

MAJOR ASSESSMENT REPORT

Application number:	DA20/0717
Proposed development:	Demolition of Existing Structures & Construction of a Two (2) Storey Boarding House including Basement Car Parking
Property address:	6 Edna Street, KINGSWOOD NSW 2747
Property description:	Lot 53 DP 241989
Date received:	30 October 2020
Assessing officer	Donna Clarke
Zoning:	SEPP WSA - Affected by Obstacle Limitation SEPP WSA - Affected by Wildlife Buffer Zone Zone R3 Medium Density Residential - LEP 2010
Class of building:	Class 3 , Class 7a
Recommendations:	Refuse

Executive Summary

Council is in receipt of a development application for tree removal, demolition of existing structures and the construction of a two storey, 12 room boarding house for a maximum 18 lodgers, at Lot 53 DP 241989, 6 Edna Street, Kingswood.

The proposal is defined as a *boarding house* and is a permissible form of development in the R3 Medium Density Residential zone under Penrith Local Environmental Plan 2010 (PLEP), with consent. The development proposal is also permissible within the R3 Medium Density Residential zone under State Environmental Planning Policy (Affordable Rental Housing) 2009, with consent.

Key issues identified during the assessment of the proposed development include:

- Incompatibility of the development with the provisions of State Environmental Planning Policy (Affordable Rental Housing) 2009,
- Incompatibility of the development with the provisions of PLEP including the R3 Medium Density Residential zone objectives,
- Non compliance with front and rear setback controls of the Penrith Development Control Plan 2014 (DCP),
- Incompatibility of the design with local character, streetscape and future desired character,
- Bulk, scale and overbearing impacts,
- Incompatibility of the design and size of the landscaped area with the streetscape,
- Negative privacy and residential amenity impacts,
- Social impacts including potential for increases in crime from the proliferation of boarding house development in the immediate vicinity of the site and the lack of on-site manager,
- Unsatisfactory response to site suitability and SEPP 55,
- Inconsistencies in documentation, and
- Unsatisfactory design response with regard to environmental sustainability.

The application was lodged with the incorrect BASIX Certificate for the type of development proposed and is unacceptable having regard to State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004. Further, during the assessment inconsistencies have been identified between plans and incorrect depiction of the existing and proposed levels. The inconsistencies do not allow for a full and proper assessment with respect to accessibility, visual impacts, levels and landscaping.

The development application has been advertised, and notified to adjoining residents and land owners. The public exhibition period was between 8 and 23 November 2020 the Application was advertised and notified to adjoining and nearby residences. Thirty four (34) individual submissions were received, including one late submission. One submission indicated that no objection was raised, with the remaining submissions objecting to the application. The submissions raised objections on various matters including negative impacts on amenity, local character, privacy, traffic and parking, footpaths, servicing, crime and social issues, negative impacts on property values and the cumulative impacts of boarding house developments in the vicinity of the site. A response to the matters raised in the submissions is provided within this report.

The application is to be determined by the Penrith Local Planning Panel as it has received 10 or more unique submissions by way of objection.

It is noted that the applicant has lodged a Class1 Appeal with the NSW Land and Environment Court against Council's Deemed Refusal of the application. This application the subject of proceedings in the Land and Environment Court. The parties have participated in a conciliation conference but were unable to reach agreement. The matter is listed for hearing on 24 and 25 August 2021.

An assessment under Section 4.15 of the Environmental Planning and Assessment Act 1979 has been undertaken and the application is recommended for Refusal for the reasons stated at the end of this report.

The application is found to be unsuitable for the site and is not in the public interest.

Site & Surrounds

The Site is legally described as Lot 53 in DP 241989, and is known as 6 Edna Street, Kingswood and is located on the south-eastern side of the intersection of Edna and Edith Streets and is an irregular, rectangular shaped allotment, with a splayed corner to the intersection. The Site has a frontage of 20.17m to Edna Street, a frontage of 23.315m to Edith Street, a southern boundary dimension of 23.825m, an eastern boundary dimension of 26.79m and a splay corner dimension of 5.155m. The site has an area of 633.8m² by calculation.

The Site is relatively flat with a very gentle slope from the south-west corner to the north-east corner of approximately 600mm. One tree exist on the Site towards the street frontage at the north-eastern corner and a single storey brick dwelling house with a detached garage exist on the Site. The existing dwelling has a front setback from Edna Street of approximately 9m and from Edith Street of 8m. The garage is located near the south-eastern corner of the site with driveway access from Edith Street via wheel strips over the nature strip.

The Site shares its eastern boundary with 4 Edna Street which contains a single storey brick dwelling. The dwelling has a front setback of approximately 9.5-10.5m and a setback from the common boundary with the Site of approximately 5m. The vehicular access to this property is located along the eastern side boundary. The Site shares its southern boundary with 4 Edith Street which contains a single storey, dwelling. The dwelling has a front setback of approximately 7.5m-13.5m to the wall, with an awning to the northern side of the dwelling setback approximately 7.5m from the street frontage. The awning has a minimal setback from the common boundary with the Site and the dwelling has a setback of approximately 5m from that boundary. The vehicular access to this property is located along the common boundary with the Site, accessing car spaces located under the aforementioned awning.

Edna Street is characterised by a mix of older style, and generally modest, single storey dwellings. Diagonally opposite the site on the corner of Edna Street and Manning Street is a two storey development containing local shops. The Site is within the vicinity of Kingswood Public School, Western Sydney University and Chapman Gardens Oval.

The Site is also within the vicinity of a significant number of either approved or constructed boarding houses. in recent years the character of this portion of Kingswood has been altered, and will continue to be altered, by the approval and construction of boarding houses. The 13 approved boarding houses in this portion of Kingswood contain a total of 212 boarding rooms.

Proposal

The Application seeks consent for the demolition of the existing structures, removal of two trees including one street tree and the construction of a two-storey boarding house and includes the following:

- The removal of one tree and one street tree (Edith Street frontage).
- 12 boarding rooms consisting of five single rooms and seven double rooms with a total occupancy of 19 persons;
- One common room at ground floor;
- A communal outdoor area between the common room and the eastern boundary;
- Vehicular access from Edith Street to a basement carpark providing for six parking spaces (including an accessible space), three motorcycle parking spaces, three bicycle parking spaces and services;
- A waste area adjoining the driveway incorporated into the building.
- The proposed boarding house has a setback from Edna Street of 7.15m-7.75m and from Edith Street of 4.0m-5.55m. An eastern boundary setback of 2.0m-3.5m and a southern boundary setback of 6.0m is provided.
- The proposed boarding house is designed such that its pedestrian entrance is via a pathway and stairs from Edna Street and the vehicular access is via a ramp near the southern boundary from Edith Street. A second pedestrian access is provided from Edith Street, via a ramp.

Background:

On 4 November 2020 the Application was lodged with Council.

On 14 December 2020, the Applicant filed a Class 1 Application against the deemed refusal of the development application. This application the subject of proceedings in the Land and Environment Court. The parties have participated in a conciliation conference but were unable to reach agreement. The matter is listed for hearing on 24 and 25 August 2021.

Plans that apply

- Local Environmental Plan 2010 (Amendment 4)
- Development Control Plan 2014
- State Environmental Planning Policy (Affordable Rental Housing) 2009
- State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004
- State Environmental Planning Policy (Vegetation in non-rural areas) 2017
- State Environmental Planning Policy (Western Sydney Aerotropolis) 2020
- State Environmental Planning Policy No 55—Remediation of Land
- Sydney Regional Environmental Plan No.20 - Hawkesbury Nepean River

Planning Assessment

Section 4.15 - Evaluation

The proposal has been assessed in accordance with the matters for consideration under Section 4.15 of the *Environmental Planning and Assessment Act 1979*, and having regard to those matters, the following issues have been identified for further consideration:

Section 4.15(1)(a)(i) The provisions of any environmental planning instrument

State Environmental Planning Policy (Affordable Rental Housing) 2009

Division 3 Boarding houses, applies to the development proposal as it includes construction of a two storey, 12 room boarding house for a maximum of 19 lodgers.

(a) Clause 29 of the Policy states that a consent authority must not refuse consent to development to which this Division applies on any of the following grounds -

(a) *building height*, if the development complies with the PLEP maximum height of buildings development standard

...(b) *Landscaped area*, if the landscape treatment of the front setback area is compatible with the streetscape in which the building is located,

(c) *Solar access*, where the development provides for one or more communal living rooms, if at least one of those rooms receives a minimum of 3 hours direct sunlight between 9am and 3pm in mid-winter,

(d) *Private open space*, if at least the following private open space areas are provided (other than the front setback area) -

(i) one area of at least 20 square metres with a minimum dimension of 3 metres is provided for the use of the lodgers,...

...(e) *Parking*, if -

(i) in the case of development not carried out by or on behalf of a social housing provider—at least 0.5 parking spaces are provided for each boarding room,...

...(f) *Accommodation size*, if each boarding room has a gross floor area (excluding any area used for the purposes of a private kitchen or bathroom facilities) of at least - (i) 12 square metres in the case of a boarding room intended to be used by a single lodger, or

(ii) 16 square metres in any other case.

With regard to above, the following is noted:

(a) *building height* - The proposal is assessed to comply.

(b) *landscaped area* - The front setback area is deemed to be inadequate with respect to the existing setback pattern of the neighbours and as such the landscaped treatment of the front setback is not assessed to be compatible with the streetscape in which the building is located. Minimal setback area has been provided for landscaping on the Edith St side in particular. The front setback, being inconsistent with the adjoining neighbour's setback, is out of character with the prevailing setback depth in the street and opportunities provided for landscape which might contribute to streetscape character.

The existing Melaleuca quinquervia Street tree adjoining the Edith Street frontage of the site is the most significant of the four street trees adjoining the site and its removal to provide access to the basement is unacceptable when an alternative location is available from Edna Street.

The development will sit substantially forward of adjacent and prevailing landscaped front setbacks within the streetscape which will be retained and enhanced (as anticipated by the applicable controls and objectives) as any re-development occurs within the zone.

The basement driveway location and width will result in the removal of a significant and mature native street tree and should be avoided, noting the limited number of mature street trees in the area both locally and more broadly, and also noting existing heat island issues and the number of extreme temperature days Penrith experiences. The tree has the potential to grow larger in the location as there are no overhead wires and forms a row of similar trees along Edith Street, thus contributing to local character and amenity. The tree should be retained and is the most mature and significant tree adjacent the site's frontage.

The front setback to Edith Street is filled with ramping and balustrades and is too narrow and has an adverse impact upon the ability to provide suitable landscaping. The ground floor, finished floor level (FFL) is approximately 1m above natural ground, which is unacceptable in relation to streetscape, local character fit and amenity and is the reason for all of ramping and balustrading within the frontage. The proposed FFL is deemed to be self-imposed and is related to the ability for cars to have sufficient clearance to access the basement parking, once again impacting upon landscape provision.

(c) *solar access* - The area provided for the communal living room is poor in utility and amenity, although will receive compliant solar access as assessed to be defined as a communal living room.

(d) *private open space* - Plans indicate that a private open space area being at least 20sqm with a minimum dimension of 3 meters is provided for the use of lodge. The provision of private open space for Room 4 (a single room) of a size and design which is superior to the communal open space for the development is poor design and inappropriate.

(e) *parking* - As the development is not proposed to be carried out by or on behalf of a social housing

provider as is defined by the Policy, the applicable parking rate for the development is 0.5 spaces for each boarding room. A total of 6 car parking spaces is required provided, and the proposal complies.

(f) *accommodation size* - The Policy states that a consent authority must not refuse consent to development on the grounds of accommodation size, if each room has a gross floor area, excluding any area used for the purposes of private kitchen or bathroom facilities, of 12sqm for a single room or 16sqm for a double room.

The area of the room is to exclude "any area used for the purposes of a private kitchen or bathroom facilities". Having regard to this, rooms are measured to be undersized in that the area used for private kitchens within each room is included in the calculation of the gross floor area for each room. A minimum 1m area in front of the fixed kitchen cabinetry is to be excluded from the calculable gross floor area of each room as this is designated as a kitchen area.

Clause 30A

Clause 30A of the Policy states that a consent authority must not consent to a development to which this Division applies unless it has taken into consideration whether the design of the development is compatible with the character of the local area.

The design of the development is not assessed to be compatible with the character of the local area as it does not achieve a satisfactory level of compliance with the applicable controls and their objectives, and inadequate justification is provided for departures. With regard to future character, the design of the development does not satisfactorily align itself with the desired future character of the area which is anticipated by the applicable controls, noting in particular that the development does not comply with key built form controls contained within Council's DCP, including front and side setbacks, and articulation to the upper level.

The Site is located opposite an existing boarding house at 1 Edna Street, in close proximity to another at 10 Manning Street and two housing blocks from an approved boarding house at 6 Edith Street. The site is also within proximity to another ten existing/approved boarding houses. The existing/approved 13 boarding houses in this portion of Kingswood contain a total of 212 boarding rooms. Approval is also sought, via an appeal to the Land and Environment Court, for a boarding house at 3 Edward Street to contain 14 rooms.

Submissions from residents have raised concerns with increased anti-social behaviour and criminal behaviour within the immediate locality as a result of the existing boarding houses, with increased Police call outs. The clustering of boarding houses in an area with high levels of crime, particularly when the boarding houses do not provide onsite management, raises amenity, safety and security concerns for surrounding residents which have not been resolved by the management measures identified in the Application.

The clustering of boarding houses is inconsistent with the objectives of the R3 Medium Density zone, in particular with respect to character. The application should be refused as the design is inappropriate for the Site and the development will not be compatible with the streetscape and existing and desired future character of the local area.

The proposal is inconsistent with the provisions of Clause 30A of State Environmental Planning Policy (Affordable Rental Housing) (ARHSEPP) as the design of the development is not compatible with the character of the local area, including the following reasons:

- The proposed design is not compatible with the existing or desired future character of the area as the design fails to provide a minimum setback of 5.5m from Edith Street consistent with the provisions of Control 2) f) of Part 5.11 Boarding Houses of PDGP.
- The lack of setback and extent of hard surfaces and issues relating to levels identified above result in an unacceptable streetscape presentation to Edith Street and Edna Street.
- The design and minimal openings of the projecting element and the external stairs to the basement car parking provide an inappropriate façade presentation to Edith Street more appropriate to a side or rear facade rather than a secondary street facade.
- The use of dark colours, particularly to the northern and western facades is inappropriate in the streetscape context and will result in additional heat absorption into the building in summer.
- The provision of roofing over the garden bed to the north of the communal room is inappropriate.

In recent years the character of this portion of Kingswood has been altered and will continue to be altered by the approval and construction of boarding houses. The 13 approved boarding houses in this portion of Kingswood contain a total of 212 boarding rooms. This is a considered amount and has varying impacts than other medium density residential developments, in particular with regard to their density.

Further, during the assessment inconsistencies have been identified between plans and incorrect depiction of the existing and proposed levels. The inconsistencies do not allow for a complete assessment against the SEPP or Council's LEP or DCP, in particular with respect to accessibility, visual impact and landscaping and the corresponding impact on residential amenity and character.

It is for the above reasoning that the development application cannot be supported having regard to the applicable provisions of State Environmental Planning Policy (Affordable Rental Housing) 2009.

State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004

The applicant has submitted a BASIX for a Multi Dwelling Housing development without an alternative assessment being approved for thermal assessment as is required by the BASIX tool for 'large boarding house' which is not consistent with the requirements for achieving sustainability measures as outlined by BASIX and therefore the application is not supportable.

The NSW Government has developed an Alternative Assessment process to be used for 'large boarding houses' (i.e. those designed to accommodate more than 12 people or with a gross floor area of more than 300sqm). The NSW Government through the BASIX requirements has determined that 'large boarding houses' are to assess thermal comfort at the Construction Certificate stage against the Section J requirements of the Building Code of Australia. This requires an additional commitment on the BASIX Certificate, which is currently not provided.

The application is unsupportable under the Policy, noting the BASIX Certificate lodged is for the incorrect housing type - and is BASIX effected development. The required BASIX Certificate is a Multi Dwelling Housing type and must indicate that it is the subject of the 'Alternative Assessment' as a 'large boarding house'.

State Environmental Planning Policy (Vegetation in non-rural areas) 2017

The proposal has been considered having regard to the Policy and is acceptable, noting that the recommendation is for Refusal based on other matters.

State Environmental Planning Policy (Western Sydney Aerotropolis) 2020

The subject site is located outside of the Western Sydney Aerotropolis. However, the SEPP (Western Sydney Aerotropolis) 2020 contains a map that relates to wildlife buffer areas. This map is titled the "Wildlife Buffer Zone Map". The map shows that the subject site is within a 'wildlife buffer zone' of the airport.

The Aerotropolis SEPP commenced on 1 October 2020, before the development application was lodged. Consideration has been given to Clause 21 of the SEPP and the proposed development. The objective of Clause 21 is to regulate development on land surrounding the airport site where wildlife may present a risk to the operation of the airport. Certain types of development then trigger the requirements for further consideration under Clause 21. The proposed development, being a form of residential accommodation, is not one of the types of uses that warrant additional consideration under the SEPP with regard to wildlife and the operation of the airport.

The subject site is also identified as being located within the Obstacle Limitation Surface Map. Clause 24 of the SEPP relates to development that would penetrate the prescribed air space for the airport and be a 'controlled activity'. The proposed development neither penetrates the prescribed air space, nor is it a controlled activity, therefore not triggering any additional considerations under this clause.

State Environmental Planning Policy No 55—Remediation of Land

As assessment has been undertaken of the application against relevant criteria with State Environmental Planning Policy No. 55—Remediation of Land and the application is considered to be unsatisfactory.

When determining a development application for any development of land, Clause 7 of SEPP 55 requires that Council consider '*whether the land is contaminated*' and '*if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out*'.

The application indicates that the site appears to have been historically used for residential purposes however no detailed site history was provided to support this statement, nor were any preliminary site investigations provided.

Accordingly, Council cannot be satisfied that the land is suitable for its proposed use.

Sydney Regional Environmental Plan No.20 - Hawkesbury Nepean River

An assessment has been undertaken of the proposed development against the relevant criteria within Sydney Regional Environmental Plan No. 20—Hawkesbury-Nepean River (No. 2—1997) and although the development proposal is not in conflict with the Policy, the development application is recommended for refusal based on other matters.

Local Environmental Plan 2010 (Amendment 4)

Provision	Compliance
Clause 1.2 Aims of the plan	Does not comply - See discussion
Clause 2.3 Permissibility	Complies - See discussion
Clause 2.3 Zone objectives	Does not comply - See discussion
Clause 2.7 Demolition requires development consent	Complies
Clause 4.3 Height of buildings	Complies - See discussion
Clause 7.1 Earthworks	Complies
Clause 7.4 Sustainable development	Does not comply - See discussion
Clause 7.6 Salinity	Complies
Clause 7.7 Servicing	Does not comply - See discussion

Clause 1.2 Aims of the plan

The development has been assessed as being contrary to specific aims of the Plan including 1.2(2)(b), (c) and (h) as the development is not assessed to be consistent with Council's vision for Penrith, namely one of a sustainable and prosperous region with harmony of urban and rural qualities and with a strong commitment to healthy and safe communities and environmental protection and enhancement.

The design of the development does not provide a housing type which would meet the emerging needs of Penrith's community and which safeguards residential amenity, and the design of the development does not demonstrate that it incorporates the principles of sustainable development through the delivery of balanced social, economic and environmental outcomes.

Clause 2.3 Permissibility

The proposal is defined as a boarding house and is a permissible form of development in the R3 Medium Density Residential zone under Penrith Local Environmental Plan 2010 (PLEP), with consent. The development proposal is also permissible within the R3 Medium Density Residential zone under State Environmental Planning Policy (Affordable Rental Housing) 2009, with consent.

Clause 2.3 Zone objectives

The subject site is located within the R3 Medium Density Residential zone under Penrith Local Environmental Plan 2010. Objectives of the zone include:

- *To provide for the housing needs of the community within a medium density residential environment.*
- *To provide a variety of housing types within a medium density residential environment.*
- *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*
- *To provide for a concentration of housing with access to services and facilities.*
- *To enhance the essential character and identity of established residential areas.*
- *To ensure that a high level of residential amenity is achieved and maintained.*
- *To ensure that development reflects the desired future character and dwelling densities of the area.*

Although the development would add to the number of dwellings within the zone, the development proposal is in conflict with core objectives of the zone related to enhancing essential character, compatibility with desired future character and ensuring that a high level of residential amenity is achieved and maintained. There is a concern regarding the cumulative impact of boarding houses in this area.

The design of the boarding house does not enhance the essential character and identity of the established residential area, in that the built form does not complement qualities of existing residential development that define the character of the area. A basement on such a small block is also considered to be out of keeping with the area and unnecessarily adds bulk to the building from being elevated in part to accommodate the head height within the basement.

The hardstand area (including building and ramp) on the site necessary to provide driveway access, combined with the minimal landscape opportunities, tree removal to accommodate the driveway and street setbacks and large size of the proposed building with basement, is resulting in an over development of the site with unacceptable levels of site coverage, limited opportunity for meaningful landscaping and it is not demonstrated that a high level of amenity can be achieved for the adjoining residential properties.

The development does not reflect the desired future character and dwelling densities of the area, in that the proposal is in conflict with key built form and boarding house controls of the Penrith Development Control Plan 2014.

In particular and importantly, the internal amenity of the rooms and the internal and external spaces to be used by future residents are low in amenity, in particular the common area. South facing rooms are provided with small window openings with in part, fixed glazing and owing to the high sill will have no outlook or solar access and will allow for limited ventilation.

The boarding rooms are assessed to be undersized and are not compliant with the required minimum GFA for each room under the SEPP Affordable Rental Housing. External private open spaces are not accessible to people in a wheelchair and are south facing thus, will not received any direct solar access and are co-located with rainwater tanks and an air conditioning unit and are largely turfed. The second communal living room is a thoroughfare with unsatisfactory dimensions which would enable any communal activity or meaningful social interactions - although is relied upon to achieve compliance with the SEPP solar access provisions.

Clause 4.3 Height of buildings

The proposed boarding house is below the maximum height limit of 8.5m.

Clause 7.4 Sustainable development

Clause 7.4 of PLEP requires the consent authority to have regard to the principles of sustainable development as they relate to the development based on a whole of building approach by considering a number of matters as listed under clause 7.4 (a) through to (j).

It is not considered that the design of the development adequately considers embodied energy in materials, building design and orientation, natural ventilation, or energy efficiency and conservation. Limited shading is proposed to the west facing facade, extensive areas of hardstand are proposed, limited opportunity for meaningful landscaping is incorporated in the design and the site coverage and overall building bulk is excessive. An existing tree on the site and a street tree are proposed to be removed and could be retained through a more appropriate compliant design or through simple design changes.

South facing rooms do not provide good solar access. Window openings are small and ineffective in providing cross flow ventilation, rooms are poor in overall amenity and the design is not well thought and has not had regard to the orientation of the site or site suitability. No solar panels or water tanks are included.

It is also noted that the incorrect BASIX Certificate has been lodged for the development type. Refer also to discussion under SEPP BASIX.

Clause 7.7 Servicing

Whilst water, sewer, electricity and telecommunications are already available to the site and will be utilised in the development, the design of the proposal does not provide suitable servicing with respect to waste management or basement layout.

Section 4.15(1)(a)(ii) The provisions of any draft environmental planning instrument

The draft Environmental SEPP and Draft Remediation of Land SEPP were considered and no issues are raised.

Section 4.15(1)(a)(iii) The provisions of any development control plan

Development Control Plan 2014

Provision	Compliance
DCP Principles	Does not comply - see Appendix - Development Control Plan Compliance
C1 Site Planning and Design Principles	Does not comply - see Appendix - Development Control Plan Compliance
C2 Vegetation Management	Does not comply - see Appendix - Development Control Plan Compliance
C3 Water Management	Does not comply - see Appendix - Development Control Plan Compliance
C4 Land Management	Does not comply - see Appendix - Development Control Plan Compliance
C5 Waste Management	Does not comply - see Appendix - Development Control Plan Compliance
C6 Landscape Design	Does not comply - see Appendix - Development Control Plan Compliance
C7 Culture and Heritage	N/A
C8 Public Domain	N/A
C9 Advertising and Signage	N/A
C10 Transport, Access and Parking	Does not comply - see Appendix - Development Control Plan Compliance
C11 Subdivision	N/A
C12 Noise and Vibration	Does not comply - see Appendix - Development Control Plan Compliance
C13 Infrastructure and Services	Complies
D2.1 Single Dwellings	N/A
D2.2. Dual Occupancies	N/A
D2.3 Secondary Dwellings	N/A
D2.4 Multi Dwelling Housing	Does not comply - see Appendix - Development Control Plan Compliance
D2.5 Residential Flat Buildings	N/A
D2.6 Non Residential Developments	N/A
D5.1. Application of Certification System	N/A
D5.2. Child Care Centres	N/A
D5.3. Health Consulting Rooms	N/A
D5.4. Educational Establishments	N/A
D5.5 Parent Friendly Amenities	N/A
D5.6. Places of Public Worship	N/A
D5.7. Vehicle Repair Stations	N/A
D5.8. Cemeteries, Crematoria and Funeral Homes	N/A
D5.9. Extractive Industries	N/A
D5.10 Telecommunication Facilities	N/A
D5.11 Boarding Houses	Does not comply - see Appendix - Development Control Plan Compliance

Section 4.15(1)(a)(iii) The provisions of any planning agreement

There are no planning agreements in place applying to this development proposal.

Section 4.15(1)(a)(iv) The provisions of the regulations

The application was referred to Council's Building Surveyor for assessment. No objections were raised. Further, the development application has been notified, exhibited and advertised in accordance with the requirements of the Regulations. Notwithstanding, the proposal is recommended for refusal related to other matters.

The incorrect BASIX Certificate has been lodged with the application and nominated sustainability commitments are not shown on the DA drawings as is required by, and in opposition to, the Regulations.

Further, during the assessment, inconsistencies have been identified between plans and incorrect depiction of the existing and proposed levels.

Section 4.15(1)(b) The likely impacts of the development

Likely impacts of the proposed development are discussed below:

Streetscape and Local Character

The proposal will have a negative impact on the existing streetscape and character of the local area. Refer to earlier discussion in this report. The development proposal is inconsistent with controls of the Affordable Rental SEPP, Penrith LEP and Penrith Development Control Plan 2014 (PDCP) which are related to local character, landscaping and urban built form and setbacks. The design is also in contrast to the key built form controls of the PDCP, in that the bulk and scale of the development is not adequately mitigated by landscaping or articulating design elements along its elevations. The design of the boarding house does not enhance the essential character and identity of established residential areas.

Issues have been identified regarding the basement driveway location and width will result in the removal of a significant and mature native street tree and should be avoided, noting the limited number of mature street trees in the area both locally and more broadly, and also noting existing heat island issues and the number of extreme temperature days Penrith experiences. The tree has the potential to grow larger in the location as there are no overhead wires and forms a row of similar trees along Edith Street, thus contributing to local character and amenity. The tree should be retained and is the most mature and significant tree adjacent the site's frontage.

The front setback to Edith Street is filled with ramping and balustrades and is too narrow and the ground floor, finished floor level (FFL) is approximately 1m above natural ground, which is unacceptable in relation to streetscape, local character fit and amenity and is the reason for all of ramping and balustrading within the frontage. The proposed FFL is deemed to be self-imposed and is related to the ability for cars to have sufficient clearance to access the basement parking. Further, the minimum FFL for the development would be RL 43.70m AHD (proposed is 44.2m AHD) and the basement ramp ought not to be open to the residential neighbour to the south. Section A, B and C also incorrectly indicate comparable FFL and NGLs are proposed, with a level difference of up to 1m unless fill is proposed and in this case the planting proposed cannot be accommodated in the slope of the batter which would be required, and the fill will require a retaining wall along the boundary and hydraulic plans adjusted.

These issues on their own and cumulatively have the ability to impact upon streetscape and local character.

Residential Amenity

The internal residential amenity of rooms and indoor and outdoor amenity of the proposed communal spaces is poor and will impact the comfort, health and well being of future occupants to their detriment.

The application should be refused as the development will result in unacceptable impacts upon the amenity of the adjoining properties, including the following identified issues:

open space of the adjoining dwelling at 4 Edna Street. The Noise Impact Assessment does not adequately address the noise impact of persons using the communal room upon the acoustic amenity of the residents at 4 Edna Street.

- The common open space is located adjoining the boundary of with 4 Edna Street. The Noise Impact Assessment does not adequately address the noise impact of persons using the common open space upon the acoustic amenity of the residents at 4 Edna Street.
- The communal room is deemed to be too small for the number of lodgers.
- The first floor window of Room 7 allows overlooking into the ground floor western window and private open space of the dwelling at 4 Edna Street.
- The two storey element of the building to the rear of the eastern façade is located opposite the only window in the western façade and the private open space of the dwelling at 4 Edna Street. The 2m side setback, in combination with the wall height, in this location result in an unacceptable visual bulk which is not suitably ameliorated by landscaping.

Traffic, Parking, Access and Maneuvering

The design of the basement and driveway ramp is unacceptable. The swept path indicates vehicles are required to make turning movements whilst still on the ramp as there is inadequate distance between the end of the ramp and the eastern basement wall.

No provision is made for two vehicles to pass within the basement.

The motorcycle space at the end of the ramp is inappropriately located.

Solar Access Impacts

The shadow diagrams provide insufficient information to determine the shadow impact upon the private open space of 4 Edna Street and whether compliance with Control 2) b) of Part 5.11 Boarding Houses of PDGP is achieved. Hourly shadow diagrams are required identifying the entire property and dwelling at 4 Edna Street. The shadow impacts from all structures (including boundary fencing and the dwelling and garage at 4 Edna Street) at midwinter between 9am and 3pm are required and not provided.

Social and Economic Impacts

The proposal was referred to Council's Social Planner who has not raised any significant objections to the boarding house development. However, it has been identified that there are significant non-compliances and amenity impacts.

The application is not accompanied by a social impact assessment. The application has provided inadequate information to enable determination of the application as it has not established that the Site is suitable for development of the proposed boarding house given the clustering of boarding houses in the locality. The Site is located in a locality which already has 13 approved/existing boarding houses containing a total of 212 boarding rooms and is subject to other applications for boarding houses. The locality is also identified as a high crime area.

Information provided by Police and in submissions indicate crimes have recently been occurring in nearby boarding houses that have no onsite management provided. This proposal does not include an on-site manager. Submissions also indicate such crimes have had a detrimental impact upon the residential amenity of the area.

A social impact assessment report addressing the clustering of boarding houses, particularly those with no onsite management and not operated by a social housing organisation, and the impact of that clustering upon the amenity of the area is required.

The report should specifically address the increase in crime in the area related to the existing boarding houses and how the proposed boarding house will not increase crime in the area, given the significant increase in density on the site and the lack of onsite management.

Flooding

The site is not affected by local overland flow flooding. Council's Engineer advised that the minimum FFL for a development at 6 Edna Kingswood would be RL 43.70m AHD.

Waste impacts

This application was accompanied by a waste management plan, which was deemed inadequate. The waste room is of inadequate dimension to satisfactorily provide for the storage of 10 x 240L bins. A room of internal dimensions 3.2m wide x 3.0m long would be required based on the proposed configuration. The bulky waste store is of inadequate size, requiring a minimum 4.0m² of storage area.

Air quality/odour impacts

Given the proposed use, it is not anticipated this development will generate any adverse ongoing air quality or odour impacts. Air quality impacts during the demolition and construction phases of the development can be managed through the conditions of consent, should consent for this development be granted.

Noise and Privacy Impacts

The development proposal does not adequately demonstrate a package of measures to mitigate against negative privacy and amenity impacts. Side setbacks are minimal and inadequate area is provided for landscape screening. The length of the building and the extent of the upper level will result in negative overbearing and overlooking impacts on neighbouring sites.

The submitted Acoustic Report is not satisfactory. It is also raised that noise impacts during the operational phase of the development, and specifically the use of open or communal areas, have only been partially addressed and that the recommended Acoustic attenuation measures are not noted on plans. The proposal is thus unsupportable having regard to noise and privacy impacts.

The Noise Impact Assessment does not adequately address the noise impact of persons using the communal room or adjoining outdoor common open space upon the acoustic amenity of the residents at 4 Edna Street.

An amended acoustic report is required to be prepared addressing the following:

- The Noise Impact Assessment is based upon a total of 30 minutes of noise surveying at the site and is not in accordance with the noise monitoring that is required in the Noise Policy for Industry and does not provide data that is sufficiently representative of the existing noise environment. Additional noise monitoring is required in accordance with the Noise Policy for Industry, providing RBLs for day, evening and night-time periods.
- Upon completion of the additional noise monitoring a new assessment shall be carried out, including an assessment of the cumulative impacts of the development giving consideration to all noise sources that may occur simultaneously. The assessment shall be based on full operation of the boarding house (with maximum capacity) and address patron noise (internal and external – including the common areas), noise from plant and air-conditioning and vehicles using the ramp to the basement.
- When assessing noise from patrons, the assessment shall assume 50% of residents in the internal or external common area at one time, with 50% of those residents talking at once and a raised voice level of at least 72-78dB(A) for a single person in those areas.
- The assessment should also address the acoustic impact upon Room 5 from the driveway ramp and vehicles using the ramp, particularly during the night time assessment period.
- Any required mitigation measures are to be recommended and those recommendations shown on any amended plans.
- The Noise Impact assessment incorrectly refers to a single storey residential building with basement car parking and this should be corrected.

Plan of Management

The Plan of Management submitted with this application is considered to be unsatisfactory. The Plan of Management (PoM) for the boarding house does not address the following:

- All references to the licensing agent are to be amended to manager. A statement that the owner of the

property is ultimately responsible for ensuring the manager complies with the POM is to be included.

- Point 5 under Section 3 – Leasing Agent shall be reworded as it is unclear.
- An area onsite for use by smokers shall be identified where it will not detrimentally impact the amenity of boarders or neighbours as prohibiting it onsite just leads to it occurring on the street which is inappropriate.
- Section 4 – Noise/Light Management Measures is inadequate. Clarity is to be provided that noise must not occur to a level that results in the loss of amenity to other boarders or neighbours. Reference should be made to any mitigation measures required in the amended acoustic report.
- Section 4 – Off Street Parking shall be amended to indicate that all parking (including motorcycle and bicycle), other than the accessible space, shall be available at no charge on a first come first serve basis.
- Section 4 – Off Street Parking – the reference to occupancy of an accessible room should be provided under a separate heading. Option b to evict an occupant of an accessible room is inappropriate and should be replaced with the potential lodger being placed on a waiting list.
- Section 4 – Room Furnishings shall be amended to include the provision of a mattress with mattress protector, table and chair/s, bedside table/s and lounge/lounge chair for boarding rooms.
- Section 4 – Room Furnishings shall be amended to include the provision of a microwave and two hob cooktop for the kitchenettes.
- Section 4 – Room Furnishings shall be amended to include the provision of a vanity or other storage in the bathroom.
- Section 4 – Room Furnishings shall be amended to include the provision of a washing machine in each standard boarding room and a combined washing machine/dryer in the accessible rooms.
- Section 4 – Room Furnishings shall be amended to include the provision of a table with six chairs, lounge seating for a minimum of 4 persons, a kitchen with a sink, four hob cooktop and oven as well as crockery, glasses and cooking utensils for the common room. A vacuum, mop and bucket, broom and dust plan and brush shall be identified as being available for use by boarders to clean their rooms.
- Section 4 – Room Furnishings shall be amended to include the provision of a table and seating for a minimum of 6 persons in the common open space area.
- Section 4 – Building Services and Fire Safety Procedures shall be amended to include a requirement for the manager to hold fire safety drills at least every 3 months.
- Section 4 – Building Services and Fire Safety Procedures shall be amended to clarify Point 1 in relation to who shall direct residents.
- Section 4 – Review of Plan of Management, Noise Management Procedures or House Rules shall be amended to permit amendments to the POM, including the house rules, only with the written consent of Council.
- Section 5 shall be amended to require immediate response by the Manager in relation to noise complaints or identified serious incidents. Serious incidents shall include, but not be limited to complaints of threatening or abusive conduct, physical or sexual assault, matters related to drugs, illegal activities or dangerous/drunken behaviour.
- The POM and House Rules Part 1 shall be amended to clarify that visitors shall not ever stay on the premises between the hours of 10pm and 8am and that permission is not required for visitors to enter the premises between the hours of 8am and 10pm.
- The House Rules Part 4 shall be amended to permit assistance animals. The POM needs to be amended to specify that no additional charge is to be applied to the use of the accessible room by persons with a disability compared to any other two bedroom boarding room and no charge is to be applied to the use of the accessible parking space.

Vegetation

The application should be refused as the development will result in the loss of the most significant street tree adjoining the street frontages of the Site. The existing Melaleuca quinquervia Street tree adjoining the Edith Street frontage of the site is the most significant of the four street trees adjoining the site and its removal to provide access to the basement is unacceptable when an alternative location is available from Edna Street.

Accessibility

Inadequate information is available to determine whether the kitchens in Accessible Rooms 8 and 11 are suitable for use by persons with mobility disabilities. An elevation plan is required of the kitchens showing the availability of appropriate storage and a microwave at a suitable level for use by persons in a wheel

chair.

Amenity for Future Residents

A few basic issues were identified with respect to the amenity for the future occupants of the boarding house, in addition to those already discussed above:

- The location of the clothes line will need to be addressed on consideration of levels as currently a person in a wheel chair is required to leave the site via the Edith Street entry ramp and go around the site in the street (no paving provided) to the Edna Street elevation and push through the vegetation along the eastern boundary and up the side setback to the clothes line. Ramped or stair access is not provided to the clothes drying area from the communal room.
- The waste room which has 10 x 240L bins, should not open into the lobby and the smell would be unbearable. Rooms 1 and 2 are particularly impacted as all rubbish from all rooms will be walked past their doors and into the air lock between the lift core and the front door which isolates these rooms to the bin store area. No floor waste or wash facility/air circ. is provided to the bin room.
- No light or natural ventilation is provided to the communal hallway of the upper level rooms.
- There are safety issues in the design of the room access doors for units 1 and 2 in that they are isolated by a doorway to the lift core and poor social interaction and visibility, as well as opportunities for entrapment, concealment and crime exist.
- The clothes drying line which spans between the building and the fence (east side) is proposed to be co-located with side boundary screening shrubs and is not accessed by a suitable pathway for disability access, with paving needing to be provided.
- The communal open space is impractical and unusable in that its floor levels differ with the area provided. One half of this area is 1m higher than the other and noise and amenity impacts to be reviewed in relation to neighbour, as discussed elsewhere in this report.
- Mail box location is to be nominated

Section 4.15(1)(c) The suitability of the site for the development

The site is considered to be unsuitable for the following reasons:

- The cumulative impacts of the proposal by clustering of boarding houses in the area is not addressed.
- The design of the building is not compatible with, or complementary to the existing or future desired character or landscaping of the local area, and
- The development proposal does not adequately demonstrate that negative impacts related to bulk, scale, privacy, noise and amenity are adequately mitigated against or addressed by the design.
- the applicant has not satisfactorily addressed site suitability and SEPP 55.
- The design of the boarding house on the site is not acceptable in terms of internal and external residential amenity and having regard to the sustainability of the development, the finished levels and extent of excavation and earthworks.

Section 4.15(1)(d) Any Submissions

Community Consultation

Between 8 and 23 November 2020 the Application was advertised and notified to adjoining and nearby residences. Thirty four (34) individual submissions were received, as well as a recent late submission. One submission indicated that no objection was raised, with the remaining submissions objecting to the application. The following issues were raised:

Issue Raised	Comment
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Amenity: - Overlooking into rear yard of 4 Edith Street and overshadowing. - Adequacy and orientation of common open space. - Loss of sunlight and ventilation. - Inadequate setback from boundaries. - Loss of outlook from adjoining properties. - Excessive density. - Overbearing development due to block not being large enough for the development.	The impacts of the development on privacy, and the design of the development including the proposed setbacks, bulk and lack of landscaping have been considered and the application is being recommended for Refusal based on these reasons and others.
Parking & Traffic: - Already issues with parking with existing boarding houses impacting traffic movements. - Traffic impact. - No footpath in Edna Street. - Design proposes a two way driveway changing to a single lane accessing the ramp which is not safe. Only single entry/exit for cars. - Boarders will park on the street if there is an additional fee for parking. - Inadequate parking/narrowness of Edna Street. - Widening crossover results in loss of on-street parking. - Inappropriate location on cul-de-sac. - Photographs were provided of excessive traffic congestion and parking issues already occurring.	It is agreed that there is a high demand for parking in the area. SEPP ARH allows for a 0.5 car space per boarding room and on this basis adequate car parking has been provided for the development. Other concerns have been raised by Council's Traffic Engineer regarding the ramp and basement movements.

Safety: - Loss of feeling of safety with recent boarding house approvals/house broken into/stabbing at 10 Manning Street boarding house. - Potential safety issues for children walking past to school. - Close to day care centre. - Photographs were provided of criminal activities and drug use in the area and crime reports.	The clustering of boarding houses in an area with high levels of crime, particularly when the boarding houses do not provide onsite management, raises amenity, safety and security concerns for surrounding residents which have not be resolved by the management measures identified in the Application. Information provided by Police and in submissions indicate crimes have recently been occurring in nearby boarding houses that have no onsite management provided.
Waste: - Not appropriate to use kerbside for services vehicles, refuse collection and deliveries. - Inadequate provision for waste collection.	Inadequate provision is made for waste storage and the application is being recommended for Refusal based on this reason and others.
Noise: - Impact of noise from air-conditioners. - Impact of noise from boarding house.	It is agreed that noise levels may have an impact on existing levels of amenity. Council's Environmental Health officers have raised issues with the applicant's Acoustic Assessment. The application is recommended for Refusal on a range of matters.
Construction: - Impact upon adjoining properties during construction.	Impacts during construction can be managed through conditions of consent, should the application be supported.
Flooding: - Will result in significant rise in flood level or flow velocity as it does not maintain a free passage and temporary storage of floodwaters.	Council's Engineer has confirmed that the site is not affected by mainstream flooding and is satisfied with the proposed drainage.
Drainage: - Excessive site coverage and hard surfaces impact stormwater runoff with inadequate onsite stormwater detention.	The assessment by Council Officers has concluded that there is adequate infrastructure in the area to withstand the proposal and that stormwater can be delivered adequately.

Loss of property value.	This is not a matter for consideration in the assessment of the development application as boarding house development is a permissible use in the zone. The application is however unsatisfactory on other matters and is recommended for Refusal.
Social Impacts: - Concern in relation to type of residents of boarding house. - The DA fails to address crime prevention. - Residents with social and medical problems are housed without adequate support services. - Impact upon enrolment at primary school. - Capacity of local mental health, drug health, GP and other services to meet need for boarding houses. - Will result in disputes between neighbours. - Will create disharmony in the community. - No onsite manager.	The development proposal was referred to Council's Social Planner who has identified a need for diverse forms of affordable rental housing, notwithstanding the application is recommended for Refusal. The application is not accompanied by a social impact assessment. The application has provided inadequate information to enable determination of the application as it has not established that the Site is suitable for development of the proposed boarding house given the clustering of boarding houses in the locality, nor on-site management.
Character: - Unacceptable impact upon streetscape/ character of area. - Building design with glazing, screening, inappropriate roof form and large brick walls inconsistent with character of area. - Need to protect red brick buildings character of local area.	The assessment by Council Officers agrees that the proposed boarding house is not compatible with the desired character of the area.
Excessive number of boarding houses in Kingswood.	The current legislation permits boarding house development within the zone. Each application is assessed on its individual merits. However, further information is required in this regard with respect to the proposed development.
Heat & Power: - Loss of green space/increased heat effect. - Solar power should be included.	The environmental sustainability of the development is deemed unsatisfactory and inadequate details and measures proposed.

Streetscape: The assessment by Council Officers agrees that the proposed boarding house is not compatible with the streetscape of the area.

- Inappropriate driveway design in streetscape.
- Lack of landscaping on site/front setback.
- Building materials and colours inappropriate to streetscape.

Inadequate fire safety provision. Council's Building Surveyor reviewed the proposal and raised no issues with respect to fire safety.

Referrals

The application was referred to the following stakeholders and their comments have formed part of the assessment:

Referral Body	Comments Received
Building Surveyor	No objections - subject to conditions
Development Engineer	Not supported
Environmental - Environmental management	Not supported
Environmental - Waterways	No objections
Environmental - Public Health	No objections - subject to conditions
Waste Services	Not supported
Community Safety Officer	No objections - subject to conditions
Social Planning	No objections

Section 4.15(1)(e)The public interest

The proposed development is assessed to be contrary to the aims and zone objectives of Penrith Local Environmental Plan 2010 and is non-compliant with key clauses of State Environmental Planning Policy (Affordable Rental Housing) 2009, resulting in a development which will have unacceptable impacts upon the future residents of the boarding house, the adjoining residents and the overall area. The applicant has not suitably addressed site suitability and State Environmental Planning Policy No. 55 - Remediation of Land.

It is for the above reasoning that approval of the development application would not be in the public interest.

Conclusion

The development application has been assessed against the applicable environmental planning instruments, including State Environmental Planning Policy (Affordable Rental Housing) 2009 and Penrith Local Environmental Plan 2010, and the proposal does not satisfy the aims, objectives and specific provisions of these policies.

In its current form, the proposal will have a negative impact on the surrounding character of the area, specifically the setbacks and general design of the development. The proposal is not compatible with local character and is not representative of the future desired character of the area, as defined by Penrith Local Environmental Plan 2010 and the Penrith Development Control Plan 2014.

The development application was submitted with insufficient information in particular related to BASIX, acoustics, traffic, landscaping, contamination and site context.

Support for this application would set an undesirable precedent in the locality, particularly given the incompatibility of the design with the applicable controls of the Penrith Development Control Plan 2014. The building design is not site responsive and does not comply with key development standards which are directly resulting in unacceptable negative impacts in the locality, and is not in the public interest.

It is for the above reasoning that the development application is not worthy of support. Reasons for refusal are detailed below.

Recommendation

1. That DA20/0717 for a two storey, 12 room boarding house for a maximum of 18 lodgers at 6 Edna Street, Kingswood, be Refused for the attached reasons; and
2. That those making submissions are notified of the determination.

Refusal

1 [X Special 01 \(Refusal under Section 78A\(9\) of EPA Act 1979\)](#)

The application is not satisfactory for the purpose of Section 4.15(1)(a)(i) of the *Environmental Planning and Assessment Act 1979* as the proposal is inconsistent with the provisions of Penrith Local Environmental Plan 2010 as follows:

(a)The proposal is inconsistent with Clause 1.2, Aims of Plan, and the objectives of the R3 Medium Density Residential zone, particularly those related the enhancement of the local character and identity of established residential areas, provision of development that reflects the desired future character of the area and achieves and maintains a high level of residential amenity. The proposal is also unsatisfactory having regard to the principles of sustainable development under Clause 7.4 Sustainable development.

2 [X Special 02 \(Refusal under Section 4.15\(1\)\(a\)\(i\) of EPA Act 1979\)](#)

The application is not satisfactory for the purpose of Section 4.15(1)(a)(i) of the *Environmental Planning and Assessment Act 1979* as the proposal has not satisfied the provisions of Clause 7 of the provisions of *State Environmental Planning Policy No. 55 - Remediation of Land*.

3 [X Special 03 \(Refusal under Section 4.15\(1\)\(a\)\(i\) of EPA Act 1979\)](#)

The application is not satisfactory for the purpose of Section 4.15(1)(a)(i) of the *Environmental Planning and Assessment Act 1979* as the proposal is inconsistent with the provisions of State Environmental Planning Policy (Affordable Rental Housing) 2009 as follows:

- The development application does not comply with Part 2, Division 3, Clause 29 Standards that cannot be used to refuse consent (2) (b) Landscaped Area, (f) Accommodation size and Clause 30A Character of local area.

4 [X Special 04 \(Refusal under Section 4.15\(1\)\(a\)\(iii\) of EPA Act 1979\)](#)

The application is not satisfactory for the purpose of Section 4.15(1)(a)(i) of the *Environmental Planning and Assessment Act 1979* as the proposal is inconsistent with the provisions of State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004, as follows:

- The application was not accompanied by a BASIX Certificate applicable to the type of development proposed, is BASIX affected development, and therefore does not comply with the requirement under clause 3 *Aims of Policy*, and clause 6 *Buildings to which Policy applies*.

5 [X Special 05 \(Refusal under Section 79C\(1\)\(a\)\(iia\) of EPA Act 1979\)](#)

The development application is not satisfactory for the purpose of Section 4.15(1)(a)(iii) of the *Environmental Planning and Assessment Act 1979*, as the proposal is inconsistent with the following provisions of Penrith Development Control Plan 2014:

- C1 Site Planning and Design Principles;
- C2 Vegetation Management;
- C3 Water Management;
- C4 Land Management;
- C5 Waste Management;
- C6 Landscape Design;
- C10 Transport, Access and Parking;
- Part D2 Residential Development; and
- Part D5, Section 5.11 Boarding houses.

6 [X Special 06 \(Refusal under Section 4.15\(1\)\(a\)\(iv\) of EPA Act 1979\)](#)

The development application is not satisfactory for the purpose of Section 4.15(1)(a)(iv) of the *Environmental Planning and Assessment Act 1979* and Clause 50 of the *Environmental Planning and Assessment Regulation 2000* in that the application was not accompanied by a BASIX Certificate relevant to the type of development proposed, as is required by Part 1 of Schedule 1 of the Regulations.

7 [X Special 07 \(Refusal under Section 4.15\(1\)\(b\) of EPA Act 1979\)](#)

The development application is not satisfactory for the purpose of Section 4.15(1)(b) of the *Environmental Planning and Assessment Act 1979* in terms of the likely impacts of that development including those related to:

- (i) negative streetscape and local character impacts;
- (ii) negative noise and privacy impacts;
- (iii) unsatisfactory traffic, parking, access and manoeuvring provision;
- (iv) unsatisfactory external and internal amenity;
- (v) unsatisfactory sustainability considerations; and
- (vi) inadequate landscaping provision and setbacks; and
- (viii) inadequate operational Plan of Management.

8 [X Special 08 \(Refusal under Section 4.15\(1\)\(c\) of EPA Act 1979\)](#)

The application is not satisfactory for the purpose of Section 4.15(1)(c) of the *Environmental Planning and Assessment Act 1979* as the site is not suitable for the proposed development.

9 [X Special 10 \(Refusal under Section 4.15\(1\)\(e\) of EPA Act 1979\)](#)

The application is not satisfactory for the purpose of Section 4.15(1)(e) of the *Environmental Planning and Assessment Act 1979*, as the proposal is not in the public interest.

10 [X Special 9 \(Refusal under Section 4.15\(1\)\(d\) of EPA Act 1979\)](#)

The application is not satisfactory for the purpose of Section 4.15(1)(d) of the *Environmental Planning and Assessment Act 1979* due to matters raised in submissions which include:

- Impacts of the development on residential amenity, crime, local character and privacy.

Appendix - Development Control Plan Compliance

Development Control Plan 2014

Part B - DCP Principles

The development proposal is considered to be contrary to the principles, commitments and objectives of the Penrith Development Control Plan 2014 (DCP) in particular, the proposal does not enable communities to minimise their ecological footprint or promote sustainable production and consumption through appropriate use of environmentally sound technologies and effective demand management.

The development does not adequately protect the occupants from the western heat. No window shading is provided to the west, east and north facing openings and little opportunity is provided for natural cross flow ventilation. Due to the location and orientation of the building and elevated nature of the upper level, the building will be exposed to high levels of direct solar access and inadequate shade is provided to reduce the thermal loading, which will be retained in the summer months.

The submitted BASIX Certificate is identified as being for a multi dwelling housing development and is not accompanied by the the required 'alternative assessment' for Large boarding Houses certificate and Section J compliance report.

Part C - City-wide Controls

Section C1 Site Planning and Design Principles

Clause 1.2.2 Built form - Energy Efficiency and Conservation

This section of the DCP states that "*buildings should be designed on passive solar design principals which respond to orientation to maximise the northern aspect and solar access in the cooler periods; reduce overheating in summer and promote solar gain in winter; and ensure there is adequate cross flow of air by utilising natural ventilation, resulting in a reduction in the use of mechanical ventilation and/or air-conditioning systems*".

The design of the building does not facilitate sufficient opportunity for natural cross flow ventilation, particularly at the upper level, and is positioned and orientated such that the thermal load in summer will result in overheating and poor internal amenity and thermal comfort for lodgers.

The incorrect BASIX Certificate was lodged for the development type, refer to discussions under SEPP BASIX.

Clause 1.2.3 Building Form - Height, Bulk and Scale

The proposal fails to demonstrate how the development is compatible, comparable or complementary with the bulk and scale of adjacent development. The development proposal does not demonstrate an acceptable level of compliance with the applicable key built and urban form controls under the DCP, their objectives or with the objectives of the R3 zone.

Proposed setbacks and separation distances do not adequately mitigate against negative and unacceptable amenity impacts such as privacy (visual and acoustic), overbearing and impacts on local streetscape and landscape character.

Section C2 Vegetation Management

The application should be refused as the development will result in the loss of the most significant street tree adjoining the street frontages of the Site. The existing *Melaleuca quinquinervia* street tree adjoining the Edith Street frontage of the site is the most significant of the four street trees adjoining the site and its removal to provide access to the basement is unacceptable when an alternative location is available.

Section C4 Land Management

No contamination assessment has been carried out for the development. See comments under SEPP 55 section of the report.

Section C5 Waste Management

Unsatisfactory waste arrangements are proposed with the waste room and bulky store being inadequate in size.

Section C6 Landscape Design

Clause 6.1.3 Neighbourhood Amenity and Character

The proposal does not comply with the requirements of the DCP as follows:

- The landscape proposal does not enhance the amenity and visual quality of the site.
- The bulk and scale of the building is not moderated by the use of landscaped elements such as for screening or shade provision.
- The development does not make any contribution to the streetscape by way of the design of structures or landscaping.
- The design of landscaping works do not ensure that the development integrates into and enhances the existing landscape character through either setbacks, materials selection, architectural character or vegetation selection/placement.
- Unnecessary tree removal, which is considered unavoidable.

Clause 6.1.4 Site Amenity

The DCP states that landscape design should seek to screen development, particularly from the sides and rear of an allotment and shrubs and small trees should be used to screen service areas and block unwanted views that reduce privacy. The proposal does not adequately demonstrate an acceptable level of compliance is achievable. The proposed level of site coverage is excessive and areas of landscaping minimal resulting in no meaningful contribution to amenity, local character or streetscape presence.

Section C10 Transport, Access and Parking

Car parking requirements are set by State Environmental Planning Policy (Affordable rental Housing) 2009 [SEPP ARH] and are compliant.

Notwithstanding, the compliance with the number of car parking spaces required by the SEPP ARH, the development is recommended for refusal. It is noted that Council's development engineers have raised objection to the proposed ramp to the basement and maneuvering / vehicles passing.

The proposal does not comply with the general objectives of Section C10(A)(b) and (c) in that traffic safety impacts of the proposal are not minimised as residents will be forced to reverse out of the rear parking area and onto the street if there are no spaces available. Other implications of the design of the driveway and car parking hard stand, the development will negatively impact roadway safety, including pedestrian safety.

For the above reasoning the proposal is found to be contrary to the road safety controls at C10.2(B)(2)(a),(d) and (e) and the Parking objectives and controls at 10.5.1(B)(a),(b),(e),(f) and (C)(5)(i) and (k).

D2 Residential Development

Section 5.11 of the Penrith DCP states at Clause C. Controls, (2)(h) that a boarding house proposal of a scale similar to a multi dwelling housing development should comply with the controls and objectives for Multi Dwelling Housing within this DCP. It is assessed that the proposed development is of a scale similar to multi dwelling housing owing to the number of domiciles proposed, the nature and density of activities related to the proposed use and the bulk and site coverage of the design which contribute to overall scale.

Noting also that the NSW Government does not accept Single Dwelling BASIX Certificates for 'Large Boarding Houses', which it defines as those being capable of accommodating more than 12 boarders or is greater than 300sqm in floor area. The proposal is defined as a 'Large boarding house'.

Further, during the assessment, inconsistencies have been identified between plans and incorrect depiction of the existing and proposed levels. The inconsistencies do not allow for a

complete assessment against the SEPP or Council's LEP or DCP, in particular with respect to accessibility, visual impact and landscaping, and the corresponding impact on residential amenity and character.

As is required by the DCP an assessment has been made of the proposal having regard to the controls and objectives for multi dwelling housing.

Clause 2.4.2 Preferred Configuration for New Dwellings

Objectives for the clause include that new multi dwelling housing should adopt key features of established suburban design, and that dwellings and their entrances and private courtyards look towards the street, or the rear boundary.

The design of the proposed does not adopt key features of established suburban design such as articulated and stepped floor plates both in plan and in elevation, an upper level floor plate which is notably smaller than the ground floor plate, and a building which is in a garden setting surrounded by generous landscaping, with deep set landscaped set backs. There is a significant amount of built form on the site, which is still visible from the street and does not assist with integrating the large size of the building onto the surrounding area.

Clause 2.4.3 Development Site

Objectives of the clause include to identify planning and design options that are appropriate to the shape and size of each development lot, and to the location of neighbouring buildings, and to identify planning and design responses that address impacts on surrounding streetscapes.

The design of the development is not site responsive. The scale of the development does not sit comfortably within the corner allotment. The front setback DCP requirement is to be the average of the setback of the immediate neighbours, which has not been achieved and will result in an overbearing development which will detract from the streetscape character of the local area. The site plan indicates the location of the adjoining dwellings and it is highly noticeable that this building is forward considerably beyond the existing dwellings. It would be expected that if this front setback to the two streets is supported, that there would be ample room for a landscaped rear and side setback to be provided. This is not proposed and large areas of hard stand and ramp to the basement is provided with inadequate landscaping.

Clause 2.4.4 Urban Form

The development proposal is in opposition to the control at 2.4.4(3) which states that applicant's are to avoid "gun-barrel" style development with long rows of attached dwellings, long straight driveways and rows of uniform width garden courtyards by (a) breaking buildings into separate blocks no longer than 20m; (b) provide "open space corridors" between buildings at least 4m wide across each site; (c) a combination of garden areas and parking courtyards; or (d) open parking spaces that are lined by an avenue of shady, overhanging trees; (e) along common driveways, step the alignment of buildings, and / or their external walls plus eaves;; and (f) at the head of common driveways, a distinctive building or landscaped feature should terminate the vista from the street.

The design of the development does not comply with (3) or (3)(a), (b), (c), (d), (e) or (f) above. Inadequate landscape buffer is provided between the driveway and the boundary of the site, or between the driveway and the boarding house.

The design of the development appears to be excessive given the inclusion of a basement on a small size site and the need to meet a minimum head height, which pushes the building out of the ground in part. The corresponding associated impacts by way of resulting retaining walls, visual impact from ramp, inadequate landscaping to screen the built form, ramping and balustrade, all indicate that the proposal is an overdevelopment.

Clause 2.4.5 Front and Rear Setbacks

The proposal does not comply with the front setback requirement which states that the front setback is to be either average the setbacks of the immediate neighbours; or a minimum of 5.5m, whichever is the greater dimension.

The rear setback does not meet the DCP requirement and contains the ramp to the basement. Limited opportunity is available for meaningful landscaping.

Clause 2.4.6 Building Envelope and Side Setbacks

The proposal does not comply with the objectives and controls of the clause in that inadequate landscaped separation is provided between neighbouring dwellings. The design of the development does not comply with control at (B)(6) which requires reasonable separation and landscaping between neighbouring buildings, consistent with the other sections of the DCP. Refer to discussion under Section 5.11 of the DCP for applicable side setback controls.

This development introduces a far more intensive design than a single dwelling with up to 19 residents and as such greater separation to adjoining dwellings is required.

Clause 2.4.8 Landscaped Area

The proposal does not comply with the objectives and controls of this clause. No effective separation is provided between neighbouring development which may provide for healthy growth of new trees and shrubs, that may provide a green outlook for residents, and the minimal and non-compliant front setback will not allow for a front garden that will contribute to an attractive streetscape. Concern has also been raised regarding the open ramp to the neighbours due to insufficient area being left for landscaping.

Clause 2.4.12 Building Design

The development proposal is contrary to the controls of the clause, in that the design does not effectively mitigate against bulk through the use of a variety of materials, articulating elements such as stepped walls, projections in the ground floor plan, rooms that extend beyond the upper storey, attached verandahs and pergolas.

Clause 2.4.13 Energy Efficiency

The development proposal does not adequately employ design techniques to reduce thermal loads and allow for effective solar shading.

Clause 2.4.16 Garden Design

(B) Controls (1)(a) through (e) requires that the rear boundary setback should provide private garden courtyards, a corridor of habitat, a green backdrop that is visible from the street, an interlocking canopy of low to medium-height trees and shrubs. The rear setback is dominated by hardstand and basement ramp and has no areas being of a scale sufficient in area to accommodate medium trees or shrub planting, or that would contribute to a corridor of canopy trees or that would provide for a green outlook.

The control at (B)(2) and (3) require that the development provide for small to medium height canopy trees for sun-shading and privacy separation between dwellings and within the verges to any common driveway and hedges fronting windows to any dwellings. The design of the development provides inadequate landscape buffer against the building and adjacent to the driveway and provides very limited buffer planting along the side boundary.

Clause 2.4.19 Visual and Acoustic Privacy and Outlook

The development proposal has not adequately demonstrated that the package of measures proposed to prevent privacy (visual and acoustic) impacts is acceptable. The common open space area is located directly opposite rooms of neighbouring residences (to the south) with no ability for landscaping to provide a buffer. The acoustic report does not address the location of the communal open space.

D5 Other Land Uses

The proposal is not considered to be acceptable having regard to the objectives and controls of the DCP including those of Chapter 5.11 Boarding houses.

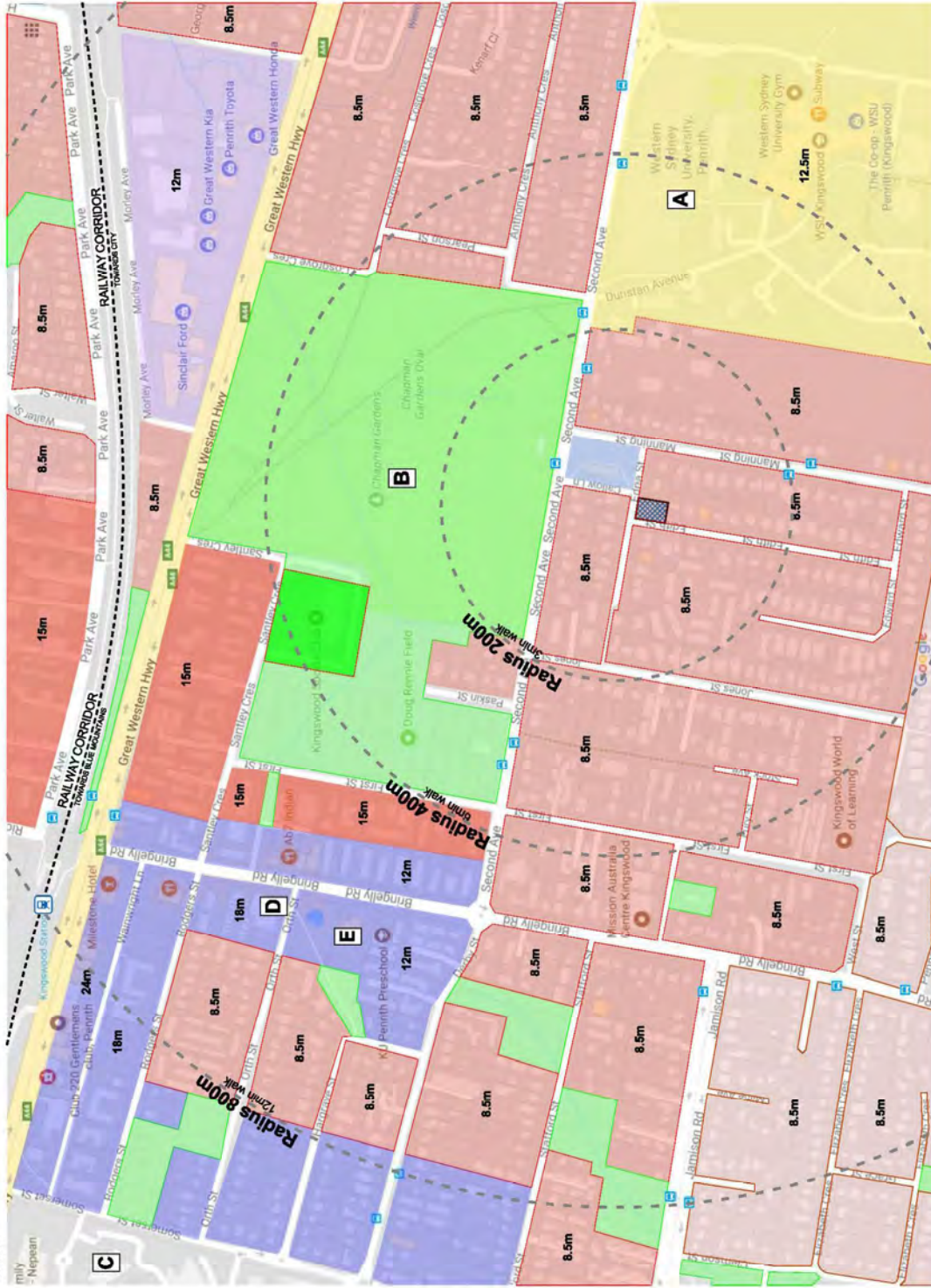
In relation to Chapter 5.11 the following is noted:

- The proposal is not supportable as the design is not considered to be compatible with the local character, the future desired character of the area, and does not provide suitable amenity for tenants as is required by section 5.11(B) objectives.
- The proposal does not comply with section 5.11(2)(c) as the design does not have a sympathetic relationship with adjoining development. Insufficient side boundary planting is provided as a buffer to the neighbouring developments, and the front setback is non-compliant, resulting in the development sitting significantly forward of neighbouring developments adjacent and in the vicinity of the site.
- The proposal is not compliant with the required side and front setbacks provided in table D5.3 of the Chapter which requires a front setback being the average of the immediate neighbours, nor the rear setback due to the ramp.
- It is unclear if communal facilities are provided in accordance with the requirements of 5.11(C)(4)(f).

Clause C(2)(h) requires that a boarding house proposal of a scale similar to a multi dwelling housing development should comply with the controls and objectives for Multi Dwelling Housing within the DCP. An assessment of the proposal has been undertaken against the applicable section of the DCP. Refer to Section D2 of the DCP section of this assessment report.

SITE CONTEXT ANALYSIS

1:5000



- LANDMARKS**
- A Western Sydney University, Penrith
 - B Chapman Gardens
 - C Nepean Hospital
 - D Australian Post
 - E Kingswood Neighbourhood Centre
- Bus Stop**
- Proposed development**
- ZONING**
- RE1 Public Recreation
 - RE2 Private Recreation
 - B1 Local Centre
 - B4 Mixed Use
 - N2 Light Industrial
 - R2 Low Density Residential
 - R3 Medium Density Residential
 - R4 High Density Residential
 - SP2 Educational Establishment
- Max Height of Building**
- 4m

drawing: SITE ANALYSIS
project: PROPOSED BOARDING HOUSE DEVELOPMENT
client: @ 6 EDNA ST KINGSWOOD
LIQUID GOLD 888 PTY LTD
scale: as shown
sheet size: A3
date: OCT 20
ref: 2019-0173
checked: J.E.
drawn: E.K.
north arrow: 16 daniel street
north arrow: 16 daniel street
north arrow: 16 daniel street

E1
16 daniel street
north arrow: 16 daniel street
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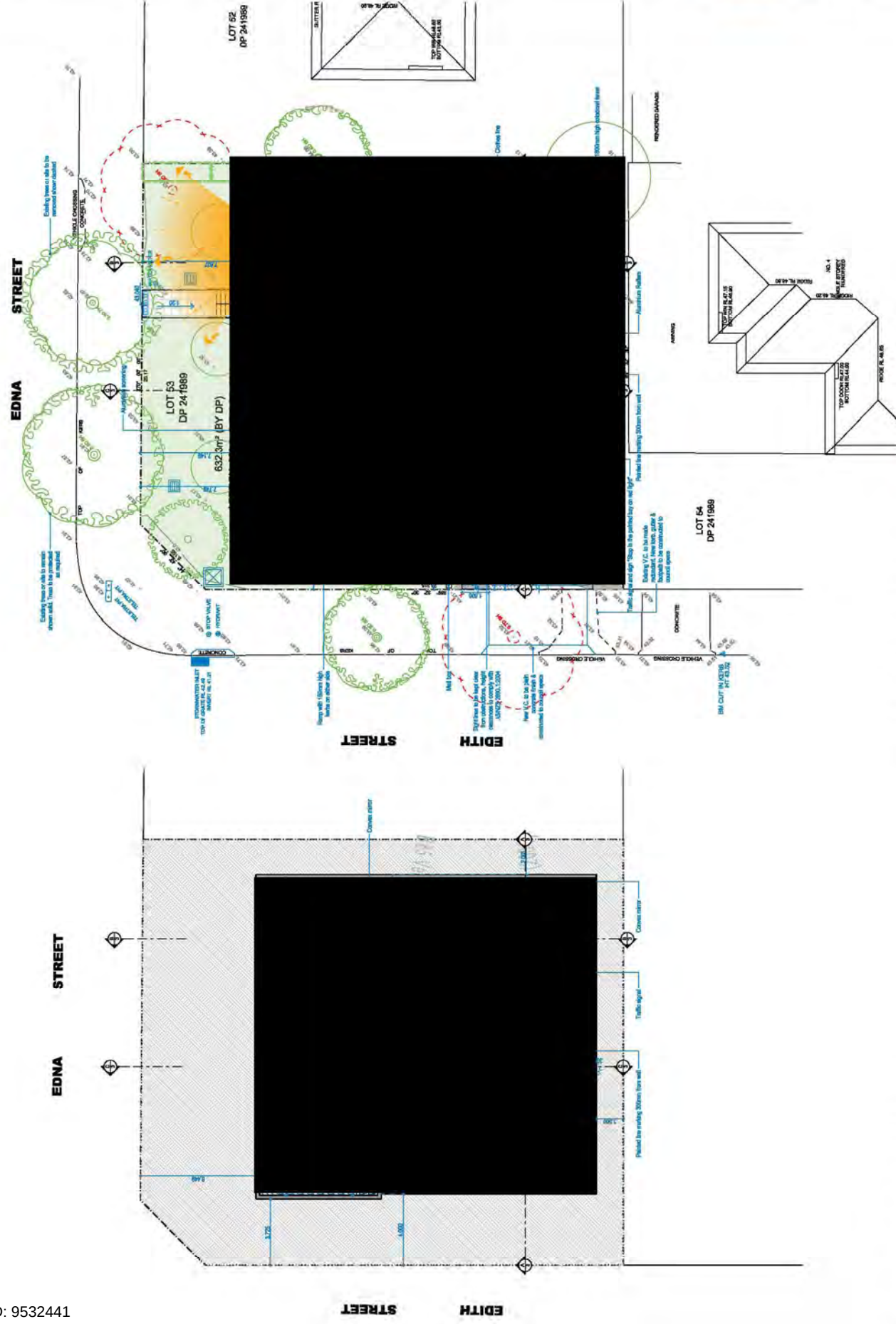
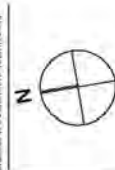
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29/01/2020	Issue B: Client Changes
27/11/2019	Issue C: Client Sketch
24/09/2019	Issue D: Client Sketch
17/09/2019	Issue E: Client Sketch

Project: PROPOSED BOARDING HOUSE DEVELOPMENT
@ 6 EDNA ST KINGSWOOD
Client: LIQUID GOLD 888 PTY LTD
Drawing: BASEMENT/GROUND FLOOR PLAN
Scale: as shown
Sheet size: A3
Council: PCC
date: OCT 20
ref: 2019-0173
checked: J.E.
drawn: E.K.
Project: PROPOSED BOARDING HOUSE DEVELOPMENT
@ 6 EDNA ST KINGSWOOD
Client: LIQUID GOLD 888 PTY LTD
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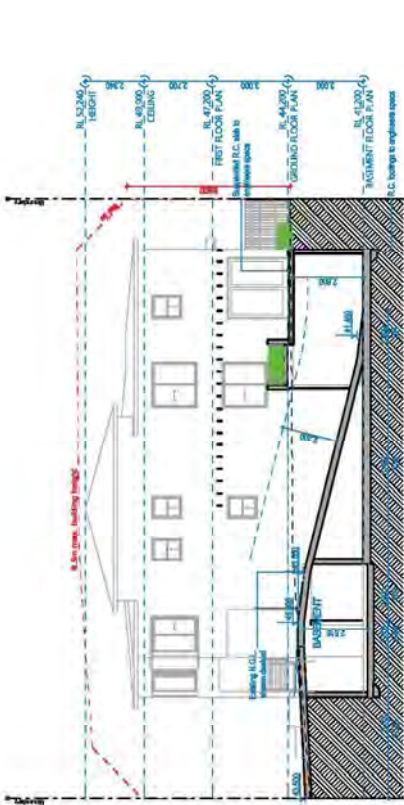
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XX.XXm² - ACCOMMODATION SIZE
XX.XXm² - ROOM SIZE

GROUND FLOOR PLAN
1:200

BASEMENT FLOOR PLAN
1:200



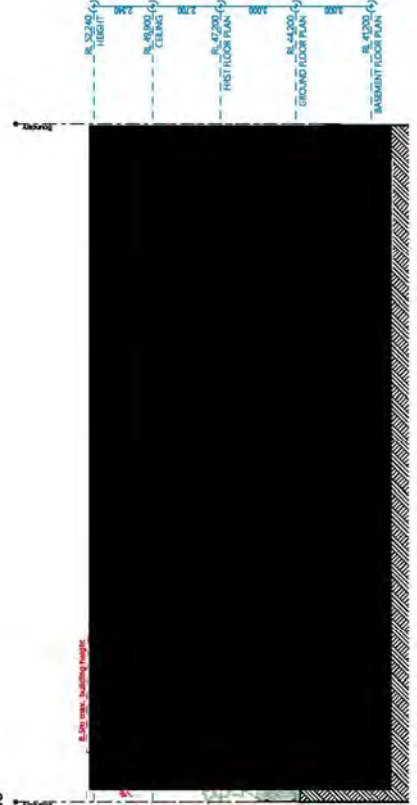
SECTION A

1:200



SECTION B

1:200



SECTION C

1:200

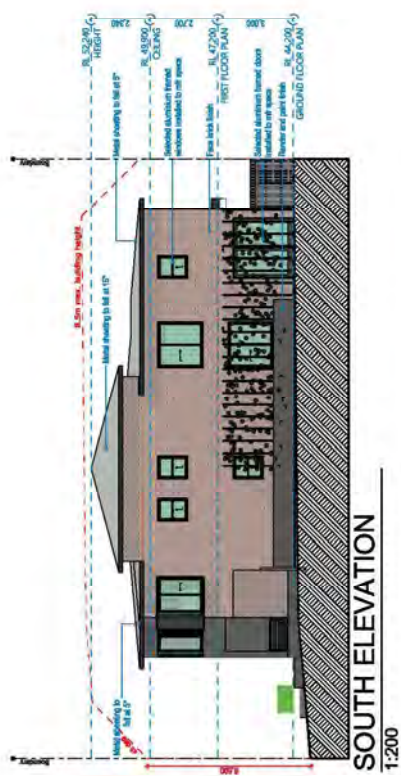
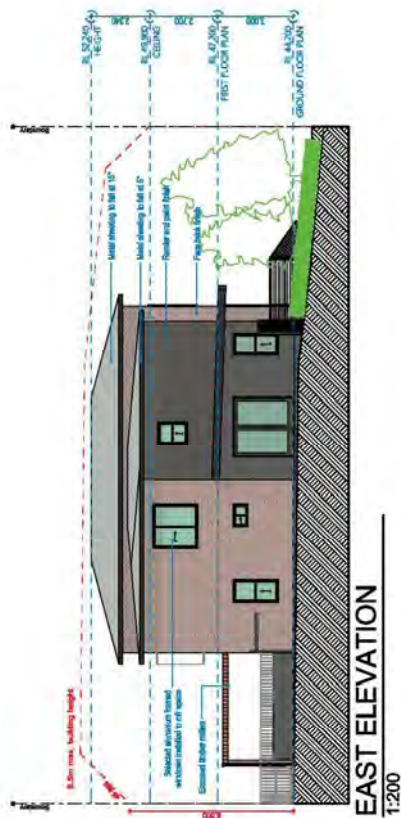
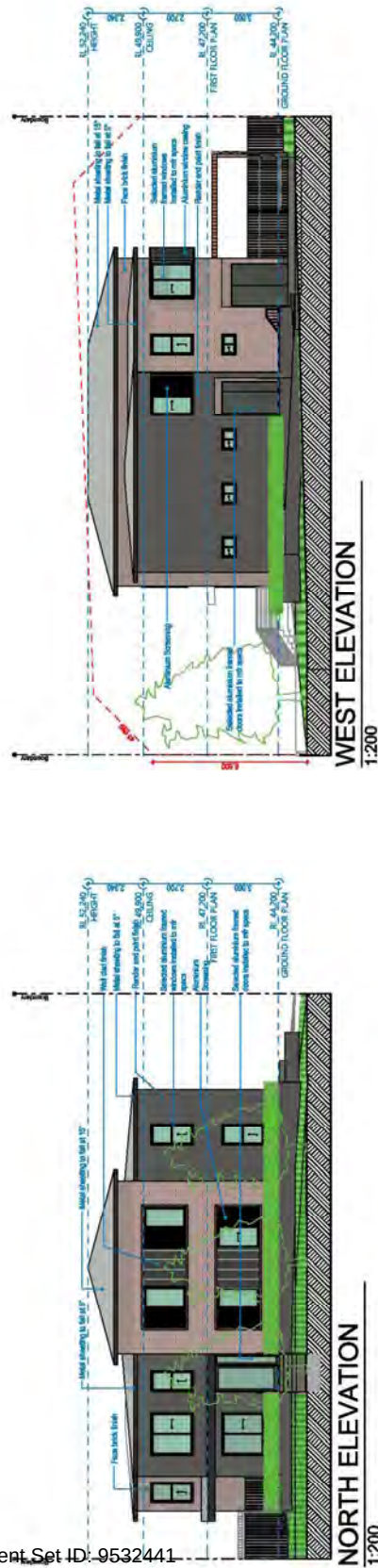
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Issue G:	17/09/2019
Issue F:	17/09/2019
Issue E:	17/09/2019
Issue D:	17/09/2019
Issue C:	17/09/2019
Issue B:	17/09/2019
Issue A:	17/09/2019

Project:	PROPOSED BOARDING HOUSE DEVELOPMENT
Client:	LIQUID GOLD 888 PTY LTD
Drawn:	E.K.
Checked:	J.E.
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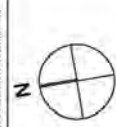




AHSEPP - COMPLIANCE TABLE				
CONTROL	REQUIRED	PROPOSED	COMPLIANCE	
Min. Landscaping	Landscaping of front setback area compatible with streetscape	Proposed landscaping compatible with streetscape	YES	
Solar Access	Common room linked to open courtyard receiving min 3 hrs of direct sunlight mid winter	Common room linked to open courtyard receiving min 3 hrs of direct sunlight mid winter	YES	
Private Open Space	Min 20m ² min dimension 3m	All rooms have access to shared open courtyard and garden 35.9 m ² (min dim 3m)	YES	
Common Living room	If boarding has 5 or more boarding rooms	12 rooms proposed - 1 Common Room provided	YES	
Parking	0.5 per room (1070.5-4.5)	6	YES	
Parking (Motor cycle / Bicycle)	Minimum 1 bicycle space and 1 motorcycle space for every 5 boarding rooms (195-53.2)	3 - Motorcycles 3 - Bicycles	YES	

LEP/DCP - COMPLIANCE TABLE				
CONTROL	REQUIRED	PROPOSED	COMPLIANCE	
Site Area (m ²) ^{1/3}	400	633.90	YES	
Lot Width	15m	20.17m	YES	
Street Frontage Setback	Average of immediate neighbours or 5.5m	7.1m	YES	
Secondary Setback	3m	4m	YES	
Side Setback	2m	2m	YES	
Rear Setback	4m for single storey (8m for two storey building component)	6m	YES	
Landscaping 40%	253.52	258.39	YES	
Landscaping 40% (min 2m)	253.52	183.83	NO	
Building Height	max 8.5m	8.3m	YES	
Solar Access	3 hours - Between 8am & 3pm 21 Jun	3 hours	YES	

LEVEL	ROOM	ROOM GROSS FLOOR AREA (including bathroom & kitchen)	SINGLE BED = 12m ² min (max 25m ²)	DOUBLE BED = 16m ² min (max 25m ²)
GRND	1	21.65	15.49	16.06
	2	21.68		16.06
	3	21.68		
	4	20.68	14.86	
	5	18.19	12	
FIRST	6	20.06	13.38	17.26
	7	28.43		16.06
	8	21.68		16.06
	9	21.68		16.06
	10	21.68		16.06
	11	28.21		18.23
	12	22.12		16.03
TOTAL ROOMS:		32	5	7
TOTAL LODGERS:		19	5	14



Drawing: ELEVATIONS

Project: PROPOSED BOARDING HOUSE DEVELOPMENT
@ 6 EDNA ST KINGSWOOD
Client: LIQUID GOLD 888 PTY LTD
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Issue C: Client Sketch
Issue D: Client Sketch
Issue E: DA
Issue F: DA
Issue G: DA
Issue H: DA
Issue I: DA
Issue J: DA
Issue K: DA
23/10/2020
29/10/2020
27/11/2020
24/09/2020
17/09/2020

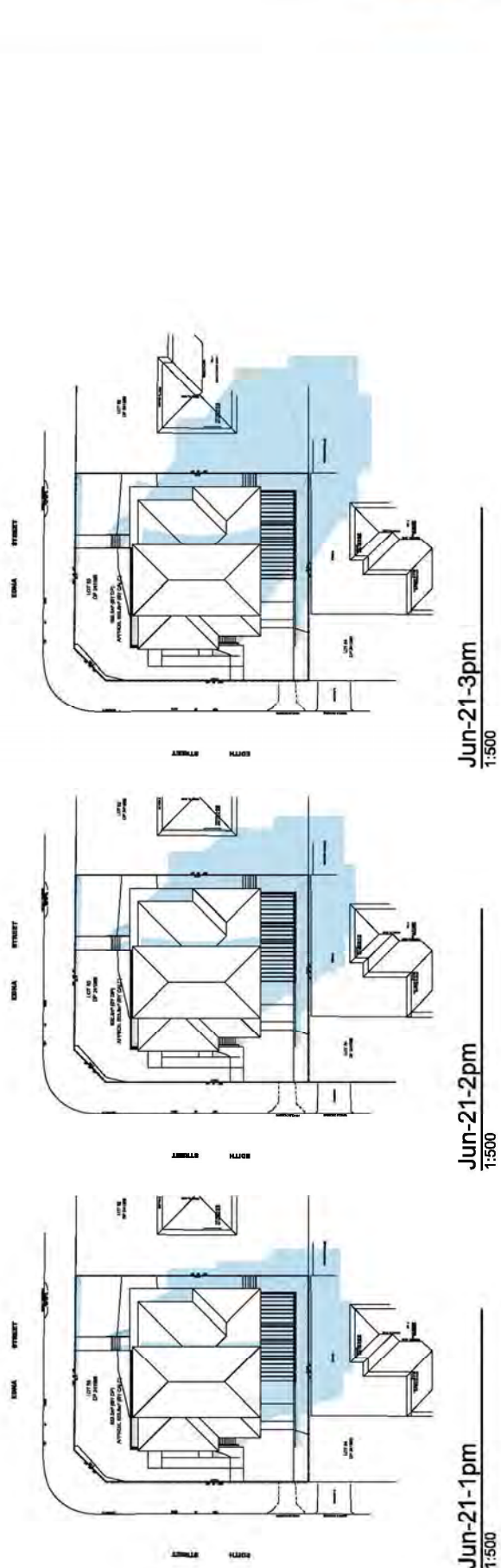
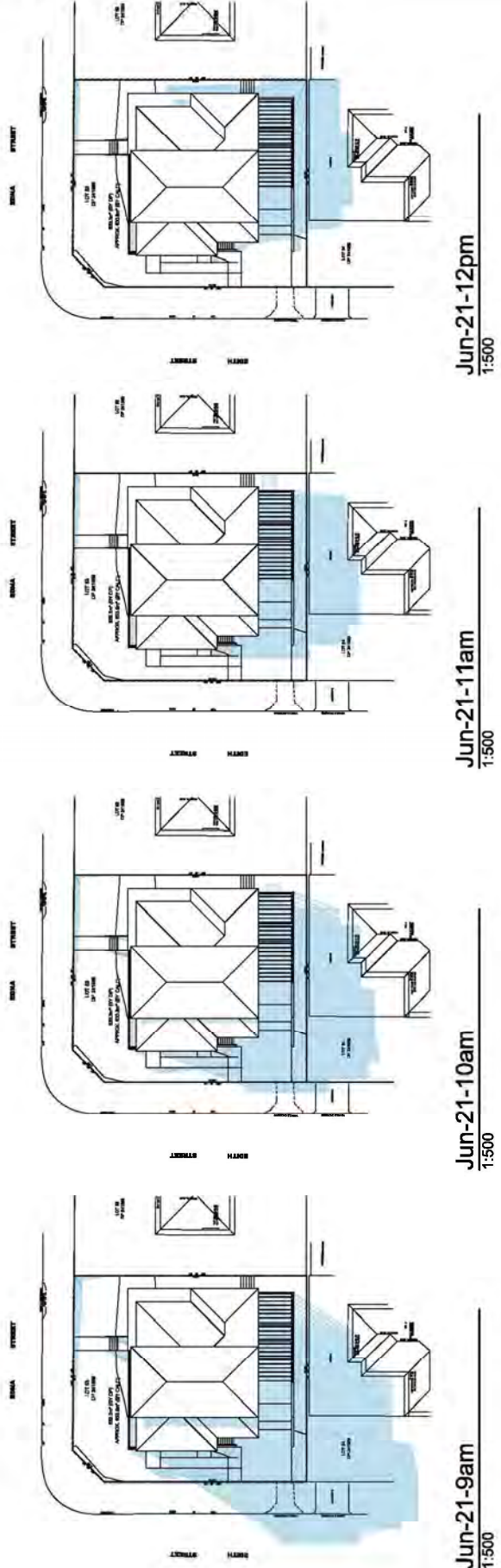


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project: PROPOSED BOARDING HOUSE DEVELOPMENT
@ 8 EDNA ST KINGSWOOD
drawing: SHADOWS - JUN

Issue K: Final
Issue J: Final
Issue I: Final
Issue H: Final
Issue G: Final
Issue F: Final
Issue E: Final
Issue D: Final
Issue C: Client sketch
Issue B: Client sketch
Issue A: Client sketch
21/10/2020
29/01/2020
27/11/2019
24/09/2019
17/09/2019



 PROVIDES SOLAR ACCESS TO COMMUNAL LIVING AREA



ACCESSIBLE ROOM

1:50

- 1 DOWNWARD FOLDING SEAT
- 2 USE CURTAIN TO PREVENT WATER SPLASHING - NO HOB
- 3 DOUBLE GPO BESIDE MIRROR
- 4 VERTICALLY ADJUSTABLE WASH BASIN WITH SPACE UNDER FOR WHEELCHAIR ACCESS. USE LEVER TYPE HANDLE FOR TAPS
- 5 APPLY NON SLIPPERY FLOOR FINISH TO BATHROOM FLOOR
- 6 HEIGHT ADJUSTABLE HOTPLATE WITH WHEELCHAIR ACCESS UNDER
- 7 HEIGHT ADJUSTABLE SINK WITH WHEELCHAIR ACCESS UNDER
- 8 HEIGHT ADJUSTABLE BENCHTOP WITH WHEELCHAIR ACCESS

ANCILLARY ITEMS.

- *Switches located 900-1100 mm above floor in line with door handles.
- *GPOs located not less than 600mm above floor
- *Electrical distribution board located inside housing unit

LIVING & DINING RM.

- *Minimum of 4 GPOs
- *Telephone adjacent to GPOs
- *Telephone outlet location between kitchen & living space, adjacent to GPOs
- *Two TV antenna outlets to GPOs (positioned so viewing from kitchen & dining is achievable)

MAIN BED RM.

- *Two double GPOs on the wall where bedhead is likely to be
- *Minimum of one GPO on opposite wall
- *Telephone outlet next to bed
- on the side closest to door (with GPO adjacent to telephone outlet)
- *TV antenna point and double
- GPO on opposite wall to bedhead
- *2-way light switches one located above bedhead. 1000 mm high above floor

ACCESSIBLE ROOM

1:50

WINDOW SCHEDULE						
ID	TYPE	SILL	WIDTH	HEIGHT	PLAN	ELEVATION
W01	DOUBLE HUNG	800	900	1,800		
W02	SLIDING WINDOW	1,600	900	800		
W03	SLIDING WINDOW	800	1,370	1,800		
W04	SLIDING WINDOW	800	1,470	1,800		
W05	SLIDING WINDOW	800	1,650	1,800		
W06	SLIDING WINDOW	800	1,800	1,800		
W07	SLIDING WINDOW	900	1,800	1,800		
W08	SLIDING WINDOW	800	1,800	1,800		
W09	DOUBLE HUNG	1,200	900	1,200		

DOOR SCHEDULE						
ID	TYPE	HEIGHT	WIDTH	PLAN	ELEVATION	Q
D01	SWING DOOR	2,070	720			10
D02	SWING DOOR	2,070	820			20
D03	SWING DOOR	2,400	1,800			1
D04	SWING DOOR W/ Sidelight	2,700	1,600			1
D05	SLIDING DOOR	2,400	2,400			2
D06	DOUBLE SWING DOOR	2,400	1,400			3
D07	GARAGE DOOR	2,455	4,300			1





Issue K:	21/10/2020
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Issue F:	
Issue E:	
Issue D:	
Issue C:	
Issue B:	
Issue A:	

Project: PROPOSED BOARDING HOUSE DEVELOPMENT
Client: LIQUID GOLD 888 PTY LTD
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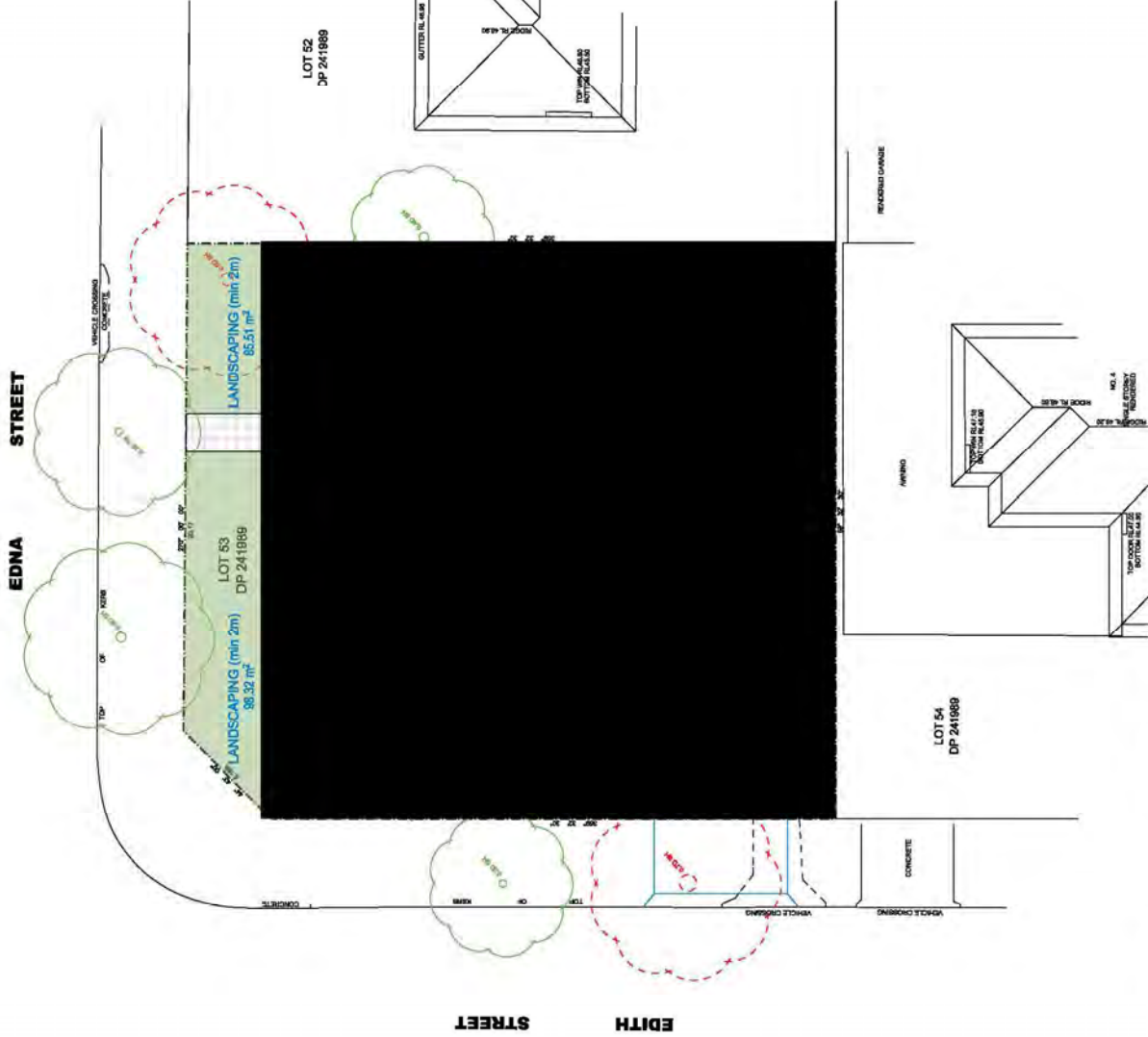
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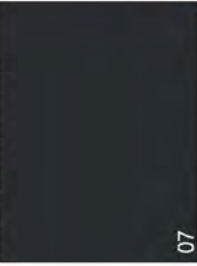
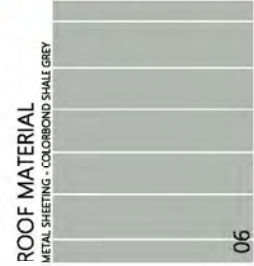


LANDSCAPING CALCULATIONS AND LEGEND	
	LANDSCAPING (< 2m) - 52.9 m²
	LANDSCAPING (> 2m) - 183.83 m²
	LANDSCAPING IN PLANTER BOX (< 2m) - 21.66 m²
TOTAL LANDSCAPING - 258.38 m² 40.7%	

LANDSCAPING CALCULATION PLAN

1:200

MATERIALS & FINISHES SCHEDULE @ 6 EDNA ST KINGSWOOD



unpublished approval: 2019-01-17
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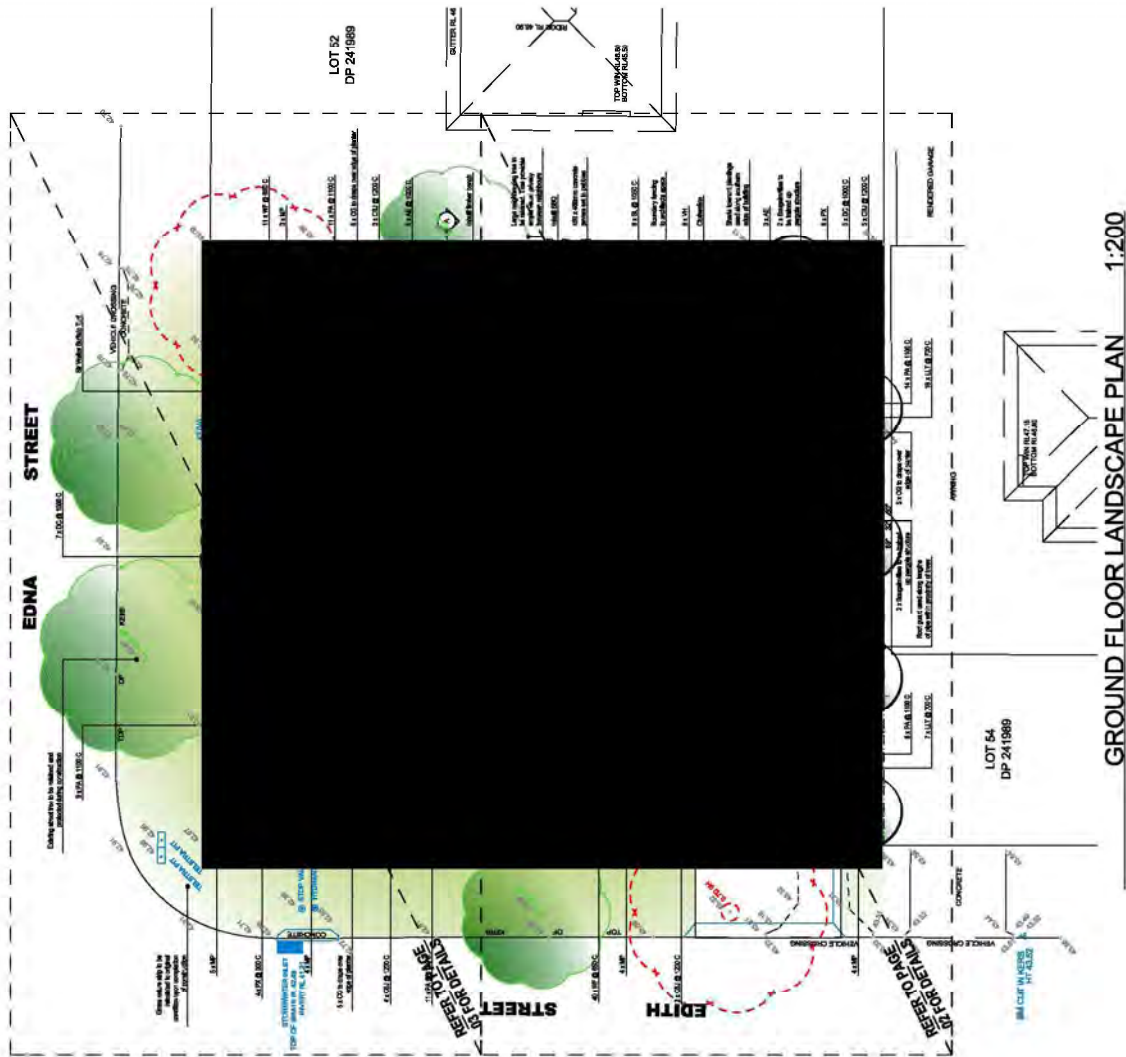
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project: PROPOSED BOARDING HOUSE DEVELOPMENT @ 6 EDNA ST KINGSWOOD
drawing: MATERIALS & FINISHES

Issue A: Client Sketch
Issue B: Client Changes
Issue C: Client Sketch
Issue D: Client Sketch
Issue E: D.A.
Issue F:
Issue G:
Issue H:
Issue I:
Issue J:
Issue K:



PROPOSED LANDSCAPE DESIGN
@ 6 EDNA STREET, KINGSWOOD
FOR MR SIMON SASSINE
DEVELOPMENT APPROVAL

SHEET SCHEDULE	
DRAWING No	TITLE
01	COVER SHEET
02	GROUND FLOOR LANDSCAPE PLAN REAR
03	GROUND FLOOR LANDSCAPE PLAN FRONT
05	DETAILS
06	INSPIRATION IMAGES



Issue 6: Development Application

18/09/2020

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18/09/2020
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PH: 0413 823 013

project

PROPOSED LANDSCAPE DESIGN @ 6 EDNA STREET, KINGSWOOD

client

MR SIMON SASSINE

drawn: A.M.

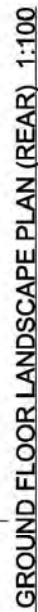
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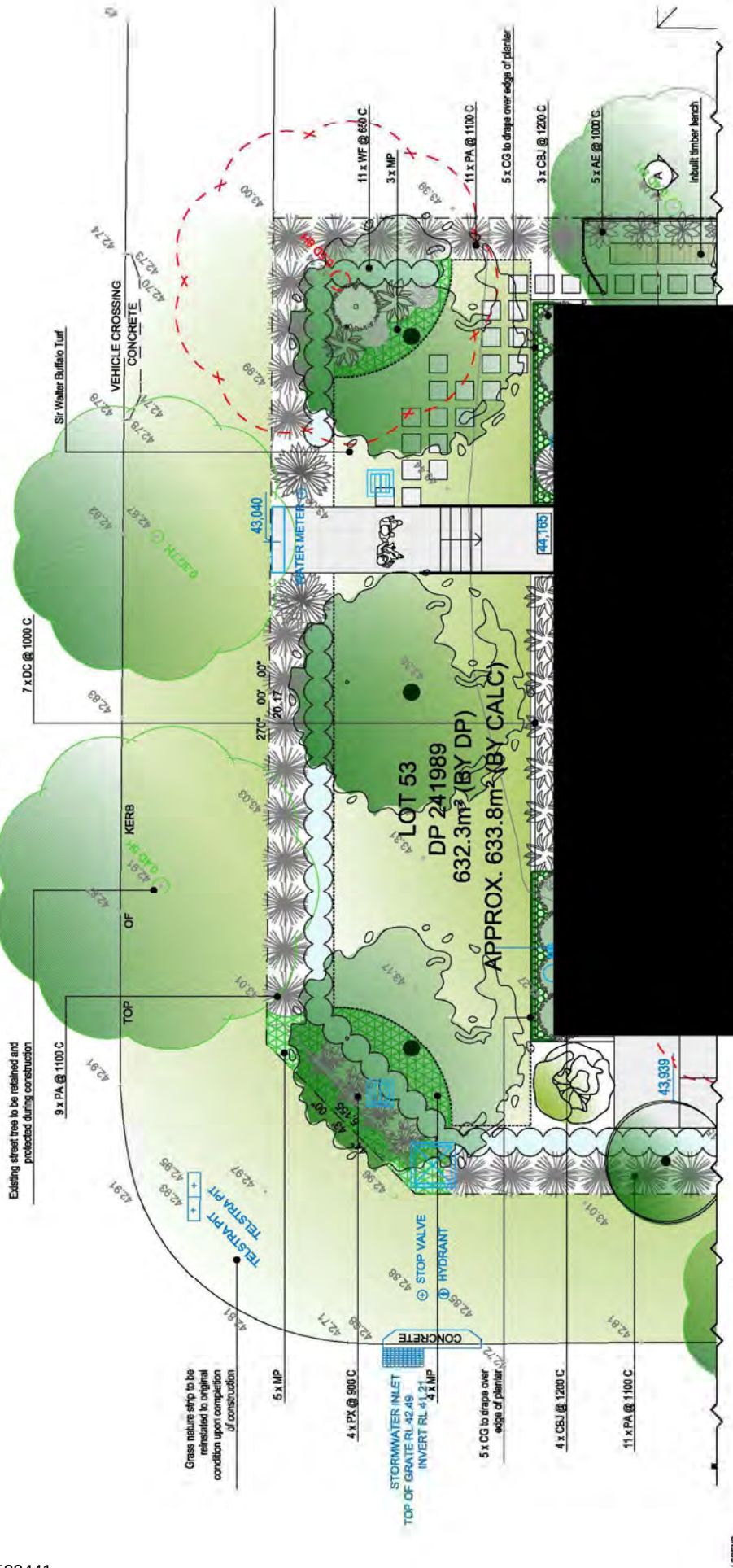
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EDNA STREET



18/09/2020

Issue of: Development Application

PROJECT: PROPOSED LANDSCAPE DESIGN @ 6 EDNA STREET, KINGSWOOD

CLIENT: MR SIMON SASSINE

DRAWN: A.M. DATE: SEPT 20 REF: 2020-055 CONSULT: PCD

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LEGEND

- Existing street tree to be retained and protected during construction
- Grass nature strip to be retained to original condition upon completion of construction
- STORMWATER INLET
- TOP OF GRATE RL 42.46
- 5 x MP
- 4 x PX @ 900 C
- 5 x CG to drape over edge of planter
- 4 x CBU @ 1200 C
- 11 x PA @ 1100 C
- Vehicle crossing
- Concrete
- STOP VALVE
- HYDRANT
- 43.939

0 1 2 3 4 5 7.5 10m

0 1 2 3 4 5 7.5 10m

LANDSCAPE SPECIFICATION

1. SITE PREPARATION

1.1. The contractor shall ensure that the site is prepared in accordance with the following requirements:

- 1.1.1. The site shall be cleared of all existing vegetation and structures.
- 1.1.2. The site shall be graded to the required levels.
- 1.1.3. The site shall be free of all debris and waste.
- 1.1.4. The site shall be free of all pests and diseases.
- 1.1.5. The site shall be free of all contamination.
- 1.1.6. The site shall be free of all obstructions.
- 1.1.7. The site shall be free of all hazards.
- 1.1.8. The site shall be free of all risks.
- 1.1.9. The site shall be free of all liabilities.
- 1.1.10. The site shall be free of all claims.

2. SOIL PREPARATION

2.1. The contractor shall ensure that the soil is prepared in accordance with the following requirements:

- 2.1.1. The soil shall be tested for pH and nutrient levels.
- 2.1.2. The soil shall be amended with the required nutrients.
- 2.1.3. The soil shall be graded to the required levels.
- 2.1.4. The soil shall be free of all debris and waste.
- 2.1.5. The soil shall be free of all pests and diseases.
- 2.1.6. The soil shall be free of all contamination.
- 2.1.7. The soil shall be free of all obstructions.
- 2.1.8. The soil shall be free of all hazards.
- 2.1.9. The soil shall be free of all risks.
- 2.1.10. The soil shall be free of all liabilities.
- 2.1.11. The soil shall be free of all claims.

3. DRAINAGE WORKS

3.1. The contractor shall ensure that the drainage works are completed in accordance with the following requirements:

- 3.1.1. The drainage works shall be designed to the required standards.
- 3.1.2. The drainage works shall be constructed in accordance with the required standards.
- 3.1.3. The drainage works shall be tested to the required standards.
- 3.1.4. The drainage works shall be free of all debris and waste.
- 3.1.5. The drainage works shall be free of all pests and diseases.
- 3.1.6. The drainage works shall be free of all contamination.
- 3.1.7. The drainage works shall be free of all obstructions.
- 3.1.8. The drainage works shall be free of all hazards.
- 3.1.9. The drainage works shall be free of all risks.
- 3.1.10. The drainage works shall be free of all liabilities.
- 3.1.11. The drainage works shall be free of all claims.

4. TIMBER EDGING

4.1. The contractor shall ensure that the timber edging is completed in accordance with the following requirements:

- 4.1.1. The timber edging shall be made of the required material.
- 4.1.2. The timber edging shall be installed to the required standards.
- 4.1.3. The timber edging shall be tested to the required standards.
- 4.1.4. The timber edging shall be free of all debris and waste.
- 4.1.5. The timber edging shall be free of all pests and diseases.
- 4.1.6. The timber edging shall be free of all contamination.
- 4.1.7. The timber edging shall be free of all obstructions.
- 4.1.8. The timber edging shall be free of all hazards.
- 4.1.9. The timber edging shall be free of all risks.
- 4.1.10. The timber edging shall be free of all liabilities.
- 4.1.11. The timber edging shall be free of all claims.

5. PEBBLE MULCH

5.1. The contractor shall ensure that the pebble mulch is completed in accordance with the following requirements:

- 5.1.1. The pebble mulch shall be made of the required material.
- 5.1.2. The pebble mulch shall be installed to the required standards.
- 5.1.3. The pebble mulch shall be tested to the required standards.
- 5.1.4. The pebble mulch shall be free of all debris and waste.
- 5.1.5. The pebble mulch shall be free of all pests and diseases.
- 5.1.6. The pebble mulch shall be free of all contamination.
- 5.1.7. The pebble mulch shall be free of all obstructions.
- 5.1.8. The pebble mulch shall be free of all hazards.
- 5.1.9. The pebble mulch shall be free of all risks.
- 5.1.10. The pebble mulch shall be free of all liabilities.
- 5.1.11. The pebble mulch shall be free of all claims.

6. MASS PLANTING

6.1. The contractor shall ensure that the mass planting is completed in accordance with the following requirements:

- 6.1.1. The mass planting shall be made of the required material.
- 6.1.2. The mass planting shall be installed to the required standards.
- 6.1.3. The mass planting shall be tested to the required standards.
- 6.1.4. The mass planting shall be free of all debris and waste.
- 6.1.5. The mass planting shall be free of all pests and diseases.
- 6.1.6. The mass planting shall be free of all contamination.
- 6.1.7. The mass planting shall be free of all obstructions.
- 6.1.8. The mass planting shall be free of all hazards.
- 6.1.9. The mass planting shall be free of all risks.
- 6.1.10. The mass planting shall be free of all liabilities.
- 6.1.11. The mass planting shall be free of all claims.

7. GARDEN MULCH

7.1. The contractor shall ensure that the garden mulch is completed in accordance with the following requirements:

- 7.1.1. The garden mulch shall be made of the required material.
- 7.1.2. The garden mulch shall be installed to the required standards.
- 7.1.3. The garden mulch shall be tested to the required standards.
- 7.1.4. The garden mulch shall be free of all debris and waste.
- 7.1.5. The garden mulch shall be free of all pests and diseases.
- 7.1.6. The garden mulch shall be free of all contamination.
- 7.1.7. The garden mulch shall be free of all obstructions.
- 7.1.8. The garden mulch shall be free of all hazards.
- 7.1.9. The garden mulch shall be free of all risks.
- 7.1.10. The garden mulch shall be free of all liabilities.
- 7.1.11. The garden mulch shall be free of all claims.

8. NEW LAWN AREAS

8.1. The contractor shall ensure that the new lawn areas are completed in accordance with the following requirements:

- 8.1.1. The new lawn areas shall be made of the required material.
- 8.1.2. The new lawn areas shall be installed to the required standards.
- 8.1.3. The new lawn areas shall be tested to the required standards.
- 8.1.4. The new lawn areas shall be free of all debris and waste.
- 8.1.5. The new lawn areas shall be free of all pests and diseases.
- 8.1.6. The new lawn areas shall be free of all contamination.
- 8.1.7. The new lawn areas shall be free of all obstructions.
- 8.1.8. The new lawn areas shall be free of all hazards.
- 8.1.9. The new lawn areas shall be free of all risks.
- 8.1.10. The new lawn areas shall be free of all liabilities.
- 8.1.11. The new lawn areas shall be free of all claims.

9. OTHER GENERAL NOTES

9.1. The contractor shall ensure that the other general notes are completed in accordance with the following requirements:

- 9.1.1. The other general notes shall be made of the required material.
- 9.1.2. The other general notes shall be installed to the required standards.
- 9.1.3. The other general notes shall be tested to the required standards.
- 9.1.4. The other general notes shall be free of all debris and waste.
- 9.1.5. The other general notes shall be free of all pests and diseases.
- 9.1.6. The other general notes shall be free of all contamination.
- 9.1.7. The other general notes shall be free of all obstructions.
- 9.1.8. The other general notes shall be free of all hazards.
- 9.1.9. The other general notes shall be free of all risks.
- 9.1.10. The other general notes shall be free of all liabilities.
- 9.1.11. The other general notes shall be free of all claims.

10. MAINTENANCE SCHEDULE

10.1. The contractor shall ensure that the maintenance schedule is completed in accordance with the following requirements:

- 10.1.1. The maintenance schedule shall be made of the required material.
- 10.1.2. The maintenance schedule shall be installed to the required standards.
- 10.1.3. The maintenance schedule shall be tested to the required standards.
- 10.1.4. The maintenance schedule shall be free of all debris and waste.
- 10.1.5. The maintenance schedule shall be free of all pests and diseases.
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- 10.1.9. The maintenance schedule shall be free of all risks.
- 10.1.10. The maintenance schedule shall be free of all liabilities.
- 10.1.11. The maintenance schedule shall be free of all claims.

PLANTING SCHEDULE

Symbol	Code	Botanical Name	Native Plant Equivalents or Alternatives (if available)	Planting Date	Planting Method	Planting Height	Planting Spacing	Quantity
1	VH	Viburnum	Viburnum	100mm	100mm	100mm	8	
2	MP	Myoporum laetifolium	Myoporum laetifolium	140mm	140mm	140mm	20	
3	BY	Begonia	Begonia	140mm	140mm	140mm	4	
4	CG	Cassia	Cassia	140mm	140mm	140mm	15	
5	TL	Trifolium	Trifolium	140mm	140mm	140mm	27	
6	PK	Podocarpus	Podocarpus	140mm	140mm	140mm	10	
7	AE	Acacia	Acacia	140mm	140mm	140mm	9	
8	WF	Wattle	Wattle	140mm	140mm	140mm	51	
9	DC	Dandelion	Dandelion	140mm	140mm	140mm	15	
10	PA	Parrotia	Parrotia	140mm	140mm	140mm	51	
11	CB	Catalpa	Catalpa	140mm	140mm	140mm	16	
12	DE	Dryopteris	Dryopteris	140mm	140mm	140mm	4	
13	SL	Syringa	Syringa	140mm	140mm	140mm	6	
14	MG	Magnolia	Magnolia	140mm	140mm	140mm	1	
15	EE	Eucalyptus	Eucalyptus	140mm	140mm	140mm	7	
16	TL	Trifolium	Trifolium	140mm	140mm	140mm	3	

SECTION A

1:100

1:100



Viola hederacea - Native Violet



Magnolia grandiflora 'Teddy Bear'



Pennisetum alopecuroides 'Naray' - Swamp Foxtail



Tristanopsis laurina - Water Gum



Aspidistra adior - Cast Iron Plant



Elaeocarpus eumundi - Eumundi Quandong



Lomandra longifolia 'Tanika' - Tanika Lomandra



Philodendron Xanadu



Casuarina glauca 'Cousin It'



Doryanthes excelsa - Gymea Lily



Westringia fruticosa 'Aussie Box'



Callistemon 'Better John' - Better John Bottlebrush



Myoporum parvifolium - Creeping Boobialla



Syzygium leuhmannii - Lilly Pilly 'Royal Flame'



Bougainvillea cvs



Dianella caerulea 'Breeze'

16/09/2020

Issue of: Development Application

PROJECT PROPOSED LANDSCAPE DESIGN @ 6 EDNA STREET, KINGSWOOD

client MR SIMON SASSINE

drawn: A.M. date: SEPT20 ref: 2020-055

checked: P.C.

16/09/2020

LANDSCAPE ARCHITECT

ANDREW MURPHY DESIGN

PO BOX 3081

ADN 60 801 914 913

08 9413 8513

info@andrewmurphydesign.com.au

A06

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Document Set ID: 9532441
Version: 2, Version Date: 01/04/2021

The channels shall be open in consultation with all administrative, financial and operational managers and all other relevant personnel. The channels and specifications shall be given in consultation with all administrative, financial and operational managers and shall be approved in writing by the board. The channels shall be given in consultation with all administrative, financial and operational managers and shall be approved in writing by the board. The channels shall be given in consultation with all administrative, financial and operational managers and shall be approved in writing by the board.

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SUBJECTIVE SENSE OF WELL-BEING, AND THE PERCEIVED QUALITY OF LIFE. THE STUDY WAS CONDUCTED IN SEVEN HOSPITALS IN THE NORTH OF ITALY. A TOTAL OF 100 PATIENTS WITH A CLINICAL HISTORY OF AN INFLUENZA VIRUS INFECTION, WHO HAD BEEN HOSPITALIZED IN THE PREVIOUS YEAR, PARTICIPATED IN THE STUDY. THE PATIENTS WERE DIVIDED INTO TWO GROUPS: 50 PATIENTS WHO HAD BEEN HOSPITALIZED IN THE PREVIOUS YEAR AND 50 PATIENTS WHO HAD NOT BEEN HOSPITALIZED IN THE PREVIOUS YEAR. THE PATIENTS WERE DIVIDED INTO TWO GROUPS: 50 PATIENTS WHO HAD BEEN HOSPITALIZED IN THE PREVIOUS YEAR AND 50 PATIENTS WHO HAD NOT BEEN HOSPITALIZED IN THE PREVIOUS YEAR.

SUBGRADE SHALL BE PREPARED AS OUTLINE IN SPECIFICATIONS.
ALL PAVING ARE TO BE PLACED IN ACCORDANCE WITH THE MANUFACTURERS
SPECIFICATION.

[illegible]

LOCATION	MINIMUM COVER
NO SUBJECT TO VEHICLE LOADING	150mm SINGLE RESIDENTIAL
SUBJECT TO VEHICLE LOADING	400mm WHERE NOT IN A ROAD
UNDER A SEALED ROAD	100mm
UNSEALED ROAD	750mm
PAVED DRIVEWAY	150mm PLUS DEPTH OF CONCRETE

DEPTH (mm)	MINIMUM PIT SIZE (mm)
0 TO 450mm	450 x 450
450mm TO 600mm	600 x 600 U.N.C.
600mm TO 900mm	600 x 900 U.N.C.
900mm TO 1800mm	900 x 900 (WITH STEEP SLOPE)

DESCRIPTION
DEBOTE ON-SITE DETENTION TANK ON PUMP OUT TANK
DEBOTE ON-SITE DETENTION BASIN
DEBOTE ABSORPTION "BED"
DEBOTES DOWNPIPE
DEBOTES 1200mm DIA 4" (SEWER GRADE) AT 1% P.T.N.
DEBOTES 1200mm DIA 4" (2" TO BE CONNECTED DIRECTLY TO MANHOLE TANK
DEBOTES 2250mm DIA 4" (SEWER GRADE) AT 0.5% P.T.N.
DEBOTES 450 LINE
DEBOTES 450mm LINE

[illegible]

SHEET No	DESCRIPTION
COVER	GENERAL NOTES
SW/01	SEDIMENT AND EROSION CONTROL PLAN
SW/02	BASEMENT DRAINAGE PLAN
SW/03	GROUND FLOOR DRAINAGE PLAN
SW/04	FIRST FLOOR & ROOF DRAINAGE PLAN
SW/05	STORMWATER SECTIONS AND DETAILS

DRAWING TITLE		DESIGNED		DRAFTED	
GENERAL NOTES		K ²		JCC	
		APPROVED		REVISION	
		JM		B	
SCALES					
AS SHOWN					
DRAWING NO.					
A20172 - COVER					

ARCHITECT
designcorp
interiors

ALPHA
 化学工业出版社
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 电话：(010) 68993141
 邮编：100088

Document Set ID: 2025-309
Version: 1. Version Date: 08/1/2020



SEDIMENT & EROSION CONTROL PLAN

1:100 @ A1

REVISION	ISSUED FOR DA	ISSUED FOR COORDINATION	AMENDMENT	ISSUE DATE
B				26-10-2020
A				10-05-2020

ALPHA
ENGINEERING & DEVELOPMENT

Phone: (02) 9745 6202
Fax: (02) 904 7361
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Burrwood NSW 2134
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ARCHITECT

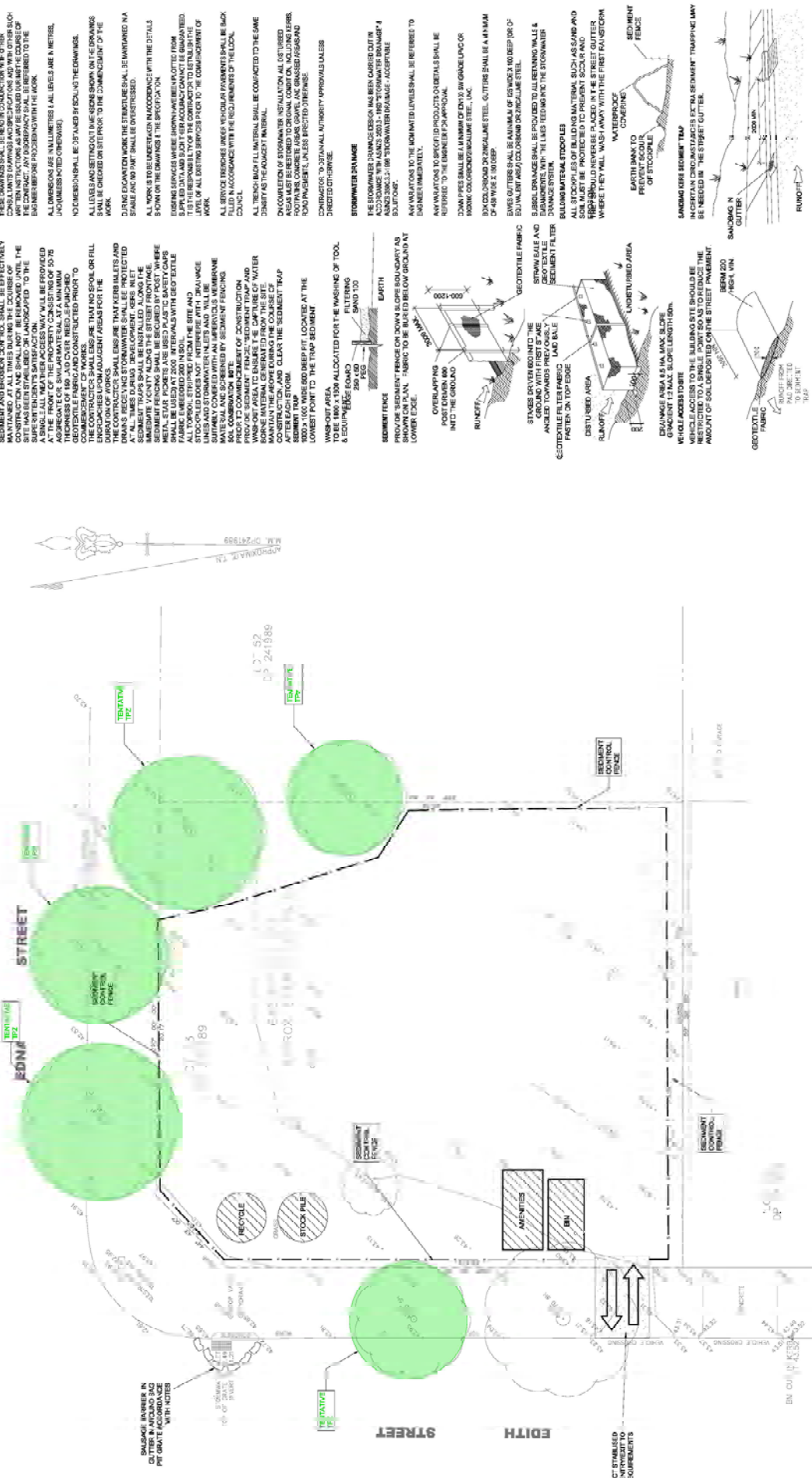
PROJECT

**PROPOSED DEVELOPMENT
BOARDING HOUSE 6 EDNA
STREET, KINGSWOOD**

DRAWING TITLE		SEDIMENT AND EROSION CONTROL PLAN	
SCALES	DESIGNED	DRAFTED	
AS SHOWN	K/P	JCC	
DRAWING NO.	APPROVED	REVISION	
A20172 - SW01	JIM	B	

ISSUED FOR DA

www.dialbeforeyoudig.com.au



GENERAL NOTES

1. THESE DRAWINGS SHALL BE REVIEWED IN CONJUNCTION WITH THE SITE PLAN AND ALL OTHER DRAWINGS. ANY CONFLICTS SHALL BE REFERRED TO THE CONTRACTOR FOR RESOLUTION.

2. ALL DIMENSIONS ARE IN METRES UNLESS OTHERWISE SPECIFIED.

3. NO OBSTACLES SHALL BE PLACED IN THE WAY OF THE WORK.

4. ALL LEVELS AND SETBACKS SHALL BE SHOWN ON THE DRAWINGS.

5. ALL LEVELS SHALL BE CHECKED ON SITE PRIOR TO THE COMMENCEMENT OF THE WORK.

6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND SERVICES.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AND SERVICES.

8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING LANDSCAPING AND PLANTING.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SOILS AND ROCKS.

10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING WATERWAYS AND FLOOD PLAINS.

11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING CULTURAL HERITAGE AND ARCHAEAL REMAINS.

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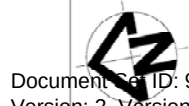
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99. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING ANATOMICAL VALUES AND FEATURES.

100. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING PHYSIOLOGICAL VALUES AND FEATURES.

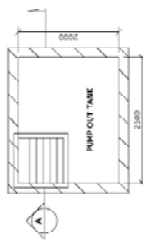


BASEMENT FLOOR DRAINAGE PLAN

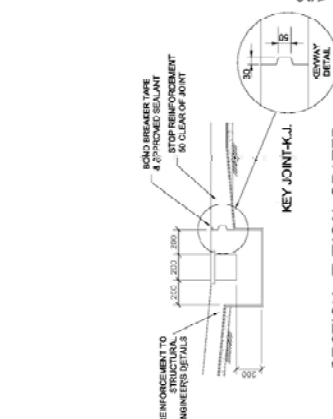
ALL DRAINAGE LINES SHALL BE UPVC (CLASS B)
STORMWATER DRAINAGE PIPE LINO.
ALL DRAINAGE LINES SHALL BE LAY @ 1% FALL MIN. AND
TO BUILDERS DETAIL. TYPICAL MINIMUM EFFECTIVE DRAINAGE LINES
SIZE = 6" DIA. 150mm
MINIMUM EFFECTIVE LAYERS GUTTER SLOPE = 1:500
THE FOLLOWING SYMBOLS & ABBREVIATIONS HAVE BEEN USED:

DP = 6" DIA. LINO.
FD = FLOOR CUTLET, REFER TO DETAIL
SP = SURFACE INLET PIT (NO LINT)
IP = 150mm DIA. INLET PIT
RW = BAN WATER HEAD
RWD = BAN WATER CUTLET (DIA 6" DIA)
FG = FLOOR GULLY @ 60
SH = 150mm DIA. SURFACE INLET
REL 6.50 = PROPOSED FINISHED SURFACE LEVEL

- BASEMENT FLOOR TO HAVE 1% MIN FALL TO MEET 1% AS PER ASHRAE REQUIREMENT
- ALL BASEMENT PIT TO BE FITTED WITH 150mm DIA. GULLY & 150mm DIA. LINO.



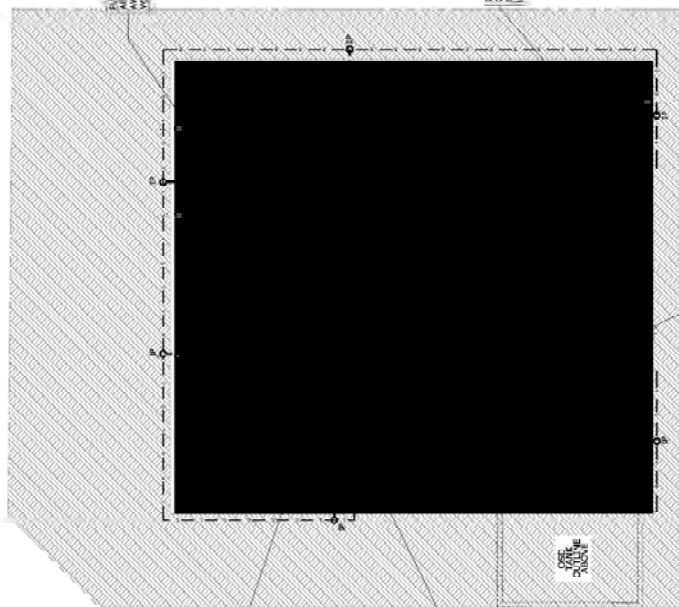
BASEMENT PUMP OUT TANK PLAN
1:50 @ A1



SECTION - TYPICAL GRATED DRAIN
1:20

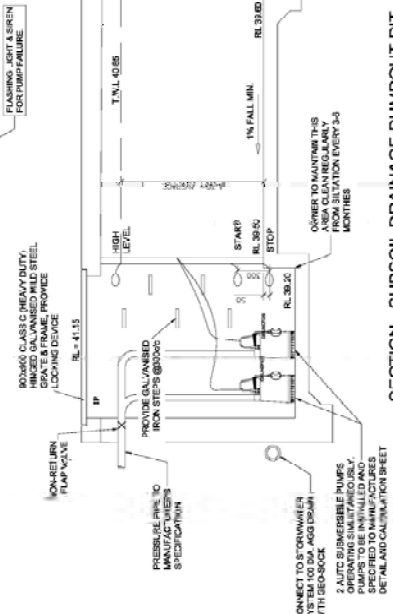
EDNA STREET

STREET



150mm DIA. INLET PIT
PUMP OUT TANK TO
DO PIT ON GROUND
FLOOR

150mm DIA. INLET PIT
GULLY DRAIN
SL = 41.20
L = 1.50m



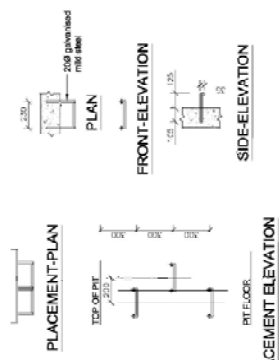
SECTION - SUBSOIL DRAINAGE PUMPOUT PIT
1:20



DETAIL - CONFINED SPACE SIGN
NFS

NOTE ON SIGNAGE:
SIGNAGE TO BE AFFIXED UNDER EACH ACCESS GRATE
AND VISIBLE SPOT ON TANK WALL

PUMP DESIGN SUMMARY
CAPACITY AREA = 30.3m² (DRIVEWAY RAMP)
100% MAX. 2 HOUR STORAGE = 66.7m³ water
TOTAL WATER = 2 x 50.79m³ = 101.58m³
TOTAL STORAGE VOLUME REQUIRED = 41.13m³ (30.3m² x 1.35m)
SEEPAGE = 2.38m³/YEAR = 0.65m³/day
TOTAL PUMP OUT TANK REQUIRED = 4.24 x 0.65 = 2.76m³
PUMP OUT TANK VOLUME PROVIDED = 3.8m³
PUMP HEAD = 4.8m
PUMP RATED FOR CALCULATIONS = 100% YEAR NR
PUMP RATED FOR CALCULATIONS = 1.35 x 1.0158 / 3.8 = 0.36m³/day
PUMP RATED FOR CALCULATIONS = 0.36m³/day x 365 = 131.1m³/year



TYPICAL STEP IRONS
1:20



ISSUED FOR DA

DRAWING TITLE	
BASEMENT DRAINAGE PLAN	
SCALES	
AS SHOWN	DESIGNED
DRAWING NO.	APPROVED
A20172 - SW02	JIM
	B

PROJECT
PROPOSED DEVELOPMENT
BOARDING HOUSE 6 EDNA
STREET, KINGSWOOD



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Fax: (02) 9004 7461
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REVISION	ISSUED FOR DA	ISSUE DATE
B	ISSUED FOR DA	26-10-2020
A	ISSUED FOR COORDINATION	10-05-2020
	AMENDMENT	



EDNA STREET

STREET

STREET

EDITH STREET



FIRST FLOOR DRAINAGE PLAN

1:100 @ A1

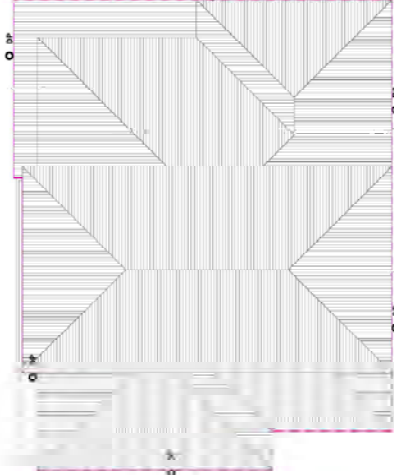
ALL DRAINAGE LINES SHALL BE UPVC (CLASS 5H)
STORMWATER DRAINAGE PIPE (LINO)

ALL DRAINAGE LINES SHALL BE LINED @ 1% FALL AWAY LINO
FIRST FLOOR DRAINAGE DEVICES TO BE FITTED TO DRAINAGE LINES
TO BUILDERS DETAIL, TYPICAL MINIMUM EFFECTIVE EAVES GUTTER
SIZE = 500 mm²

MINIMUM EFFECTIVE EAVES GUTTER SLOPE = 1:500

THE FOLLOWING SYMBOLS & ABBREVIATIONS HAVE BEEN USED:

- D³ = 500 LINO
- FD = FLOOR DRAIN, REFER TO DETAIL
- SP = SURFACE INLET PIT (NO -INTEL)
- IP = 100mm INSPECTION POINT
- RWH = RAIN WATER HEAD
- RWO = RAIN WATER OUTLET (300 x 300)
- FWH = FLOOR WATER HEAD
- FWO = FLOOR WATER OUTLET (300 x 300)
- SH = 100mm SURFACE HATCH
- SH = 100mm SURFACE HATCH
- (R 1:50) = PROPOSED FINISHED SURFACE LEVEL



ROOF DRAINAGE PLAN

1:100 @ A1

ALL DRAINAGE LINES SHALL BE UPVC (CLASS 5H)
STORMWATER DRAINAGE PIPE (LINO)

ALL DRAINAGE LINES SHALL BE LINED @ 1% FALL AWAY LINO
FIRST FLOOR DRAINAGE DEVICES TO BE FITTED TO DRAINAGE LINES
TO BUILDERS DETAIL, TYPICAL MINIMUM EFFECTIVE EAVES GUTTER
SIZE = 500 mm²

MINIMUM EFFECTIVE EAVES GUTTER SLOPE = 1:500

THE FOLLOWING SYMBOLS & ABBREVIATIONS HAVE BEEN USED:

- D³ = 500 LINO
- FD = FLOOR DRAIN, REFER TO DETAIL
- SP = SURFACE INLET PIT (NO -INTEL)
- IP = 100mm INSPECTION POINT
- RWH = RAIN WATER HEAD
- RWO = RAIN WATER OUTLET (300 x 300)
- FWH = FLOOR WATER HEAD
- FWO = FLOOR WATER OUTLET (300 x 300)
- SH = 100mm SURFACE HATCH
- SH = 100mm SURFACE HATCH
- (R 1:50) = PROPOSED FINISHED SURFACE LEVEL



ISSUED FOR DA

DRAWING TITLE			
FIRST FLOOR AND ROOF DRAINAGE PLAN			
DESIGNED		DRAFTED	
KJP		JCC	
APPROVED		REVISION	
JIM		B	

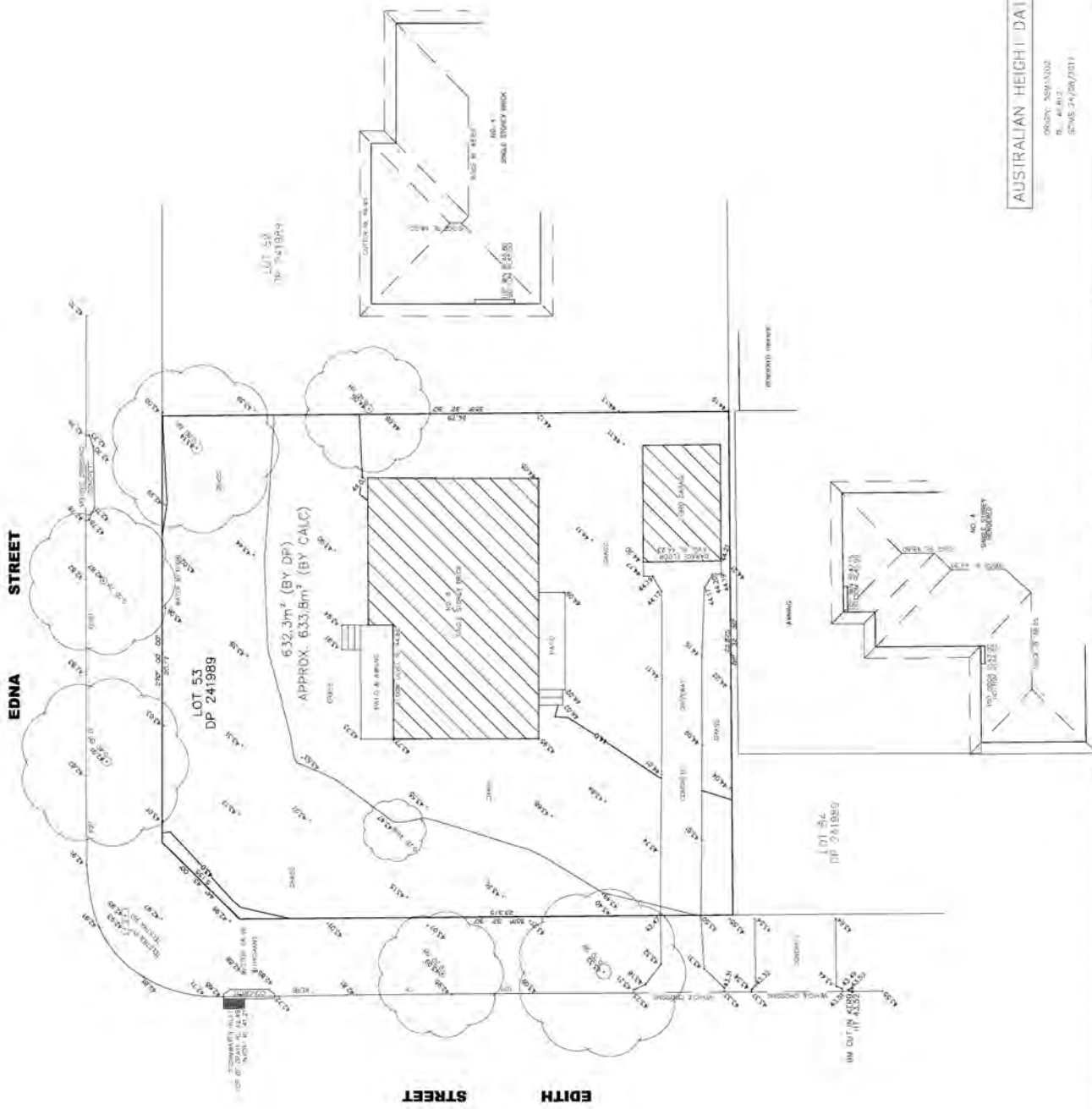
PROJECT	
PROPOSED DEVELOPMENT BOARDING HOUSE 6 EDNA STREET, KINGSWOOD	



Phone: (02) 9745 5202
Fax: (02) 9004 7461
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Address: 15 Railway Parade,
Burwood NSW 2134
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REVISION	
B	ISSUED FOR DA
A	ISSUED FOR COORDINATION
AMENDMENT	

ISSUE DATE	
26-10-2020	
10-05-2020	



AUSTRALIAN HEIGHT DATUM

PROJECT: NEW SOUTH SURVEYS
DATE: 22/01/2018
SCALE: 1:100 @ A1

DATE		REVISION		BY		DRAWING NO.		DRAWING NO.		DATE		SCALE	
						118330		118330		22/01/2018		1:100 @ A1	
DISCLAIMER: This plan, drawing, map, etc. shall only be used as a guide and not a means of proof of title. No Surveyor is responsible for the accuracy of the information contained herein. The user of this plan, drawing, map, etc. shall be responsible for the accuracy of the information contained herein. The user of this plan, drawing, map, etc. shall be responsible for the accuracy of the information contained herein.													
NOTE: ALL DIMENSIONS ARE IN METRES UNLESS SPECIFIED OTHERWISE.													
SCALE: 1:100 @ A1													
DRAWING: AS													
CHECKED: BH													
SURVEYED: AS													
NEW SOUTH SURVEYS Pty Ltd Land & Engineering Surveys P.O. Box 119 Sydney NSW 1585 Phone: 002 955 1115 Fax: 002 955 1116 Email: info@newsouthsurveys.com.au													
GENOME DESIGN 6 EDNA STREET, KINGSWOOD TOPOGRAFICAL SURVEY													
CLIENT: NEW SOUTH SURVEYS Pty Ltd													
PROJECT: 6 EDNA STREET, KINGSWOOD													

IMPORTANT NOTES:

1. This site survey is a "survey" as defined by the Survey Act 2002. It is not a "survey" as defined by the Survey Act 2002. It is not a "survey" as defined by the Survey Act 2002. It is not a "survey" as defined by the Survey Act 2002.
2. All measurements and distances are subject to the survey.
3. If any building or structure is to be erected on the site, the surveyor must be consulted for advice on the survey.
4. The surveyor must be consulted for advice on the survey.
5. The surveyor must be consulted for advice on the survey.
6. The surveyor must be consulted for advice on the survey.
7. The surveyor must be consulted for advice on the survey.
8. The surveyor must be consulted for advice on the survey.



Development Application
Statement of Environmental Effects

6 Edna Street, Kingswood

BMA**URBAN**

Submitted to: Penrith City Council
On behalf of: Designcorp Architects Pty Ltd
Date: 28 October 2020

Bernard Moroz **Managing Director** **bernard@bmaurban.com** **+61 2 80678644**

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1. Introduction

This Statement of Environmental Effects (SEE) has been prepared for Designcorp Architects Pty Ltd (**the applicant**) in support of a Development Application (DA) to Penrith City Council, prepared in accordance with Section 4.12 of the Environmental Planning and Assessment Act, 1979 and Clause 50 of the Environmental Planning and Assessment Regulation, 2000.

The proposed development comprises a '*boarding house*' under the Penrith Local Environmental Plan 2010. It is a permissible form of development with consent within the R3 – Medium Density Zone. The proposal will contribute to the housing needs of the community in a location that is well linked to services and facilities.

The proposal is consistent with and achieves the aims of the relevant local and state statutory controls and the Penrith Development Control Plan 2014. The proposal takes on a domestic appearance of a relatively modest scale. In doing so, it achieved consistency with the desired future character of the locality.

The SEE concludes this proposal is of an appropriate scale and mass for the site, is consistent with the desired future character of the area, is well designed and has no adverse amenity impacts. It is considered that the proposal will deliver a suitable and appropriate development for the site and is worthy of approval.

1.1. Report Structure

This SEE is structure in the following manner:

- **Section 1** – Introduction;
- **Section 2** - Analysis of site and surrounding context;
- **Section 3** - Background to the project;
- **Section 4** - A description of the proposed development;
- **Section 5** - Assessment of the proposal's compliance with relevant planning instruments and policies;
- **Section 6 - 10** - Impact assessment and consideration of key planning issues as required by Section 4.15 of the EP&A Act; and
- **Section 11** – Conclusion.

1.2. Supporting Documentation

The technical and design documents that have been prepared to accompany this DA are identified in **Table 1** and are as follows;

Document:	Prepared by:	Dated:
Architectural Plans	Design Corp Architects	21 October 2020
Survey Plan	New South Surveys	22 October 2018
Landscape Plans	Andrew Murphy Design	September 2020
Acoustic Report	White Noise Acoustics	9 September 2020
BASIX	Outsource Ideas	28 October 2020
Traffic and Parking	Hemanote Consultants	27 October 2020
Stormwater	Alpha Engineering	28 October 2020
Access Report	Vista Access	24 September 2020
Arborist Report	Tree Haven Environscapes	28 October 2020
Boarding House Plan of Management	BMA Urban	29 October 2020
Quantity Survey	RICQS	30 October 2020

Table 1: Technical and design documentation

2. Site Analysis and Context

2.1. The Subject Site

The subject site is located within the Local Government Area (LGA) of Penrith City and is located within close proximity to local shops, Western Sydney University (Penrith Campus) and Kingswood TAFE. **Figures 1 and 2** below provide an aerial view identifying the location of the site within both its immediate and broader context.

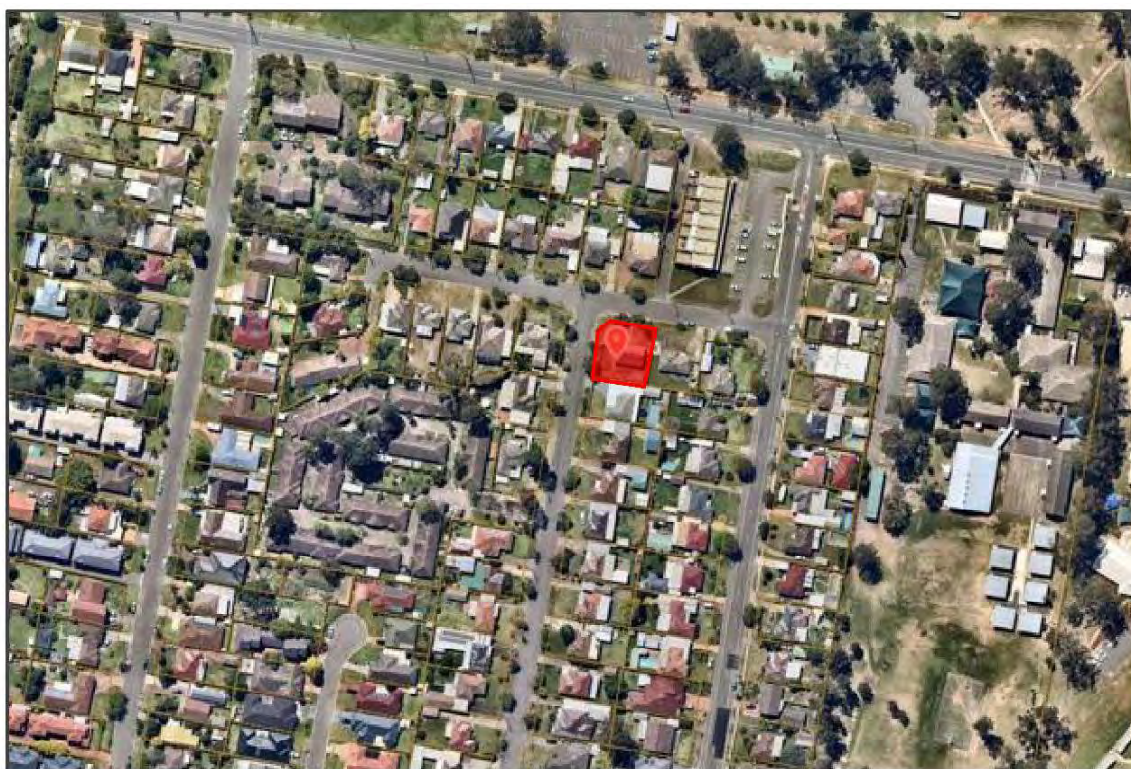


Figure 1: Site Plan (Broader Context)
Source: Near Maps 2020

Subject site 



Figure 2: Immediate Context
Source: Near Maps 2020

Subject site: 

2.2. Site Description

The site is located on the southern side of Edna Street, in-between Edith Street and Manning Street. Specifically, the site is located on the south eastern corner of Edna Street and Edith Street. The site has a primary frontage to Edna Street of 20.17m with a 5.1m splay at the corner. The site has a secondary frontage to Edith Street of 23.3m. The total site area is 633.8m². The site is relatively flat throughout.

A detailed Land Survey prepared by *New South Surveys* accompanies this application that identifies defines the sites boundary lengths, site area and the location of existing structures on the allotment.

2.3. Existing Built Form And Landscaping

The site presently accommodates an existing detached single storey brick dwelling that is fairly centrally located within the site. There is a detached fibro garage at the rear of the site adjacent to the southern boundary. Existing vehicular access to this garage is attained from a crossing along Edith Street. The site currently accommodates two (2) existing trees within the allotment and it is noted that there are two (2) street trees along each of the Edna/Edith Street frontages. **Figures 3 and 4** below identify the existing site characteristics.



Figure 3: Existing built form



Figure 4: Rear of existing dwelling and garage

2.4. Site Surrounds

Immediately adjoining the subject site to the east is No.4 Edna Street which currently accommodates an existing detached single storey dwelling. Immediately adjoining the site to the south is No.4 Edith Street, which also accommodates an existing detached single storey dwelling. On the opposite (northern) side of Edna Street and the western side of Edith Street, the most prevalent built form are detached single storey dwellings with wide grassed verges throughout. There are some interspersed two storey dwellings and dual occupancies throughout the immediately locality.

More broadly, the site is located within close proximity to local shops, Western Sydney University (Penrith Campus) and Kingswood TAFE. The site is also within relatively close proximity to Nepean Hospital, Kingswood Commercial Precinct, suburban train station, local primary school (Kingswood Primary School), large parks/sportsgrounds and a bus stop with regular services to Penrith and Mt Druitt situated on the eastern and western side of Manning Street.

3. The Proposal

3.1. Description

The proposed development involves demolition of the existing improvements and construction of a new two (2) storey boarding house with basement car parking. The boarding house will accommodate a total of twelve (12) boarding rooms and an indoor communal living room. The boarding house capacity is a total of nineteen (19) lodgers. A boarding house manager who resides on site is not proposed.

The proposed development is further described as follows:

Demolition

- Demolition of the existing building and ancillary garage structure; and
- Removal of three (2) existing trees identified as T1, T3 and T6 in the submitted Arborist report.

Basement Level

- Six (6) car parking spaces;
- Three (3) motorcycle spaces;
- Three (3) bicycle spaces;
- Services; and
- Lift and fire stairs.

An extract of the proposed basement level is reproduced below for reference:

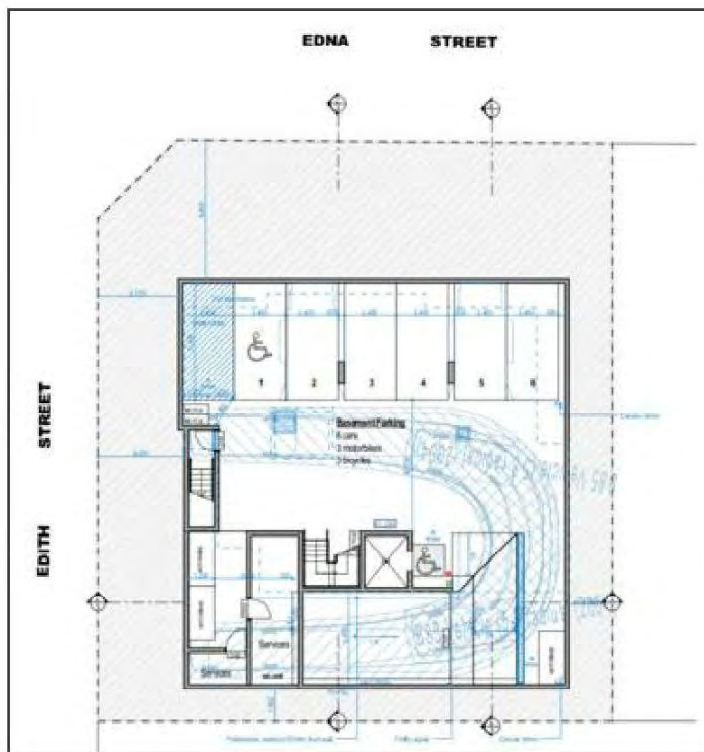


Figure 5: Basement Plan
Source: Designcorp Architects

Ground Floor Plan

- Pedestrian access points from both street frontages;
- Five (5) boarding rooms comprised of 3 single lodger rooms and 2 double lodger rooms;
- Indoor communal living room with direct access to an outdoor communal open space area;
- Waste room;
- Bulky waste storage;
- Lift and fire stairs;
- Vehicular access point along Edith Street; and
- New soft landscaping around the perimeter of the building.

An extract of the proposed ground floor plan is reproduced below for reference:



Figure 6: Ground Floor Plan
Source: Designcorp Architects

First floor Plan

- Seven (7) boarding rooms comprised of 2 single lodger rooms and 5 double lodger rooms; and
- Lift and fire stairs.

An extract of the proposed first floor plan is reproduced below for reference:



Figure 7: First Floor Plan
Source: Designcorp Architects

4. Numerical Overview

The key numerical aspects of the proposed development are outlined in **Table 2** and described in further detail in the following sections.

Parameter	Proposal	
Site Area	633.8m ²	
Building Height/Storeys	8.5m and two (2) storeys	
Parking	Boarding rooms	Six (6)
	Motorcycle/Bicycle	Three (3) and Three (3)
Boarding Rooms	Single Lodger	Five (5) rooms
	Double Lodger	Seven (7) rooms
	Total	Twelve (12) rooms

Table 2: Numeric Overview of the proposed development

4.1. Building Design

The design of the proposed development takes on a lower scale domestic appearance that is not dissimilar to that of a two (2) storey detached residential dwelling. The building presents with a pitched roof form and sits within a landscaped setting. This is demonstrated in the 3D montages that have been re-produced over the page.

4.2.1 Materials and Finishes

The proposed development includes building exteriors that provide visual articulation to the façade. The materials and finishes proposed incorporate a mixture of face brick, painted render finish, cladding and aluminium doors, windows and screening. An extract of the proposed materials schedule prepared by Designcorp architects is provided in **Figures 8,9 and 10** below:





Figure 10: Materials Schedule
Source: Designcorp Australia

4.2. Vehicular Access and Parking

Vehicular Access

The proposal nominates a vehicular access point directly off Edith Street into to the basement car parking. It is noted that there is an existing driveway crossover in this location. A waiting bay is provided immediately adjacent to the vehicular access point to enable safe ingress and egress from the basement car parking level.

4.3. Parking

The proposal accommodates a total of six (6) vehicular spaces, three (3) motorcycle and three (3) bicycle parking spaces within the basement level.

5. Statutory Planning Considerations

5.1. Overview

The relevant statutory framework considered in the preparation of this report comprises:

- Environmental Planning and Assessment Act 1979;
- Environmental Planning and Assessment Regulation 2000;
- State Environmental Planning Policy (Affordable Rental Housing) 2009;
- State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017;
- State Environmental Planning Policy No. 55 - Remediation of Land;
- State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004;
- Penrith Local Environmental Plan 2010; and
- Penrith Development Control Plan 2014.

The relevant provisions and controls of the above Instruments and Plans are summarised in the following sections of this SEE.

5.2. Environmental Planning and Assessment Act 1979

Section 1.3 – Objects

The Environmental Planning and Assessment Act, 1979 (the Act) is the principle planning and development legislation in New South Wales. In accordance with Section 1.3, the objectives of the Act are:

- a) *to promote the social and economic welfare of the community and a better environment by the proper management, development and conservation of the State's natural and other resources,*
- b) *to facilitate ecologically sustainable development by integrating relevant economic, environmental and social considerations in decision-making about environmental planning and assessment,*
- c) *to promote the orderly and economic use and development of land,*
- d) *to promote the delivery and maintenance of affordable housing,*
- e) *to protect the environment, including the conservation of threatened and other species of native animals and plants, ecological communities and their habitats,*
- f) *to promote the sustainable management of built and cultural heritage (including Aboriginal cultural heritage),*
- g) *to promote good design and amenity of the built environment*
- h) *to promote the proper construction and maintenance of buildings, including the protection of the health and safety of their occupants,*
- i) *to promote the sharing of the responsibility for environmental planning and assessment between the different levels of government in the State,*
- j) *to provide increased opportunity for community participation in environmental planning and assessment.*

The proposed development is considered to be consistent with the objects of the Act.

5.3. Environmental Planning and Assessment Regulations 2000

5.3.1 Clause 98 – Compliance with the BCA

The proposal is capable of compliance with the relevant provisions. Standard conditions of consent are anticipated in this respect.

5.4. State Environmental Planning Policies

5.4.1 State Environmental Planning Policy No 55 – Remediation of Land

The purpose of State Environmental Planning Policy No 55 – Remediation of Land (SEPP 55) is to ensure that land which is contaminated is identified and appropriately remediated so as to be suitable for the proposed development. Clause 7 of SEPP 55 states:

- (1) *A consent authority must not consent to the carrying out of any development on land unless:*
- (a) *it has considered whether the land is contaminated, and*
 - (b) *if the land is contaminated, it is satisfied that the land is suitable in its contaminated state (or will be suitable, after remediation) for the purpose for which the development is proposed to be carried out, and*
 - (c) *if the land requires remediation to be made suitable for the purpose for which the development is proposed to be carried out, it is satisfied that the land will be remediated before the land is used for that purpose."*

The site has had a long standing residential/rural use and there are no known records of contaminating activity being conducted on the site. Furthermore, a review of the POEO register for contaminated land has not flagged the subject site as being potentially affected by any form of contaminant. In view of the above and having regard to the provisions of SEPP No 55, the site is considered suitable for the proposed development.

Having regard to the above, the likelihood for any site contamination is low and therefore, the provisions of SEPP 55 are considered to be satisfied.

5.4.2 State Environmental Planning Policy (BASIX) 2004

In accordance with the provisions of the State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004, a BASIX Certificate has been provided. The proposed development satisfies the requirements of the Certificate in terms of water, thermal comfort and energy efficiency.

SEPP Provisions		Complies/Comments ✓/x
CI.29 – STANDARDS THAT CANNOT BE USED TO REFUSE CONSENT		
(1) A consent authority must not refuse consent to development to which this Division applies on the grounds of density or scale if the density and scale of the buildings when expressed as a floor space ratio are not more than:		
Floor Space Ratio	(a) the existing maximum floor space ratio for any form of residential accommodation permitted on the land. The maximum floor space ratio permitted on the land is 2:1 or 1962m²	N/A There is no maximum FSR set for the site.
	if the development is on land within a zone in which no residential accommodation is permitted—the existing maximum floor space ratio for any form of development permitted on the land, or (c) if the development is on land within a zone in which residential flat buildings are permitted and the land does not contain a heritage item that is identified in an environmental planning instrument or an interim heritage order or on the State Heritage Register—the existing maximum floor space ratio for any form of residential accommodation permitted on the land, plus: (i) 0.5:1, if the existing maximum floor space ratio is 2.5:1 or less, or (ii) 20% of the existing maximum floor space ratio, if the existing maximum floor space ratio is greater than 2.5:1.	N/A Not applicable
(2) A consent authority must not refuse consent to development to which this Division applies on any of the following grounds:		
Building Height	(a) If the building height of all proposed buildings is not more than the maximum building height permitted under another	✓ The proposed development has a maximum height of up to 8.5m and therefore complies with

	environmental planning instrument for any building on the land, The maximum building height under Penrith LEP 2010 is 8.5m.	the 8.5m maximum under the LEP.
Landscape Area	(b) If the landscape treatment of the front setback area is compatible with the streetscape in which the building is located,	✓ The proposed development incorporates soft landscaping within the frontage areas to both Edna Street and Edith Streets. This is compatible with the landscape treatment within the front setback areas in the streetscape and thus meets the SEPP requirements.
Solar Access	(c) Where the development provides for one or more communal living rooms, if at least one of those rooms receives a minimum of 3 hours direct sunlight between 9am and 3pm in mid-winter,	✓ The communal living room is located in the north eastern corner of the building on the ground floor and receives the requisite amount of solar access. Compliance has been demonstrated in the Views from the Sun diagrams prepared by Designcorp Architects.
Private Open Space	(d) If at least the following private open space areas are provided (other than the front setback area): (i) One area of at least 20 square metres with a minimum dimension of 3 metres is provided for the use of the lodgers. (ii) If accommodation is provided on site for a boarding house manager – one area of at least 8sqm with a minimum dimension of 2.5m is provided adjacent to that accommodation.	✓ A private open space has been provided along the eastern side of the building on the ground floor plan. The space is directly accessible from the Indoor communal living room. The overall size and dimensions of this space exceeds the 20sqm/3m minimum requirements. It is noted that a Manager is not provided/required in accordance with the ARHSEPP 2009 provisions as there is a maximum of 19 lodgers only.
Parking (site within accessible area)	(e) If not more than: (iia) in the case of development not carried out by or on behalf of a social housing provider—at least 0.5 parking spaces are provided for each boarding room	✓ The proposed development is not be carried out on or behalf of a social housing provider. As such, a total of six (6) spaces are required. A total of six (6) spaces are proposed which is compliant.

	In the case of any development—not more than 1 parking space is provided for each person employed in connection with the development and who is resident on site,	✓ A boarding house manager who is a resident on site is not proposed.
Accommodation Size	(f) If each boarding room has a gross floor area (excluding any area used for the purposes of private kitchen or bathroom facilities) of at least: (i) 12 square metres in the case of a boarding room intended to be used by a single lodger, or: (ii) 16 square metres in any other case.	✓ Boarding rooms 1, 4, 5, 6 and 7 have been nominated as single rooms comprising of a minimum area of 12m² (excluding areas used for the purposes of private kitchens and bathrooms). Boarding rooms 2, 3, 8, 9, 10, 11 and 12 have been nominated as double rooms comprising of a minimum area of 16m² (excluding areas used for the purposes of private kitchens and bathrooms).
CI.30 - STANDARDS FOR BOARDING HOUSES		
Internal Communal Area	(a) If more than 5 rooms, provide an internal communal area	✓ The proposal provides an indoor communal living room on the ground floor level of the building.
Room Size	(b) Maximum room size (excl. kitchen and bathroom) of 25m ²	✓ No rooms exceed 25m ² in area (excluding the kitchen and bathrooms).
Number of Lodgers	(c) No more than 2 lodgers per room	✓ No more than 2 lodgers are proposed for any room.
Adequate bathroom and kitchen facilities	(d) Adequate bathroom and kitchen facilities to be provided	✓ Each boarding room is provided with its own private kitchenette and bathroom.
Manager	(e) If more than 20 lodgers, provide manager's room on site	✓ The development will cater for 19 lodgers. As such, a designated managers room is not required to be provided.
	(f) (Repealed)	N/A
	(g) If the boarding house is on land zoned primarily for commercial purposes, no part of the ground floor that fronts a street will be used for residential purposes	✓ The site is zoned R3 – Medium Density Residential and is thus not considered to be land zoned primarily for commercial purposes.

Parking	(h) at least one parking space will be provided for a bicycle, and one will be provided for a motorcycle, for every 5 boarding rooms	✓ The proposal provides for three (3) motorcycle and three (3) bicycle parking spaces
CL30A – CHARACTER OF LOCAL AREA		
The design of the development is compatible with the character of the local area		✓ Refer to the discussion in Part 6.8 (Character Test) of this SEE.
CL30AA – BOARDING HOUSES IN R2 – LOW DENSITY RESIDENTIAL		
A consent authority must not grant development consent to a boarding house on land within Zone R2 Low Density Residential or within a land use zone that is equivalent to that zone unless it is satisfied that the boarding house has no more than 12 boarding rooms.		N/A
CI 52 – NO SUBDIVISION OF BOARDING HOUSES		
A consent authority must not grant consent to the strata subdivision or community title subdivision of a boarding house.		✓ Neither Strata nor Community Title Subdivision have been sought as part of this application

Table 3 - SEPP (Affordable Rental Housing) 2009 compliance table

5.4.4 State Environmental Planning Policy (Vegetation in Non Rural Areas) 2017

The Vegetation SEPP regulates clearing of native vegetation on urban land and land zoned for environmental conservation/management that does not require development consent.

The Vegetation SEPP applies to clearing of:

1. Native vegetation above the Biodiversity Offset Scheme (BOS) threshold where a proponent will require an approval from the Native Vegetation Panel established under the *Local Land Services Amendment Act 2016*; and
2. Vegetation below the BOS threshold where a proponent will require a permit from Council if that vegetation is identified in the council's development control plan (DCP).

The Vegetation SEPP repeals clause 5.9 and 5.9AA of the *Standard Instrument - Principal Local Environmental Plan* with regulation of the clearing of vegetation (including native vegetation) below the BOS threshold through any applicable DCP.

The proposed development seeks consent for the removal of three (3) existing trees as identified in the submitted Arborist Report prepared by *Treehaven Environmentscapes*. T1, T3 and T6 are proposed for removal as identified below. In compensation, 10 new trees are proposed in the new landscaping for the site. This results in a superior outcome to the existing scenario on site.



Figure 11: Existing trees
Source: Tree Haven Environmentscapes

5.5 Local Environmental Planning Policies

5.5.1 Penrith Local Environmental Plan 2010

The Penrith Local Environmental Plan 2010 (PLEP 2010) applies to the subject site which is identified as being within Zone R3 – Medium Density Residential zone. The proposed development is best characterised as a “boarding house” which is a permissible form of development with the consent of Council in the R3 zone.



The proposed development is consistent with the objectives of the zone as demonstrated below:

<i>To provide for the housing needs of the community within a medium density residential environment.</i>	The proposal provides for twelve (12) self contained boarding rooms. The proposed use is a permissible form of development in the zone, and will assist in the provision of housing in a medium density residential environment.
<i>To provide a variety of housing types within a medium density residential environment.</i>	The proposed development constituting as a boarding house, is a housing typology that will positively add to both the availability and diversity of accommodation options in a medium density residential environment.
<i>To enable other land uses that provide facilities or services to meet the day to day needs of residents.</i>	This objective is not relevant to the proposed development.

<i>To provide for a concentration of housing with access to services and facilities.</i>	The subject land is in a well serviced location, in proximity to a variety of public transport options, expanses of public open space, University, Hospital and service facilities.
<i>To enhance the essential character and identity of established residential areas.</i>	The proposal will not detract from the existing or desired future character of the locality when viewed in conjunction with the established and emerging development context. In this regard, the development would not be visually jarring or offensive to the streetscape composition both within the immediate and broader context.
<i>To ensure that a high level of residential amenity is achieved and maintained.</i>	The form, siting and configuration of the proposal is such that it will facilitate a high degree of future occupant amenity. Furthermore, no adverse amenity impacts upon neighbouring properties by way of overshadowing and or visual and acoustic impacts are likely to result.
<i>To ensure that development reflects the desired future character and dwelling densities of the area.</i>	The siting arrangement, built form and architectural language of the development is consistent with that likely to be encountered in a medium density residential setting and is proportionate with that observed within the evolving context.

A summary of our assessment of the proposed development against the LEP provisions is detailed below. Some clauses with the LEP have been deliberately omitted because they are not applicable to the proposed development.

Penrith Local Environmental Plan 2010			
CL	Requirement	Proposed	✓/x
Part 2 - Permitted or Prohibited development			
2.3	Zoning objectives and Land Use Table	The site is zoned R3 – Medium Density Residential pursuant to this clause. The proposed development is for the construction of a new “boarding house” which is a permissible form of development in this zone.	✓
2.7	Demolition requires development consent	This application seeks consent for demolition of the existing improvements on the subject site.	✓

Part 4 – Principal Development Standards

4.3	Height of Buildings The development is subject to the provisions of Clause 4.3, which as indicated on the associated "Height of Buildings" Map, limits the height of buildings to 8.5m.	The proposal will comprise of a maximum height of 8.5m, which is compliant with the 8.5m maximum.  Figure 13: Height of Building Map extract Source: PLEP 2010	✓
4.4	Floor Space Ratio	There are no FSR control for this site.	N/A

Part 5 – Miscellaneous Provisions

5.10	Heritage Conservation	The site is not identified as being a heritage item, is not located within a heritage conservation area or is not in the immediate vicinity of any listed heritage items.	✓
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Part 7 – Additional Local Provisions

7.1	Earthworks	Earthworks are proposed for the purpose of facilitating the provision of the basement levels. Where proposed earthworks occur within or close to the zone of influence of neighbouring structures, specific excavation and earth retention methods will be implemented to ensure structural integrity of adjacent buildings is not compromised. It is considered unlikely that the site, which for the most part has been relatively undisturbed, contains relics or any items of historic significance. Should any such item be encountered during site preparation works, excavation will cease immediately and the appropriate government authority notified. It is anticipated that a standard condition of consent will be imposed in this regard.	✓
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		The site is not in proximity to, nor are earthworks likely to have any detrimental impact on, a waterway, drinking water catchment or environmentally sensitive area. Sediment and erosion controls will be installed and maintained for the duration of site preparation and construction phases to ensure there is no risk of sediment laden water leaving the site and entering council's drainage infrastructure. Excavation techniques which focus on minimising disturbance resulting from noise and vibration transmission will be implemented. Sediment and erosion controls will be installed and maintained for the duration of site preparation and construction phases. In this regard, the proposal will not have a detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land.	
7.2	Flood Planning	The proposed floor levels and driveway crest are compliant with Council's flood information.	✓
7.3	Development on natural resources sensitive land	The site is not identified as being land affected by this clause.	✓
7.4	Sustainable development	The proposed development is considered to satisfy the requirements of this clause noting the following: • The common areas of the boarding house receive a high degree of solar access. • Many of the proposed boarding rooms are naturally cross ventilated. • The application is accompanied by a compliant BASIX Certificate to achieve the principles of sustainable development. • The site is located in walking distance of bus stops with regular services to Penrith and Mt Druitt situated on the eastern and western side of Manning Street. This accessibility will assist in reducing car dependency.	✓
7.6	Salinity	Due to the nature and location of the site it is unlikely to be affected by saline soils.	✓
7.7	Servicing	The site has services available to it. Standard conditions of consent are anticipated in this respect.	✓

Table 4: Penrith Local Environmental Plan 2010 Compliance Table

5.6 The Provisions of any exhibited Draft Environmental Planning Instruments

5.6.1 Draft Environment SEPP

The planning provisions for waterways, catchments, world heritage and urban bushland are currently contained in seven State Environmental Planning Policies (SEPPs), the Standard Instrument – Principal Local Environmental Plan (Standard Instrument), and in Ministerial Directions for plan making issued under the Environmental Planning and Assessment Act 1979.

An Explanation of Intended Effect for the SEPP (Environment) was publicly notified between 31 October 2017 to 31 January 2018. The SEPP (Environment) will integrate provisions from seven existing SEPPs relating to catchments, waterways, urban bushland and world heritage, and to reduce the complexity and streamline the planning system.

The proposed SEPP (Environment) will:

- *Encourage the proper management, development and conservation of natural resources and the protection of the environment, in line with the objectives of the Act*
- *Enable growth that maintains and enhances the health and integrity of our natural and cultural heritage for the benefit and enjoyment of the present community and for future generations*
- *Streamline development assessment by identifying and considering environmental values and constraints at the earliest possible stage in the development decision making process, using evidenced based planning methods*
- *Promote ecologically sustainable development that supports a balanced approach to the use of land and natural resources, and provides for long term environmental, economic and social wellbeing*
- *Adopt a risk based approach to minimise cumulative negative impacts of development on both the immediate site and on a surrounding area or region*
- *The proposed SEPP fits within a range of plans and strategies including A Plan for Growing Sydney, draft District Plans, Regional Plans, local environmental plans, Ministerial Directions, and development control plans*

Based on the information of the Explanation of Intended Effect of the SEPP (Environment), it is considered that the proposal is consistent with the draft planning instrument being, the proposed SEPP (Environment).

5.6.2 Remediation of Land SEPP

The Draft Remediation of Land SEPP was on public exhibition until 31 March 2018 and is a review of SEPP No 55 – Remediation of Land which along with the *Managing Contaminated Land Planning Guidelines* has been in place for almost 20 years. Both documents needed to be updated to respond to changes in federal and state legislation and policy, and to reflect new land remediation practices.

The new SEPP aims for the better management of remediation works by aligning the need for development consent with the scale, complexity and risks associated with the proposed works and will:

- *provide a state-wide planning framework for the remediation of land*
- *require consent authorities to consider the potential for land to be contaminated when determining development applications*
- *clearly list the remediation works that require development consent*
- *introduce certification and operational requirements for remediation works that can be undertaken without development consent*
-

Based on the information of the Explanation of Intended Effect of the SEPP Remediation of Land 2018, it is considered that the proposal is consistent with the draft planning instrument.

5.6.3 Proposed Housing Diversity SEPP

The Department is exhibiting an Explanation of Intended Effect (EIE) for a proposed new State Environmental Planning Policy (SEPP) that aims to facilitate the delivery of diverse housing that meets the needs of the State's growing population and will support the development of a build-to-rent sector.

The proposed Housing Diversity State Environmental Planning Policy (Housing Diversity SEPP) would consolidate three current SEPPs and update some planning provisions in response to community and council concerns about boarding house and seniors housing development.

Changes to facilitate more social housing are also proposed and three new diverse housing types – build-to-rent housing, student housing and co-living – are being introduced to provide more housing options for the people of NSW.

The proposal is not inconsistent with the Intended Effect of the proposed Instrument.

5.7 Development Control Plans

5.7.1 Penrith Development Control Plan 2010

Penrith Development Control Plan 2010 is the relevant document. The relevant DCP controls are discussed below:

Part C – City Wide Controls

C1 Site Planning and Design Principles

1.1.1 Site Analysis: A Site Analysis has been prepared and accompanies this DA submission.

1.1.2 Key Areas with Scenic and Landscape Values: The subject site is not located within the scenic and landscape values map within the LEP.

1.2.2 Built Form – Energy Efficiency and Conservation: The site has a northerly orientation which enables a high level of solar access throughout the boarding house. Further, many of the boarding rooms have been designed to achieve natural cross ventilation.

1.2.3 Building Form – Height, Bulk and Scale: These matters have been addressed as part of the *Character Test* later in this SEE.

1.2.4 Responding to the site's topography and landform: The subject site is relatively flat. No further concerns are noted in this respect.

1.2.5 Safety and Security (Principles of CPTED): This matter is addressed in Part 9 of this SEE.

1.2.6 Maximising Access and Adaptability: An access report prepared by Vista Access has been provided which demonstrates compliance with the applicable access requirements. It is noted that the proposal incorporates an accessible car parking space, suitable path of travel on the ground floor and adaptable boarding rooms.

C2 Vegetation Management

2.1 Preservation of Trees and Vegetation: Refer to previous SEPP (Vegetation in Non-Rural Areas) 2017 discussion.

C3 Water Management and C4 Land Management

The proposed development satisfies the relevant parts of C3 and C4 in that:

- Stormwater plans prepared by Alpha Engineering accompany the DA submission to demonstrate that water will be appropriately managed;
- The site is not located within close proximity to a watercourse, wetland or riparian corridor;
- Groundwater is not anticipated to be intercepted; and
- The proposal incorporates excavation works for the proposed basement car parking level.

Part D5 – Other Land Uses

5.11 – Boarding Houses

1) Local Character

The character test has been addressed in Part 6.6 of this SEE and establishes that the proposed development will be compatible with the existing and desired future character of the area.

2) Built Form, Street Impact and Appearance

The minimum setbacks for boarding house development in the R3 zone are provided in table D5.3. The proposed development is generally consistent with these requirements. The following assessment is provided:

- The front setback to Edna Street of 7.1 – 7.6m is compliant;
- The eastern side setback of 2m to 3.5m is compliant;
- The rear 6m setback is compliant; and
- 5.5m secondary street setbacks are required in the R3 zone. The proposed development provides a setback of 4m to 5.5m and therefore does not fully comply. The non-compliant portion at 4m is positioned towards the corner of the site and therefore will not dictate the future built form/setback relationship with the re-development of the adjoining allotment to the south at No.4 Edith Street. At the critical point (i.e. – the southern end of the building), a compliant 5.5m is provided. The external wall along the Edith Street façade is well articulated. The non-compliance does not create excessive bulk, scale or a poor streetscape presentation.

It is noted that the 40% landscaped area control in the R3 zone is effectively superseded by clause 29 SEPP provisions and as a result, this control has no effect. In any case, it is noted that the proposed development provides 258m² (40.7%) of landscaping, inclusive of 21.66m² being landscaping within a planter box.

The DCP identifies a building envelope control for boarding houses in the R3 zone that is intended to be a guide so as to create consistency with desired local character. The relevant diagram is Figure D5.5 in the DCP which is re-produced below for reference:

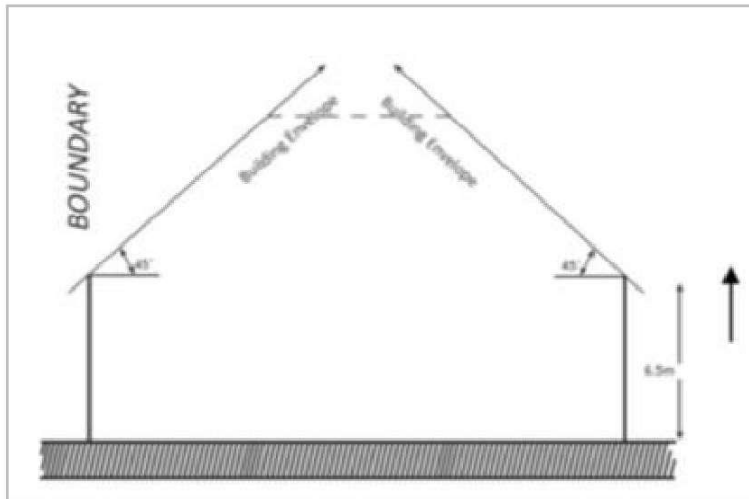


Figure 14: Extract of DCP building envelope

The relevant envelope has been shown on the architectural drawings to demonstrate that the proposed built form is compliant.

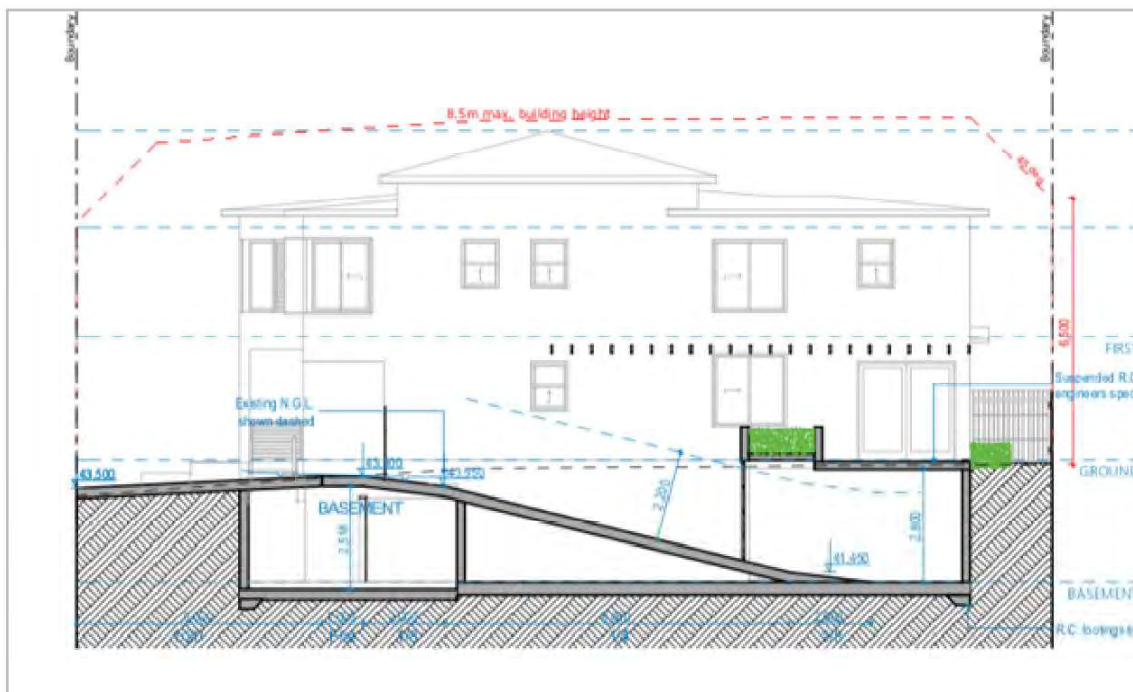


Figure 15: Section A extract demonstrating consistency with the building envelope control

Source: Designcorp Architects

3) Compatibility with Streetscape in the Front Setback

Deep soil zones in excess of 18m² and 3m minimum dimension are provided within the front setback area to Edna Street in accordance with the DCP guidelines. This permits the planting of larger trees to soften the built form. The proposal is capable of being constructed with a watering system that does not rely on lodgers to maintain plantings. This can be imposed through suitable conditions of consent.

4) Tenant Amenity, Safety and Privacy

The DCP states that common rooms are to be provided at a minimum rate of 2m² per lodger. On the basis of 19 lodgers, this equates to a 38m² common room. The development provides an 18m² communal room and therefore does not comply. However, the design of the common room opens out onto a 35m² communal open space which adds amenity and well exceeds the 20m² specified under the ARHSEPP 2009. Natural cross ventilation is achieved in the common room as well as a number of the individual boarding rooms.

The development does not provide the communal kitchen facilities at the rates specified in this part of the DCP. However, this is justifiable in this instance because each boarding room is provided with individual kitchen facilities.

The development provides 2 out of the 12 rooms proposed as accessible, which complies with the 10% requirement in the DCP.

5) Visual and Acoustic Amenity Impacts

Visual and acoustic amenity impacts have been addressed in Part 6 of this SEE.

6) Location

The site is not located in a cul-de-sac and thus satisfies the DCP guidelines.

7) Plan of Management

This has been provided in accordance with the DCP provisions.

6. Environmental Impact Assessment

6.1. Setbacks

6.1.1 Visual Privacy

The visual privacy outcomes are considered to be well resolved noting the following:

- The site is a corner allotment. As a result, the window openings along the northern and western elevations would look across the public domain (Edith and Edna Streets) as opposed to any adjoining properties;
- There are new window openings proposed along the southern (rear) elevation facing No.4 Edith Street. However, the extent of window openings is generally minimised and are setback 6m from the common boundary. This separation distance ensures that there are no adverse overlooking opportunities;
- Window openings on the first floor of the east elevation are restricted to a total of two (2) windows, both of which are setback from the boundary in a compliant manner; and
- The communal areas are positioned on the ground floor plan where they do not create any unreasonable visual privacy impacts for neighbouring properties.

6.1.2 Overshadowing

The extent of overshadowing cast by the proposed development is predicated by the siting relationship the subject site has with neighbouring lands both private and public. The shadowing analysis prepared by Designcorp clearly identifies the extent of overshadowing likely to be incurred by neighbouring properties/public land from 9am to 3pm on June 21. The shadow diagrams show that there will be additional overshadowing impacts caused to the neighbouring dwellings at No.4 Edith Street and No.4 Edna Street. However, there would be no unreasonable impacts caused to the main internal living areas and/or private open space areas within those properties. The majority of the overshadowing impact occurs within the northern side setback area of No.4 Edith Street.

6.1.3 Acoustic Impact

Acoustic privacy is about preventing sound transmission between external and internal spaces, between boarding rooms and communal areas and between boarding rooms and external spaces. The application is accompanied by a Noise Impact Assessment prepared by *White Noise Acoustics* which demonstrates that the proposal is capable of achieving compliance with the relevant noise criteria. The report makes various acoustic recommendations which should be enforced through suitable conditions of consent.

6.2. Public Amenity

Views and Visual Impact

The proposed development will not give rise to any view loss impacts.

The built form incorporates a mixture of architectural elements which are supplemented by landscaping and a diverse mix in building materiality. The proposal encourages a direct relationship to the streetscape along Edith Street and Edna Street, providing direct pedestrian access to the entry points

of the site. The building also responds to the anticipated future character of the locality by providing a two-storey form with a pitched roof.

6.3. Traffic, Parking And Access

6.3.1 Vehicular Access & Traffic Generation

The proposal nominates a vehicular access point directly off Edith Street in a similar location to the existing crossing. This enables access to the basement car parking level.

The proposed solution is considered adequate as demonstrated in the Traffic and Parking Assessment prepared by *Hemanote Consultants*. This report concludes the following:

- The current traffic flows on Edna and Edith Streets are considered to be low and appropriate for local roads in a mainly residential area, with free-flowing traffic without major queuing or delay in peak traffic periods, with spare capacity.
- The estimated traffic generation is of low impact on existing flows on Edna Street, Edith Street and the surrounding road network. The traffic generated by the proposed boarding house development can be readily accommodated within the existing road network.
- The potential increase in the number of vehicle movements in and about Edna Street and adjacent streets will not have adverse impacts on the amenity of the area.
- The subject site has good access to existing public transport services in the form of regular train and bus services.
- The proposed development will not have adverse impacts on parking in the surrounding area.

6.3.2 Parking

The parking demand (6 spaces) resulting from the proposed boarding house development can be easily accommodated within the proposed adequate off-street car, motorcycle and bicycle parking, which complies with ARHSEPP 2009 requirements.

6.4. Waste Management

All waste storage is to take place within the dedicated garbage storage area located on ground level. Waste Bins will be transported to the street for collection on waste collection day.

6.5. Environmental Sustainability

The proposed development will meet the regulatory sustainability requirements of BASIX (applicable to the self-contained boarding rooms). Further technical documents which address the sustainability of the proposed development are included the BASIX Certificate prepared by Outsource Ideas.

6.6. Context/Character

Clause 30A of the ARHSEPP 2009 requires consideration as to whether the design of the development is compatible with the character of the local area. The '**character**' of an area is defined by the physical appearance of a locality (building height, setbacks, landscaping, land use, vehicle access points, orientation etc.) and also by the reasonableness of impacts created by new development on surrounding property.

In our view, “compatible” does not promote “sameness” in built form but rather requires that development fits comfortably with its urban context. Of relevance to this assessment are the comments of Roseth SC in *Project Venture Developments Pty Ltd v Pittwater Council [2005] NSWLEC 191*:

“22 There are many dictionary definitions of compatible. The most apposite meaning in an urban design context is capable of existing together in harmony. Compatibility is thus different from sameness. It is generally accepted that buildings can exist together in harmony without having the same density, scale or appearance, though as the difference in these attributes increases, harmony is harder to achieve.”

In relation to the built form context of the site, the site is located within an R3 – Medium Density Zone whereby, the proposed development is deemed both a permissible and positive contribution to the context.

The scale of the proposed boarding house is consistent with the planned character of the area where it complies with the prescribed standards as well as the finer grain development controls and is in keeping with emerging development in the area while remaining homogeneous with historic housing stock. The resulting scale of the building adopts a built form and siting arrangement that is congruent with that observed within the sites defining context. Generous setbacks are provided across all site perimeters while a combination of appropriate building materials, colours and articulated external walls reduces the perceived bulk and scale of the building where it will appropriately respond to both the existing and emerging streetscape character.

The natural setting to the street frontages are not dissimilar to what is currently identified in the surrounding area while the extent of deep soil area provided across the development will enable the provision of generous amounts of landscaping. In this instance, while the development is not entirely the same as the neighbouring single and two storey single dwelling houses and dual occupancies, seeking to make it identical or close to identical, would thwart the social planning objectives of the State Environmental Planning Policy (Affordable Rental Housing) 2009 in the provision of affordable housing.

The site is not located within a heritage conservation area or special development precinct. The proposal will not detract from the existing or desired future character of the locality when viewed in conjunction with the adjoining buildings, and would not be visually jarring or offensive to streetscape composition.

The physical impacts of the proposed development have been considered throughout this report, primarily in the assessment against the LEP, DCP, ARHSEPP 2009 and Section 4.15(1)(b) provisions of the EP&A Act 1979. The proposal has been found to result in an acceptable level of amenity impact on surrounding properties and the locality. Further, the proposal will not constrain the development potential of adjoining sites.

For all of the reasons outlined above, the proposal satisfies the character test pursuant to Clause 30A of the SEPP.

7. Natural and Built Environmental Impacts

7.1. Landscaping

A comprehensive landscape scheme as demonstrated in the landscape plans prepared by *AM landscape design* will include the planting of more desirable trees and shrubs, planted within available areas in prominent locations. The landscape design features of the proposed development are outlined in **Figures 16 and 17** below:

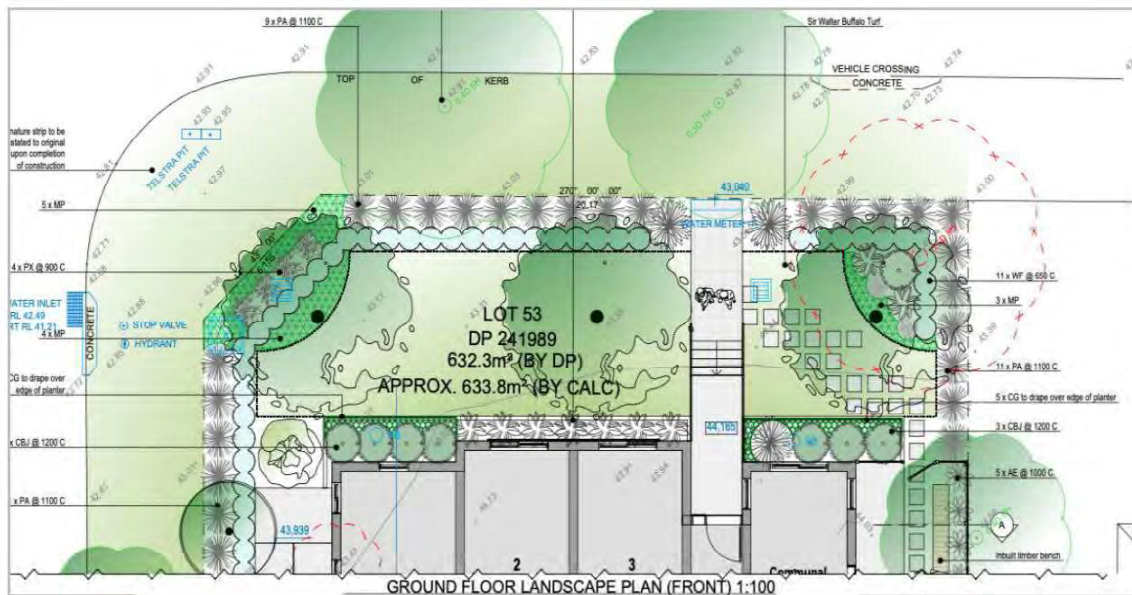


Figure 16: Landscape Plan
Source: AM Design

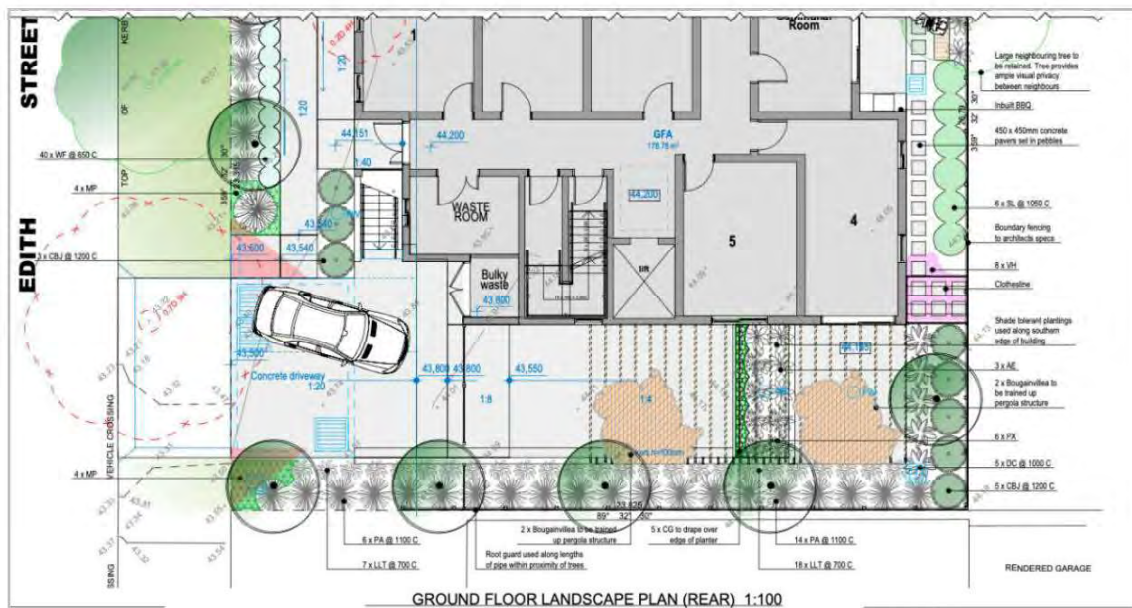


Figure 17: Landscape Plan
Source: AM Design

7.2. Water Management

Existing drainage conditions, proposed design and relevant impacts associated with development are contained in the Stormwater Concept Plans prepared by *Alpha Engineering*.

7.3. Soil Management

A soil and erosion plan has been prepared and accompanies this application. It is envisaged that this Erosion and Sedimentation Control Plan will be formalised by way of a condition of consent.

8. Social and Economic Impacts

8.1. Economic and employment

There are no negative social or economic impacts as a result of the proposed development. The proposed development will not have any adverse impacts to the streetscape character of Edna Street/Edith Street or the wider Kingswood locality. In the long term, the proposed development will have a positive economic impact by increasing the local resident population, who will in turn frequent the local retail and commercial premises throughout the neighbourhood.

9. Crime and Safety

Crime Prevention through Environmental Design (CPTED) is an important inter-agency crime prevention program that reduces crime opportunity through effective planning, urban design and place management. The NSW Police Service program, known as Safer by Design is based on the principles of CPTED.

The Department of Planning & Environment (then Planning NSW) released guidelines under Section 4.15 of the *Environmental Planning and Assessment Act, 1979* which have been prepared to assist councils in identifying crime risk and minimise opportunities for crime through appropriate assessment of development proposals.

The Guidelines uses Crime Prevention through Environmental Design (CPTED) which is a crime prevention strategy and focuses on reducing the opportunities for crime through the planning, design and structure of the built environment. This is achieved through:

- *Maximising the risk to offenders through increasing the likelihood of detection and challenge;*
- *Maximising the effort required to commit an offence;*
- *Minimising the perceived benefits of crime; and*
- *Minimising the opportunity to facilitate inappropriate behaviour.*

Part B of the Guidelines set out four principles to be used in the assessment of development applications to minimise the opportunity for crime, as follows:

Surveillance

Providing effective surveillance of areas within and surrounding a site can assist in reducing the attractiveness of crime targets. Surveillance of an area can be achieved through both natural and technical means.

Passive surveillance, where people can see what others are doing, creates a sense of safety within an environment and provides opportunities for interaction between individuals. This and high levels of passive surveillance, deters offenders from committing crime.

The landscape treatment for the development has been designed in cognisance of the need to maintain good levels of passive surveillance and allow safe movement of pedestrians around / across the site.

There are pedestrian entry points provided on each of the street frontages. In addition, numerous glazed elements are also orientated towards the street frontages. This ensures maximum opportunity for casual surveillance of the surrounding footpath and surrounding roadways. Site lighting will be installed to satisfy the relevant Australian Standards and provide a high degree of lighting throughout the publicly accessible areas of the development.

Access Control

By clearly defining areas accessible to the public and providing physical and symbolic barriers to attract and channel the movement of people, it will be difficult for offenders to reach victims and opportunity to commit crime will be minimised.

Electronic "Access Control" in the form of an audio intercom will be provided at the entry to the residential lobby to provide secure access to the boarding rooms. A remote controlled garage door will control access of vehicles to the basement car parking areas.

Territorial Reinforcement

Defining what is public and private territory assists in determining the function of a space and the appropriate behaviour within a space. This definition enhances the informal security presence within and around the site. Territorial reinforcement is achieved through the creation of a "*sphere of influence*" around a building by utilizing physical designs such as pavement treatments, landscaping and signage that enable users of a building or an area to develop a sense of proprietorship over it.

Whilst the Guidelines specifically refer to public spaces, the principles can be applied to the proposed development. In this regard, the demarcation between the public domain and private property is clearly defined by the landscaping treatment along the Edna Street and Edith Street frontages.

Space Management

Neglected and/or poorly maintained buildings and/or areas are often more susceptible to criminal activities such as vandalism.

Again, the Guidelines specifically refer to public spaces. Nevertheless, the delegated third party will ultimately be responsible for the management and maintenance of the public domain and communal private spaces of the development.

10. Suitability of The Site

The subject site is well suited to accommodate the proposed development as discussed below.

The site is zoned R3 Medium Density Residential and the proposed "***Boarding House***" is permitted with consent within the zone. Furthermore, the proposal is consistent with the objectives of the zone. The site is situated within an established area such that access to services and stormwater infrastructure are readily available. These include electricity, gas, water and telephone services and

drainage for stormwater and sewerage, which will be enhanced to accommodate for the proposed development as required. The proposed development has been designed sympathetically to address the defining context both established and envisaged upon the redevelopment of neighbouring sites.

The proposed development provides a high-quality built form approach with an appropriate relationship to the surrounding sites. The site is not within an area recognised as being subject to landslip, bushfires, contamination or any other particular hazard that would preclude the ability for the development to take place.

The subject site is considered well suited to accommodate the proposed residential development in the form of a boarding house.

11. The Public Interest

The proposed development at 6 Edna Street, Kingswood positively responds to the current and future character of the area, and will provide additional residential housing opportunities within close proximity to local services and amenities.

The proposal is highly compliant with the relevant planning controls and where minor variations to the prescribed standards/guidelines are sought, no perceivable environmental impacts arise from the variations.

12. Conclusion

The proposed development has been assessed in accordance with Section 4.15 of the EP&A Act 1979 and Council's planning instruments. The proposal is identified as a permissible development pursuant to the zoning of the site as R3 – Medium Density Residential under the Penrith LEP 2010.

The proposal is consistent with the regional strategies and local planning controls for the site. It has been designed having regard to the site characteristics and context of the locality and is considered, on balance, to be in the public interest. The physical appearance of the built form will contribute to the streetscape and complement the adjoining developments both current and envisaged upon the redevelopment of aged building stock. The delivery of twelve (12) boarding rooms within close proximity to employment opportunities, services and existing transport infrastructure is a sound planning outcome.

Accordingly, the proposal is considered to be in the public interest and should be approved.



Appendix A: Boarding House Plan of Management

6 Edna Street, Kingswood

29 October 2020

BMAURBAN

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- Attachment B: Accommodation Register
- Attachment C: Complaints Register

1. The Premises

This Plan of Management has been prepared for the '*Proprietor*' of the boarding house development at No. 6 Edna Street, Kingswood. This development provides twelve (12) self-contained boarding rooms, one (1) communal indoor room and designated common outdoor space. Parking on site is provided within a basement capable of accommodating six (6) vehicles, three (3) motorcycles and three (3) bicycle spaces.

The leasing agent is to implement and comply with the requirements of the Plan of Management, as well as all conditions of development consent that may be issued for the boarding house by Penrith City Council.

2. The Objectives of the Operational Plan of Management

- a) *To ensure the efficient and effective management of the premises.*
- b) *To ensure the safety of all residents of the boarding house.*
- c) *To provide a comfortable and harmonious residential environment for residents.*
- d) *To ensure that the premises is properly maintained and operates in a manner which maintains a high level of amenity.*
- e) *To ensure that there are no adverse impacts arising from the premises on any adjoining property or the neighbourhood.*

To achieve this, the following matters have been considered:

- General site management
- Amenity of occupants
- Amenity of adjoining neighbours
- House rules
- Fire safety of the property including Emergency Management and Evacuation
- Occupational Health and Safety
- Internal and external cleanliness and appearance, including communal areas and individual units
- Complaints register
- Cleanliness of the property and surrounding precinct

General Parameters for the Boarding House:

General Parameters for the Boarding House:

- Leasing Agent:**

- The common area is to be maintained by the leasing agent and is to be cleaned to a professional standard at least once a week. A third party contractor may be engaged to undertake these cleaning duties on behalf of the leasing agent.

- That wastes are properly contained within the bins within the waste area. All servicing is capable of being carried out on site which will be designated to a third party contractor.
- That any rubbish left around the site is properly disposed of. Appropriate signage will be installed around the premises to this effect.

On occasion, the leasing agent will outsource general cleaning/maintenance to third party contractors such as cleaners, gardeners etc.

d. Attending to any resident complaints:

- If residents, either within the development or from surrounding residents, have complaints or enquiries, the leasing agent will listen to and address those. If required, the leasing agent will liaise between boarders and surrounding residents.

e. Preparation of rooms for new residents:

- When a room becomes vacant, the leasing agent is to ensure that the room is cleaned and ensure that the fixtures, fittings and furniture are in good order and if otherwise, replace or repair items as required.

f. General maintenance:

- If minor repairs or replacement of items is required, such as replacing light bulbs in common areas and the like, the leasing agent is to attend to these. A small toolkit and general maintenance supplies will be provided and are to be kept in the communal facilities room.

3. Rental payments are to be organised through electronic means and paid directly to the nominated account of the owner/operator of the Boarding House.

4. The leasing agent must not discriminate against residents on grounds of their race, religious beliefs, ethnicity, gender, sexual orientation or age.

5. The leasing agent is to ensure the boarding rooms only ever occupy the approved number of lodgers in each of the rooms as outlined below:

Room Number	Type	Maximum No of Boarders
RM 1	Single	1
RM 2	Double	2
RM 3	Double	2
RM 4	Single	1
RM 5	Single	1
RM 6	Single	1
RM 7	Single	1
RM 8	Double	2
RM 9	Double	2
RM 10	Double	2
RM 11	Double	2
RM 12	Double	2

4. Administration

1. Any person who is to occupy a room in the boarding house is to sign either a Residential Tenancy or Occupancy Agreement. In terms of the Occupancy Agreement, this is based on the Standard Occupancy Agreement for General Boarding Houses under the NSW *Boarding Houses Act 2012* (refer to Attachment A). The leasing agent, or their delegate, is also required to sign the Agreement. **Note: Residents of the boarding house have the option of entering into either a Residential Tenancy Agreement or an Occupancy Agreement.**

2. Prior to entering into an Occupancy Agreement, the leasing agent is to provide the prospective boarder/s with a copy of the Occupancy Principles within Schedule 1 of the *Boarding Houses Act 2012* (N.B. This is provided at Annexure 1 of the Standard Occupancy Agreement at **Attachment A**).

3. The leasing agent is to provide a copy of the House Rules to all new residents at the time that they sign an Occupancy Agreement. The leasing agent is to advise the new resident/s that they must read and understand and abide by the resident obligations that are set out in the House Rules. The new resident/s must sign a statement to the effect that they understand and will abide by those resident obligations.

4. Prior to entering into an Occupancy Agreement, prospective residents are to be advised that they may potentially be evicted if they breach the resident obligations.

5. Prior to entering into an Occupancy Agreement, all prospective residents are to provide photographic identification ("ID") (typically a driver's license or a passport) to confirm their identity. The leasing agent is to enter the particulars of the ID (for example, the driver's license number or Passport number) in the Boarding House Accommodation Register (**Attachment B**).

6. Prior to entering into an Occupancy Agreement, all prospective residents are to provide the leasing agent with next of kin details for emergency purposes. Next of kin details are to be kept by the leasing agent for the entire duration of the lodgers stay.

7. Prior to entering into an Occupancy Agreement, the leasing agent is to confirm with a prospective resident that they are obligated to reside within the boarding room for a period of no less than three (3) months. Six (6) and twelve (12) month terms will be available.

8. Prior to entering into an Occupancy Agreement, the leasing agent is to advise prospective residents of the fees.

9. Upon execution of an Occupancy Agreement, the leasing agent is to enter the details of the new resident/s into the Boarding House Register (**Attachment B**), is to provide the resident/s with a copy of the signed Occupancy Agreement and is also to keep a copy of the signed Occupancy Agreement in a secure location.

10. Upon a resident ceasing to occupy a boarding room, the security deposit, less any deductions authorised by the *Boarding Houses Act 2012*, is to be paid to the resident within fourteen (14) days of the date upon which the resident ceases to occupy the boarding room.

Signage:

The following signage must be conspicuously installed and maintained at the premises:

1. The name and 24-hour contact number of the leasing agent or his/her representative must be displayed externally at the front of the premises, as well as in the near vicinity of the lift and stairwell at ground floor level.
2. 'No Smoking' or 'Smoke Free Premises' signage is to be displayed in all common areas of the premises.
3. The House Rules shall be displayed in the common area of the premises.
4. The minimum length of stay of any guest shall be displayed in public view outside the premises.
5. A schedule showing the numerical designation of each boarding room and the maximum number of persons permitted to be accommodated in each room must be displayed in the near vicinity of the lift and stairwell at ground floor level.
6. Emergency contact numbers.
7. A copy of the annual fire safety statement.
8. Information on local social services.

Noise/Light Management Measures:

1. Access to the indoor and outdoor communal areas is only permitted between the hours of 7:00am and 10:00pm.
2. Amplified music is only permitted between the hours of 8am and 8pm.
3. External building lights will be provided in accordance with the requirements of the BCA.

Off Street Parking:

1. Vehicles, motorcycles and bicycles and motorcycles are to be parked in the allocated areas. These spaces are to be allocated in accordance with the occupancy agreement.
2. Lodgers may only use the accessible parking space if there are no Lodgers residing in the accessible rooms in the property that have a requirement for the use of the accessible parking space.

If an accessible room is being used by a person who does not require same and a person who requires an accessible room make an application to use same then the leasing agent must do either of the following:

- a. move the lodger out of the accessible room as soon as practically possible to make it available to a lodger who needs an accessible room; or
 - b. if no other rooms are available for the existing lodger, give them notice of at least 2 weeks but not more than 4 weeks to depart the room.
3. An additional boarding fee will be incurred if a car parking space is being sought.

If a lodger or lodgers are found to have not complied with this house rule on more than one occasion, the Owner will require them to leave the property.

4. Car parking spaces made available within the development will not be sub-let to non-building residents.

5. The building's occupants will not be entitled to participate in Council's Resident Parking Scheme.

General Cleanliness, Hygiene and Waste Management:

1. The leasing agent is to regularly inspect the premises and organise for daily cleaning of the common areas. All garbage receptacles in common areas are to be emptied daily. The leasing agent or delegated third party will be responsible for the transfer of bins from the designated waste room to the street on collection day and their subsequent return directly after.

2. Pest control inspections are to be carried out on a yearly basis as a minimum.

3. The waste and recycling bin storage area shall be kept in a clean and tidy manner. This area shall be thoroughly cleaned by the leasing agent or third party delegate on a weekly basis.

4. A minimum bi-weekly collection of waste and recycling is to be carried out by the nominated waste contractor. Specialised waste removal contractors will be employed for the removal of sensitive wastes including but not limited to sanitary napkins and sharps.

5. A 'No Smoking' Policy inside all boarding rooms and the communal room will be applied on the premises.

6. All boarding rooms accommodate laundry and drying facilities. Residents will be responsible for the cleaning of personal items and clothing.

7. Lodgers are to ensure that common areas are maintained in a clean state after their use.

8. A third party delegate will be engaged for the ongoing services related to gardening and pruning of site vegetation. This delegate will be required to undertake works on a monthly basis.

9. It is the responsibility of all boarders, guests and or third party delegates responsible for the upkeep of the premises to ensure that the leasing agent is immediately made aware of any identified vermin or pests.

10. A third party delegate will be engaged for services related to the ongoing external building clean (quarterly) and graffiti removal (as required).

Security:

1. Residents must make sure that their guests are aware of, and abide by, the House Rules.

2. The leasing agent must not enter residents' rooms other than as allowed under the Act.

3. Security cameras are permitted to be installed in the common areas. This information will be stored on a central database, held for fourteen (14) days. This information will be immediately provided to NSW Police upon request.

4. An emergency evacuation plan prepared by a competent person shall be prepared and that emergency evacuation plan shall be displayed in each boarding room and in the common area.
5. All material installed in the fit-out and furnishing of the rooms shall be of a type that resists the spread of fire and limits the generation of smoke.
6. An Annual Fire Safety Statement is to be submitted to Council and the Commissioner of the NSW Fire Brigade. A copy of the Annual Fire Safety Statement is to be displayed in the common area. The premises shall, at all times, comply with the fire safety provisions of the NSW *Environmental Planning and Assessment Regulation 2000*.
7. A list of emergency telephone numbers (plumbers, electricians, police, fire, ambulance) is to be provided within each boarding room.
8. Annual certification of fire safety equipment is to be carried out by a suitably qualified person/persons employed by the owner/operator of the boarding house.
9. All doors to the boarding rooms and the external doors to the boarding house shall be lockable. The doors to the boarding house shall be self-closing and will be locked from the outside but will be openable from within the boarding house without the need for a key. All doors to the boarding rooms shall be self-closing and lockable, but openable from the inside without the need for a key.

Review of Plan of Management, Noise Management Procedures or House Rules:

If in circumstances where experience shows that it is reasonable or desirable to modify any provision of this Plan for the better management of the premises, submission of a formal amendment to the DA approval will be submitted with Penrith City Council.

5. Monitoring/Complaints

To ensure that all complaints are appropriately recorded and acted upon, a Complaint Monitoring System has been established as part of this Plan.

A copy of the Operational Plan of Management is to be made available for inspection by any person who makes a request to the leasing agent to view the document. In the case where a lodger/resident or land owner/occupier adjacent to the premises believes that they have cause to make a complaint, it may be made to the leasing agent by one of the following means:

- Telephone
- Mobile Phone
- Email
- Facsimile
- Mail

The leasing agent is to take all necessary and timely action to rectify the matter and is to notify the complainant of the action taken to rectify the problem. To assist in the investigation of the potential problem, it is suggested that the following information be provided to the leasing agent:

The House Rules are as follows:

Part 1 - Resident and guest behaviour:

1. Only the residents who have signed an Agreement shall occupy a boarding house room. Guests are welcome to visit; however, they are not invited to occupy the premises overnight. Any guest visitation needs to receive prior approval from the leasing agent.
2. All visitors of residents are to leave the premises by 10pm nightly and while attending the premises, must strictly adhere to the House Rules. Visitors are not permitted to make use of any available parking, motorcycle and or bicycle spaces as these are allocated for the sole use by the boarders.
3. Residents and their guests must not interfere with the reasonable peace, comfort and privacy of other residents. From 10pm, expectations of reduced noise levels are heightened. Accordingly, music, television and the like is to be lowered in volume so that it is not audible from outside the room. If a neighbouring resident/s complains that the noise is audible from their rooms, the noise generating activity is to be ceased.
4. The possession of and/or use of illegal drugs on the premises is prohibited. The possession and/or usage of illegal drugs will lead to eviction and police reporting and prosecution.
5. Residents must act in a responsible and considerate manner at all times. The consumption of alcohol in common areas is not permitted. Drunken behaviour may result in eviction.
6. The premises is Smoke-free and as such, smoking is not permitted inside the rooms or in any communal recreation or common areas and any open space of the building.
7. No parties are permitted on the premises.
8. All activities within the building (including music) are to be confined such that maintained at levels considered appropriate for a residential setting. Amplified music within the premises is only permitted between the hours of 8am and 8pm.
9. Anti-social behaviour is unacceptable. This includes threatening or demeaning any person within the building. Residents may not make comments to one another that are of a derogatory nature, on the basis of the other person's appearance, race, gender, sexual orientation, religion or ethnicity. Damage to any property, graffiti, theft of any property, physical or sexual harassment, or loud and rowdy noise can result in eviction and police intervention.
10. Residents are not permitted to walk around the premises in any state of undress and are to be respectful of other cultures.
11. Residents are to contain their general rubbish within a liner within the bins provided. When full or as required, the liners are to be tied and disposed of in the communal waste receptacles. Residents are to contain recycling, including recyclable containers and clean paper, within the communal recycling receptacles provided.
12. Lodgers may only use the accessible parking space if there are no Lodgers residing in the accessible rooms in the Property that have a requirement for the use of the accessible parking space. If a lodger or lodgers are found to have not complied with this house rule on more than one occasion, the Owner will require them to leave the property.

13. Residents will not be entitled to participate in Council's Resident Parking Scheme.

Part 2 - Maintenance of rooms:

1. Residents must maintain their rooms in a way that does not interfere with the reasonable comfort of other residents, and in a way that does not create a fire or health hazard. Residents must not intentionally or recklessly damage, destroy or remove any part of their rooms or any facility/fixture in their rooms.
2. Residents are to keep their rooms' clean and tidy at all times. Kitchenettes and bathrooms are to be kept in a hygienic condition and floors are to be vacuumed regularly to avoid an excessive accumulation of dust.
3. Burning of candles/incense is not permitted.
4. In the event that any resident or their visitors causes willful damage to any area, fixture, fitting or furniture in the premises, the cost of repair or replacement will be met by that person, including any damage created in common areas.
5. Residents are responsible for the security of their money and other valuables all times and the leasing agent will not be responsible for any theft of personal property, or for any loss suffered by any resident or visitor.

Part 3 - Common areas:

1. Common areas are to be available to be shared by all residents and their guests at all times. Residents are to ensure that they and their guests leave common areas neat, clean and tidy after using them.
2. Residents are not to store personal items/goods in common areas of the site and must ensure that common areas are maintained in a clean state.
3. Any damages or required repairs to common areas must be promptly reported to the leasing agent.
4. Access to the indoor and outdoor communal areas is only permitted between the hours of 7:00am and 10:00pm.

Part 4 - Animals:

1. No animals or pets are allowed anywhere within the premises.

Attachment A Standard Occupancy Agreement

STANDARD OCCUPANCY AGREEMENT For general boarding houses under the *Boarding Houses Act 2012*

Between

Proprietor

Resident

For

Room

Address

The resident's room is: unfurnished ☐ furnished ☐ (if furnished, an inventory can be attached)

Other areas of the premises which are available for use by the resident

Kitchen/s ☐ Bathroom/s ☐ Common room ☐ Laundry ☐

Other _____

Term of Contract

Commencement Date	Term of agreement (if any)	Occupancy Fee	To be paid
		\$ _____ per week/month/year	

Proprietor's Contact Details

AGREEMENT TERMS

1. Condition of the Premises (refer to occupancy principle 1 – see Annexure 1)

The proprietor agrees to provide and maintain the premises so that they are in a reasonable state of repair, are reasonably clean and reasonably secure.

2. House Rules (refer to occupancy principle 2)

The resident agrees to comply with the House Rules of the boarding house, which are listed on the attached "Statement of House Rules." House rules may not be inconsistent with the Occupancy Principles stated in Annexure 1, and are not enforceable if they are inconsistent.

3. No Penalties (refer to occupancy principle 3)

The resident is not required to pay a penalty for a breach of this Occupancy Agreement or the House Rules.

4. Quiet Enjoyment (refer to occupancy principle 4)

The proprietor agrees to take all reasonable steps to enable the resident's quiet enjoyment of the premises.

5. Inspections and Access (refer to occupancy principle 5)

The proprietor may inspect boarding house common areas at any reasonable time. Repairs, cleaning and maintenance of common areas can be carried out at reasonable times.

The proprietor may only enter the resident's room, at a reasonable time, with reasonable notice and on reasonable grounds. Agreed access and notice periods are set out below. If the third column is left blank, the suggested notice periods set out in the second column will apply.

Reason for Termination by Proprietor	<i>Suggested Notice Period</i> <i>examples of reasonable notice</i> <i>periods - this notice period applies if</i> <i>the next column is left blank</i>	Notice to be given under this occupancy agreement <i>(if different)</i>
Violence or threats of violence towards anyone living, working or visiting the premises	<i>Immediate</i>	<i>Immediate*</i>
Wilfully causing damage to the premises, or using the premises for an illegal purpose	<i>1 day</i>	
Continued and serious breach of this Agreement or the house rules, following a written warning	<i>3 days</i>	
Continued minor breach of this Agreement or the house rules, following a written warning	<i>1 week</i>	
Non-payment of the occupation fee	<i>2 weeks</i>	
Any other reason, including vacant possession required and "no grounds" termination	<i>4 weeks</i>	

***Immediate termination is likely to be necessary in this situation in order to protect other residents and employees.**

Reason for Termination by Resident	<i>Suggested Notice Period</i> <i>examples of reasonable notice</i> <i>periods - this notice period applies if</i> <i>the next column is left blank</i>	Notice to be given under this occupancy agreement <i>(if different)</i>
Serious breach of Agreement by proprietor	<i>1 day</i>	
Minor breach of agreement by proprietor	<i>1 week</i>	
No grounds/Any other reason	<i>1 week</i>	

12. Use of the Premises

The resident agrees not to wilfully or negligently cause damage to the premises or to use the premises for an illegal purpose and to respect other residents' rights to quiet enjoyment of the premises.

NOTE: Any term of this Agreement is not enforceable if it is inconsistent with the Occupancy Principles set out in Schedule 1 of the *Boarding Houses Act 2012*. The Occupancy Principles are attached at Annexure 1.

Signed: _____

(Proprietor)

Signed: _____

(Resident)

Date: _____

Date: _____

OPTIONAL INFORMATION

The resident may provide contact details to be used in an emergency

PERSONAL PHONE No/s: _____

EMERGENCY CONTACT PERSON

NAME: _____ RELATIONSHIP: _____

PHONE and/or ADDRESS: _____

Annexure 1

Occupancy principles

NB: These principles are contained in Schedule 1 of the *Boarding Houses Act 2012* and apply to residents of NSW boarding houses which are covered by this Act.

1. State of premises

A resident is entitled to live in premises that are:

- (a) reasonably clean, and
- (b) in a reasonable state of repair, and
- (c) reasonably secure.

2. Rules of registrable boarding house

A resident is entitled to know the rules of the registrable boarding house before moving into the boarding house.

3. Penalties for breaches of agreement or house rules prohibited

A resident may not be required to pay a penalty for a breach of the occupancy agreement or the rules of the registrable boarding house.

4. Quiet enjoyment of premises

A resident is entitled to quiet enjoyment of the premises.

5. Inspections and repairs

A proprietor is entitled to enter the premises at a reasonable time on reasonable grounds to carry out inspections or repairs and for other reasonable purposes.

6. Notice of increase of occupancy fee

A resident is entitled to 4 weeks written notice before the proprietor increases the occupancy fee.

7. Utility charges

(1) The proprietor is entitled to charge a resident an additional amount for the use of a utility if:

- (a) the resident has been notified before or at the time of entering the occupancy agreement of the use of utilities in respect of which the resident will be charged, and
- (b) the amount charged is based on the cost to the proprietor of providing the utility and a reasonable measure or estimate of the resident's use of that utility.

(2) A utility for the purposes of this clause is each of the following:

- (a) the supply of electricity,
- (b) the supply of gas,
- (c) the supply of oil,
- (d) the supply of water,
- (e) the supply of any other service prescribed by the regulations.

8. Payment of security deposits

(1) The proprietor may require and receive a security deposit from the resident or the resident's authorised representative only if:

- (a) the amount of the deposit does not exceed 2 weeks of occupancy fee under the occupancy agreement, and
- (b) the amount is payable on or after the day on which the resident (or the resident's authorised representative) enters the agreement.

(2) Within 14 days after the end of the occupancy agreement, the proprietor must repay to the resident (or the resident's authorised representative) the amount of the security deposit less the amount necessary to cover

the following:

- (a) the reasonable cost of repairs to, or the restoration of, the registrable boarding house or goods within the premises of the boarding house, as a result of damage (other than fair wear and tear) caused by the resident or an invitee of the resident,
- (b) any occupation fees or other charges owing and payable under the occupancy agreement or this Act,
- (c) the reasonable cost of cleaning any part of the premises occupied by the resident not left reasonably clean by the resident, having regard to the condition of that part of the premises at the commencement of the occupancy,
- (d) the reasonable cost of replacing locks or other security devices altered, removed or added by the resident without the consent of the proprietor,
- (e) any other amounts prescribed by the regulations.

(3) The proprietor may retain the whole of the security deposit after the end of the occupancy agreement if the costs, fees or charges referred to in subclause (2) (a)–(e) are equal to, or exceed, the amount of the security deposit.

(4) In this clause:

security deposit means an amount of money (however described) paid or payable by the resident of a registrable boarding house or another person as security against:

- (a) any failure by the resident to comply with the terms of an occupancy agreement, or
- (b) any damage to the boarding house caused by the resident or an invitee of the resident, or
- (c) any other matter or thing prescribed by the regulations.

9. Information about occupancy termination

A resident is entitled to know why and how the occupancy may be terminated, including how much notice will be given before eviction.

10. Notice of eviction

(1) A resident must not be evicted without reasonable written notice.

(2) In determining what is reasonable notice, the proprietor may take into account the safety of other residents, the proprietor and the manager of the registrable boarding house.

(3) Subclause (2) does not limit the circumstances that are relevant to the determination of what is reasonable notice.

11. Use of alternative dispute resolution

A proprietor and resident should try to resolve disputes using reasonable dispute resolution processes.

12. Provision of written receipts

A resident must be given a written receipt for any money paid to the proprietor or a person on behalf of the proprietor.

SCHEDULE OF ADDITIONAL CHARGES			
ITEM	AMOUNT	WHEN DUE TO BE PAID	HOW CALCULATED

NOTE:

- This schedule is only for use if there are fees or charges in addition to the occupancy fee.
- This schedule forms part of the Occupancy Agreement when signed and dated by both parties.
- A receipt is to be provided to the resident for all payments of additional fees or charges made by the resident, within a reasonable time after the payment is received.
- Charges for utilities must comply with Occupancy Principle 7.

Signed: _____
(Proprietor)

Signed: _____
(Resident)

Date: _____

Date: _____

- This schedule is only for use if there are fees or charges in addition to the occupancy fee.
- This schedule forms part of the Occupancy Agreement when signed and dated by both parties.
- A receipt is to be provided to the resident for all payments of additional fees or charges made by the resident, within a reasonable time after the payment is received.
- Charges for utilities must comply with Occupancy Principle 7.

Signed: _____
(Resident)

Date: _____

Attachment B: Accommodation Register

[illegible]

Attachment C: Complaints Register

COMPLAINT FORM					
Date:		Received by (circle):	Phone	Written	In Person
Time:					
Complainants' Details					
Name:					
Address:					
Telephone Numbers:	Home:		Work:		
	Email:				
COMPLAINT DETAILS					
Description of the complaint, time and date, including identification of person responsible, if possible.					
COMPLAINT INVESTIGATION					
Identify the resident responsible for the complaint and provide feedback from the resident responsible.					
RESOLUTION					
Complaint received by:			Date:		
Further Action:					

6 EDNA STREET, KINGSWOOD
PROPOSED NEW AGE BOARDING HOUSE

**TRAFFIC & PARKING
IMPACT ASSESSMENT**

OCTOBER 2020

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2 EXISTING SITE DESCRIPTION

➤ Site Location

The site is located on the southern side of Edna Street at property No. 6 (legally known as Lot 53 of DP241989), at its corner with Edith Street within the suburb of Kingswood. The site has a primary frontage of approximately 20.2 metres to Edna Street from the north and a secondary frontage of approximately 23.3 metres to Edith Street from the west. Refer to Figure 1 for a site locality map.

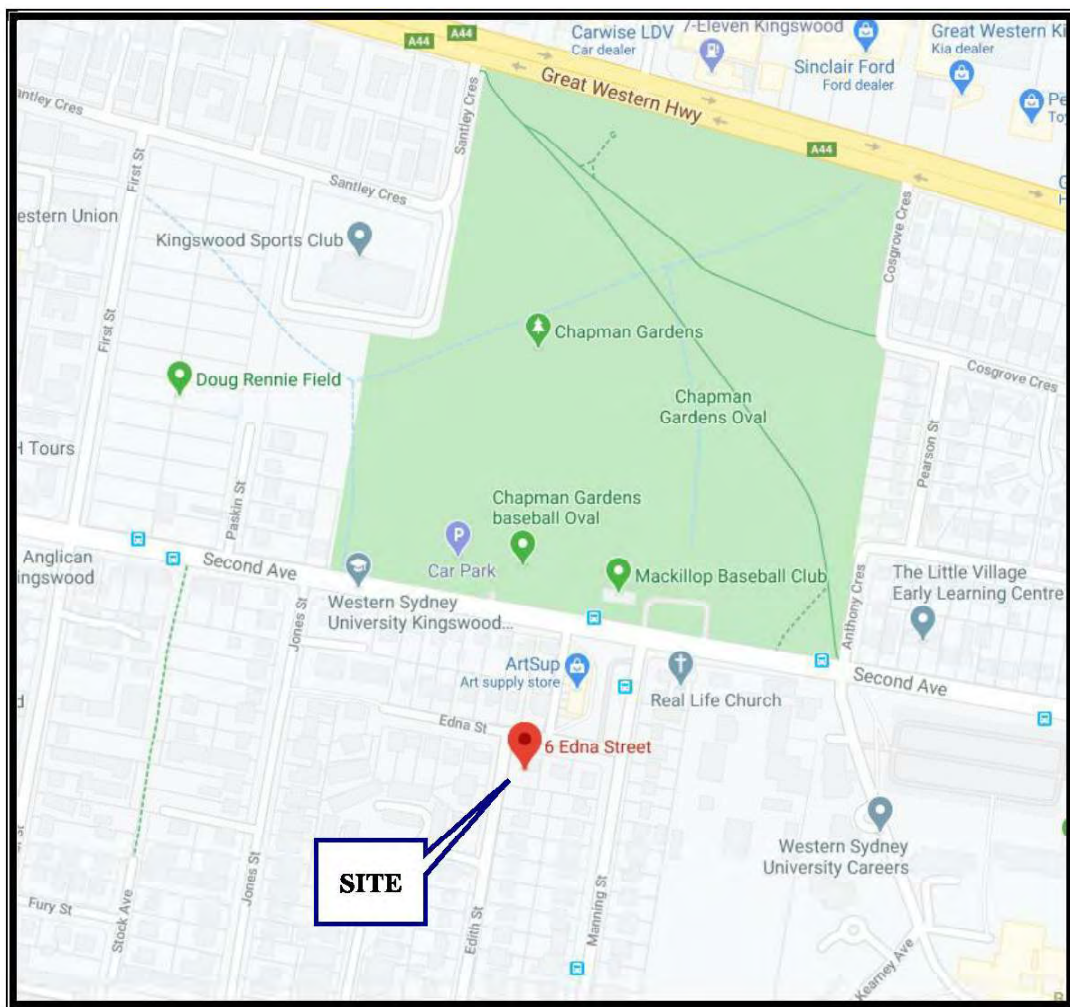


Figure 1: Site Locality Map

➤ **Existing Site & Surrounding Land Use**

The subject site has an area of 632.3m² and is currently occupied by a single residential dwelling. It is located in a mainly residential area, characterised by single dwellings, and is in close proximity to some retail and commercial sites and Kingswood Public School. The site is also located 1.4 kilometres from Kingswood Railway Station.



Photo 1: The frontage of the subject site to Edna Street

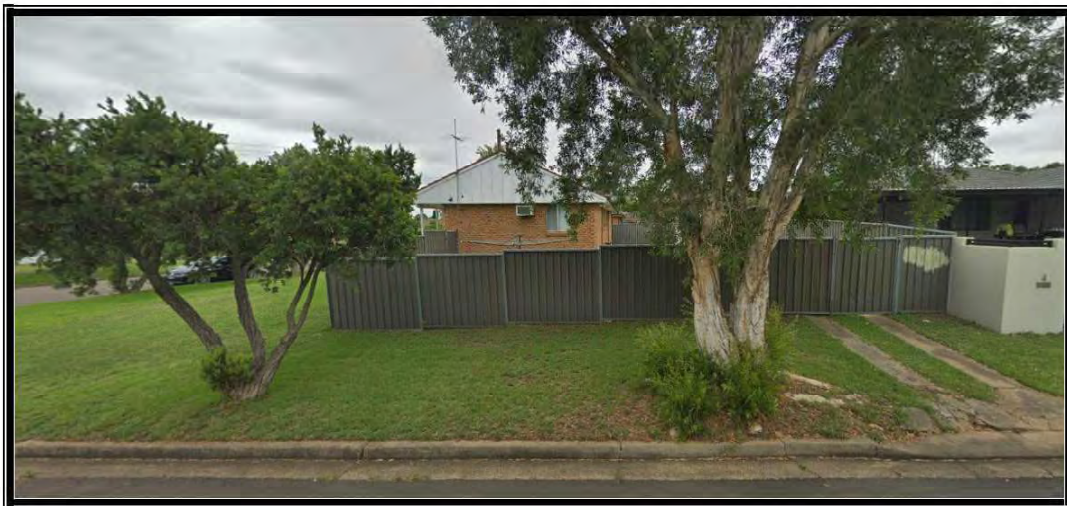


Photo 2: The frontage of the subject site to Edith Street

3 EXISTING TRAFFIC CONDITIONS

3.1 Road Network and Classification

Edna Street is a local road that runs in an east to west direction, between Manning Street (local road) to the east and its Cul-de-sac to the west. It intersects with a number of local roads in the vicinity of the subject site including Edith Street (local road) and Callow Lane (local road).

3.2 Road Description and Traffic Control

Edna Street has a two-way undivided carriageway with a width between kerbs of approximately 9 metres. This carriageway generally provides one travel lane per direction, plus a kerbside parking lane on both sides of the road. At present, unrestricted parking is permitted on both sides of Edna Street including the frontage of the subject site.

The legal speed limit on Edna Street is at 50km/h. Edna Street intersects with Edith Street and Callow Lane near the subject site, where both intersections are controlled by a T-priority, giving priority to traffic travelling along Edna Street.



Figure 2: Aerial photo of the subject site



Edith Street has a two-way undivided carriageway, with a width between kerbs of approximately 9 metres. This carriageway generally provides one travel lane per direction, plus a parallel kerbside parking lane on both sides of the road. At present, unrestricted parking is permitted on both sides of Edith Street including the frontage of the subject site. The legal speed limit on Edith Street is at 50km/hr.



Photo 5: Edith Street near the subject site - facing north



Photo 6: Edith Street near the subject site - facing south

The current traffic flows on Edna and Edith Streets are considered to be low and appropriate for local roads in a mainly residential area, where traffic is free flowing without any major queuing or delays in peak hours, with spare capacity.

3.3 Public Transportation Services

The subject site has good access to existing public transport services in the form of trains and buses.

Train Services

The site is located approximately 1.4 kilometres from Kingswood Railway Station (17 minutes walking distance).

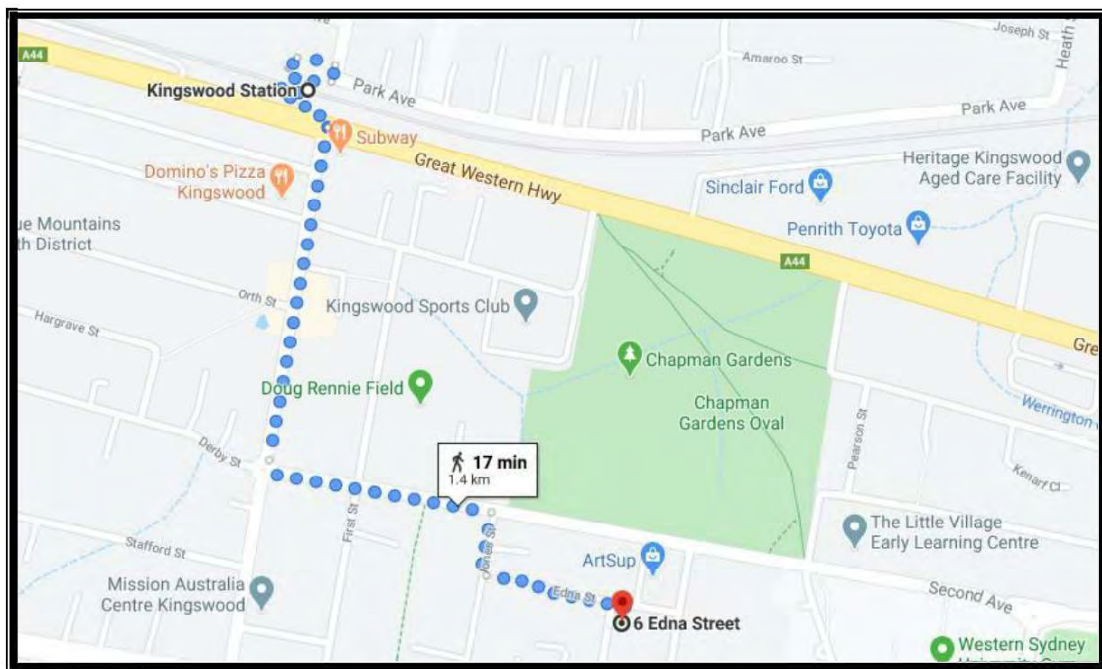


Figure 3: Kingswood Railway Station located 1.4 kilometres from the subject site (Source: Google Maps)

Bus Services

Regular bus services operate along Manning Street, Jamison Road and Angophora Avenue in close proximity to the subject site (i.e. bus route 770 Mount Druitt to Penrith via St Marys), with nearby bus stops.

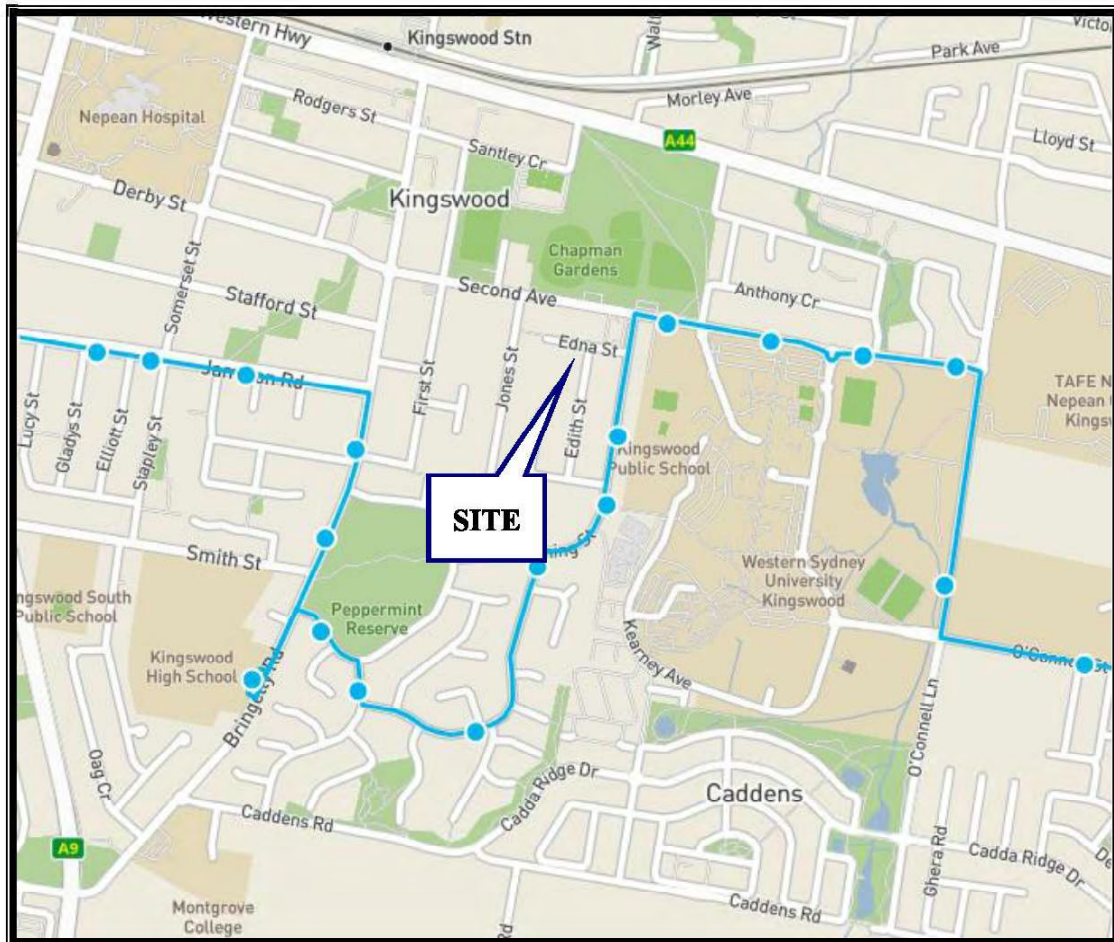


Figure 4: Bus services near the subject site (Bus no. 770) - Source: TransportNSW

4 PROPOSED DEVELOPMENT

4.1 Description of the proposal

The proposed development is for the demolition of the existing residential dwelling located at 6 Edna Street, Kingswood and the construction of a new age boarding house with on-site parking in basement level.

The proposed development will include the following:

- A new age boarding house containing twelve (12) self-contained boarding rooms, with 11 rooms allocated for the use of residents (including 2 adaptable rooms) and 1 room allocated for the boarding house manager.
- A total of six (6) on-site car parking spaces allocated for residents (including 1 accessible car space with an adjacent shared area), in addition to 3 motorcycle spaces and 3 bicycle storage spaces, in basement level.

Refer to **Appendix 'A'** for the proposed development plans.

4.2 Vehicular & Pedestrian Access

The vehicular access to and from the off-street basement car parking level will be via a new access driveway in Edith Street near the south-western corner of the site. The access driveway is 5.5 metres in width, which is adequate for a low volume Category 1 access driveway in accordance with AS2890.1:2004 – Table 3.2. The access driveway is to provide two-way vehicular movements, where two vehicles can pass each other at the same time without causing delays or congestion to traffic on the street. The proposed access driveway is located more than 6 metres from the tangent point of the adjacent kerblines, in accordance with Figure 3.1 of AS2890.1:2004.

The clear sight line triangle (2.5m x 2m) between the driver's eye view and pedestrians is provided on the exit side of the driveway, as per Figure 3.3 of AS2890.1:2004.

The existing vehicular crossing located at the site fronting Edith Street is to be made redundant and replaced with new kerb, gutter and footpath, to be constructed to Council specifications.

Vehicular access is to be located and constructed in accordance with the requirements of AS2890.1:2004, where vehicles enter and exit the site in a forward direction at all times.

A separate pedestrian access gate is also provided at the front of the site in Edna and Edith Streets, to segregate pedestrians and vehicles and improve safety within the site.

4.3 On-site Parking Provision

The State Environmental Planning Policy (Affordable Rental Housing) ARHSEPP 2009 requires car parking to be provided at a rate of 0.5 parking spaces for each boarding room for a development in an accessible area. The subject site is located in an accessible area as it is situated less than 800 metres walking distance of a bus stop on a bus route. The SEPP also requires parking for motorcycles and bicycles to be provided at a rate of 1 per 5 rooms.

Therefore, according to the SEPP, the proposed boarding house for 12 rooms is to provide 6 car parking spaces, 3 motorcycle spaces and 3 bicycle spaces.

The proposed development provides for a total of six (6) on-site car parking spaces allocated for residents (including 1 accessible car space with an adjacent shared area), in addition to 3 motorcycle spaces and 3 bicycle storage spaces, in basement level.

Therefore, the off-street parking provided is considered to be adequate for the proposed development and in compliance with the ARHSEPP requirements.

It should also be noted that the subject site is well served by public transport services in the form of regular bus routes.

Waste Collection

All waste storage is to take place within the dedicated garbage storage area located on ground level. Waste Bins will be transported by the building manager to the street for collection on waste collection day.

4.4 On-site Parking Layout and Circulation

The layout of the on-site car parking area and manoeuvring arrangements has been designed to enhance vehicular and pedestrian access, where vehicles enter and exit the site in a forward direction safely, through the provision of adequate internal aisle width and turning space.

AS2890.1:2004 Parking facilities Part 1: Off-street car parking requires a minimum parking space width of 2.4 meters (for all day residential parking) and a minimum length of 5.4 meters. The off-street car parking spaces have a width of 2.4 metres and a length of 5.4 meters each, which is adequate.

The accessible car parking space has a width of 2.4 metres, in addition to an adjacent 2.4 metres wide shared/no parking area with a bollard, which is adequate in accordance with AS2890.6:2009.

An extension at the blind aisle has been provided beyond the last parking space in accordance with Clause 2.4.2 (c) of AS2890.1:2004.

Car parking spaces adjacent to walls or obstructions have been made wider than the minimum width, to accommodate full door opening in accordance with Clause 2.4.2 (d) of AS2890.1:2004.

Clause 2.4.2 of AS2890.1:2004 requires a minimum aisle width of 6.1 metres for two-way, one-sided parking aisles, adjacent to 90° angle parking. The proposed aisle within the basement level has a width of 6.1 metres, which is adequate for two-way traffic and manoeuvring into and out of parking spaces.

The vehicular ramp to the basement level has a clear width of 5.5 metres which narrows down to 4 metres, in addition to a 300mm kerb on the southern side. It has a maximum grade of 1:4 (25%) with a change of grade of 1:8 (12.5%) for 2 metres at either end of the ramp, which is adequate.

It will provide for two-way traffic (one-way movement at any one time), where a traffic control signal system (red / green lights) with associated waiting bay and motion sensors/cameras will be installed at either end of the ramp, to manage two-way traffic flow of vehicles into and out of the basement level.

Therefore, the car parking layout and circulation are adequate in accordance with AS2890.1:2004 and AS2890.6:2009, where vehicles are to enter and exit the site in a forward direction at all times.

6 EXTERNAL TRAFFIC IMPACT

An indication of the potential traffic generation of the proposed development is provided by the *RMS Guide to Traffic Generating Development - 2002*.

The Guide specifies the following traffic generation rates for medium density residential developments:

- 0.4 – 0.5 weekday peak hour vehicle trips; and
- 4 - 5 daily vehicle trips

Therefore, the proposed development with twelve (12) boarding rooms has an estimated traffic generation as follows:

- 5 to 6 morning peak hour vehicle trips (In and Out).
- 48 to 60 daily vehicle trips (In and Out)

The estimated traffic generation from the proposed development is considered to be of low impact on existing flows on Edna Street, Edith Street and surrounding streets. The traffic generated by the proposed boarding house development can be readily accommodated within the existing road network.

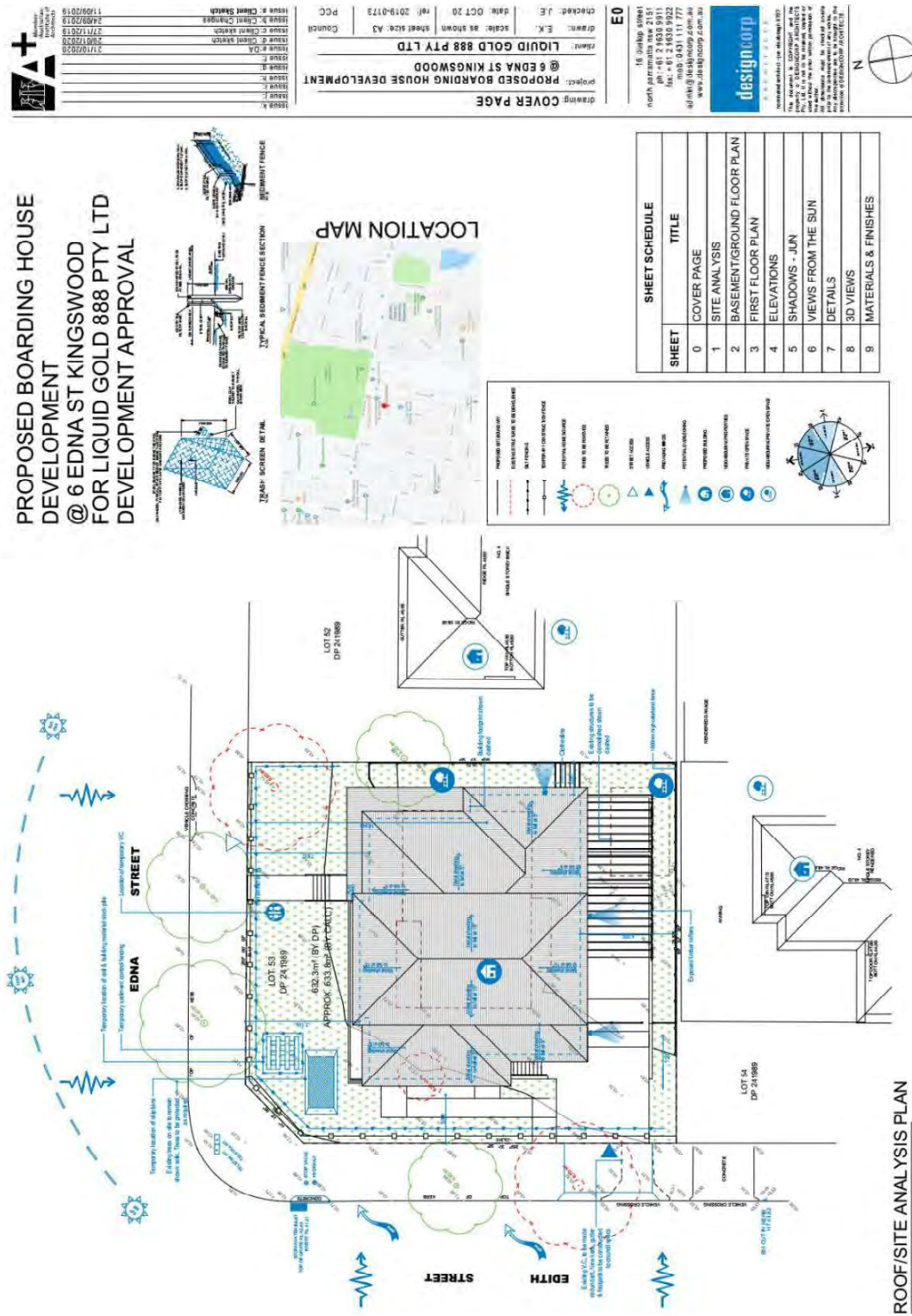
The potential increase in the number of vehicle movements in and about Edna Street and adjacent streets is minor and will not have adverse impacts on the amenity of the area.

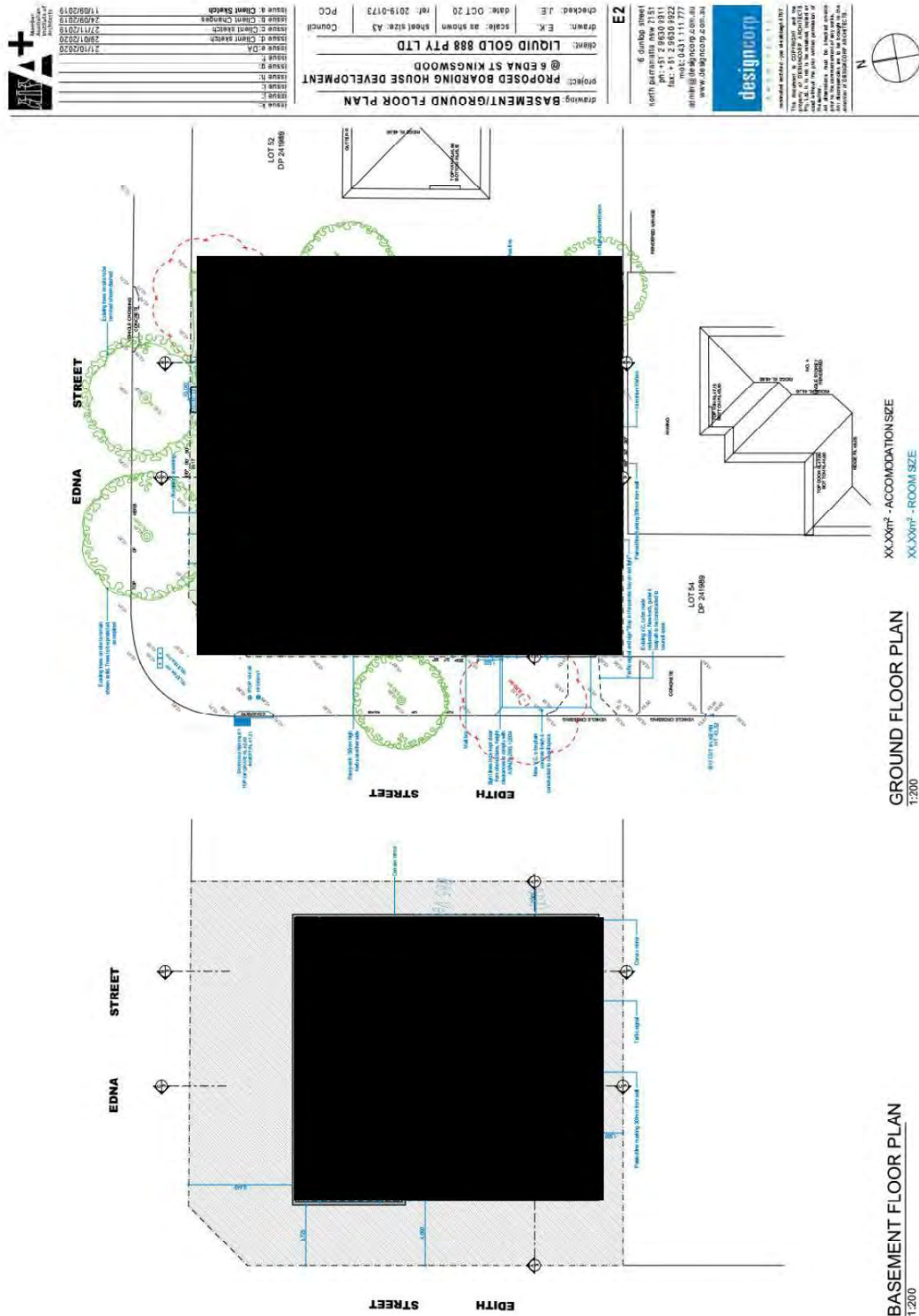
7 CONCLUSION

It can be concluded from the traffic and parking impact assessment that the proposed boarding house development at 6 Edna Street, Kingswood will not have adverse impacts on existing traffic or parking conditions and is worthy of Council's support in its current form.

- The current traffic flows on Edna and Edith Streets are considered to be low and appropriate for local roads in a mainly residential area, with free-flowing traffic without major queuing or delay in peak traffic periods, with spare capacity.
- The estimated traffic generation is of low impact on existing flows on Edna Street, Edith Street and the surrounding road network. The traffic generated by the proposed boarding house development can be readily accommodated within the existing road network.
- The potential increase in the number of vehicle movements in and about Edna Street and adjacent streets will not have adverse impacts on the amenity of the area.
- The parking demand resulting from the proposed boarding house development can be easily accommodated within the proposed adequate off-street car, motorcycle and bicycle parking, which is in compliance with ARHSEPP 2009 requirements.
- The subject site has good access to existing public transport services in the form of regular train and bus services.
- The proposed development will not have adverse impacts on parking in the surrounding area.

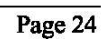
Appendix A – Proposed Development Plans

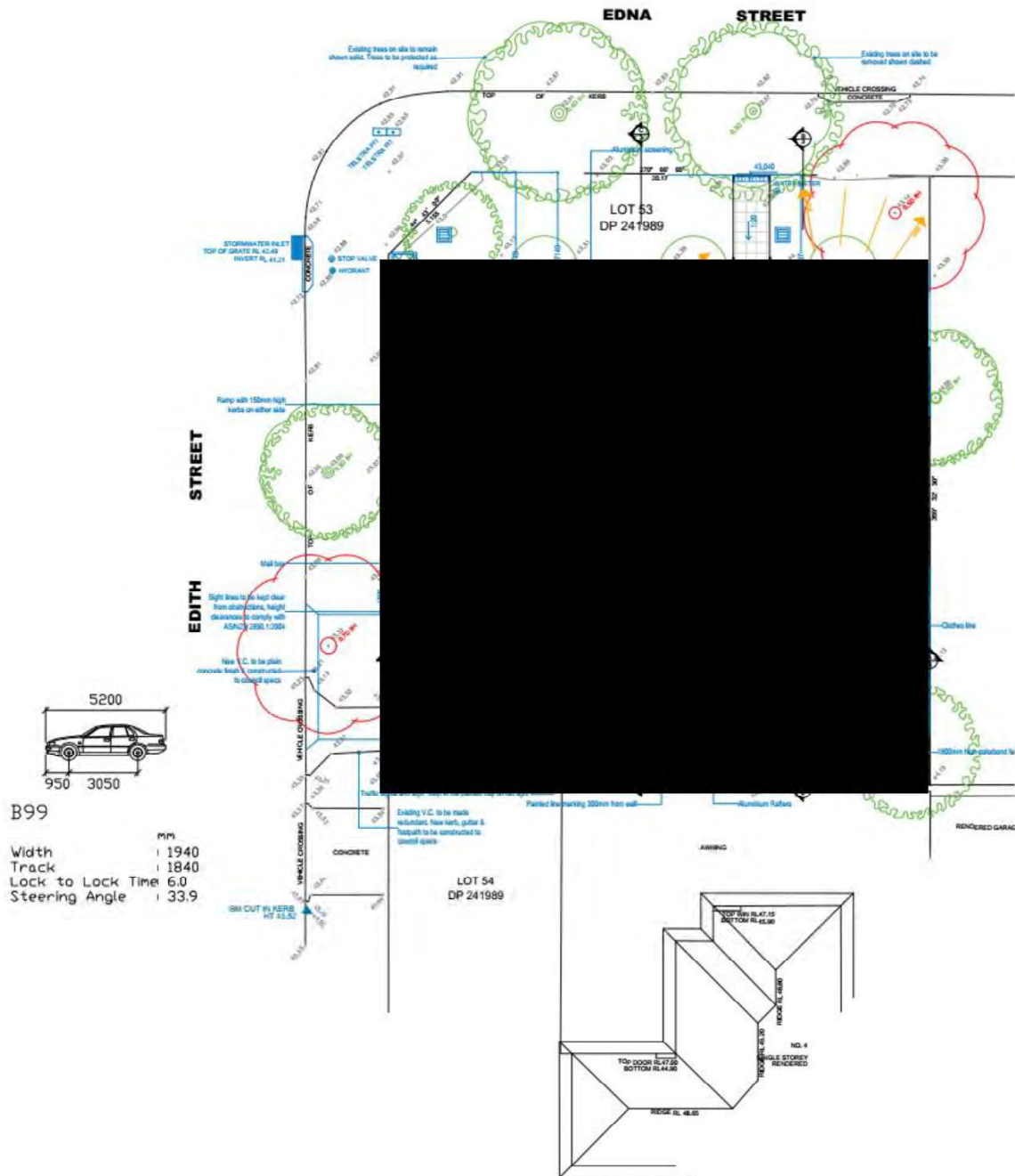


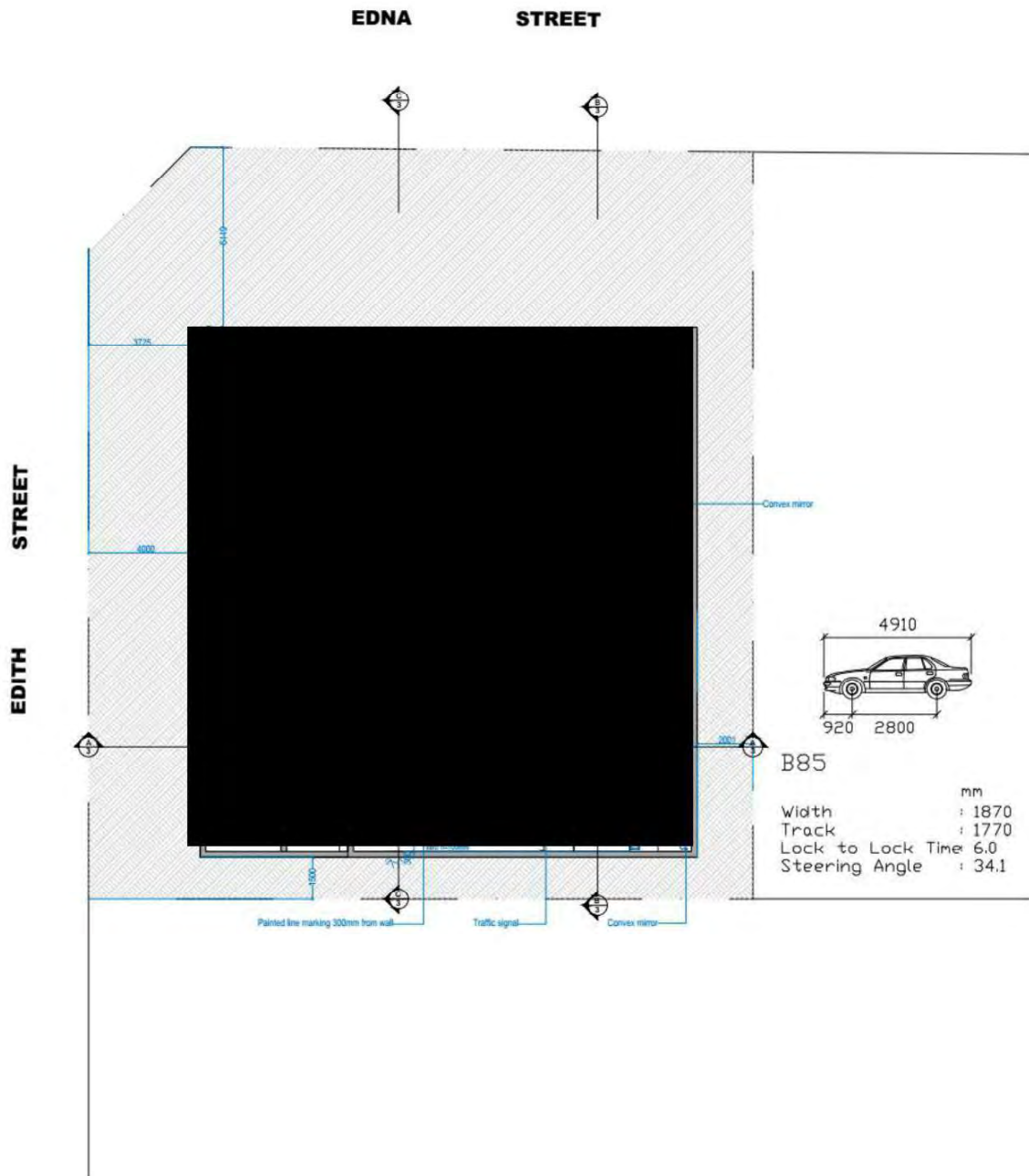


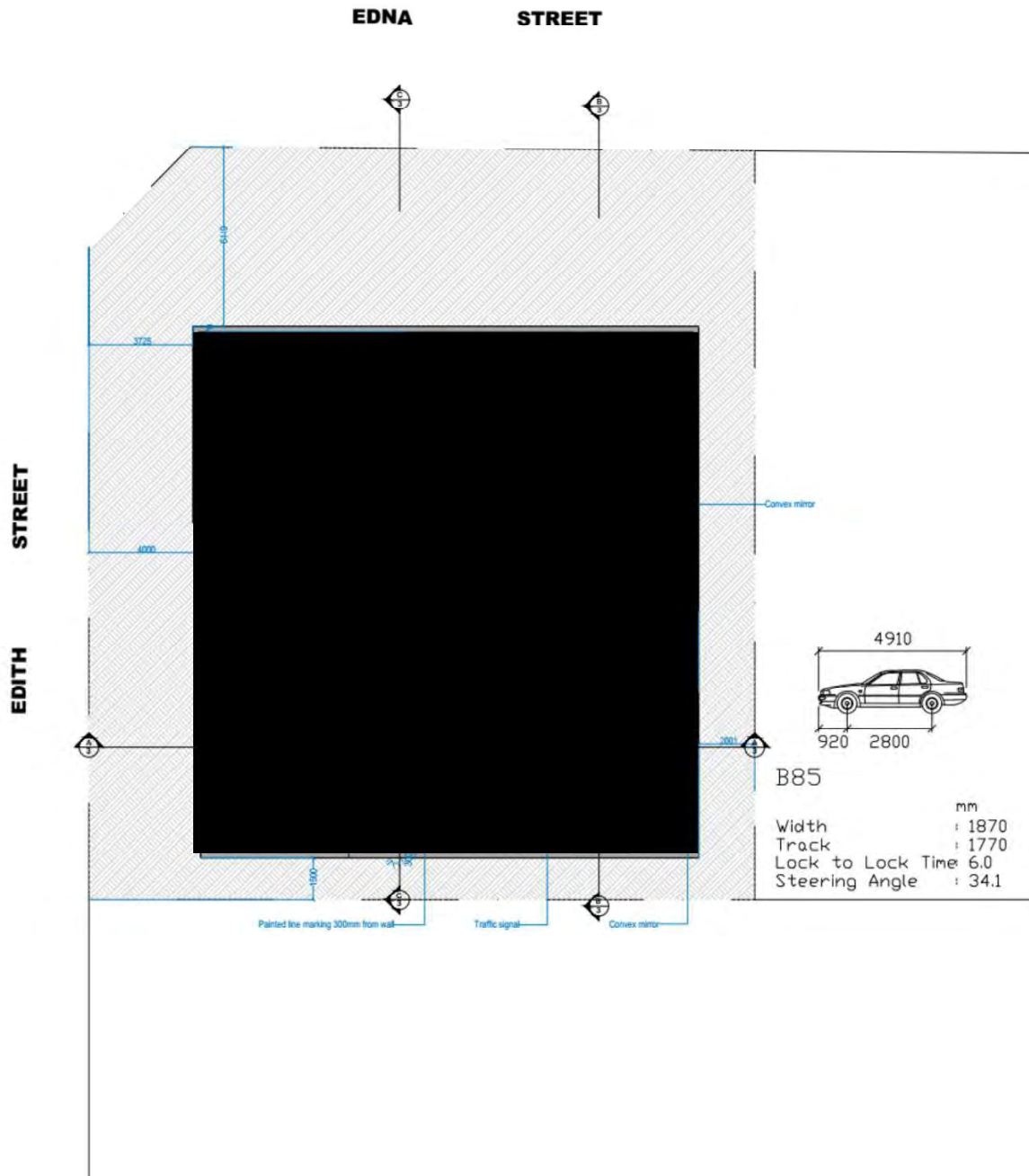


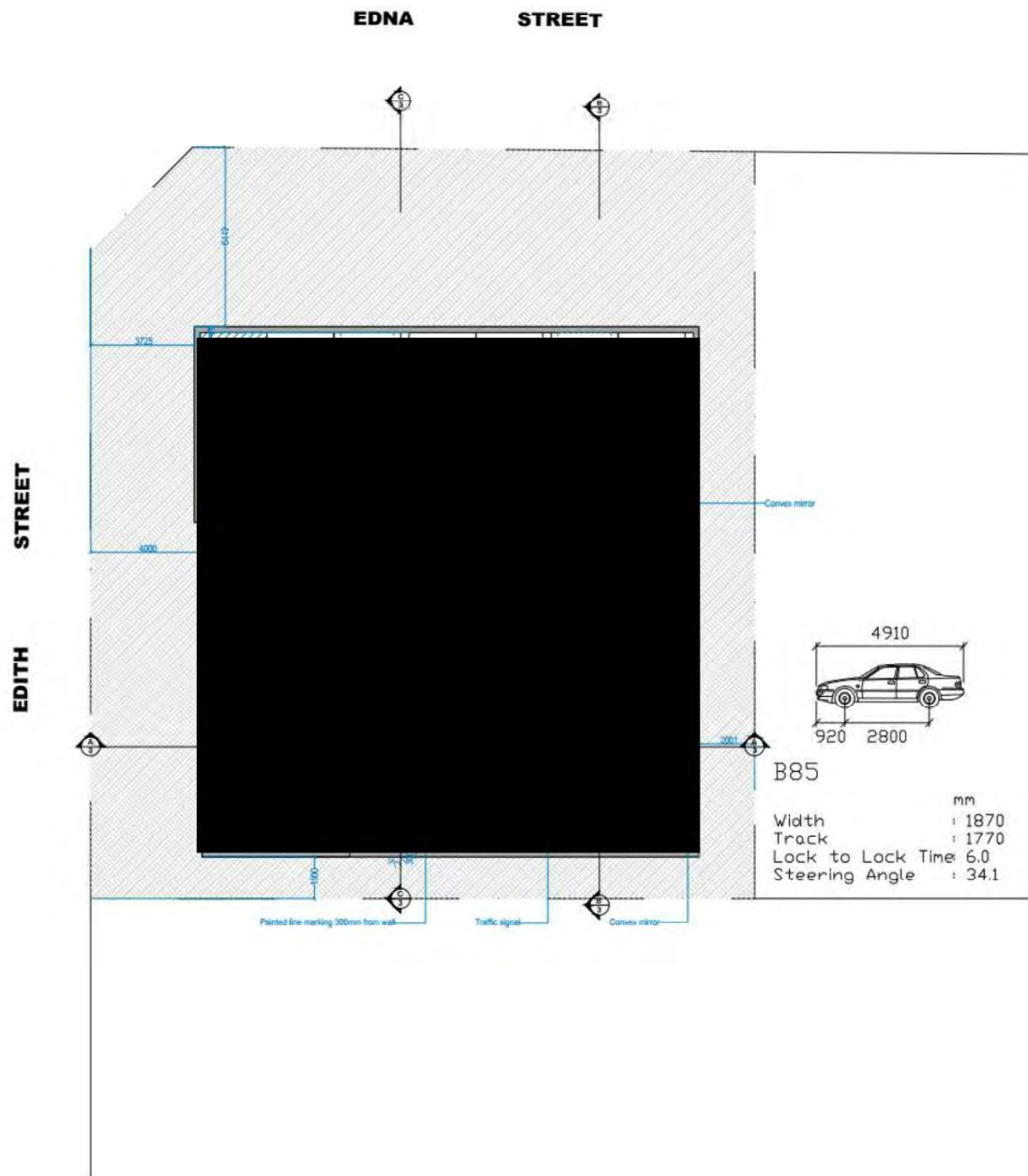
Appendix B – Vehicle Swept Paths

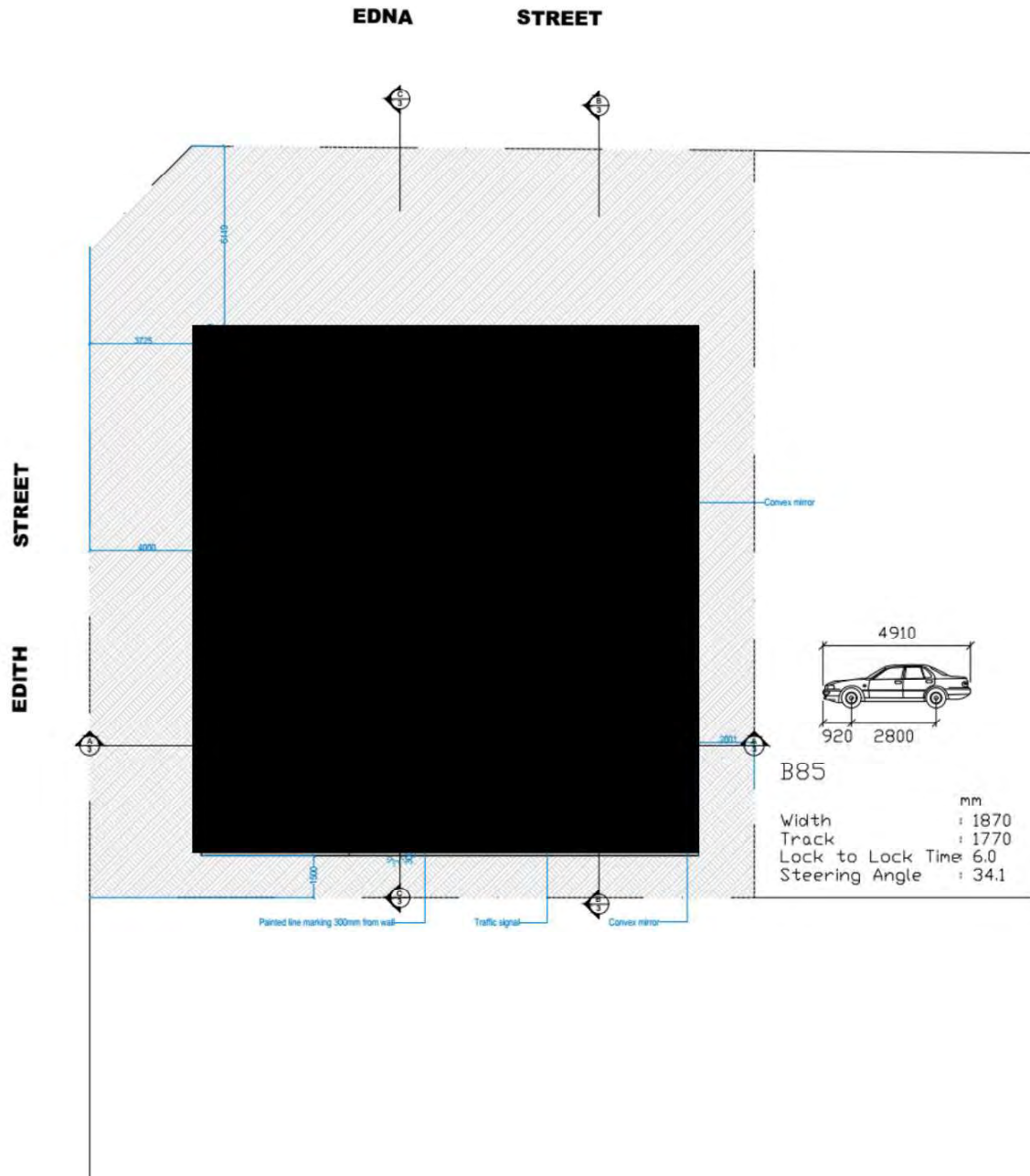


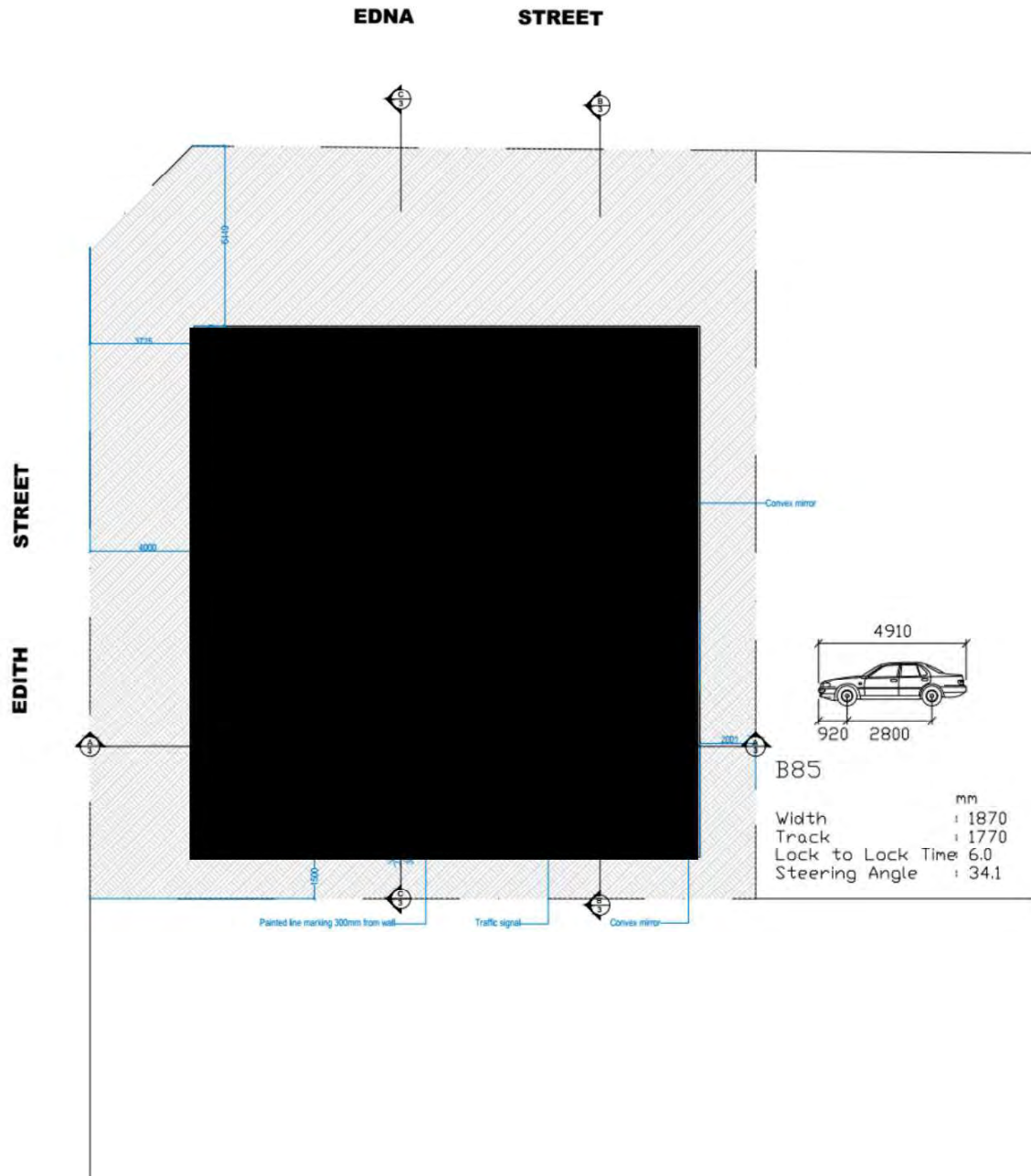














6 Edna Street,
Kingswood

Noise Impact Assessment

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1 Introduction

White Noise Acoustics has been engaged to undertake the Noise Impact Assessment of the proposed boarding house development located at 6 Edna Street, Kingswood.

The proposed project includes the following:

1. A boarding house project including 1 story building with 12 tenancies.
2. A basement level for car parking.

This assessment includes the acoustic investigation into the potential for noise impacts from the operation of the completed project as well as potential noise impacts from existing noise sources within the vicinity of the site which predominantly includes traffic noise from surrounding roadways.

1.1 Development Description

The 6 Edna Street, Kingswood site is located to the south of Edna Street with Edith Street to the west. The surrounding receivers to the site include residential receivers.

The site location is detailed in Figure 1 below.

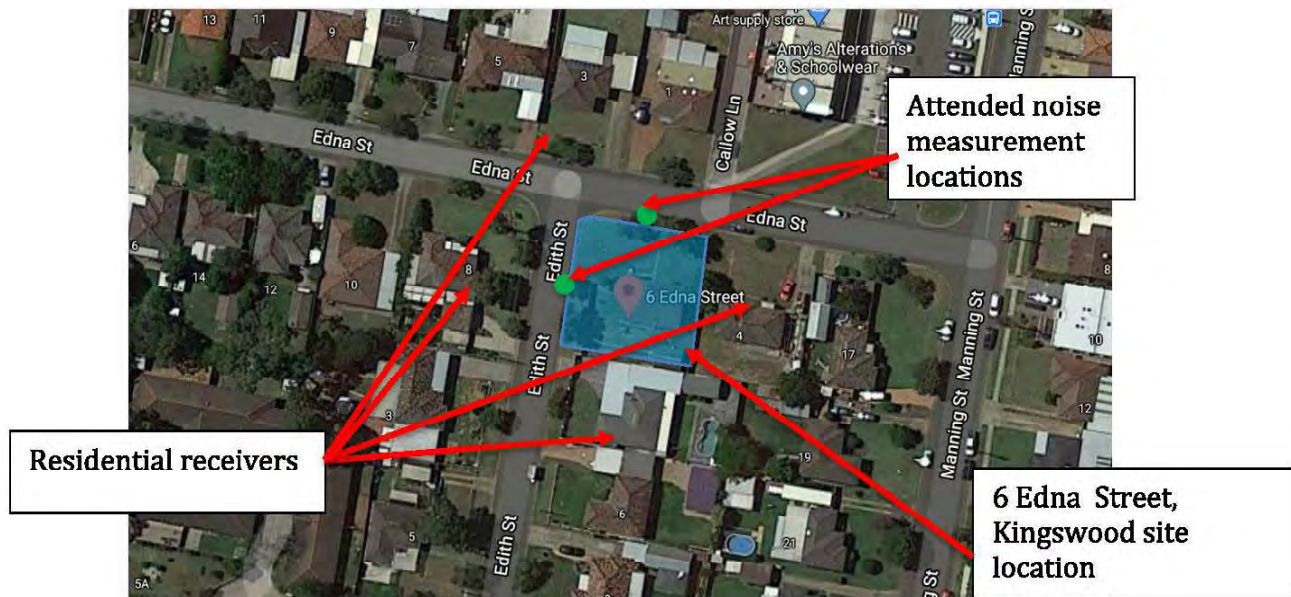


Figure 1 – 6 Edna Street, Kingswood site location

2 Proposed Development

The proposed project is located at 6 Edna Street, Kingswood and is located within the Penrith City Council local government area.

The proposed development will include the following:

1. A boarding house project including 1 story building with 12 tenancies.
2. A basement level for car parking.

The proposed development is detailed in architectural drawings which have been provided to this office from Designcorp Architects.

3 Existing Acoustic Environment

The 6 Edna Street, Kingswood site is located with typically residential area which is classified as a Suburban residential area. The exiting noise levels at the site are predominantly as a result from traffic noise within the vicinity of the site including Manning Street which is located to the east of the site. Existing receivers within the vicinity of the site include residential receivers.

The site is located on Edna Street which is not defined as a busy road carrying over 40,000 Annual Average Daily Traffic (AADT) number or over over 20,000 AADT as defined in Map 9 of the RTA's *Traffic Volume Maps for Noise Assessment for Buildings on Land Adjacent to Busy Roads*.

See the Figure below which includes the site location included on Map 9 as detailed above.

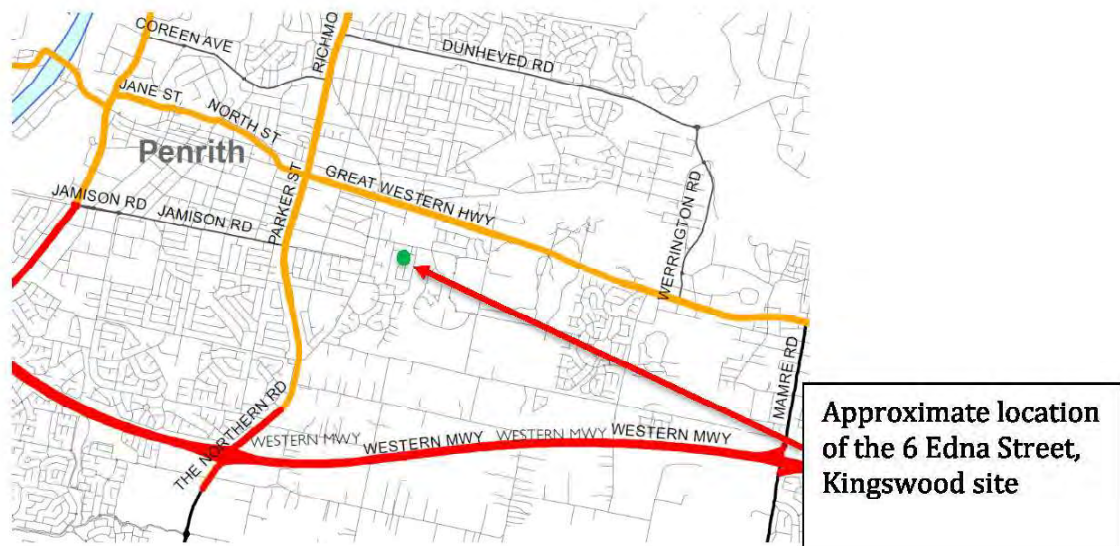


Figure 2 – Site Location of Map 9 of the RTA's *Traffic Volume Maps for Noise Assessment for Buildings on Land Adjacent to Busy Roads*

3.1 Noise Survey Results

The attended noise survey of the site was undertaken to characterise the acoustic environment within the vicinity of the site.

As part of this assessment an acoustic survey of the existing acoustic environment at the site was undertaken. The survey included attended noise level measurements at the site, during various times of the day on the 7th September 2020.

Noise level measurements were undertaken using a ARL EL-215 type noise meter with serial number 396932 and calibration with calibration number C19465. The noise logger was located to the front of the site as detailed in Figure 1 above. The logger was positioned such that it was in a free field location and façade corrections were not required to be applied.

The attended noise locations were selected to obtain suitable noise levels for the assessment of background noise levels ($L_{90(t)}$) as well as the impact from traffic movements ($L_{eq(t)}$). The results of the acoustic survey are detailed in the tables below which have been used as the basis of this assessment.

Table 1 – Results of the Attended Noise Survey at the Site

Measurement Location	Time of Measurement	$L_{Aeq, 15min}$ dB(A)	$L_{A90, 15min}$ dB(A)	Comments
Attended noise measurement location, Facing Edna Street	3.30pm to 3.45pm	64	52	Noise level at the site dominated by vehicle movements on surrounding roadways including Manning Street to the east of the site
Attended noise measurement location, Facing Edith Street	3.50pm to 4.05pm	58	48	

4 Internal Noise Level Criteria

Internal noise levels within the future residential occupancies have been based on the relevant noise levels as detailed within the Australian Standard AS2107:2000 *Acoustics - Recommended design sound levels and reverberation times for building interiors*.

The recommended levels for various areas of the project are detailed in the following table. The recommended noise levels for residential dwellings near minor roadways detailed within AS2107:2016 have been used as the basis of this assessment.

Table 2 – Internal Noise Level Criteria – Residential Dwellings near Minor Roads

Type of Occupancy/Activity	Design Internal Noise Level
Common areas (e.g. foyer, lift lobby)	50 L _{Aeq} 24 min
Residential - Living areas	40 L _{Aeq} 24 hour
Residential - Sleeping areas (night time)	35 L _{Aeq} 9 hour ¹
Toilets	55 L _{Aeq} 24 min
Note 1: The relevant time period for bedrooms include the period of 10pm to 7am	

5 Environmental Noise Intrusion Assessment

This section of the report details the assessment of environmental noise intrusion into the proposed development and the recommended acoustic treatments to ensure the recommended internal noise levels detailed in the Sections above (including traffic noise intrusion) are achieved.

Internal noise levels within the future areas of the development will result from the noise intrusion into the building through the external façade including glass, masonry and other façade elements. Typically, the acoustic performance of building elements including the relatively light weight elements of the building façade, including glass and/or plasterboard constructions, will be the determining factors in the resulting internal noise levels.

Calculations of internal noise levels have been undertaken based on the measured traffic and calculated aircraft environmental noise levels at the site and the characteristics of the building, including window openings, buildings constructions and the like.

5.1 External Glass Elements

The recommended acoustic constructions to the buildings external façade glass elements are detailed in the table below to ensure the recommended internal noise levels detailed above are achieved, with the façade building openings closed.

Table 3 – External Glass Acoustic Requirements

Façade Orientation	Levels	Room Type	Recommended Glass Construction	Minimum Façade Acoustic Performance ¹
All Façade Orientations	All Levels	Bedrooms	6.38mm Laminated	Rw 30
		Living Rooms	6.38mm Laminated	Rw 30
		Common Areas	6.38mm Laminated	Rw 30
		Wet areas	6mm Float/Toughened	Rw 28
Note 1: The acoustic performance of the external façade includes the installed glazing and frame including (but not limited to) the façade systems seals and frame. All external glazing systems are required to be installed using acoustic bulb seals.				

The recommended glass constructions detailed in the table above include those required to ensure the acoustic requirements of the project are achieved. Thicker glazing may be required to achieve other project requirements such as structural, thermal, safety or other requirements and is to be advised by others.

5.2 External Building Elements

The proposed external building elements including masonry or concrete external walls and roof are acoustically acceptable without additional acoustic treatment.

Any lightweight external pasteboard walls should be constructed from a construction with a minimum acoustic performance of Rw 45.

5.3 External Roof

The required external roof and ceiling constructions for the project are required to include the following:

1. Concrete external roof construction – no additional acoustic treatments required.
2. Metal deck roof construction – no additional acoustic treatments required.

5.4 External Opening and Penetrations

All openings and penetrations are required to be acoustically treated such that the performance of the building construction is not compromised. This may require lining of duct work behind mechanical service openings/grills, treatments to ventilation opening and the like.

6 External Noise Emission Assessment

This section of the report details the relevant noise level criteria for noise emissions generated on the site once completed.

The relevant authority which provides the required noise level criteria for noise levels generated on the site includes the NSW Environmental Protection Authority's (EPA) Noise Policy for Industry (NPfI).

6.1 NSW Environmental Protection Authority, Noise Policy for Industry

The NSW Environmental Protection Authority (EPA) Noise Policy for Industry (NPfI), previously Industrial Noise Policy, details noise criteria for the control of noise generated from the operation of developments and the potential for impact on surrounding receivers.

The NPI includes both intrusive and amenity criteria which are summarised below.

1. Intrusive noise level criteria, The NPfI states the following:

'The intrusiveness of an industrial noise source may generally be considered acceptable if the level of noise from the source (represented by the LAeq descriptor), measured over a 15minute period, does not exceed the background noise level by more than 5 dB when beyond a minimum threshold. This intrusiveness noise level seeks to limit the degree of change a new noise source introduces to an existing environment.'

2. Amenity noise level criteria, The NPfI states the following:

'To limit continuing increases in noise levels from application of the intrusiveness level alone, the ambient noise level within an area from all industrial noise sources combined should remain below the recommended amenity noise levels specified in Table 2.2 where feasible and reasonable. The recommended amenity noise levels will protect against noise impacts such as speech interference, community annoyance and some sleep disturbance.'

Project amenity noise level for industrial developments = recommended amenity noise level (Table 2.2) minus 5 dB(A)

Where the resultant project amenity noise level is 10 dB or more lower than the existing industrial noise level. In this case the project amenity noise levels can be set at 10 dB below existing industrial noise levels if it can be demonstrated that existing industrial noise levels are unlikely to reduce over time.

The LAeq is determined over a 15-minute period for the project intrusiveness noise level and over an assessment period (day, evening and night) for the project amenity noise level. This leads to the situation where, because of the different averaging periods, the same numerical value does not necessarily represent the same amount of noise heard by a person for different time periods. To standardise the time periods for the intrusiveness and amenity noise levels, this policy assumes that the LAeq,15min will be taken to be equal to the LAeq, period + 3 decibels (dB), unless robust evidence is provided for an alternative approach for the particular project being considered.

Project amenity noise level (ANL) is urban ANL (Table 2.1) minus 5 dB(A) plus 3 dB(A) to convert from a period level to a 15-minute level (dB = decibel; dB[A] = decibel [A-weighted]; RBL = rating background noise level).

Noise level used in the assessment of noise emission from the site have been based on the noise level survey conducted at the site and detailed in this section of the report.

Consequently, the resulting noise level criteria are summarised in the table below. The criteria are nominated for the purpose of determining the operational noise limits for the operation of the site including mechanical plant associated with the development which can potentially affect noise sensitive receivers and operational noise levels from the future tenancies. For each assessment period, the lower (i.e. the more stringent) of the amenity or intrusive criteria are adopted. The calculated *Project Amenity Noise Level* includes either the Recommended Amenity Noise Level minus 5 dB(A) plus 3 dB(A) (for a 15minum period) or the measured existing Leq noise level – 10 dB if this is greater as determined by the NPfI.

6.2 Noise Emissions Summary

Based on the requirements of the EPA the resulting noise emissions criteria from the operation of services on the site are detailed in the table below.

Table 4 – External Noise Level Criteria in Accordance with the NSW NPfl

Location	Time of Day	Project Amenity Noise Level, LAeq, period ¹ (dBA)	RBL LA90, 15 min (RBL) ² (dBA)	Intrusive LAeq, 15 min Criterion for New Sources (dBA)
Suburban residences	Day	53	35	40
	Evening	43	30	35
	Night ⁴	38	30	35
<i>Note 1: Project Amenity Noise Levels corresponding to "Sub Urban" areas, recommended noise levels.</i> <i>Note 2: LA90 Background Noise or Rating Background Level based on the assumed minimum rating of the EPA NPfl.</i> <i>Note 3: Project Noise Trigger Levels are shown in bold</i> <i>Note 4: Noise from the operation of residential condensers are to be inaudible within a neighbouring residential premises</i>				

6.3 Noise Impact Assessment

An assessment of noise generated on the site has been undertaken on this section of the report. The assessment of noise levels generated on the site are summaries below:

1. Mechanical Services Equipment –Detailed selections of the proposed mechanical plant and equipment to be used on the site are not available at this time. All future plant and equipment are to be acoustically treated to ensure the noise levels at all surrounding receivers comply with noise emission criteria detailed within this report. Experience with similar projects indicated that it is both possible and practical to treat all mechanical equipment such that the relevant noise levels are achieved. Examples of the possible acoustic treatments to mechanical equipment includes the following:
 - a. Supply and Exhaust Fans – location of fans within the building and treated using internally lined ductwork or acoustic silencers.
 - b. General supply and exhaust fans – general exhaust and supply fans such as toilet, kitchen, lobby and other small mechanical fans can be acoustically treated using acoustic flex ducting or internal lined ducting.

Details of the required mechanical services equipment and acoustic treatments to ensure the relevant noise level criteria is achieved will be provided as part of the CC submission of the project.

7 Conclusion

This report details the Noise Impact Assessment of the proposed development at 6 Edna Street, Kings Wood.

This report details the required acoustic constructions of the building's façade, including external windows, to ensure that the future internal noise levels comply with the relevant noise levels of the Australian Standard AS2107:2016. Providing the recommended constructions detailed in this report are included in the construction of the project the required internal noise levels will be achieved.

External noise emissions from the site have been assessed and detailed in accordance with the NSW Environmental Protection Authorities *Noise Policy for Industry*. The future design and treatment of all building services associated with the project can be acoustically treated to ensure all noise emissions from the site comply with the EPA *NPfl* criteria. Details of the equipment and associated acoustic treatments will be provided as part of the CC submission of the project.

For any additional information please do not hesitate to contact the person below.

Regards



Ben White
Director
White Noise Acoustics

8 Appendix A – Glossary of Terms

Ambient Sound	The totally encompassing sound in a given situation at a given time, usually composed of sound from all sources near and far.
Audible Range	The limits of frequency which are audible or heard as sound. The normal ear in young adults detects sound having frequencies in the region 20 Hz to 20 kHz, although it is possible for some people to detect frequencies outside these limits.
Character, acoustic	The total of the qualities making up the individuality of the noise. The pitch or shape of a sound's frequency content (spectrum) dictate a sound's character.
Decibel [dB]	The level of noise is measured objectively using a Sound Level Meter. The following are examples of the decibel readings of every day sounds; 0dB the faintest sound we can hear 30dB a quiet library or in a quiet location in the country 45dB typical office space. Ambience in the city at night 60dB Martin Place at lunch time 70dB the sound of a car passing on the street 80dB loud music played at home 90dB the sound of a truck passing on the street 100dB the sound of a rock band 115dB limit of sound permitted in industry 120dB deafening
dB(A)	A-weighted decibels The ear is not as effective in hearing low frequency sounds as it is hearing high frequency sounds. That is, low frequency sounds of the same dB level are not heard as loud as high frequency sounds. The sound level meter replicates the human response of the ear by using an electronic filter which is called the "A" filter. A sound level measured with this filter switched on is denoted as dB(A). Practically all noise is measured using the A filter. The sound pressure level in dB(A) gives a close indication of the subjective loudness of the noise.
Frequency	Frequency is synonymous to <i>pitch</i> . Sounds have a pitch which is peculiar to the nature of the sound generator. For example, the sound of a tiny bell has a high pitch and the sound of a bass drum has a low pitch. Frequency or pitch can be measured on a scale in units of Hertz or Hz.
Loudness	A rise of 10 dB in sound level corresponds approximately to a doubling of subjective loudness. That is, a sound of 85 dB is twice as loud as a sound of 75 dB which is twice as loud as a sound of 65 dB and so on
L_{Max}	The maximum sound pressure level measured over a given period.
L_{Min}	The minimum sound pressure level measured over a given period.
L₁	The sound pressure level that is exceeded for 1% of the time for which the given sound is measured.
L₁₀	The sound pressure level that is exceeded for 10% of the time for which the given sound is measured.
L₉₀	The level of noise exceeded for 90% of the time. The bottom 10% of the sample is the L ₉₀ noise level expressed in units of dB(A).
L_{eq}	The "equivalent noise level" is the summation of noise events and integrated over a selected period of time.
Background Sound Low	The average of the lowest levels of the sound levels measured in an affected area in the absence of noise from occupants and from unwanted, external ambient noise sources. Usually taken to mean the L ₉₀ value
Ctr	A frequency adaptation term applied in accordance with the procedures described in ISO 717.
dB (A)	'A' Weighted overall sound pressure level

Noise Reduction	The difference in sound pressure level between any two areas. The term "noise reduction" does not specify any grade or performance quality unless accompanied by a specification of the units and conditions under which the units shall apply
NR Noise Rating	Single number evaluation of the background noise level. The NR level is normally around 5 to 6 dB below the "A" weighted noise level. The NR curve describes a spectrum of noise levels and is categorised by the level at 1000 Hz ie the NR 50 curve has a value of 50 dB at 1000 Hz. The NR rating is a tangential system where a noise spectrum is classified by the NR curve that just encompasses the entire noise spectrum consideration.
R_w	Weighted Sound Reduction Index - Laboratory test measurement procedure that provides a single number indication of the acoustic performance of a partition or single element. Calculation procedures for R _w are defined in ISO 140-2:1991 "Measurement of Sound Insulation in Buildings and of Building Elements Part 2: Determination, verification and application of precision data".
R'_w	Field obtained Weighted Sound Reduction Index - this figure is generally up to 3-5 lower than the laboratory test determined level data due to flanked sound transmission and imperfect site construction.
Sound Isolation	A reference to the degree of acoustical separation between any two areas. Sound isolation may refer to sound transmission loss of a partition or to noise reduction from any unwanted noise source. The term "sound isolation" does not specify any grade or performance quality and requires the units to be specified for any contractual condition
Sound Pressure Level, L_p dB	A measurement obtained directly using a microphone and sound level meter. Sound pressure level varies with distance from a source and with changes to the measuring environment. Sound pressure level equals 20 times the logarithm to the base 10 of the ratio of the rms sound pressure to the reference sound pressure of 20 micro Pascals.
Sound Power Level, L_w dB	Sound power level is a measure of the sound energy emitted by a source, does not change with distance, and cannot be directly measured. Sound power level of a machine may vary depending on the actual operating load and is calculated from sound pressure level measurements with appropriate corrections for distance and/or environmental conditions. Sound power levels is equal to 10 times the logarithm to the base 10 of the ratio of the sound power of the source to the reference sound power of 1 picoWatt
Speech Privacy	A non-technical term but one of common usage. Speech privacy and speech intelligibility are opposites and a high level of speech privacy means a low level of speech intelligibility. It should be recognised that acceptable levels of speech privacy do not require that speech from an adjacent room is inaudible.
Transmission Loss	Equivalent to Sound Transmission Loss and to Sound Reduction Index in terminology used in countries other than Australia. A formal test rating of sound transmission properties of any construction, by usually a wall, floor, roof etc. The transmission loss of all materials varies with frequency and may be determined by either laboratory or field tests. Australian Standards apply to test methods for both situations.

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Wednesday, 28 October 2020

To be valid, this certificate must be lodged within 3 months of the date of issue.



Planning,
Industry &
Environment

Project summary	
Project name	Boarding house @ 6 EDNA ST KINGSWOOD
Street address	6 EDNA Street KINGSWOOD 2747
Local Government Area	Penrith City Council
Plan type and plan number	deposited 241989
Lot no.	53
Section no.	-
No. of residential flat buildings	1
No. of units in residential flat buildings	12
No. of multi-dwelling houses	0
No. of single dwelling houses	0
Project score	
Water	✓ 40 Target 40
Thermal Comfort	✓ concession Target Pass
Energy	✓ 46 Target 45

Certificate Prepared by

Name / Company Name: Outsource Ideas P/L

ABN (if applicable): 12 130 092 661

Description of project

Project address	
Project name	Boarding house @ 6 EDNA ST KINGSWOOD
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Section no.	-
Project type	
No. of residential flat buildings	1
No. of units in residential flat buildings	12
No. of multi-dwelling houses	0
No. of single dwelling houses	0
Site details	
Site area (m ²)	632.3
Roof area (m ²)	265
Non-residential floor area (m ²)	0.0
Residential car spaces	6
Non-residential car spaces	0

Common area landscape	
Common area lawn (m ²)	200.0
Common area garden (m ²)	60.0
Area of indigenous or low water use species (m ²)	60.0
Assessor details	
Assessor number	N/A
Certificate number	N/A
Climate zone	N/A
Project score	
Water	✓ 40 Target 40
Thermal Comfort	✓ concessionTarget Pass
Energy	✓ 46 Target 45

Description of project

The tables below describe the dwellings and common areas within the project

Residential flat buildings - Building1, 12 dwellings, 2 storeys above ground

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (mln area m ²)
R001	1	21.66	0.0	0.0	0.0
R005	1	18.19	0.0	0.0	0.0
R009	1	21.68	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (mln area m ²)
R003	1	21.68	0.0	0.0	0.0
R007	1	20.06	0.0	0.0	0.0
R011	1	28.21	0.0	0.0	0.0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (mln area m ²)
R004	1	20.68	0.0	0.0	0.0
R008	1	28.43	0.0	0.0	0.0
R012	1	22.12	0.0	0.0	0.0

Description of project

The tables below describe the dwellings and common areas within the project

Common areas of unit building - Building1

Common area	Floor area (m ²)
Basement Car park area	281.0
Communal room	18.18
Ground floor lobby	28.0

Common area	Floor area (m ²)
Lift car (No.1)	-
Plant or service room (A/C Unit)	15.0
Hallway/lobby Level-1	20.0

Common area	Floor area (m ²)
Waste room + Bulky waste	11.0
service room	4.0

Schedule of BASIX commitments

1. Commitments for Residential flat buildings - Building 1
 - (a) Dwellings
 - (i) Water
 - (ii) Energy
 - (iii) Thermal Comfort
 - (b) Common areas and central systems/facilities
 - (i) Water
 - (ii) Energy
2. Commitments for multi-dwelling houses
3. Commitments for single dwelling houses
4. Commitments for common areas and central systems/facilities for the development (non-building specific)
 - (i) Water
 - (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for Residential flat buildings - Building1

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	✓
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 4.5 but <= 6 L/min)	4 star	5 star	5 star	no	-	4 star	-	-	-	-	-	-	-

Alternative water source									
Dwelling no.	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up	
None	-	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	

Dwelling no.	Hot water system	Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
		Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
All dwellings	gas instantaneous 6 star	individual fan, not ducted	manual switch on/off	individual fan, not ducted	manual switch on/off	natural ventilation only, or no laundry	-

	Cooling		Heating		Artificial lighting							Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study rooms	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen	
R012	1-phase airconditioning EER 3.5 - 4.0	-	1-phase airconditioning EER 3.5 - 4.0	-	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	yes	
R001, R005, R008, R009, R011	1-phase airconditioning EER 3.5 - 4.0	-	1-phase airconditioning EER 3.5 - 4.0	-	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	1	no	
All other dwellings	1-phase airconditioning EER 3.5 - 4.0	-	1-phase airconditioning EER 3.5 - 4.0	-	1 (dedicated)	1 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	no	

	Individual pool		Individual spa		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	4 star	yes	4 star	2.5 star	3 star	no	no

(iii) Thermal Comfort				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The development will be a Class 3 building. The applicant must include in the documentation accompanying the application for a construction certificate (or complying development certificate, if applicable), a report demonstrating that the development will meet Section J of the National Construction Code - Volume 1.						

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	5 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Common area		Common area ventilation system		Common area lighting		
Common area	Ventilation system type	Ventilation efficiency measure	Primary type of artificial lighting	Lighting efficiency measure	Lighting control system/BMS	
Basement Car park area	ventilation exhaust only	carbon monoxide monitor + VSD fan	light-emitting diode	daylight sensor and motion sensor	No	
Lift car (No.1)	-	-	light-emitting diode	connected to lift call button	No	
Waste room + Bulky waste	ventilation exhaust only	-	light-emitting diode	motion sensors	No	
Communal room	air conditioning system	time clock or BMS controlled	light-emitting diode	daylight sensor and motion sensor	No	
Plant or service room (A/C Unit)	no mechanical ventilation	-	light-emitting diode	motion sensors	No	
service room	no mechanical ventilation	-	light-emitting diode	motion sensors	No	
Ground floor lobby	no mechanical ventilation	-	light-emitting diode	daylight sensor and motion sensor	No	
Hallway/lobby Level-1	no mechanical ventilation	-	light-emitting diode	daylight sensor and motion sensor	No	

Central energy systems		Specification
Lift (No. 1)	Type	Number of levels (including basement): 3
	gearless traction with V V V F motor	

4. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	5 star	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✓" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfillment it is required to monitor in relation to the building or part, has been fulfilled).

TREE INSPECTION REPORT.

On: Tree Specimen

**Location: 6 Edna Street Kingswood
NSW 2747**

TREEHAVEN ENVIRONSCAPES.
128 Showground Road Castle Hill. NSW 2154
smcl2666@bigpond.net.au

For Designcorp
On. 28/10/2020

TREEHAVEN ENVIRONSCAPES –. Tree report at 6 Edna Street Kingswood
NSW 2747. For Designcorp - Page 1 of 20

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DISCLAIMER

All content in this report belongs to Treehaven Environscapes. It is subject to copyright and may not be reproduced in any form without express written consent of the author.

Whilst every attempt is made to be accurate and factual with regard to references used in this document no liability is assumed for the work done by others.

Please note that trees are living organisms which are subject to natural growth, change and also to 'Acts of God' such as storms and lightning strikes. This report contains empirical data gathered on the day for the purpose of tree assessment in terms of their health and long term viability. Given the transitory nature of living things such data only gives a 'snapshot' of the organism on the day and cannot be applied to future events, 'Acts of God', mechanical, pathogen attack or chemical damage to the organism after that time.

The information supplied herein is given in good faith and to the best available scientific and industry standards which apply to the Author's level of education and experience.

TREEHAVEN ENVIRONSAPES –. Tree report at 6 Edna Street Kingswood
NSW 2747. For Designcorp - Page 2 of 20

1 INTRODUCTION

- 1.1** The property at 6 Edna Street Kingswood NSW is being considered for development by Designcorp where the existing house is proposed to be demolished and replaced by double storey 12 room boarding house. In the process 3 trees will need to be removed including 1 Council street tree (See Site plan Appendix 2b)
- 1.2** The property is within the jurisdiction of Penrith City Council, (PCC), which has in place Tree Preservation Order (TPO) which prohibit the pruning, removal, ringbarking, topping, lopping, injury or wilful destruction of trees over 3m without Council's written consent. For the removal or major pruning of trees covered by the TMC, HCC requires an arborist report whose purpose is to examine and appraise them prior to, and post any development of the site. Consequently Designcorp have engaged, Mr. Stephen McLoughlin of Treehaven Environmentscapes, to visit the site examine 6 specimens growing on the Site and prepare this report.
- 1.3** This report details my site visit on 26/10/2020 and the examination of 6 trees that was affected by recent excavation and plumbing work.
- 1.4** This report contains empirical data collected regarding the tree specimens supported by digital photos, a Discussion regarding the relevance of the specimen and presents Conclusions and Recommendations as to the future treatment of the tree. Tables and plans relating to this report are included as Appendix 1 & 2 at the end of the document. This document pays heed to PCC's TMO and utilizes the Australian Standards 4790-2009 *Trees on development sites* and 4373-2007 *Pruning of Amenity Trees* as a set of guiding principles.

2. SITE DESCRIPTION

2.1 The land on which the tree is sited is on a rhomboidal shaped corner block on a Southerly facing slope with a slight gradient heading towards Werrington Creek and is within the Nepean River Catchment.

2.2 A single storey dwelling is on the Site at present (see Fig 1).

2.3 There are 2 tree specimens growing on the Site and 4 street trees on the nature strip to the North and East of the property. The subject trees are designated **T1** to **T6** inclusive as depicted in Figure 1.



Fig1. Aerial photo of the site from Six Viewer.

3. METHODOLOGY.

3.1 The tree specimens were visually assessed using non-destructive means by employing the Visual Tree Assessment (VTA) as developed by Matteck and Broeler (2006).

The information gathered was used to

- i) Calculate Tree protection Zones (TPZ) and Structural Root Zones (SRZ) with reference to the Australian Standard (AS) 4970-2009 and
- ii) Provide a qualitative assessment of the tree utilizing Jeremy Barrell's Safe Usable Life Expectancy (SULE) of which a table outlining the different categories appears in Appendix 3 of this document.

3.2 No invasive procedures, such as coring or drilling, were used in the examination of the specimen.

3.3 Structural Root Zone (SRZ) calculations provided in section 3.3.5 of Australian Standard 4970 -2010 are given as

$$SRZ = (D \times 50)^{0.42} \times 0.64$$

Where D is the diameter of the tree as measured just above the root buttress and the result is the radius of a circle enclosing the tree. This is referred to as the tree's Diameter at Ground Level (DGH) in the table in Appendix 1.

Also section

3.4 Tree Protection Zones (TPZ) is given as,

$$TPZ = DBH \times 12$$

Where DBH is the diameter of the trunk of the trunk measured at 1.4m from the ground.

In the case of trees which have multiple stems at 1.4m from the ground, DBH was determined by using the following formula as advised in AS4970-2009

$$\text{Total DBH} = \sqrt{(DBH1)^2 + (DBH2)^2 + (DBH3)^2}$$

3.5 The position of the trees has been determined by survey plans as forwarded from Designcorp.

3.6 Minor & Major Encroachments are defined in AS 4970-2009 as being up to 10%, for the former, and greater than 10% for the latter of a tree's TPZ.

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4. DESCRIPTION OF THE TREES (See Appendix 1).

- 4.1 Tree T1** is a *Melaleuca quinquinervia* or 'Broadleaved Paperbark' which is an endemic species common in rivers and estuaries in the Sydney region. It has been planted in the nature strip to the East of the Site (see Fig. 2).

The tree was in good health and vigour at the time of inspection with no significant pathogens. The tree has a major defect in the form of a 'V' shaped stem junction with included bark (Mattheck & Breloer 2005).

Impact of the development;

The tree will be directly affected by the development by the construction of a concrete footpath crossover which will engulf its main stem (See Appendix 2a and 2b).

- 4.2 Trees T2, T4 & T5** are all *Callistemon viminalis* or 'Weeping Bottlebrush' which is a small native tree species which have been planted on the nature strip to the North and East of the Site (See Figs. 3, 5 and 6). The trees are quite small and have pruned back regularly to accommodate overhead wires.

Impact from the development:

These specimens won't be directly affected by the development but will need to be protected during the construction period (See Appendix 2b and 2c).

- 4.3 Tree T3** is a *Stenocarpus sinuatus* or 'Queensland Firewheel Tree' which is a medium sized native tree which has been planted on the Site to the South East of the existing house (See Fig. 4). The tree is relatively small being just 4m in height with a narrow main stem and appears to be a young sapling. The specimen was in good health and condition at the time of my inspection.

Impact from the development:

The specimen is scheduled to be removed as it will be engulfed by the new building footprint (See Appendix 2b and 2c).

- 4.4 Tree T6** is a *Cupressus macrocarpa* or Monterey Pine which is an exotic conifer from East coast USA. The tree was in poor condition at the time of my inspection with one dead stem which has been removed and the tree has subsequently formed a lopsided habit (See Fig. 7)

Impact from the development:

The specimen is scheduled to be removed in order to make room for new plantings in the new landscaping for the development (See Appendix 2b and 2c).

- 4.5** There are no trees on neighbouring property to the West of the site (See Fig. 8).

5. DISCUSSION

- 5.1** There were no endemic nor heritage listed trees noted on the Site (See Appendix 1). All the specimens examined were planted specimens.
- 5.2** Of the six trees examined three specimens, designated **T1**, **T3** and **T6** are proposed for removal one of which, **T1**, is a Council street tree and the others are located on the Site. Of these trees;
- **T1** has a significant defect where the main stems adjoin in a 'V' shaped union with included bark in the junction. This is inherently a weak union (Mattheck & Breloer 2005).
 - **T3** is a small tree not yet significant in the streetscape.
 - **T6** is in poor condition and is proposed to be removed to allow for new plantings in the landscaping for the development
- 5.3** Three specimens designated **T2**, **T4** & **T5** are Council Assets to be retained and protected.
- 5.4** In compensation 10 trees are included in the new landscaping for the Site these being:
- 3 x *Tritainiopsus laurina*
 - 6 x *Eliocarpus eumundi*
(See Appendix 2c).

6. CONCLUSIONS & RECOMENDATIONS

- 6.1.** It is recommended that, for the development to proceed as planned, trees **T1**, **T3** and to **T6** be removed.
- 6.2** Trees **T2**, **T4** & **T5** are Council's street trees to be retained and protected.

7. THE AUTHOR'S QUALIFICATIONS AND EXPERIENCE.

Stephen McLoughlin obtained a Horticultural Certificate (1982) with Arboriculture as the third year elective whilst an employee of 10 years service with Baulkham Hills Shire Council (BHSC) now The Hills Council. Most of this time employed in the Council's Parks and Gardens and street tree plantings and, later, managing the Council's Nursery. This was augmented with a Bush Regeneration Certificate (1987) where he studied native plant communities, the means necessary to protect and restore them and the identification and eradication of weed species. Additional to this he obtained a Bachelor of Environmental Science Degree (1997) involving the study of natural environments, Ecology, data collection, analysis and documentation, report writing as well studies in relevant Common Law, current Environmental and Heritage Legislation. Since obtaining his degree Stephen writes reports on a regular basis covering Environmental, Heritage and Horticultural / Arboricultural subjects.

Further to this he upgraded his qualifications to that of Arborist Qualification 5 (AQF5) having completed the Associate Diploma of Horticulture / Arboriculture, a standard of qualification which is currently expected by many Local Government and statutory bodies.

Stephen also has a current NSW Structural Landscaper's Licence and has been involved in regular landscape construction works as both Principle and Sub Contractor on many Public, Private and Commercial ventures since commencing his contracting business in 1989. He has many garden and estate maintenance contracts, and Bush Regeneration projects involving large scale properties with many trees under his care, including the providing of advice and practical solutions to the issues of Bush Fire Asset Protection Zones.

Consequently Stephen has well grounded experience in both Public and Private tree plantings, the care and maintenance of them as well as hands on experience of what occurs on construction sites and the results of mechanical disturbance to trees on such sites.

The Author is also an accredited Root Barrier Australia ® installer and has been involved with many excavations involving tree roots.

In 2014 Stephen completed his Diploma of Environmental Management at the Ryde campus of North Sydney TAFE involving studies with regard to Bushfire Management, Global Information Systems (GIS), Mapping, Managing Native Fauna (for which he obtained a distinction) and River Restorations.

Also he has recently completed the Quantified Tree Risk Assessment Course (QTRA)

Yours sincerely

S. McLOUGHLIN BSc.(Environ), Dip. Hort / Arb AQF5, Hort. Cert,
Dip. Environmental Systems Management
Conservation & Land Management.Cert.III
Australian Arborist Member # 2158
Australian Association of Bush Regenerators Member
QTRA assessor

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REFERENCES

Australian Standard 4373 1996 *Pruning of amenity trees*.

Australian Standard 4790 2009 *Trees on development sites*.

Barrell, J. 1996. '*Predevelopment tree assessment*'

Penrith City Council 2012 Tree Management Order

Matteck C and Breloer H. 2006 'The Body Language of Trees'

Six Maps. Aerial view of site (fig 1).

APPENDIX 1A. Schedule of trees identified on the site listing condition and physical dimensions of trees on the site.

Specimen name	Est. Height	Diameter DBH* DGH**	Crown	Comments	SULE ***	TPZ	SRZ
T1 <i>Melaleuca quinquenervia</i> Common name 'Broadleaved bottlebrush' Age class. 50 years See Fig. 2	9m	1 x 37cm 1 x 42cm 75cm at the base	N 3m E 3m S 3m W 3m	A native tree endemic to coastal rivers and estuaries in the Sydney region. The tree has been planted in the nature strip to the East of the Site. At the time of inspection the specimen was in good health and condition with no significant pathogens or signs of mechanical damage. The tree has a 'V' shaped stem junction plus included bark from ground level.	A2	6.71m	2.93m
T2 <i>Callistemon viminalis</i> Common name 'Broadleaved bottlebrush' Age class. 40 years See Fig. 3	4m	1 x 9cm 1 x 10cm 2 x 16cm 45cm at the base	N 2m E 2m S 2m W 2m	A native tree endemic to creeks and rivers and estuaries in the North East region of NSW. The tree has been planted in the nature strip to the East of the Site. At the time of inspection the specimen was in good health and condition with no significant pathogens or signs of mechanical damage. The tree has four stems	A5	3.16m	2.37m
T3 <i>Stenocarpus sinuatus</i> Common name 'Queensland Firewheel Tree' Age class. 10 years See Fig. 4	4m	12cm 22cm at the base	N 1m E 1m S 1m W 1m	A native tree endemic to tropical areas of North Queensland. The tree has been planted in the Site to the East of the existing dwelling. At the time of inspection the specimen was in good health and condition with no significant pathogens or signs of mechanical damage.	A5	2m Min TPZ	1.75m
T4 <i>Callistemon viminalis</i> Common name	4m	1 x 16cm 1 x 18cm 26cm at the base	N 3m E 2m S 2m W 1m	A native tree endemic to creeks and rivers and estuaries in the North East region of NSW. The tree has been planted in the nature strip to the East of the Site by a resident. At the time of inspection the specimen was in	A5	2.9m	1.9m

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'Broadleaved bottlebrush' Age class. 40 years See Fig. 5				good health and condition with no significant pathogens or signs of mechanical damage. The tree a bias in its canopy to the North.			
T5 <i>Callistemon viminalis</i> Common name 'Broadleaved bottlebrush' Age class. 40 years See Fig. 6	5m	2 x 16cm 1 x 17cm 31cm at the base	N 3m E 3m S 3m W 3m	A native tree endemic to creeks and rivers and estuaries in the North East region of NSW. The tree has been planted in the nature strip to the North of the Site. At the time of inspection the specimen was in good health and condition with no significant pathogens or signs of mechanical damage. The specimen has 3 main stems.	A5	3.39m	2.02m
T6 <i>Cupressus macrocarpa</i> Common name 'Monteray Cypress' Age class. 50 years See Fig. 7	8m	28cm 32cm at the base	N 3m E 2m S 1m W 1m	An exotic tree endemic to North America. The tree has been planted near the border in the rear yard to the North East of the existing dwelling. At the time of inspection the specimen was in poor health and condition with approx. 60% dead wood in the canopy	A4	3.36m	2.05m

Table describing trees growing on the development site. Tree numbers correspond with numbers on site plan appendix. 2.
***DBH Diameter at Breast Height. **DGH Diameter at Ground Height. ***SULE ratings are included as Appendix 3 of this report.**

APPENDIX 1B. Figures 2 to 8. Photos of the trees on the Site.



Fig 2. Photo of tree T1 a *Melaleuca quinquervia*



Fig 3. Photo of tree T2 *Callistemon viminalis*

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Fig. 4. Photo of tree T3 a *Sterocarpus sinuatus*.



Fig. 5. Photo of Tree T4 a *Callistemon viminalis*

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Fig. 6. Photo of tree T5 a *Callistemon viminalis*



Fig. 7. Photo of Tree T6 a *Cupressus macrocarpa*

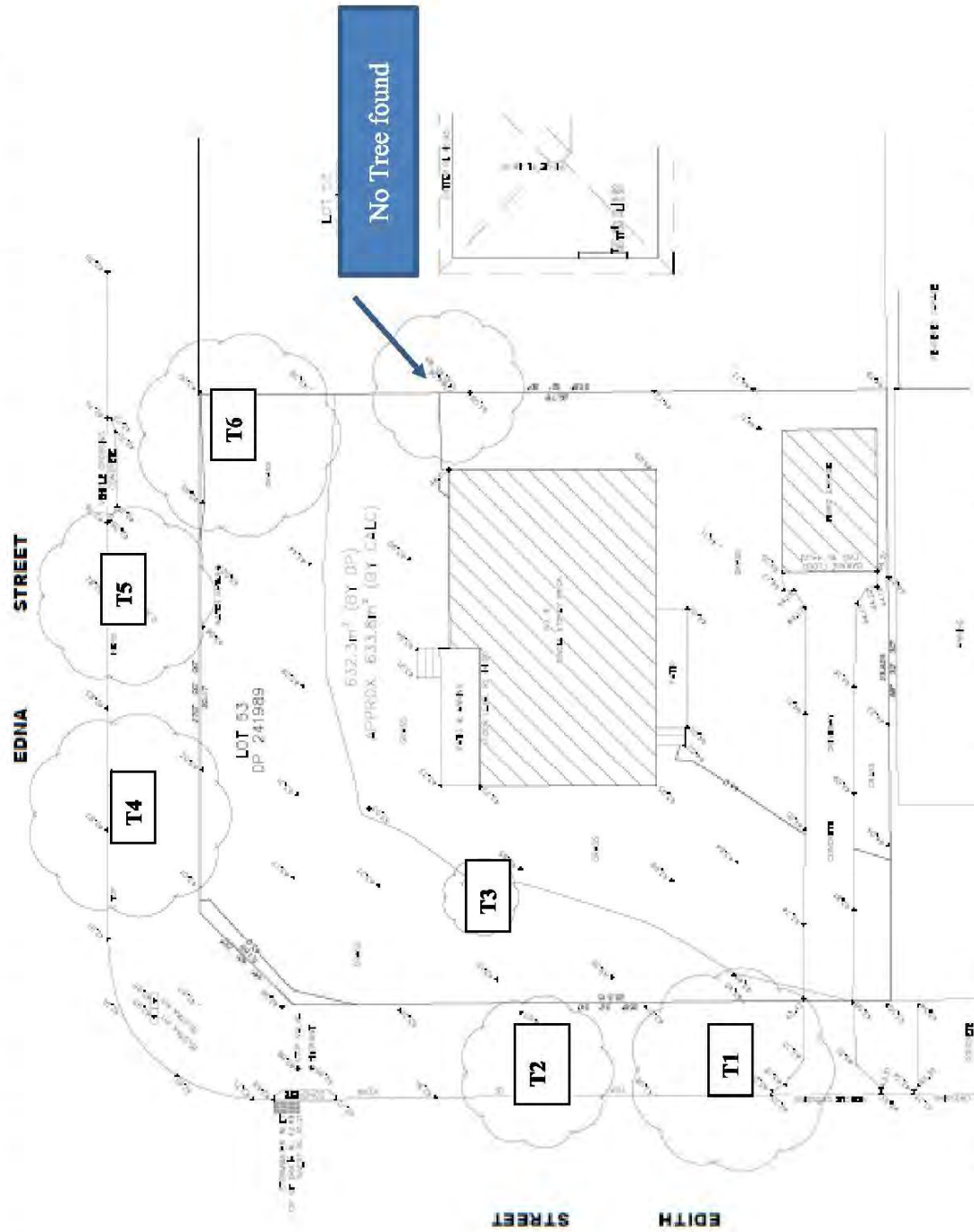
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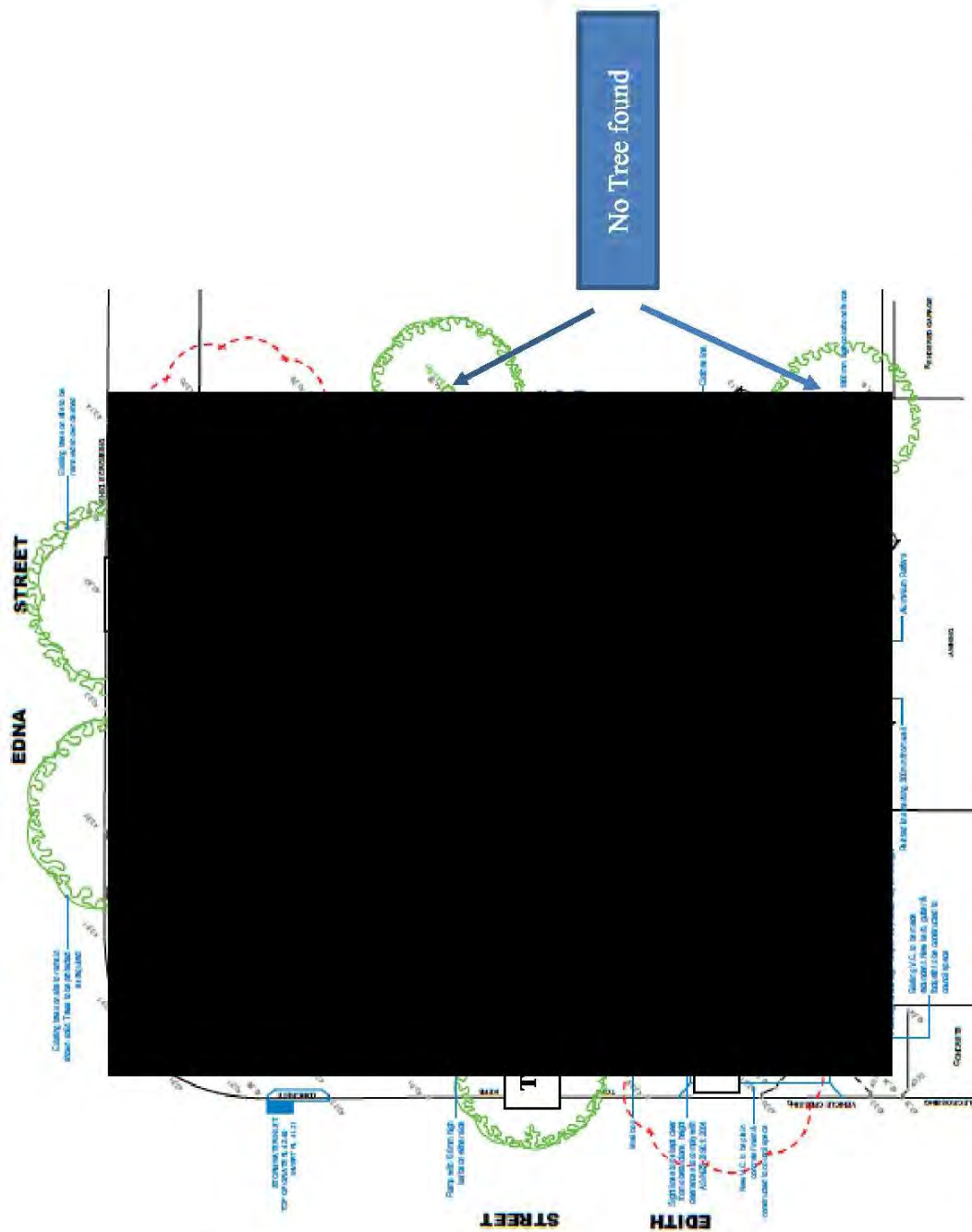
Fig. 8. Photo showing no trees in neighbouring property to the West of the Site.

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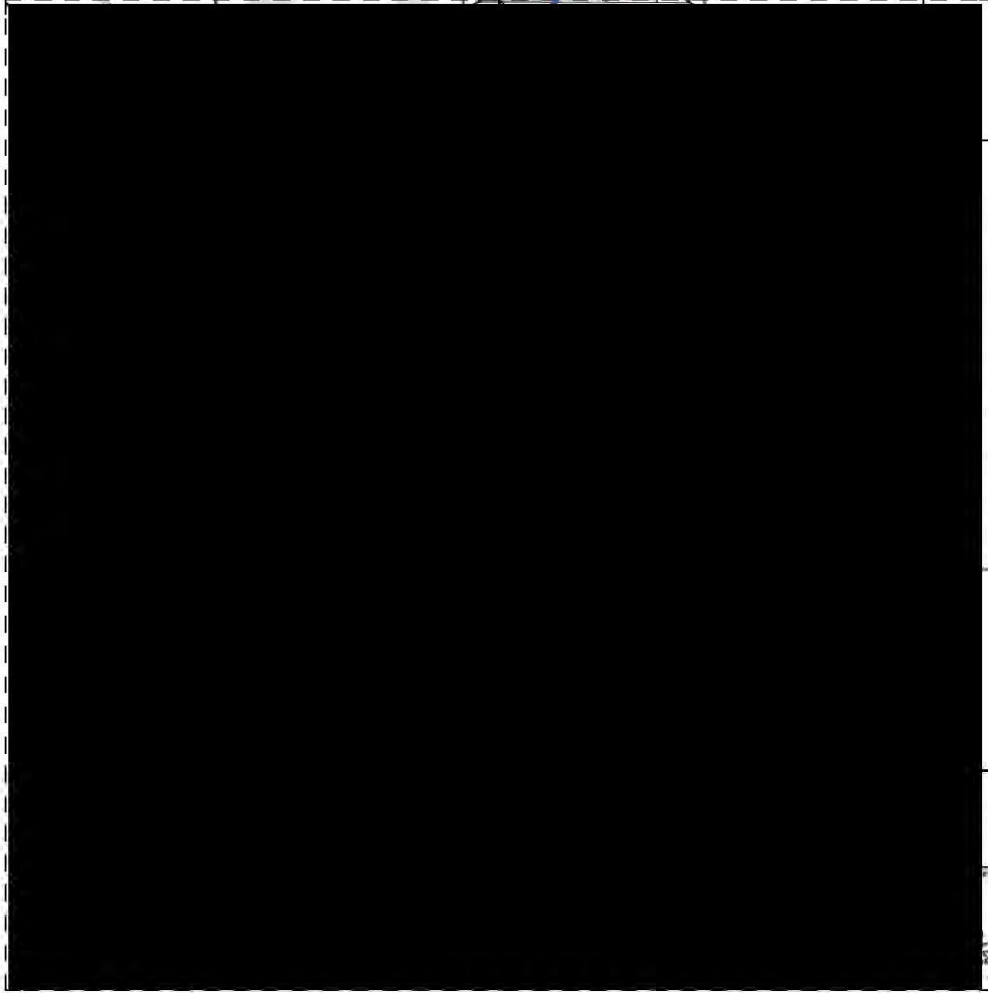
APPENDIX 2a. Excerpt from site survey showing the location of the trees on the Site.



APPENDIX 2b. Excerpt from site plans showing the location of the trees on the Site in relation to the proposed development.



APPENDIX 2c. Excerpt from Landscaping plan showing the location of compensatory trees on the Site.



No Tree found

APPENDIX 3. TABLE 2. SULE CATAGORIES AND SUB-CATEGORIES.

	1	2	3	4	5
	Long SULE: Appeared to be retainable at the time of assessment for over 40 years with an acceptable degree of risk, assuming reasonable maintenance.	Medium SULE: Appeared to be retainable at the time of assessment for 15 to 40 years with an acceptable degree of risk assuming reasonable maintenance.	Short SULE: Appeared to be retainable at the time of assessment for 5 to 15 years with an acceptable degree of risk assuming reasonable maintenance.	Remove: Trees which should be removed within the next 5 years.	Small young or regularly clipped: Trees that can be reliably transplanted or replaced.
A	Structurally sound trees located in positions that can accommodate future growth	Trees that may only live for 15 and 40 more years.	Trees that may only live for between 5 and 15 more years	Dead, Dying suppressed or declining trees through disease or inhospitable conditions.	Small trees less than 5 m in height.
B	Trees that could be made suitable for retention in the long term by remedial care.	Trees that may live for than 40 years, but would need to be removed for safety or nuisance reasons	Trees that may live for than 15 years, but would need to be removed for safety or nuisance reasons	Dangerous trees through instability or recent loss of adjacent trees.	Young trees less than 15 years old but over 5m in height.
C	Trees of special significance for historical, commemorative or rarity reasons that would warrant extraordinary efforts	Trees that may live for more than 40 years but should be removed to prevent interference with more suitable individuals or to	Trees that may live for more than 15years but should be removed to prevent interference with more suitable individuals or to	Dangerous trees through structural defects including cavities, decay, included bark, wounds or poor form.	Trees that have been regularly pruned to artificially control their growth

	to secure their long term retention.	provide space for new plantings	provide space for new plantings		
D		Trees that could be made suitable for retention in the medium term by remedial care	Trees that require substantial remedial care and are only suitable for retention in the short term.	Damaged trees that are clearly not safe to retain.	
E				Trees that may live for more than 5 years but should be removed to prevent interference with more suitable individuals or to provide space for new plantings.	
F				Trees that may cause damage to existing structures within 5 years.	
G				Trees that will become dangerous after removal of other surrounding trees	

Table 2 Ref Barrell, Jeremy (1996). Predevelopment tree assessment. Proceedings of the International Conference on Trees and Building Sites (Chicago)

Report Type: DA Access Report
Reference Number: 19293
Client: Designcorp
Site Address: 6 Edna Street, Kingswood, NSW



ACCESS REPORT

Vista Access Architects

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Project Compliance Statement:

This Access Compliance Report is to accompany a Development Application for the development proposed at 6 Edna Street, Kingswood, NSW

This development proposes a New Building with a total of 12 Residential units for a **Boarding house facility with Basement parking**. The development is within Penrith City Council LGA. A total of 1 Accessible parking space has been provided in the development.

The development has building classification as detailed below;

- Class 3 (residential boarding house, hostel accommodation or similar)
- Class 7a (car park)

This Access report is based on the relevant components of;

- Building Code of Australia (BCA) 2019, Volume 1- Performance requirements of DP1, DP2, DP8, DP9, EP3.4, FP2.1 and Parts D2, D3, E3 and F2 (where applicable)
- Disability (Access to Premises-Building) Standards 2010 (henceforth referred to as APS)
- AS1428.1-2009 Part 1: General requirements for access, including any amendments
- AS1428.4.1-2009 Part 4.1: TGSIs (Tactile ground surface indicators), including any amendments
- AS2890.6-2009 Part 6: Off-street parking for people with disabilities.
- AS1735 Lifts types included in the BCA including Part 12: Facilities for persons with disabilities

The assessment of the proposed development has been undertaken to the extent necessary to issue DA (Development application) consent under the Environmental Planning and Assessment Act. The proposal achieves the spatial requirements to provide access for people with a disability and it is assumed that assessment of the detailed requirements such as assessment of internal fit-out, details of stairs, ramps and other features will occur at CC (Construction Certificate) stage.

By compliance with the recommendation in this report, the development complies with the requirements of Access Code of Disability (Access to Premises-Building) Standards 2010 and the Disability Access relevant sections of Building Code of Australia 2019.

ASSESSED BY



Jenny Desai

Access Consultant and LHA Assessor

ACAA Membership number 572

LHA Assessor Licence number 20242

PEER REVIEWED BY



Farah Madon

Accredited Access Consultant and LHA Assessor

ACAA Accredited Membership number 281

LHA Assessor Licence number 10032

Vista Access Architects Pty. Ltd.

Relevant dates:

Fee proposal, number FP-9511 dated 13-11-2019. Fee proposal was accepted by Client on 22-11-2019.

Assessed Drawings:

The following drawings by Designcorp Architects have been assessed for compliance.

Drawing no	Issue	Date	Details
E2	E	16-09-2020	Basement/ Ground floor plan
E3	E	16-09-2020	First floor plan
E7	E	16-09-2020	Details

Document Issue:

Issue	Date	Details
Draft 1	04-09-2020	Issued for Architect's review
A	24-09-2020	Issued for DA

Limitations and Copyright information:

This report is based on discussions with the project architect and a review of drawings and other relevant documentation provided to us. No site visit was undertaken for the purposes of this project.

This assessment is based on the provided drawings and not based on constructed works, hence the assessment will provide assurance of compliance only if all the recommendations as listed in this report are complied with and constructed in accordance with the requirements of the current BCA, AS1428.1-2009 and other latest, relevant standards and regulations applicable at the time of construction.

Assessment is based on classification/use of the building. If the Class of the building changes to any other building Class, this access report will have to be updated accordingly.

Unless stated otherwise, all dimensions mentioned in the report are net (CLEAR) dimensions and are not to be reduced by projecting skirting, kerbs, handrails, lights, fire safety equipment, door handles less than 900mm above FFL (finished floor level) or any other fixtures/fit out elements. When we check drawings, we assume that the dimensions noted are CLEAR dimensions and therefore the Architect / Builder shall allow for construction tolerances. Only some numerical requirements from relevant AS (Australian Standards) have been noted in the report and for further details and for construction purposes refer to the latest relevant AS.

This report and all its contents including diagrams are a copyright of Vista Access Architects Pty Ltd (VAA) and can only be used for the purposes of this particular project. Copy pasting diagrams from this report to Architectural plans will constitute copyright infringement.

This report does not assess compliance matters related to WHS, Structural design, Services design, Parts of DDA other than those related to APS or Parts of BCA or Parts of AS other than those directly referenced in this report. VAA gives no warranty or guarantee that this report is correct or complete and will not be liable for any loss arising from the use of this report. We will use our best judgement in regard to the LHA assessments. However, we are not to be held responsible if another licenced LHA assessor comes to a different conclusion about compliance, certification or allocation of a particular Quality mark to us as a number of items are subject to interpretation.

We have no ability to check for slip resistance of surfaces. All wet areas, parking areas, pavement markings shall have the appropriate slip resistance for the location. We also have no ability to check for wall reinforcements once the walls have already been constructed. The builder shall take full responsibility that the requirements listed in this report are met and the construction and slip resistance shall be as per requirements of AS1428.1/ AS4299 / AS2890.6/ AS3661/ AS4586 and any other applicable regulation and Australian Standard.

A report issued for DA (development application) is not suitable for use for CC (construction certificate) application.

Compliance assessment with Access related requirements of BCA and Disability (Access to Premises-Building) Standards 2010 (APS)

BCA Part D3 Access for People with a Disability

BCA D3.1 General building Access requirements

SOU refers to a Sole Occupancy Unit

Requirement

Class 3- residential boarding house, hostel accommodation or similar

Access is required:

- From a required accessible pedestrian entrance to at least 1 floor with SOUs and to the entry of doors of each SOU on that level.
- To and within 1 of each type of room or space in common use.
- Where floor is accessed by an AS1428.1 ramp or lift, access is required to the entry doorway of each SOU on that level and to and within all common use areas on that level.

Accessible SOU requirements:

- Not more than 2 Accessible SOUs to be located adjacent to each other.
- Where more than 2 Accessible SOUs are required, they are to represent a range of available rooms.

Total number of SOUs	Accessible SOUs required
1 to 10 SOUs	1 accessible SOU
11 to 40 SOUs	2 accessible SOUs
41 to 60 SOUs	3 accessible SOUs
61 to 80 SOUs	4 accessible SOUs
81 to 100 SOUs	5 accessible SOUs
101 to 200 SOUs	5 accessible SOUs + 1 per 25 (in excess of 100)
201 to 500 SOUs	9 accessible SOUs + 1 per 30 (in excess of 200)
More than 500 SOUs	19 accessible SOUs + 1 per 50 (in excess of 500)

Compliance Comments

Complies.

- The development has a total of 12 SOUs and therefore 2 accessible SOUs have been provided, representing the range of available rooms with no more than 2 Accessible SOUs adjacent to each other.
- Accessible SOU numbers are Rooms 8 & 11.
- SOU 8 have been provided with RH transfer toilet and SOU 11 have been provided with LH transfer toilet to satisfy the requirement of range of available rooms.
- Access has been provided from the main pedestrian entry doorway to the entry doors of all SOUs on all levels by means of accessible pathways and lifts.
- Access has been provided to at least 1 of each common use spaces such as communal room and garden on Ground floor level.
- Access has been provided to common use garbage storage rooms on Ground floor level.

Details to be verified at CC stage of works.

Requirement

Class 7a- Covered car park.

- To and within any level containing accessible carparking spaces.

Compliance Comments

Complies.

Access has been provided to Basement level containing Accessible carparking spaces. Details to be verified at CC stage of works.

BCA Part D3.2 Access to buildings

Requirement

Accessway is required from;

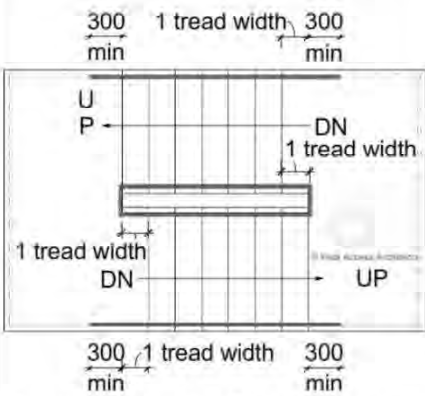
- Main pedestrian entry at the site boundary for new buildings.
- Any other accessible building connected by a pedestrian link.
- Accessible car parking spaces.

Compliance Comments

Complies.

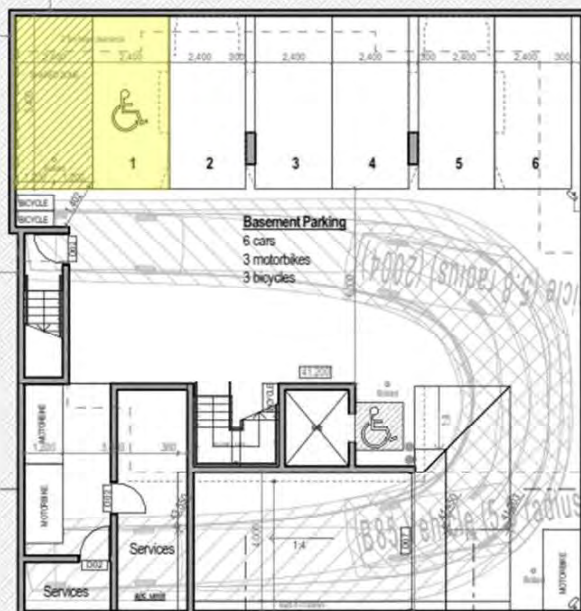
- Access by means of 1:20 grade walkways has been provided from the main pedestrian entry at the site boundary.
 - Access has been provided from accessible car parking spaces by means of lifts.
- Details to be verified at CC stage of works.

Requirement	External Walkway / Pedestrian Access- to be as per requirements of AS1428-2009.
Compliance	Capable of compliance.
Comments	Details to be verified at CC stage of works.
Requirement	Accessway is required through: - Principal pedestrian entry; and - Not less than 50% of all pedestrian entrances; and - In building with floor area over 500m², a non-accessible entry must not be located more than 50M from an accessible entry.
Compliance	Complies.
Comments	50% of the pedestrian entries, including the main entry have been designed to be accessible with a non-accessible entry not more than 50M from an accessible entry. Details to be verified at CC stage of works.
Requirement	All common use doorways and doorways to and within Accessible and Adaptable units to comply with AS1428.1. Where accessible pedestrian entry has Multiple doorways: - At least 1 to be accessible if 3 provided - At least 50% to be accessible, if more than 3 provided - Where doorway has multiple leaves, at least 1 leaf is to have clear opening of 850mm (excluding automatic doors)
Compliance	Capable of compliance.
Comments	In common use areas, all single hinged doors and in case of multiple leaf doorways, at least 1 operable leaf is required to provide a clear opening of 850mm with the door circulations spaces as per AS1428.1-2009. [Image description: Different types of doorways with door circulation requirements as per AS1428.1] Note that the circulation spaces to have a maximum floor grade of 1:40 (doorway threshold ramps are permitted within the circulation space). Sliding doorways to be provided with recessed floor tracks to enable flush transition from the inside of the building. Where there is an external level difference at the door threshold, the maximum level difference can be 35mm if provided with a 1:8 doorway threshold ramp. This is achievable and the door selections are to be verified at CC stage of works.

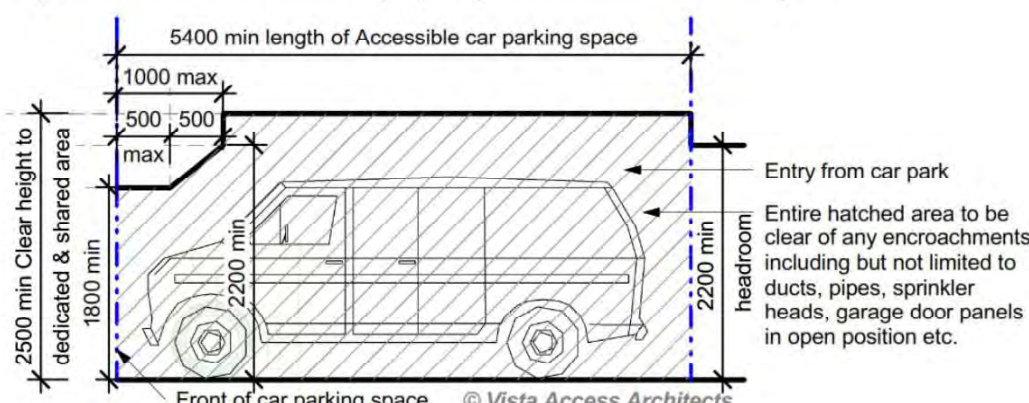
	BCA Part D3.3 Parts of buildings required to be accessible
Requirement	Every Ramp with grades steeper than 1:20 and less than or equal to 1:14 (excluding fire-isolated ramp) is to be compliant with Clause 10 of AS1428.1: - AS1428.1-2009 (including but not limited to - maximum grade of 1:14 with appropriate landings at a maximum of 9M of a flight of ramp). - 1M clear width to be provided between handrails / kerb / kerbrails. - Handrails and kerbs to be provided on both sides with appropriate handrails extensions. - Slip resistance of ramp and landings to comply with BCA Table D2.14
Compliance Comments	N/A No 1:14 ramps have been identified in the development.
Requirement	Step ramp if provided is to be compliant with: - AS1428.1-2009 including max grade of 1:10, max height of 190mm, max length of 1.9M - Slip resistance of ramp and landings to comply with BCA Table D2.14. - A landing for a step ramp must not overlap a landing for another step ramp or ramp
Compliance Comments	N/A No step ramps have been identified in the development.
Requirement	Kerb ramp if provided is to be compliant with: - AS1428.1-2009 including max grade of 1:8, max height of 190mm, max length of 1.52M - Slip resistance of ramp and landings to comply with BCA Table D2.14.
Compliance Comments	N/A No kerb ramps have been identified in the development.
Requirement	Every Stairway (excluding fire-isolated stairway) is to be compliant with: - Clause 11 of AS1428.1-2009 (including but not limited to opaque risers, handrails on both sides including appropriate handrail extensions between 1M clear width and compliant nosing strips). - Slip resistance to comply with BCA Table D2.14 when tested in accordance with AS4586.
Compliance Comments	Capable of compliance. Where non-fire-isolated stairways have been provided, the features of the stairway will be assessed with the requirements of AS1428.1-2009 at the CC stage of works.  Note: In some cases, the stairway from the basement to the ground floor level is considered to be non-fire-isolated, in which case full compliance will be required as per AS1428.1-2009. Verify with the BCA consultant. Note: For stairways with 90° to 180° turns at landings, in order for the handrails to comply with the consistent height requirement, the risers have to be offset at the mid-landings OR provided with a 300mm handrail extension, so that no vertical sections are created in the handrails. This applies to both non-fire-isolated and fire-isolated stairways. [Image description: Diagram shows the requirements of a non-fire-isolated stairway as per AS1428.1]
Requirement	Every Fire-isolated Stairway is to be compliant with AS1428.1-2009 in the following aspects: - Handrail on one side (requirement under D2.17) with 1M clear space. Handrail extensions are not required however since the handrails cannot have any vertical sections and since handrail is required to be at a consistent height throughout the stairway including at landings, it may be essential to either provide handrail extensions or offset first riser going up at mid landings to achieve this at 90° to 180° turns. - Slip resistance to comply with BCA Table D2.14 when tested in accordance with AS4586.
Compliance Comments	N/A No fire-isolated stairway has been identified in the development.

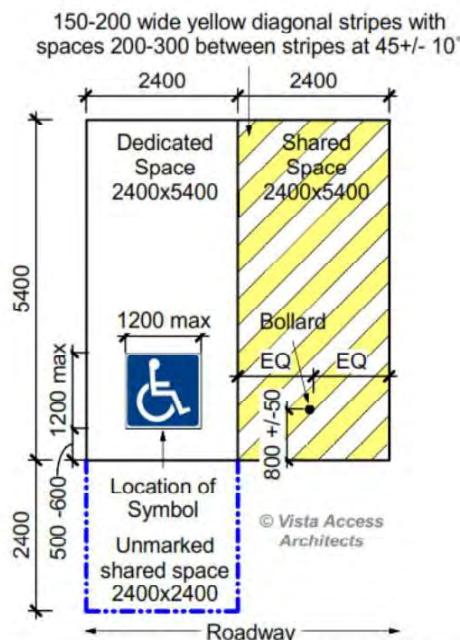
Requirement	Nosing strips to both fire-isolated and non-fire-isolated stairways - Each tread to have a nosing strip between 50mm-75mm depth (of any one colour) for the full width of the stair, which can be setback for a maximum of 15mm from the front of the nosing. - Multiple strips making up the 50mm-75mm depth is NOT permitted. - This strip is to have a minimum luminance contrast of 30% to the background and to comply with any change in level requirements if attached on the treads. - Where the nosing strip is not set back from the front of the nosing then any area of luminance contrast shall not extend down the riser more than 10mm - Slip resistance to comply with BCA Table D2.14 when tested in accordance with AS4586.																			
Compliance Comments	Capable of compliance. Detailed features of the nosing strips will be assessed with the requirements of AS1428.1 at the CC stage of works.																			
Requirement	Handrail cross-sectional profile – for stairways and ramps to comply with AS1428.1 - Diameter of handrails to be between 30mm-50mm and located not less than 50mm from adjacent walls with no obstructions to top 270° arc.																			
Compliance Comments	Capable of compliance. Detailed features of the handrails will be assessed with the requirements of AS1428.1 at the CC stage of works.																			
Requirement	Slip resistance requirements as per BCA BCA Table D2.14 has the following Slip –resistance requirements when tested in accordance with AS4586: <table><tr><th rowspan="2">Application</th><th colspan="2">Surface conditions</th></tr><tr><th>Dry</th><th>Wet</th></tr><tr><td>Ramp steeper than 1:14</td><td>P4 or R11</td><td>P5 or R12</td></tr><tr><td>Ramp steeper than 1:20 but not steeper than 1:14</td><td>P3 or R10</td><td>P4 or R11</td></tr><tr><td>Tread or landing surface</td><td>P3 or R10</td><td>P4 or R11</td></tr><tr><td>Nosing or landing edge strip</td><td>P3</td><td>P4</td></tr></table>			Application	Surface conditions		Dry	Wet	Ramp steeper than 1:14	P4 or R11	P5 or R12	Ramp steeper than 1:20 but not steeper than 1:14	P3 or R10	P4 or R11	Tread or landing surface	P3 or R10	P4 or R11	Nosing or landing edge strip	P3	P4
Application	Surface conditions																			
	Dry	Wet																		
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Tread or landing surface	P3 or R10	P4 or R11																		
Nosing or landing edge strip	P3	P4																		
	HB 197/ HB198 An introductory guide to the slip resistance of pedestrian surface materials provides guidelines for the selection of slip-resistant pedestrian surfaces																			
Compliance Comments	Capable of compliance. For Slip resistance of surfaces the builder is required to provide a Certificate stating that the Slip resistance of the surfaces comply with the above listed requirements when tested as per AS4586. Details to be provided at the CC stage of works.																			
Requirement	Every Passenger lift is to comply with the requirements of BCA E3.6.																			
Compliance Comments	This has been assessed further in the report in the Lifts section. Refer to Lifts section.																			
Requirement	Passing spaces requirement It is a requirement to provide passing spaces in accessways complying with AS1428.1 at maximum 20 M intervals, where a direct line of sight is not available. Space required is 1800x2800mm (in the direction of travel). Chamfer of 400x400mm is permitted at corners.																			
Compliance Comments	N/A There are no accessways over 20M lengths in the development where a direct line of sight is not available.																			
Requirement	Turning spaces requirement It is a requirement to provide turning spaces in accessways complying with AS1428.1-2009 within 2M of the end of accessways where it is not possible to continue travelling and at every 20M intervals. CLEAR Space required is 1540mmx2070mm in the direction of travel (measured from skirting to skirting).																			
Compliance Comments	Complies. - Adequate turning spaces have been provided with minimum common use passageway widths being 1540mm clear or alternatively a space of 1540mmx2070mm provided at or within 2M of the end of the passageway. - A space of 1540mmx2070mm is also required / provided in front of all passenger lift doors. Details to be verified at CC stage of works.																			

Requirement	Carpet specifications Carpet if used in areas required to be accessible are to be provided with pile height or thickness not more than 11mm and carpet backing not more than 4mm bringing the total height to a maximum of 15mm.
Compliance	Capable of compliance if carpets are provided in the common use areas and accessible units.
Comments	Carpet selections generally take place at CC stage of works. Selection of carpets as specified above will lead to compliance. Details to be verified at CC stage of works.
BCA Part D3.4 Exemption	
Requirement	Access is not required to be provided in the following areas: - Where access would be inappropriate because of the use of the area - Where area would pose a health and safety risk - Any path which exclusively provides access to an exempted area
Compliance	For information only.
Comments	Areas such as lift machine rooms, fire services room, commercial kitchens etc. in the development are exempted from providing access under this clause due to WHS concerns. Where a caretaker is provided in the development, the toilet provided exclusively for use by the caretaker can be excluded from providing access based on the provisions in this clause.
BCA Part D3.5 Accessible Carparking	
Requirement	Class 1b and 3 For Accessible parking requirements for boarding house, guest house, hostel etc. Multiply total number of carparking spaces provided by the % of - Accessible SOUs to the total number of SOUs or - Accessible bedrooms to the total number of bedrooms Calculated to the next whole number For Accessible parking requirements for residential part of school, accommodation for the aged, the disabled or children, residential part of health care building etc. - 1 space per 100 carparking spaces
Compliance	Complies.
Comments	Total number of carparking spaces provided = 6. Total number of accessible parking spaces required / provided as per the formula listed above in the requirements = 1. Detailed features of the accessible parking space to be verified at CC stage of works.



[Image description: Plan above shows the provision of Accessible parking spaces]

	AS2890.6-2009 requirements for Accessible car parking space
Requirement	- Dedicated space 2.4Mx5.4M, Shared space 2.4Mx5.4M at the same level - Slip resistant flooring surface with maximum fall 1:40 in any direction or maximum 1:33 if bituminous and outdoors. - Central Bollard in shared space at 800+/-50mm from entry point. - Pavement marking in dedicated space by means of access symbol between 800mm-1000mm high placed on a blue rectangle of maximum 1200mm and between 500mm-600mm from its entry point (marking not required where allocated to an Adaptable unit). - Minimum headroom of 2.2M at entrances and 2.5M is required over shared space as well as dedicated spaces. - Non-trafficked area of the shared space to have marking strips at 45°, 150-200mm wide at 200mm-300mm spaces (not required where driveways are used as shared spaces)
Compliance Comments	Capable of compliance. Details to be verified at the CC stage of works. Refer to diagrams below for requirements, especially in regards to head height requirements. Note: The pavement marking shall have the appropriate slip resistance for the location. This requirement is to be added to the project specifications to ensure compliance.  [Image description: Diagram shows head height requirements as per AS2890.6 for both dedicated accessible parking space and the shared space. No beams, pipes, sprinklers or any other encroachments are permissible within the required clear head height space]



[Image description: Diagram shows spatial requirements of AS2890.6 including line marking, symbol and bollard requirements]

	BCA Part D3.6 Signage	
Requirement	Braille and Tactile signage is required to identify Accessible Sanitary facilities	
Compliance	N/A	
Comments	No common use sanitary facilities have been proposed in the development.	
Requirement	Braille and Tactile signage is required to identify Ambulant Sanitary facilities	
Compliance	N/A	
Comments	No common use sanitary facilities have been proposed in the development.	
Requirement	Braille and Tactile signage is required to identify Hearing Augmentation	
Compliance	N/A	
Comments	Hearing augmentation is not provided since there is no inbuilt amplification system proposed in the development.	
Requirement		Braille and Tactile signage is required to identify a Fire exit door required by E4.5 by stating the 'Exit' and 'Level', followed by either: - The floor level number or floor level descriptor or a combination of both of the above. - Sign must be located on the side that faces a person seeking egress The "?" shown in image above is to be replaced with the floor level where the door is located. [Image description: Image of Signage]
Compliance	Capable of compliance.	
Comments	All doors nominated as Exit doors require signage as described above. Signage selections generally take place at CC stage of works. Selection of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.	
Requirement		Signage is required to a non-accessible pedestrian entrance as per AS1428.1-2009 to direct to the nearest accessible pedestrian entry. [Image description: Image of Signage] Arrow direction on this signage is indicative only and the direction of the arrow will be based on the location of the accessible entry.
Compliance	Capable of compliance.	
Comments	Signage selections generally take place at CC stage of works. Selection of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.	
Requirement	Signage is required where a bank of sanitary facilities is not provided with an accessible unisex sanitary facility.	
Compliance	N/A	
Comments		
Requirement	Directional signage: In a building subject to F2.9, directional signage complying with Specification D3.6 must be provided at the location of each— (i) bank of sanitary facilities; and (ii) accessible unisex sanitary facility, other than one that incorporates an accessible adult change facility, to direct a person to the location of the nearest accessible adult change facility within that building.	
Compliance	N/A	
Comments		
Requirement	All signage is required to be as per Specification D3.6 Braille and Tactile Signs This includes location of signage, specifications in regards to braille and tactile characters, luminance contrast and lighting.	
Compliance	Capable of compliance.	
Comments	Signage selections generally take place at CC stage of works. Selection of signage as specified above will lead to compliance. Details of selected signage to be verified at CC stage of works.	

BCA Part D3.7 Hearing Augmentation	
Requirement	Hearing Augmentation is only required where an inbuilt amplification system (other than emergency) is installed in a Class 9b building, or in an auditorium, conference / meeting room or a reception area where a screen is used.
Compliance Comments	N/A No areas with provision of inbuilt amplification have been identified on plans and hence no hearing augmentation requirements apply to this development.
BCA Part D3.8 Tactile indicators (TGSIs)	
Requirement	TGSIs are required when approaching: - Stairways other than fire-isolated stairways. - Escalators / passenger conveyor / moving walk. - Ramp (other than fire-isolated ramps / kerb or step or swimming pool ramps). - Under an overhead obstruction of <2M if no barrier is provided. - When accessway meets a vehicular way adjacent to a pedestrian entry (if no kerb / kerb ramp provided at the location). Compliance is required with AS1428.4.1 including Luminance contrast and slip resistance requirements for all TGSIs.
Compliance Comments	Capable of compliance. TGSi selections generally take place at CC stage of works. Selection of TGSIs as specified will lead to compliance and these selection details are to be verified at CC stage of works.
BCA Part D3.11 Limitations on Ramps	
Requirement	On an accessway: - A series of connected ramps must not have a combined vertical rise of more than 3.6M; - And a landing for a step ramp must not overlap a landing for another step ramp or ramp.
Compliance Comments	N/A No ramps have been identified in the development.
BCA Part D3.12 Glazing on Accessways	
Requirement	Glazing requirements: - Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights and any glazing capable of being mistaken for a doorway or opening are required to have a glazing strip - The marking should be for the full width with a solid and non-transparent 75mm wide, contrasting line located 900-1000mm above FFL and provide a minimum luminance contrast of 30% when viewed against the floor surface within 2M of the glazing on the opposite end. Graphical representation or cut-outs are not permitted.
Compliance Comments	Capable of compliance Glazing strips are required to be provided to full length glazed areas (doors and windows) used in common use areas such as lift lobbies and common passageways. Glazing strip selections generally take place at CC stage of works. Selection of glazing strips as specified above will lead to compliance and these selection details are to be verified at CC stage of works.
BCA Part F Accessible Sanitary Facilities BCA F2.4 Accessible sanitary facilities	
Requirement	Accessible unisex toilet is to be provided in accessible part of building such that; - It can be entered without crossing an area reserved for 1 sex only - Where male and female sanitary facilities are provided at different locations, Accessible unisex toilet is only required at one of the locations - Even distribution of LH and RH facilities - An accessible facility is not required on a level with no lift / ramp access.
Compliance Comments	Complies No common use sanitary facilities have been proposed in the development. Each Accessible SOU has been provided with Accessible toilet and shower.

Requirement	Accessible unisex toilet is to be designed in accordance with AS1428.1-2009
Compliance	N/A
Comments	No common use sanitary facilities have been proposed in the development.
Requirement	Ambulant use male / female toilets are to be provided if an additional toilet to the Accessible unisex toilet is provided
Compliance	N/A
Comments	No common use sanitary facilities have been proposed in the development.
BCA F2.4(a) Accessible unisex sanitary compartments	
Requirement	Class 3 - 1 Accessible toilet within every accessible SOU provided with sanitary compartments. - At least 1 unisex Accessible toilet when sanitary compartments are provided in common areas.
Compliance	Complies
Comments	<u>Common use sanitary facilities:</u> - No common use sanitary facilities have been identified in the development. <u>Accessible sanitary facilities within the Accessible SOUs:</u> - Each Accessible SOU has been provided with Accessible toilet and accessible shower
BCA F2.4(b) Requirements for Accessible unisex showers	
Requirement	Class 3 - 1 Accessible shower within every accessible SOU provided with showers and - At least 1 unisex Accessible shower for every 10 showers provided in common areas.
Compliance	Complies
Comments	<u>Common use sanitary facilities:</u> - No common use sanitary facilities have been identified in the development. <u>Accessible sanitary facilities within the Accessible SOUs:</u> - Each Accessible SOU has been provided with Accessible toilet and accessible shower
Requirement	Showers for Accessible use are to be designed in accordance with AS1428.1.
Compliance	Capable of compliance
Comments	Detailed features of the Accessible shower will be assessed with the requirements of AS1428.1 at the CC stage of works.
<i>Above dimensions can change based on selected fixtures such as size of basin. Location of the door is indicative only.</i> <i>[Image description: Diagram showing requirements for circulation spaces for fixtures in an Accessible toilet cum accessible shower as per AS1428.1]</i>	

	BCA Part E Lift Installations
	BCA E3.2 Stretcher facility in lifts
Requirement	A Stretcher lift is to be provided if a passenger lift is installed to serve any storey with an effective height of 12M. The space requirement is 600mm wide x 2000mm deep x 1400mm high above the floor level. Confirm this requirement with your BCA consultant.
Comments	For information only. Contact BCA consultant / PCA in regard to applicable requirements.
	BCA E3.6 Passenger lift
Requirement	In an accessible building, Every Passenger Lift (excluding electric passenger lift, electrohydraulic passenger lift, inclined lift) must be subject to limitations on use and must comply with Tables E3.6a and E3.6b
Compliance Comments	Capable of compliance. A certificate of compliance from the lift supplier will be required at the CC stage of works stating that the proposed lift complies with the requirements of BCA Part E3- Lift installations.
	BCA E3.6 Table E3.6a -Limitations on use of types of passage lifts
Requirement	Limitations on use of Stairway platform lifts, Low-rise platform lift, Low-rise, low-speed constant pressure lift and small sized, low-speed automatic lift
Compliance Comments	N/A Not identified in the development.
	BCA E3.6 Table E3.6b -Application of features to passenger lifts
Requirement	Handrail requirements for passenger lifts. Apart from stairway platform lift and low-rise lifts, a handrail is required as per AS1735.12.
Compliance Comments	Capable of compliance. Details to be verified at CC stage of works.
Requirement	Lift floor dimensions (excluding stairway platform lift) - Lifts traveling 12M or under, floor size, 1100mm wide x 1400mm deep - Lifts travelling more than 12M , floor size 1400mm wide x 1600mm deep
Compliance Comments	Capable of compliance Details to be verified at CC stage of works. Additional lift car size may apply if stretcher lift is required under the BCA.
Requirement	Minimum Door opening size complying with AS1735.12, not less than 900mm clear (excluding stairway platform lift).
Compliance Comments	Capable of compliance Details to be verified at CC stage of works.
Requirement	All lifts with a power operated door are required to have a Passenger protection system complying with AS1735.12.
Compliance Comments	Capable of compliance Details to be verified at CC stage of works.
Requirement	Lift landing doors to be provided at upper landing (excluding stairway platform lift).
Compliance Comments	Capable of compliance Details to be verified at CC stage of works.
Requirement	Lift car and landing control buttons to comply with AS1735.12 (excluding stairway platform lift and low-rise platform lift).
Compliance Comments	Capable of compliance Details to be verified at CC stage of works.

Requirement	Lighting (for all enclosed lift cars) to be provided in accordance with AS1735.12 and AS1680. Minimum illuminance of 100 lx is required at the level of the car floor and average of 50 lx is required on the control panel surface.
Compliance Comments	Capable of compliance Details to be verified at CC stage of works.
Requirement	To all lifts serving more than 2 levels , audible and visual indication to be provided as per AS1735.12.
Compliance Comments	Capable of compliance. Details to be verified at CC stage of works.
Requirement	Emergency hands free communication (excluding stairway platform lift) – provide a button that alerts a call centre and a light that the call has been received.
Compliance Comments	Capable of compliance Details to be verified at CC stage of works.

Additional Features required as per AS1428

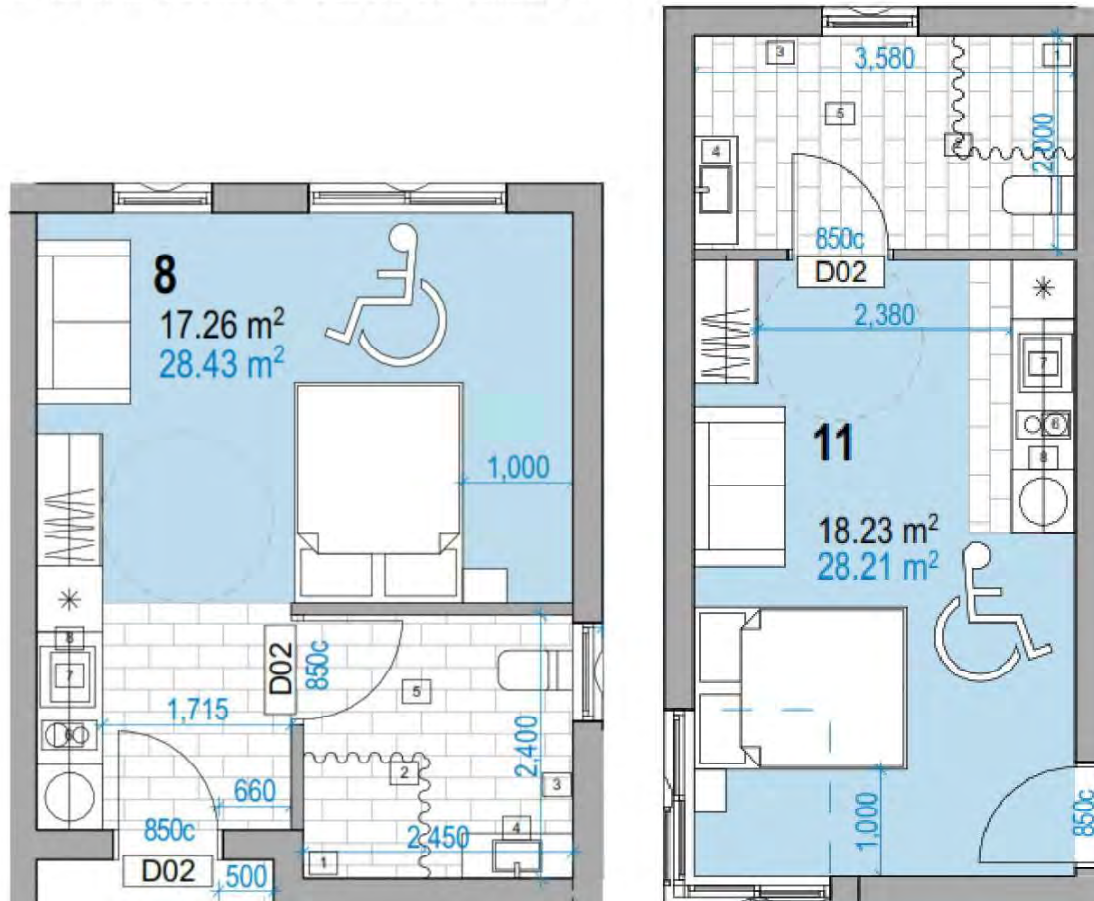
Refer to AS1428 for full list of requirements.

	The following accessibility requirements apply only to: - Common use areas within the residential component (including passageways leading to SOUs) - To and within all units nominated on the plans as Accessible units
Requirement	Accessway width requirements - All Accessway widths are to be a minimum of 1M clear (measured from skirting to skirting) with vertical clearance of at least 2M
Compliance Comments	Complies. Details to be verified at CC stage of works.
Requirement	Doorway requirements - All common use doorways in the development to be in accordance with AS1428.1 - Door thresholds are to be level or they can incorporate a doorway threshold ramp as per AS1428.1 i.e. max 1:8 grade, max height of 35mm and located within 20mm of door leaf. - Distance between successive doorways in airlocks to be 1450mm which is measured when the door is in open position in case of swinging doors.
Compliance Comments	Capable of compliance. Details to be verified at CC stage of works.
Requirement	Door hardware requirements - Door hardware including door handles, door closers and the in-use indicators / snibs in accessible and ambulant toilets are required to comply with requirements of AS1428.1.
Compliance Comments	Capable of compliance. Door hardware selections generally take place at CC stage of works. Selection of door hardware as specified above will lead to compliance and these selection details are to be verified at CC stage of works.
Requirement	Luminance contrast requirements for doorways. - All doorways to have a minimum luminance contrast of 30% provided as per AS1428.1 with the minimum width of the luminance contrast to be 50mm.
Compliance Comments	Capable of compliance. The painting schedule of walls/doors and door frames are to consider the above requirements when colours are selected. Check Contrast requirements via LRV of colours on http://www.accessarchitects.com.au/luminance-contrast-calculator or download free LRV calculator App from Apple Store or Google Play. Add the above listed requirements to project specifications to ensure compliance.
Requirement	Floor or ground surfaces - Use slip-resistant surfaces. The texture of the surface is to be traversable by people who use a wheelchair and those with an ambulant or sensory disability. - Abutment of surfaces is to have a smooth transition. Construction tolerances to be as per AS1428.1 - Grates if used in the accessible path of travel is required to comply with the requirements as per AS1428.1
Compliance Comments	Capable of compliance. Floor surface selections generally take place at CC stage of works. Selection of floor surfaces as specified above will lead to compliance and these selection details are to be verified at CC stage of works.
	Switches, Controls and Lighting requirements - All switches and controls (including controls for intercom facilities and external lift control buttons) on an accessible path of travel, Accessible SOUs and Accessible sanitary facilities to be located as per requirements of AS1428.1
Compliance Comments	Capable of compliance. Lighting fixture selections and locations generally take place at CC stage of works. Selection of lighting fixtures and locating them as specified above will lead to compliance. These selection/location details are to be verified at CC stage of works.

Accessible SOU requirements

BCA does not specify the features required for an Accessible SOU. The following are selected features of AS1428.1 which are considered suitable for an Accessible SOU.

The development has a requirement for 2 Accessible SOUs.
The nominated Accessible SOUs are Unit numbers, 08 & 11.



R☑ = Required;

C☑ = Capable of compliance at by adding the requirement to the project specifications.

Requirements as per AS1428	R	C	Comments
1 Doorways			
All doors including entry door to provide 850mm clear opening space with the necessary door circulation spaces and fixtures as specified under AS1428.1	☑	☑	Complies Details to be verified at the CC stage of works.
2 Bathroom			
At least 1 Bathroom to accommodate, WC pan, Shower and handwash basin with the necessary fixtures and circulation spaces as specified under AS1428.1	☑	☑	Complies Details to be verified at the CC stage of works.
3 Laundry			
Where internal laundry provided, provide for a space of 1550mm space in front of laundry appliances.	☑	☑	Complies Details to be verified at the CC stage of works.

4	Main bedroom			
	At least 1 bedroom to have a queen bed with circulation space of 1540mm x 2070mm at the base or side of the bed and at least 1M on the other 2 sides. It is our opinion that In the case of a boarding house a single bed may be used with the same circulation spaces.	✓	✓	Complies Details to be verified at the CC stage of works.
5	Living areas			
	Adequate circulation space is to be available after the placement of furniture. Circulation space of minimum 2250mm diameter is considered to be appropriate.	✓	✓	Complies Common use living area has been provided to the ground floor level. Details to be verified at the CC stage of works.
6	Kitchen / Kitchenette			
	Where internal kitchenette provided, 1550mm clear spaces is required in front of the benchtops. Provide long arm lever tap and 1 double GPO within 300mm of front bench. Consideration to be given to provision of an 850mm section without base cabinetry or removable cabinetry to allow for access to benchtop and a benchtop space of 800mm between the fridge and cooktop.	✓	✓	Capable of compliance. Details to be verified at the CC stage of works.
7	Balconies and outdoor areas			
	Where access is available from the unit to the outdoor areas such as balconies and courtyards, an accessible threshold is required, with door tracks for sliding doors (if any) to be flush with the internal floor level and max height of external threshold ramp of 35mm height.	✓	✓	Capable of compliance. This requirement also applies to common use areas. Details to be verified at the CC stage of works.
8	Flooring			
	All flooring is required to be step free. Construction tolerances, slip resistant and waterproofing to be as required under relevant Australian Standards.	✓	✓	Capable of compliance. Details to be verified at the CC stage of works.
9	Switches and GPOs			
	All switches, GPOs and controls (including controls for intercom facilities) to be accessible as required under AS1428.1	✓	✓	Capable of compliance. Details to be verified at the CC stage of works.

Advisory Only

The Federal Disability Discrimination Act 1992 (DDA) provides protection for everyone in Australia against discrimination based on disability. Section 32 of the DDA focuses on the provision of equitable and dignified access to services and facilities for people with mobility, sensory and cognitive disabilities.

Disability discrimination happens when people with a disability and their relatives, friends, carers, co-workers or associates are treated less fairly than people without a disability.

Compliance with Access to Premises Standards give certainty to building certifiers, building developers and building managers that, if access to (new parts) of buildings is provided in accordance with these Standards, the provision of that access, to the extent covered by these Standards, will not be unlawful under the DDA. This however applies only to the new building or new parts of an existing building and its affected part. All areas outside the scope of these areas are still subject to the DDA. We cannot guarantee or certify for DDA compliance because DDA compliance can only be assessed by the Courts.

Scope of DDA extends beyond the building fabric and also includes furniture and fittings.

Some recommendations to address common furniture and fittings have been listed below. Non-provision of the below recommendations may not affect compliance under the BCA but may leave the building owner vulnerable to a claim under the DDA.

For new kitchens / BBQ areas in residential common use areas, it is suggested that this kitchen could be made partially accessible by providing a width of 900mm next to the sink as vacant space (without cabinetry under the bench top) and a long lever tap with spout and handle within 300mm from the front of the benchtop. The distance in between the benches to be 1550mm. 1 double GPO to be provided within 300mm from the edge of the benchtop. This would allow a person in a wheelchair to independently move within the kitchen and use basic facility, being the sink independently.

Statement of Experience

Farah Madon- Director

ACAA Accredited Access Consultant, NDIS SDA Assessor, Livable Housing Assessor & Changing Places Assessor

- Accredited member of the Association of Consultants in Access Australia (ACAA). Membership no 281
- Architect registered with the NSW Architect's Registration Board. Reg number 6940
- Member of Australian Institute of Architects (RAIA), A+ Practice member. No 49397
- Registered Assessor of Livable Housing Australia. Licence no 10032
- Internationally Certified Access Consultant GAATES ICAC. Membership BE-02-021-20
- Registered Assessor of Changing Places Australia. Registration no CP006

Farah's Educational Profile and Qualifications include:

- Bachelor of Architecture Degree with Honours (B.Arch.)
- International Certification of Accessibility Consultants- Built Environment (ICAC-BE) Program, Level 2 Advanced Accessibility Consultant
- Diploma of Access Consulting CPP50711
- Accredited Specialist Disability Accommodation (SDA) Assessor's Course
- Standards Australia's course on 'Writing Australian Standards'
- OHS Construction Induction Training Certificate
- Changing Places Australia's Training for Assessors

Farah has 20 years of experience of working in the field of Architecture and Access. Farah specialises in access consultancy services, including NDIS SDA Assessments, access related advise, auditing and reporting services, performance solution assessments for access related issues under the BCA.

Farah is the lead author of the NDIS SDA Design Standard. She has been invited as an expert witness for Access related matters in the Land and Environment Court.

Farah currently participates on the following key committees concerning access for people with disabilities, on an honorary basis:

- Committee member of ME-064 Committee of Standards Australia responsible for the AS4299 and AS1428 suite of standards.
- Community Representative Member of the Penrith City Council's Access Committee
- Member of Australian Institute of Architect's (RAIA) National Access Work Group (NAWG)
- Management Committee member of NSW Network of Access Consultants
- Livable Housing Australia's Industry Reference Group (IRG) Member

Farah has previously held the following roles:

- Vice President of ACAA from 2016 to 2019 and Management committee member of ACAA from 2011 till 2019.
- Convener of the ACAA's Access related Practice and Advisory Notes

Meet our team

Vanessa Griffin- ACAA Accredited Access Consultant, NDIS SDA Assessor, Livable Housing Assessor & Changing Places Assessor

- Accredited member of ACAA. Membership no 500
- Registered Assessor of Livable Housing Australia.
- Member of AIBS – Australian Institute of Building Surveyors

Vanessa's Educational Profile and Qualifications include:

- Diploma of Surveying and Diploma of Health and Building Surveying
- Certificate IV in Access Consulting
- OHS Construction Induction Training Certificate
- Changing Places Australia's Training for Assessors
- Accredited Specialist Disability Accommodation (SDA) Assessor's Course

Jenny Desai- ACAA Accredited Access Consultant, NDIS SDA Assessor, LHA Assessor

- Accredited member of ACAA. Membership no 572
- Registered Assessor of Livable Housing Australia

Jenny's Educational Profile and Qualifications include:

- Master of Design (M.Des) from University of Technology, Sydney
- Certificate IV in Access Consulting
- OHS Construction Induction Training Certificate
- Accredited Specialist Disability Accommodation (SDA) Assessor's Course



WASTE MANAGEMENT PLAN

DEMOLITION, CONSTRUCTION AND USE OF PREMISES

The applicable sections of this table must be completed and submitted with your Development Application.

Completing this table will assist you in identifying the type of waste that will be generated and will advise Council of how you intend to reuse, recycle or dispose of the waste.

The information provided on the form (and on submitted plans) will be assessed against the objectives of the DCP.

OUTLINE OF PROPOSAL	
Site Address: <u>6 Edna St Kingswood</u>	
Applicants name and address: <u>Designcorp Australia Pty Ltd</u> <u>16 Dunlop Street North Parramatta NSW 2151</u>	
Phone: <u>9630 9911</u> Fax: <u>9630 9922</u>	
Buildings and structures currently on the site: <u>Single storey brick dwelling with detached fibro garage.</u>	
Brief description of proposal: Demolition of existing structures and associate site works. Construction of a 2 storey boarding house with basement parking.	
The details provided on this form are the intentions of managing waste relating to this project.	
Signature of applicant	 Date: <u>29/10/2020</u>

STAGE ONE – DEMOLITION

This is the stage with the greatest potential for waste minimisation, particularly in Sydney where there are high levels of development, relatively high tipping charges and where alternative quarry materials are located on the outskirts.

Applicants should consider whether it is possible to re-use existing buildings, or parts thereof, for the proposed use.

With careful onsite sorting and storage and by staging work programs it is possible to re-use many materials, either on-site or off-site.

Council is seeking to move from the attitude of straight demolition to a process of selected deconstruction, ie. total reuse and recycling both off-site and on-site. This could require a number of colour-coded or clearly labelled bins onsite (rather than one size fits all).

Applicants should demonstrate project management which seeks to:

- re-use of excavated material on-site and disposal of any excess to an approved site;
- green waste mulched and re-used in landscaping either on-site or off-site;
- bricks, tiles and concrete re-used on-site as appropriate, or recycled off site;
- plasterboard re-used in landscaping on-site, or returned to supplier for recycling;
- framing timber re-used on-site or recycled elsewhere;
- windows, doors and joinery recycled off-site;
- plumbing, fittings and metal elements recycled off-site;
- All asbestos, hazardous and/or intractable wastes are to be disposed of in accordance with WorkCover Authority and EPA requirements;
- Locations of on-site storage facilities for material to be reused on-site, or separated for recycling off-site; and
- Destination and transportation routes of all materials to be either recycled or disposed of off-site.

The following table should be completed by applicants proposing any demolition work. The following details should be shown on your plans.

- Location of on-site storage space for materials (for re-use) and containers for recycling and disposal.
- Vehicle access to the site and to storage and container areas.

Demolition Stage One – To be completed for proposals involving demolition

Materials on Site		Destination		
		Reuse & recycling		Disposal
Type of material	Estimated volume (m3) or area (m2) or weight (t)	On-Site Specify how materials will be reused or recycled on site	Off-site Specify the contractor and recycling outlet	Specify the contractor and landfill site
EXAMPLE	e.g.. 2m3	e.g. clean and reuse for footings and broken bricks behind retaining walls	e.g. sent by XYZ Demolishes to ABC Recycling Company	e.g. nil to landfill
Excavation material	0.2m3	Reuse as fill where possible	Has-A-Bin Auburn waste management	Horsley Park Waste Management Centre
Green waste	0.2m3	---	---	WSN Enviro Solutions Wallgrove Road, Eastern Creek
Bricks	3m3	---	Concrete recyclers Group Camelia	---
Tiles	1m3	Reuse on site	Concrete recyclers Group Camelia	---
Concrete	1m3	---	Concrete recyclers Group Camelia	---
Timber – please specify	0.2m3	---	Has-A-Bin Auburn waste management	---
Plasterboard	0.3m3	---	Has-A-Bin Auburn waste management	WSN Enviro Solutions Wallgrove Road, Eastern Creek
Metals		---	Sims Metal 43 Ashford Avenue Milperra	---
Asbestos	0.2m3	---	---	Horsley Park Waste Management Centre
Other waste e.g. ceramic tiles, paints, plastics, tubing, cardboard	0.3m3	---	---	Has-A-Bin Auburn waste management

Demolition Stage One - continued

**How will waste be separated and/or stored onsite for reuse and recycling?
How will site operations be managed to ensure minimal waste creation and maximum reuse and recycling?**

e.g. Staff training, selected deconstruction v. straight demolition, waste management requirements stipulated in contracts with sub-contractors, on-going checks by site supervisors, separate area set aside for sorted wastes, clear signage for waste areas etc.

The demolition/excavation waste contractors engaged will be responsible for the sorting and disposal of the waste according to the rules and regulations

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Note: Details of the site area to be used for on-site separation, treatment and storage (including weather protection) should be provided on plan drawings accompanying your application.

Construction Stage Two – for proposals involving construction

Materials on Site		Destination		
		Reuse & recycling		Disposal
Type of material	Estimated volume (m3) or area (m2) or weight (t)	On-Site Specify how materials will be reused or recycled on site	Off-site Specify the contractor and recycling outlet	Specify the contractor and landfill site
EXAMPLE	e.g., 2m3	e.g. clean and reuse for footings and broken bricks behind retaining walls	e.g. sent by XYZ Demolishes to ABC Recycling Company	e.g. nil to landfill
Excavation material	1225m3	---	---	WSN Enviro Solutions Wallgrove Road, Eastern Creek
Green waste	1m3	---	Has-A-Bin Auburn waste management	---
Bricks	2m3	---	Concrete recyclers Group Camelia	---
Tiles	---	---	Concrete recyclers Group Camelia	---
Concrete	0.2m3	---	Concrete recyclers Group Camelia	---
Timber – please specify	1m3	---	WSN Enviro Solutions Wallgrove Road, Eastern Creek	---
Plasterboard	1m3	---	---	WSN Enviro Solutions Wallgrove Road, Eastern Creek
Metals	0.1m3	---	Sims Metal 43 Ashford Avenue Milperra	---
Other waste e.g. ceramic tiles, paints, plastics, tubing, cardboard	1m3 Inc. cladding & glazing	---	---	Has-A-Bin Auburn waste management

e.g. Staff training, selected deconstruction v. straight demolition, waste management requirements stipulated in contracts with sub-contractors, on-going checks by site supervisors, separate area set aside for sorted wastes, clear signage for waste areas etc.

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n Date: 04/05/21/2020

STAGE THREE – DESIGN OF FACILITIES

- The following details should be shown on your plans:
 - Location of temporary storage space within each dwelling unit;
 - Location of Waste Storage and recycling Area(s), per dwelling unit or located communally onsite. In the latter case this could be a Garbage & Recycling Room;
 - Details of design for Waste Storage and Recycling Area(s) or Garbage and Recycling Room(s) and any conveyance or volume reduction equipment; and
 - Location of communal composting area.
 - Access for vehicles.
- Every builder shall be provided with a Waste Storage and Recycling Area which is flexible in size and layout to cater for future changes in use. The size is to be calculated on the basis of waste generation rates and proposed bin sizes.

Stage 3 – Design of Facilities – To be completed if designing waste facilities for the proposed development

Type of waste to be generated	Expected volume per week	Proposed on site storage and treatment facilities	Destination
Please specify. For example: glass, paper, food waste, offcuts etc	Litre of m3	For example: • waste storage & recycling area • garbage chute • on-site composting • compaction equipment	• recycling • disposal • specify contractor
A. Recyclables - Glass, paper, cardboard, grass, food waste, plastic, tin cans.	240L per 2 rooms / 12 rooms = 6 bins x 75%	240L Recycling Bin Collected fortnightly Required 5 bins	Council contractors
B. Non-recyclable – Food scraps, other plastics, unrecyclable waste	240L per 2 rooms / 12 rooms = 6 bins x 75%	240L General Bin Collected weekly Required 5 Bins	Council contractors
TOTAL		10 x 240L Bins	

Note: details of on-site waste management facilities should be provided on plan drawings accompanying your application.

ON-GOING MANAGEMENT

Describe how you intend to ensure on-going management of waste on site (e.g. lease conditions, caretaker / manager on site).

Owner / occupant will be responsible for the provided bins to be maintained and put out for collection on council specified days

Owner / occupant will be responsible for the sorting out the appropriate product going into the provided bins to reduce the amount of general waste

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Thank you for the information.