010	1800	1200	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W011	600	1200	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W012	600	1500	aluminium, single, clear	none	not overshadowed
W115	600	1200	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W116	900	600	aluminium, single, clear	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
D11	2400	3200	aluminium, single, clear	verandah 3750 mm, 2700 mm above base of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Туре	Shading Device (Dimension within 10%)	Overshadowing
West facing					
W109	1800	1800	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
W108	1800	1800	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 450 mm, 0 mm above head of window or glazed door	not overshadowed
D10	2400	2400	aluminium, single, clear	verandah 4000 mm, 2700 mm above base of window or glazed door	not overshadowed
W110	1800	900	aluminium, single, clear	eave 450 mm, 500 mm above head of window or glazed door	not overshadowed
W112	1200	2150	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	none	not overshadowed
W113	1200	2150	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	none	not overshadowed
W114	1800	900	aluminium, single, clear	eave 450 mm, 500 mm above head of window or glazed door	not overshadowed
D12	2700	2400	U-value: 5.6, SHGC: 0.369 - 0.451 (aluminium, single, Lo-Tsol Low-e)	eave 450 mm, 300 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 5 stars.	~	~	~
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 2.5 - 3.0		~	~
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating; EER 2.5 - 3.0		~	~
The cooling system must provide for day/night zoning between living areas and bedrooms.		~	~
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating EER 2.5 - 3.0		~	~
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning: Energy rating: EER 2.5 - 3.0		~	~
The heating system must provide for day/night zoning between living areas and bedrooms.		~	V
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: interlocked to light		~	V
Kitchen: individual fan, ducled to façade or roof; Operation control: manual switch on/off		~	~
Laundry: natural ventilation only, or no laundry; Operation control: n/a		~	-
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent light emitting diode (LED) lamps.			
at least 5 of the bedrooms / study;			

	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
at least 3 of the living / dining rooms;		v	v
the kitchen;			
all bathrooms/bilets;			Ü
the laundry;		l j	Ü
all halways;			Ü
atural lighting			•
re applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.		V	V
re applicant must install a window and/or skylight in 4 bathroom(s)/toilet(s) in the development for natural lighting.	-	-	v
ther			
re applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.			
ne applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		J	
ne applicant must install a fixed outdoor clothes drying line as part of the development.		-	
		_ •	

Disclaimer: Contractor must verify all dimensions on site and notify Nirva Designs any discrepancy prior to carrying out works. Written dimensions take precedence over scaled dimension. This drawings should be read in conjunction with all relevant contracts, specification, council guidelines, reports, drawings and all approved documentation issued unless specified otherwise. All workmanship, materials and their application shall be carried out in accordance with the BCA and Australian standards. No site works shall commence unless all relevant approvals have been obtained. All works shall be contained wholly with the legal boundaries of the subject site and required setbacks. All boundaries shall be identified by a registries surveyor prior to any work commencing. Fence lines shall not be used as prosperity boundaries. Nirva Designs retains all copyrights on this Disclaimer: Contractor must verify all dimensions on site and notify prosperity boundaries. Nirva Designs retains all copyrights on this drawings. © 2020

Revision	on Hist	ory	
RevID	ChID	Change Name	Date
Compa	any Titl	e	-

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Manko Homes builder@manko.com.au

ND202194

Lot 2255 Jordan Springs #Site City Australia #Site Postcode

Drawing Name

BASIX Commitments - 23 Adina

Drawing Status	Street	
Modified by		Date
Drawing Scale	1:1	
Layout ID A.11		Revision

Legend							
In these commitment	s, "applicant" means the p	erson carrying out the	development.				
	ed with a vin the "Show tion is to be lodged for the			plans accompanying th	ne development applic	ation for the proposed develop	pment (if a
	ed with a vin the "Show development certificate f			be shown in the plans a	and specifications acco	ompanying the application for	a construction
Commitments identifi final) for the develop		ier check" column mus	t be certified by a certif	fying authority as havin	ig been fulfilled, before	e a final occupation certificate(either interim o

BASIX Commitments - 23 Adina Street