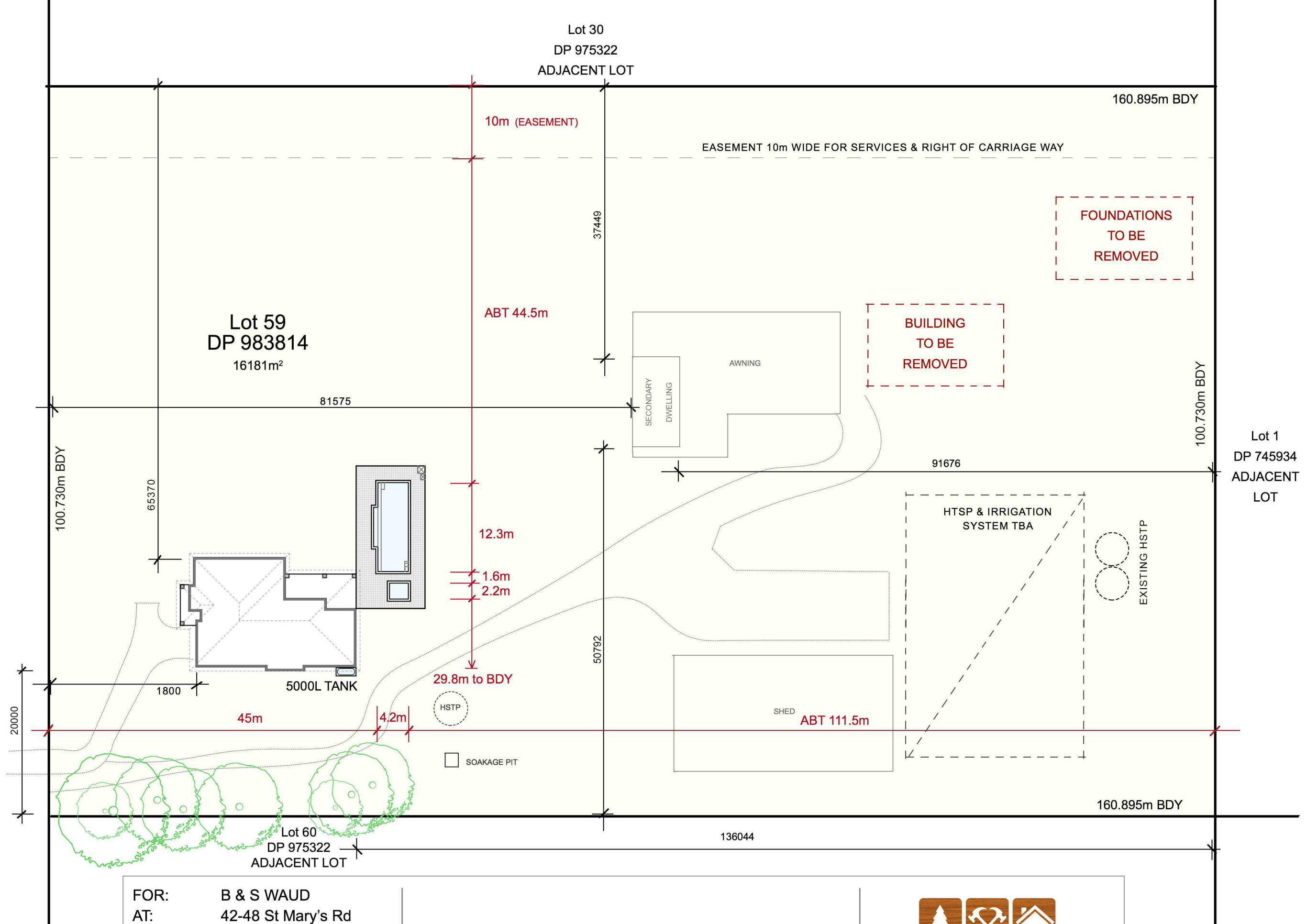
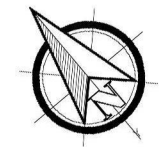


ST MARY'S ROAD



FOR: B & S WAUD
 AT: 42-48 St Mary's Rd
 BERKSHIRE PARK
 DATE: 2/8/2018
 SHEET: 1/3
 DRAWING # 10999
 DRAWN: TP



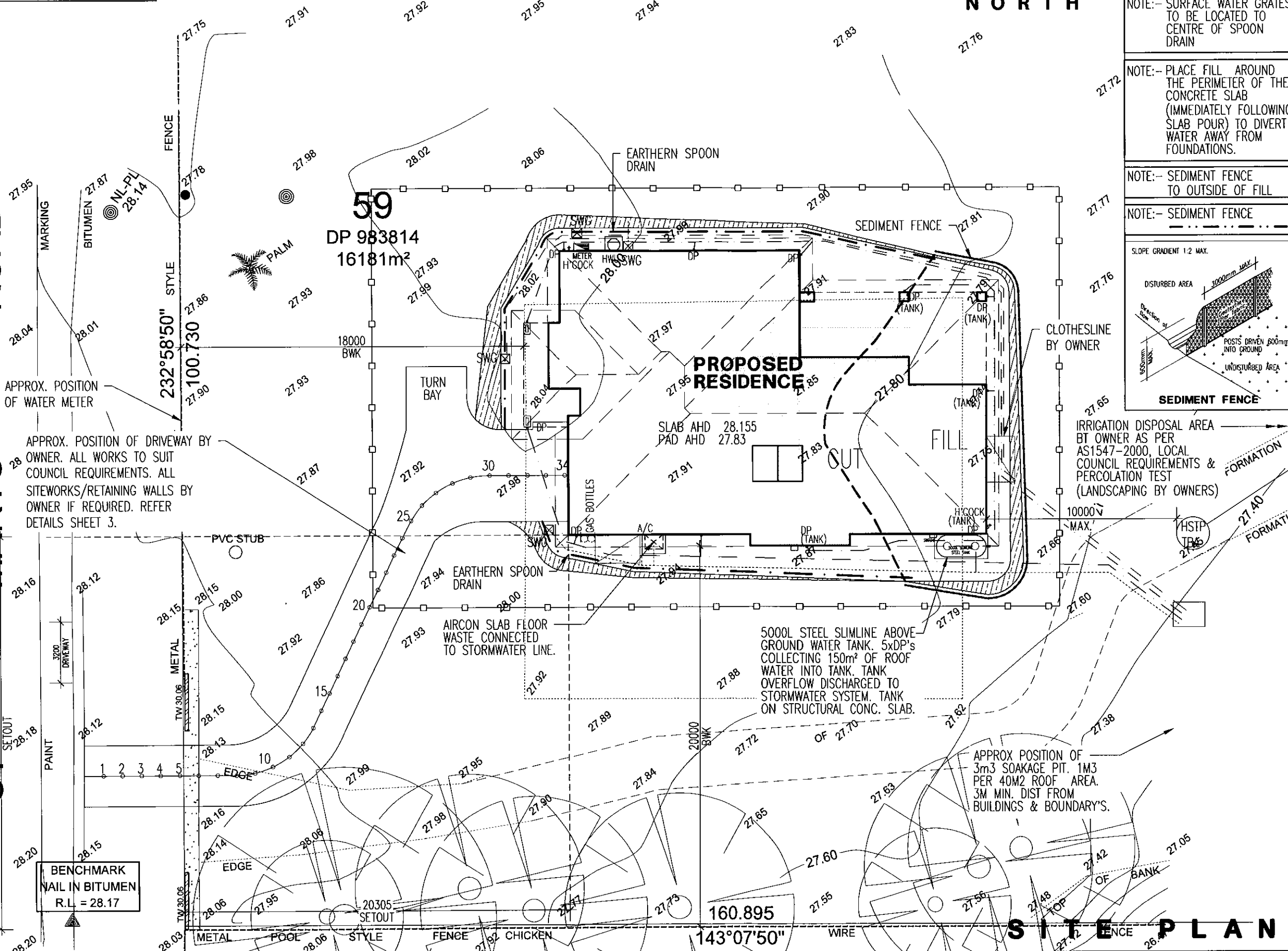
PROPOSED POOL & SPA
Site Plan
1:500



ALL DIMENSIONS TO BE CONSIDERED APPROXIMATES. BUILDER TO CONFIRM MEASUREMENTS PRIOR TO COMMENCEMENT OF ANY WORK.



ROAD MARYS ST

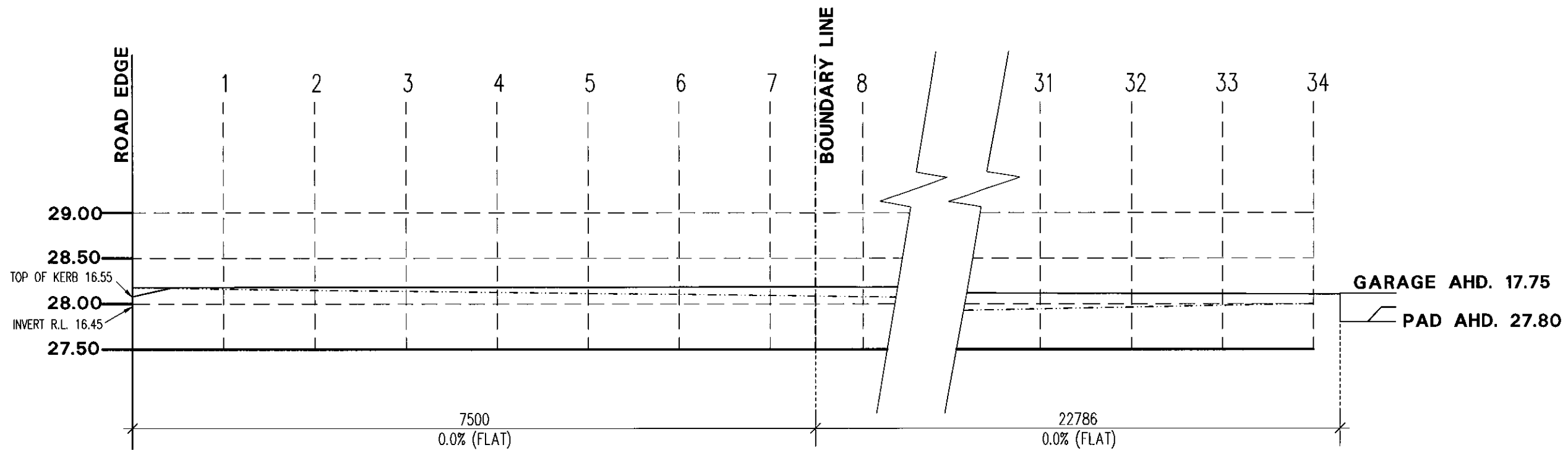


APPROX. POSITION OF DRIVEWAY BY OWNER. ALL WORKS TO SUIT COUNCIL REQUIREMENTS. ALL SITEWORKS/RETAINING WALLS BY OWNER IF REQUIRED. REFER DETAILS SHEET 3.

APPROX. POSITION OF WATER METER

BENCHMARK
NAIL IN BITUMEN
R.L. = 28.17

NOTE:-- USE TEMPORARY DOWNPIPES.		SITE COST OPTION:-21.03.18	
NOTE:-- TEMPORARY FENCING		PROPERTY DESCRIPTION LOT 58 ON DP983814 ST. MARYS ROAD	
NOTE:-- SURFACE WATER GRATES TO BE LOCATED TO CENTRE OF SPOON DRAIN		SUBURB BERKSHIRE PARK LOCAL AUTH. PENRITH NSW	
NOTE:-- PLACE FILL AROUND THE PERIMETER OF THE CONCRETE SLAB (IMMEDIATELY FOLLOWING SLAB POUR) TO DIVERT WATER AWAY FROM FOUNDATIONS.		AREAS LAND 16181 M ² SITE COVERAGE 1.9%	
NOTE:-- SEDIMENT FENCE TO OUTSIDE OF FILL		SITWORKS CUT:- 0.24 FILL:- 0.14 PAD AHD: 27.83 SLAB AHD: 28.155 NOTE: PLATFORM HEIGHT & RETAINING CAN VARY DUE TO SITE CONDITIONS	
NOTE:-- SEDIMENT FENCE		LEGEND DENOTES 100mm DIA P.V.C STORM-WATER PIPE DENOTES 250 x 250 SURFACE WATER GRATE CONNECTED TO SEPARATE STORMWATER PIPE	
SLOPE GRADIENT 1:2 MAX.		CRITICAL PAD LEVEL <input checked="" type="checkbox"/> NO	
DISTURBED AREA UNDISTURBED AREA		NOTE: ALL BUILDING WORKS ARE TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. SURVEYOR No. - 16351	
SEDIMENT FENCE		NOTES WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE. BUILDING DESIGN WIND CLASSIFICATION - SEE BRACING PLAN. SETBACK DISTANCES ARE FROM THE OUTSIDE OF THE BRICKWORK. ALL LEVELS TO BE CONFIRMED ON SITE BY THE CONTRACTOR. CONCRETE SLAB TO COMPLY WITH BCA CLAUSE 3.2.2.1 & THE STRUCTURAL ENGINEER'S DETAILS & SPECIFICATIONS. ALL BUILDING MATERIALS USED ARE TO BE NEW.	
IRRIIGATION DISPOSAL AREA BT OWNER AS PER AS1547-2000, LOCAL COUNCIL REQUIREMENTS & PERCOLATION TEST (LANDSCAPING BY OWNERS)		FINAL SIGNED COPY I/WE ACCEPT THAT THESE PLANS ARE THE FINAL WORKING DRAWINGS THAT SUPERSEDE PRELIM. PLANS & I/WE HAVE CHECKED THAT ANY ALTERATIONS OR ADDITIONS ARE SHOWN. THESE PLANS ALSO FORM PART OF OUR CONTRACT BETWEEN THE PROPRIETOR & CORAL HOMES.	
PROPRIETOR SIGNATURE		PROPRIETOR SIGNATURE	
BUILDERS SIGNATURE		THESE PLANS REMAIN COPYRIGHT OF THE CORAL HOMES GROUP	
CORAL HOMES			
QBCC 50792/1014053 OFT 62084C			
CLIENTS B. & S. WAUD LOT 59 ST. MARYS ROAD BERKSHIRE PARK NSW			
TENDER LETTER 25-JUNE-2018			
CHECKED	NSM	REFERENCE No.	J25635
SCALE:	1:200	DATE:	CP2-21.06.18-MGR
DRAWN:	MAR		
SHEET	2 OF 13		
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DRIVEWAY DETAIL - 1:50

NOTE: THE ABOVE IS SIMPLIFIED TRANSITIONS, THERE IS TO BE A CURVATURE ALLOWANCE AT CHANGE OF GRADE.

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BUILDERS SIGNATURE _____ THESE PLANS REMAIN COPYRIGHT OF THE CORAL HOMES GROUP

CORAL HOMES

QBCC 50792/1014053
OFT 62084C

CLIENTS
B. & S. WAUD
LOT 59 ST. MARYS ROAD
BERKSHIRE PARK NSW

TENDER LETTER 25-JUNE-2018

CHECKED **NSM** REFERENCE No. J25635

SCALE: AS SHOWN DATE: _____
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SHEET 3 of 13

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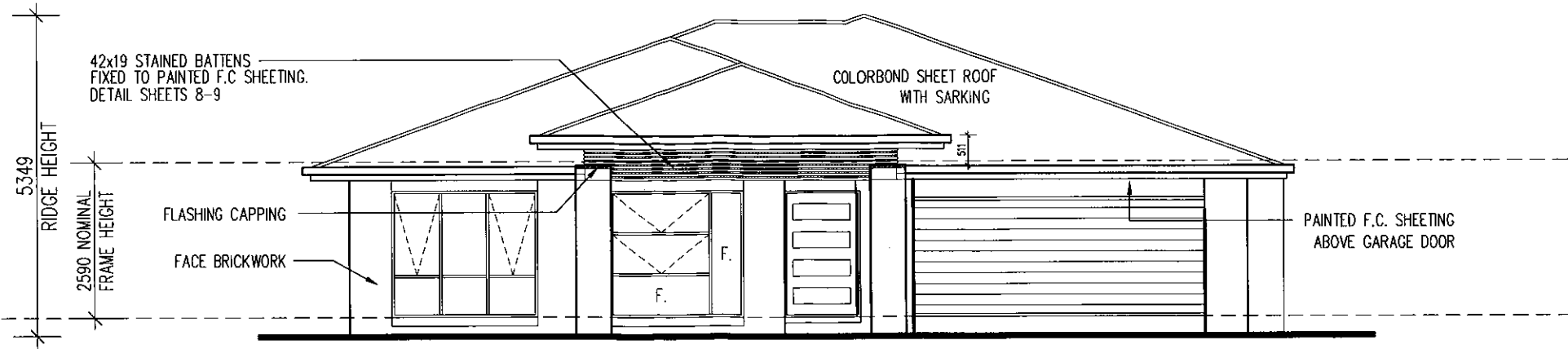
DRIVEWAY DETAILS

MATERIALS / COLOUR PALETTE
 EXTERIOR WALLS - MASONRY
 ROOF - CONCRETE TILE

BUSHFIRE ATTACK LEVEL 19
 PLEASE REFER TO CONTRACT
 DOCUMENTS FOR FULL DETAILS

42x19 STAINED BATTENS
 FIXED TO PAINTED F.C SHEETING.
 DETAIL SHEETS 8-9

COLORBOND SHEET ROOF
 WITH SARKING



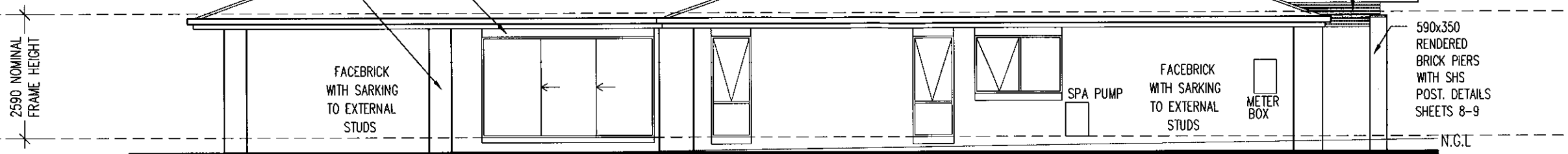
ELEVATION 1
 (NORTH/WEST)

RECESSED F.C. SHEETING
 ABOVE O'DR LIVING OPENINGS

470x470 BRICK PIER WITH
 SHS POST. DETAIL SHEET 7

COLORBOND SHEET ROOF
 WITH SARKING

42x19 STAINED BATTENS
 FIXED TO PAINTED F.C SHEETING
 DETAIL SHEETS 8-9

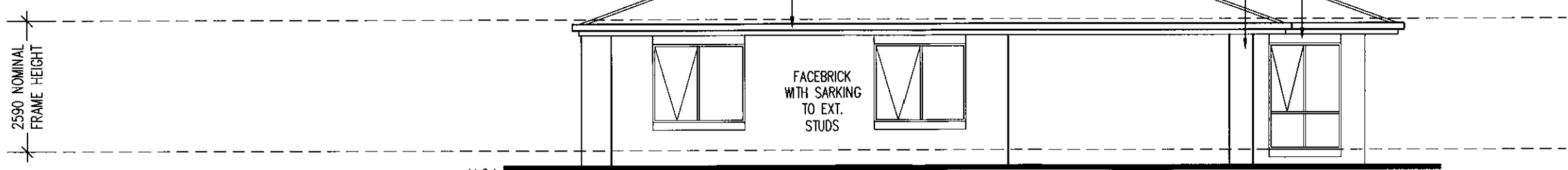


ELEVATION 2
 (NORTH/EAST)

COLORBOND METAL
 FASCIA/GUTTER SYSTEM

COLORBOND SHEET ROOF
 WITH SARKING

470x470 BRICK PIER WITH SHS POST.
 DETAIL SHEET 7
 RECESSED F.C. SHEETING ABOVE
 OPENINGS



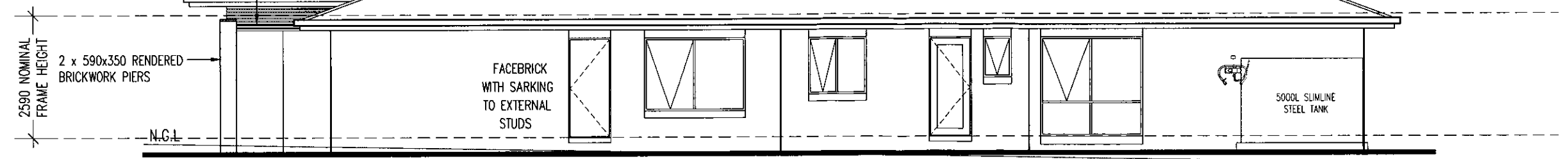
ELEVATION 3
 (SOUTH/EAST)

APPROX. POSITION
 OF VENT FOR ROOF
 SPACE VENTILATION

470x470 BRICK PIER WITH SHS POST.
 DETAIL SHEET 7

COLORBOND SHEET ROOF
 WITH SARKING

SOLAR H.W.S ROOF
 COLLECTOR POSITION.



ELEVATION 4
 (SOUTH/WEST)

NOTES
 WRITTEN DIMENSIONS TAKE PRECEDENCE
 OVER SCALE.
 N.G.L. = NATURAL GROUND
 A.J. = ARTICULATED JOINT
 S.S.L. = STRUCTURAL SURFACE LEVEL

**MARCOOLA 32
 HASTINGS PORTICO**

- ROOF PITCHED AT 20° WITH
 600 WIDE EAVES UNLESS
 NOTED OTHERWISE.
 LYSAGHT 115 QUAD SLOTTED
 GUTTERING TO SUIT 40m2
 PER DOWNPIPE ROOF AREA

IMPORTANT NOTICE:

THERE ARE NO ATYPICAL DESIGN
 FEATURES IN THIS CONSTRUCTION THAT
 PRESENT UNUSUAL WORKPLACE, HEALTH
 & SAFETY ISSUES IN THE
 CONSTRUCTION, MAINTENANCE, USE OR
 DEMOLITION OF THIS STRUCTURE.

ALL WINDOWS TO FLOOR LEVELS WHICH
 ARE 2M OR MORE ABOVE THE SURFACE
 BENEATH MUST HAVE A BARRIER AT A
 HEIGHT NO LESS THAN 865MM AND THE
 OPENING PANEL ABOVE BE RESTRICTED
 TO A MAXIMUM OF 125MM OR HAVE A
 BARRIER WHICH CAN RESIST A MINIMUM
 OF 250N OF OUTWARD HORIZONTAL
 ACTION.

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I/WE ACCEPT THAT THESE PLANS ARE THE FINAL
 WORKING DRAWINGS THAT SUPERSEDE PRELIM.
 PLANS & I/WE HAVE CHECKED THAT ANY ALTER-
 ATIONS OR ADDITIONS ARE SHOWN.
 THESE PLANS ALSO FORM PART OF OUR
 CONTRACT BETWEEN THE PROPRIETOR
 & CORAL HOMES.

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CLIENTS
 B. & S. WAUD
 LOT 59 ST. MARYS ROAD
 BERKSHIRE PARK NSW

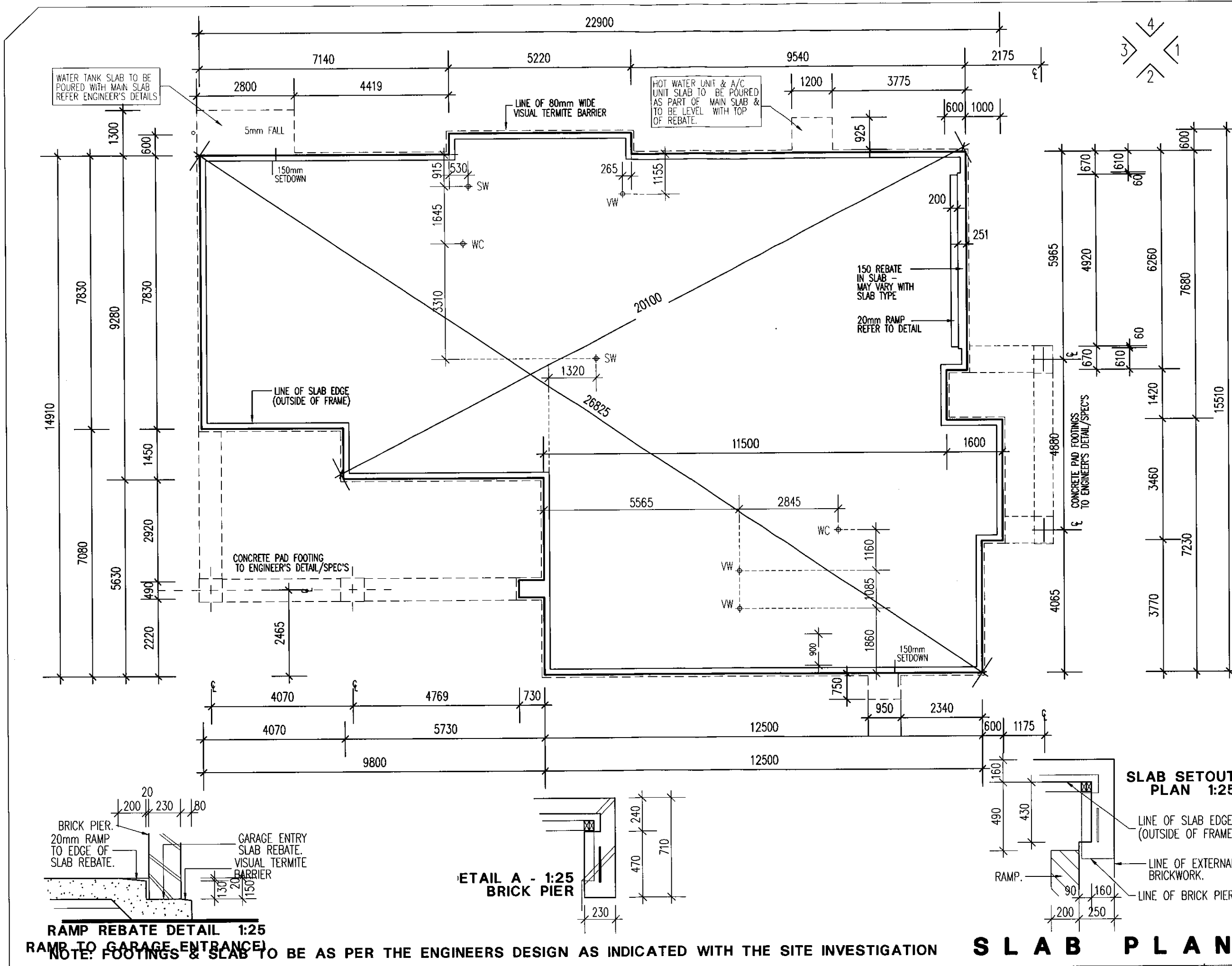
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 DRAWN: MGR CP2-21.06.18-MGR

SHEET 5 OF 13

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NOTE:
 WRITTEN DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
 CONCRETE SLAB TO COMPLY WITH BCA CLAUSE 3.2.3.1 & THE ENGINEER'S DETAILS.
 ALL FLOOR TRAPS ARE TO BE POSITIONED ACCORDING TO AS3500, KEEPING CLEAR OF ALL STEPS & HOBS

LEGEND
 SW - SINK WASTE DP - DOWNPIPE
 FT - FLOOR TRAP VW - VANITY WASTE
 WC - WC PIPE SG - SHOWER GRATE

NOTES
 - ALL DIMENSIONS ARE TO OUTSIDE BRICKWORK.
 - ALL DIMENSIONS WILL TAKE PRECEDENCE OVER SCALE.
 - PLUMBING FIXTURE & POST/PIER FOOTING DIMENSIONS ARE TO CENTRE.
 - ALL FLOOR TRAPS ARE TO BE POSITIONED ACCORDING TO AS3500, KEEPING CLEAR OF ALL STEPS & HOBS

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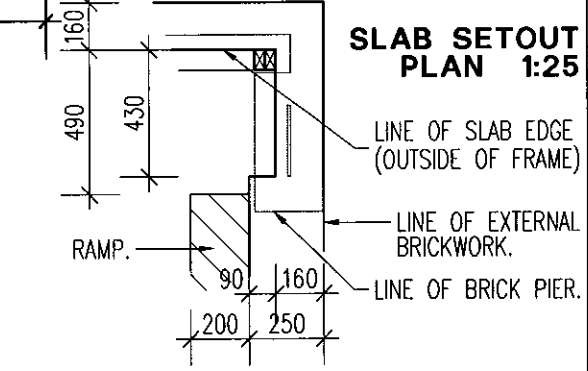
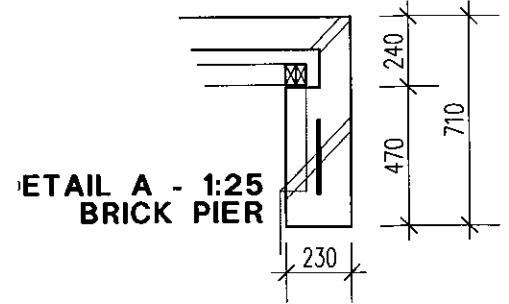
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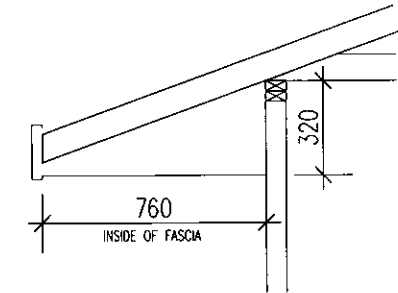
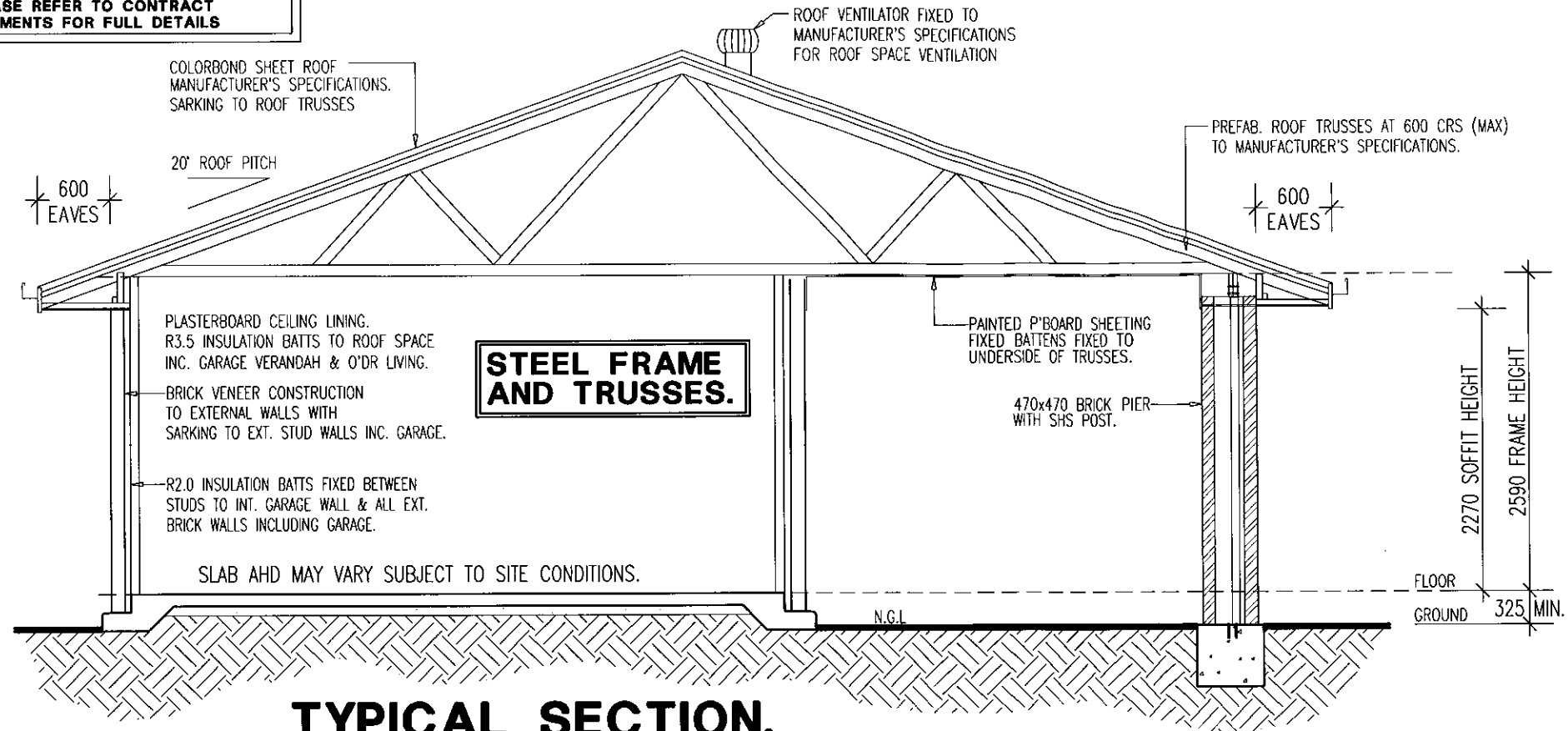
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 DRAWN: MGR
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RAMP REBATE DETAIL 1:25
 RAMP TO GARAGE ENTRANCE
 NOTE: FOOTINGS & SLAB TO BE AS PER THE ENGINEERS DESIGN AS INDICATED WITH THE SITE INVESTIGATION



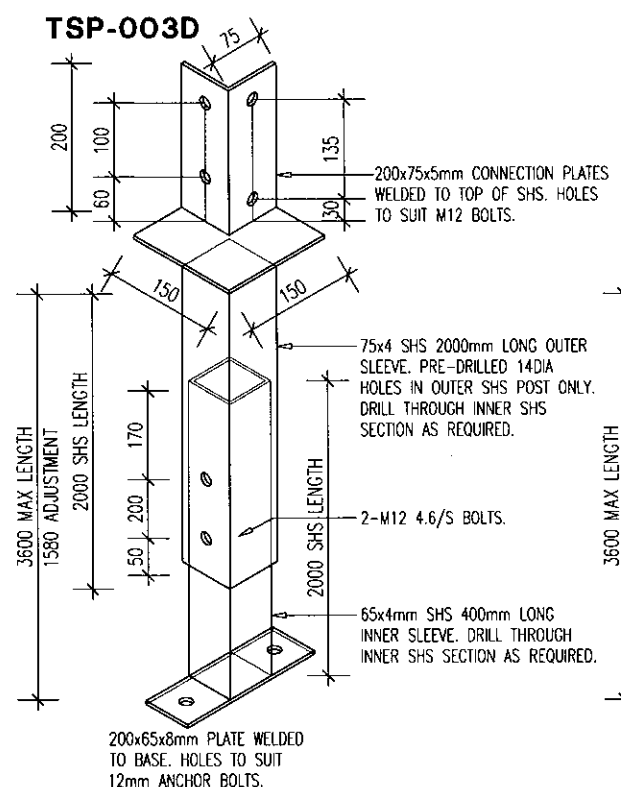
SLAB PLAN

BUSHFIRE ATTACK LEVEL 19
PLEASE REFER TO CONTRACT DOCUMENTS FOR FULL DETAILS

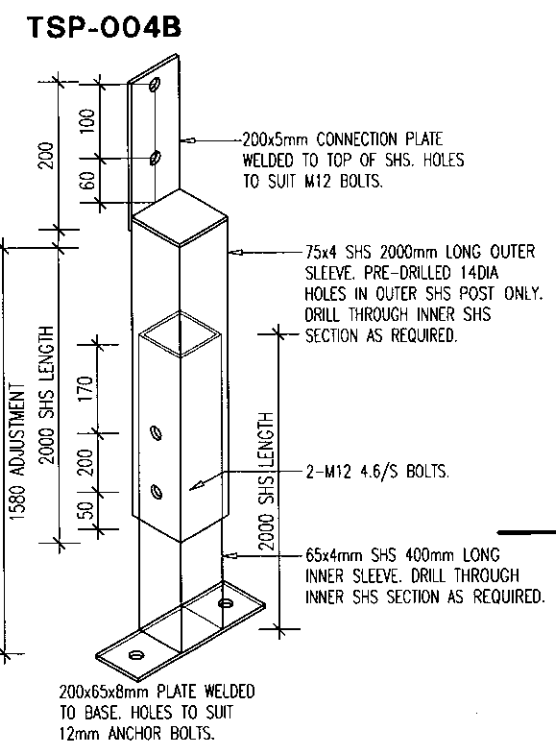


TYPICAL SECTION.

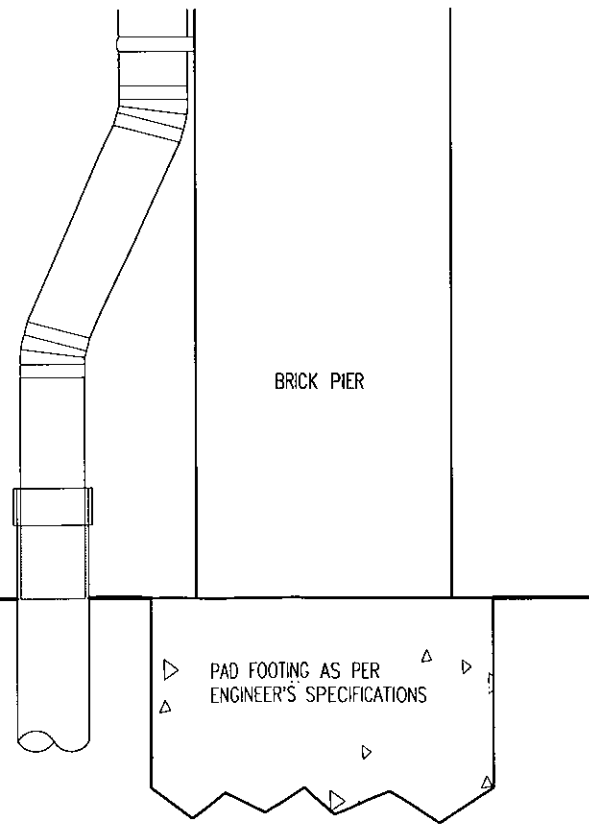
REFER TO ENGINEERS REPORT FOR FOOTING & SLAB DETAILS.



ADJUSTABLE POST EXTERNAL CORNER >190MM HIGH BEAM



ADJUSTABLE POST CONTINUOUS >190MM HIGH BEAM



PIER/FOOTING STORMWATER LINE DETAIL 1:10

GENERAL NOTES

- BUILDING DESIGN WIND CLASSIFICATION N2
- LEVELS TO BE VERIFIED ON SITE BY CONTRACTOR
- ALL TIMBER FRAMING TO COMPLY WITH AS 1684.2-2010 (N2/N3/N4 WIND RATING AREAS) & AS 1684.3-2010 (C1/C2 WIND RATING AREAS)
- BUILDING CODE OF AUSTRALIA (BCA) BRACING & TIE-DOWN REQUIREMENTS TO BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- CONCRETE SLAB TO COMPLY WITH BCA CLAUSE 3.2.3.1
- ALL MATERIALS SHALL BE NEW
- STORMWATER FROM ROOF TO BE DISCHARGED TO STREET KERB OR ONTO OWN PROPERTY WITHOUT NUISANCE TO NEIGHBOURS.
- WHERE DISCHARGE IS TO KERB, APPROVED ADAPTOR TO BE USED.
- TERMITE BARRIER TO SLAB SUBGRADE & PERIMETER INSTALLED IN ACCORDANCE WITH AS 3660.1 OR BCA CLAUSE 3.1.3.3 & THE OWNERS OF PROPERTY SHALL BE NOTIFIED OF THEIR OBLIGATIONS.
- 0.2mm POLY VAPOUR BARRIER ON MIN. 50mm SAND FILL, SLAB MINIMUM 325 ABOVE GROUND LEVEL.
- BRICK VENEER WALLS TO HAVE TIES AT 600x600 CRS & COMPLY WITH AS 3700.
- PLASTERBOARD GENERALLY TO ALL WALLS (10mm) & CEILINGS (10mm UNISPAN) FIXED TO MANUFACTURERS SPECIFICATIONS. FIBRE CEMENT SHEETING TO WET AREAS ONLY.
- WHERE W.C. OR ENSUITE DOORS DO NOT OPEN OUTWARDS THEY SHALL BE PROVIDED WITH LIFT-OFF HINGES.
- BALUSTRADING & HANDRAILS (WHEN APPLICABLE) TO COMPLY WITH BCA CLAUSE 3.9.2.3
- STAIRS (WHEN APPLICABLE) TO COMPLY WITH BCA CLAUSE 3.9.1.3 & 3.9.1.4
- EXHAUST FAN TO W.C. (WHEN APPLICABLE) TO COMPLY WITH AS 1668.2
- SHEET METAL ROOF (WHEN APPLICABLE) TO COMPLY WITH AS 1562.1
- WINDOWS TO COMPLY WITH BCA CLAUSE 3.9.2.5 - PROTECTION OF OPENABLE WINDOWS.

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LOT 59 ST. MARYS ROAD
BERKSHIRE PARK NSW

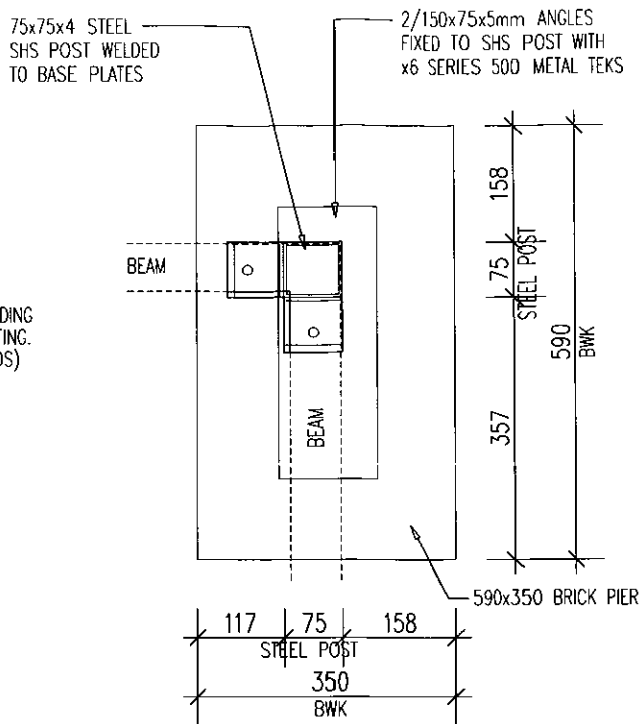
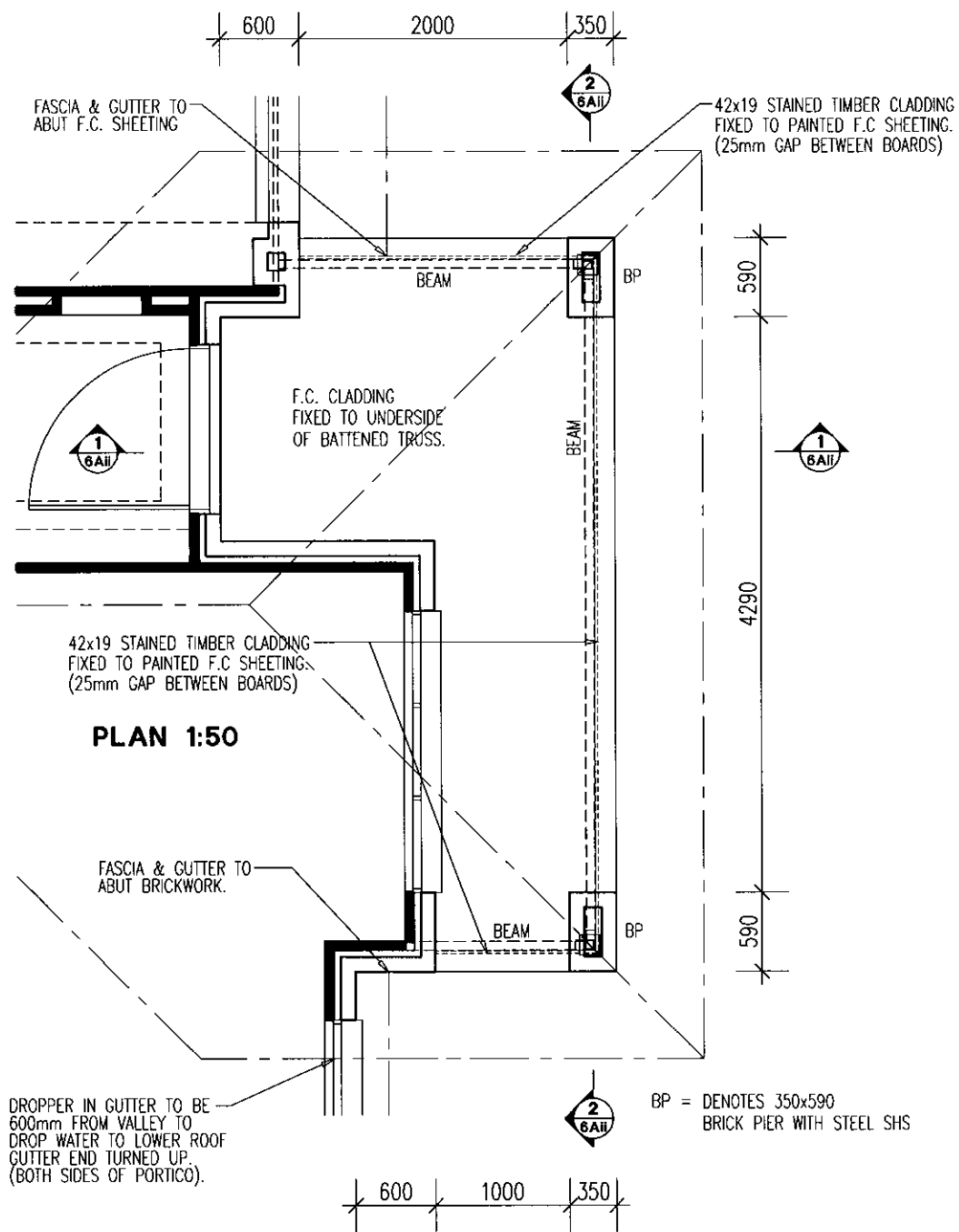
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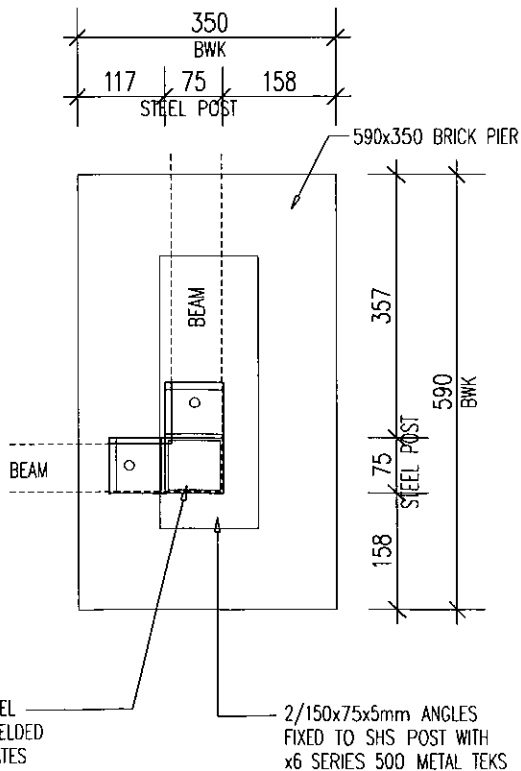
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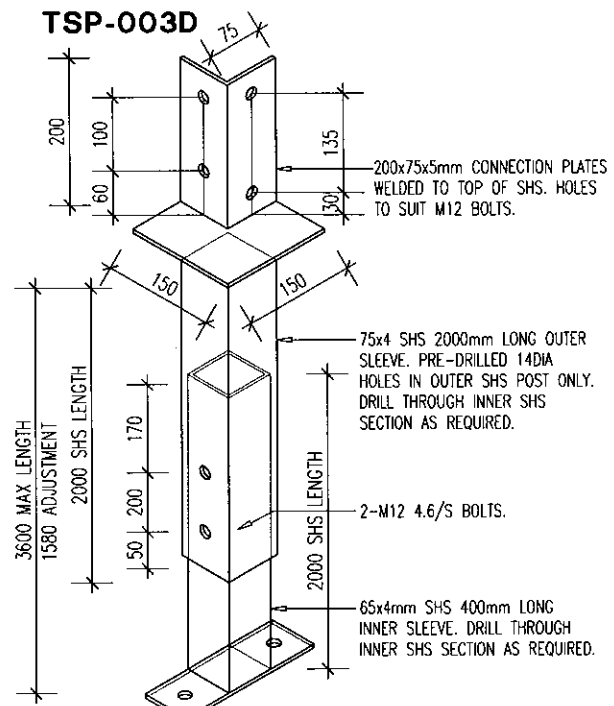
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STEEL POST DETAIL
BASE PLATE, EXT. CORNER
PLAN VIEW 1:10



STEEL POST DETAIL
BASE PLATE, EXT. CORNER
PLAN VIEW 1:10



ADJUSTABLE POST
EXTERNAL CORNER
>190MM HIGH BEAM

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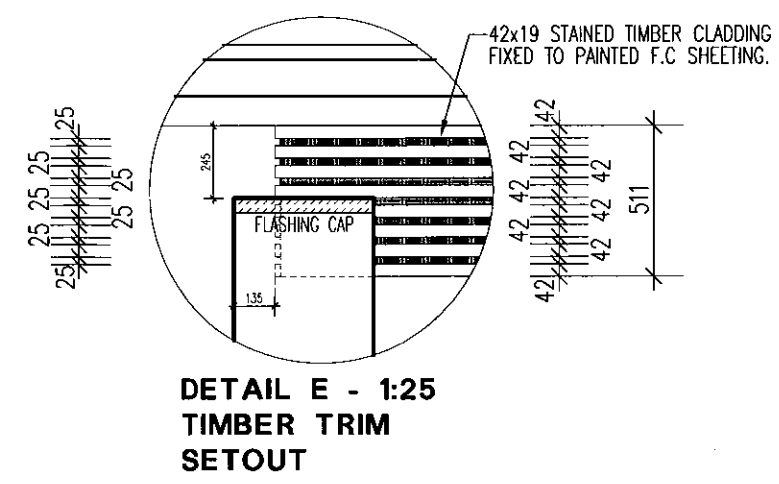
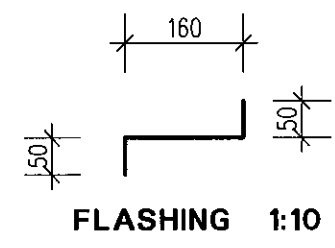
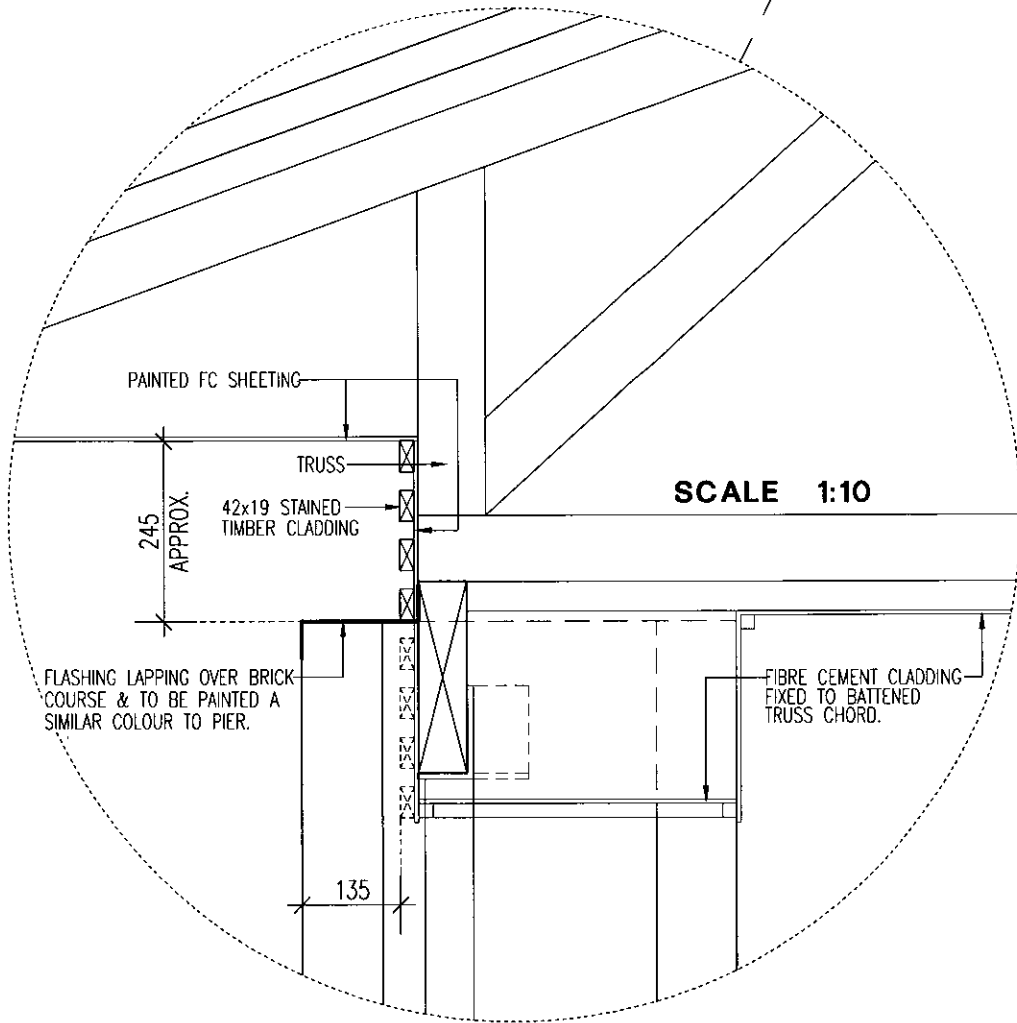
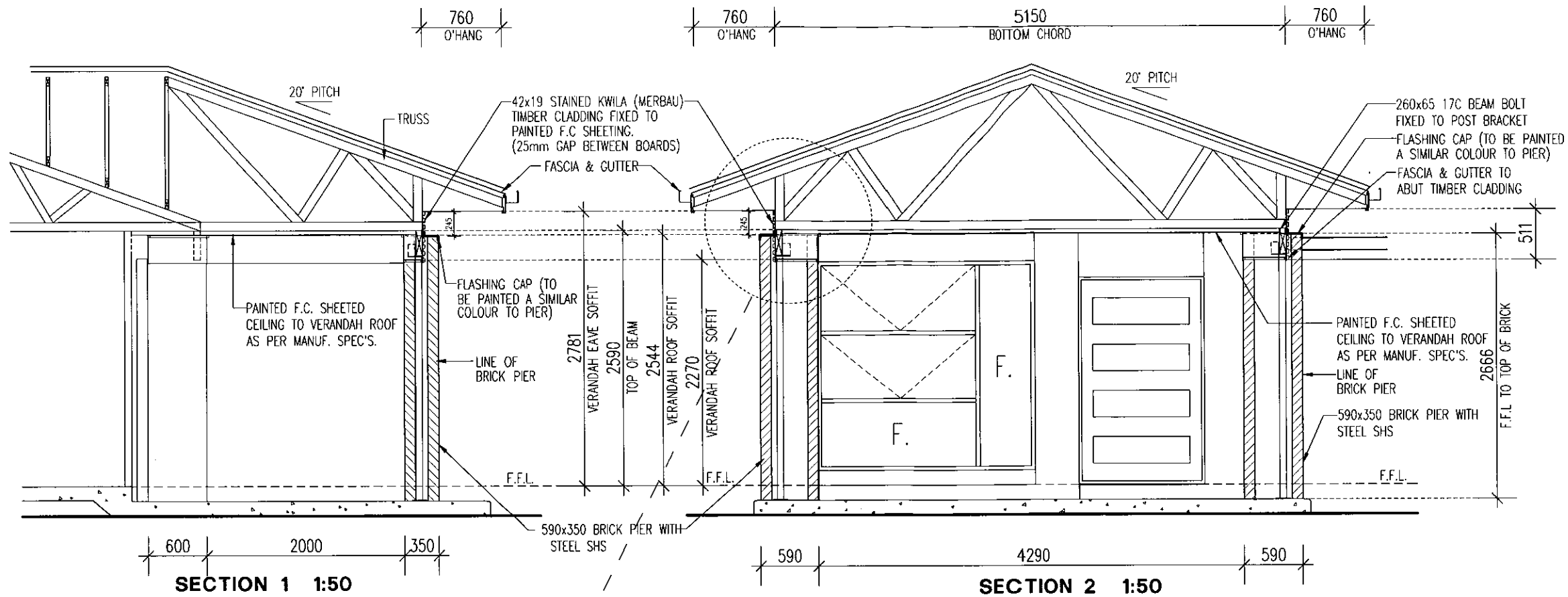
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PORTICO DETAIL.



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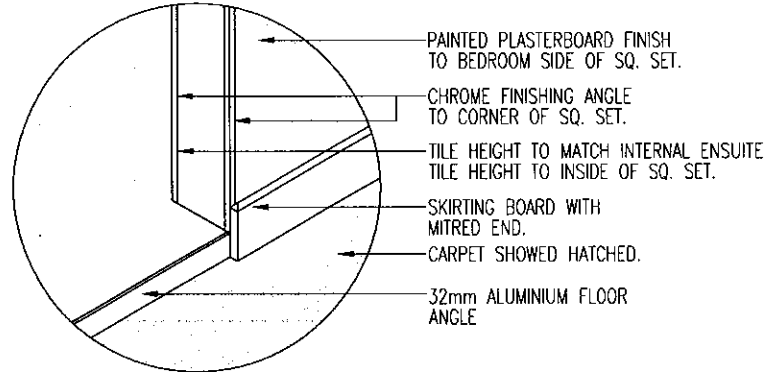
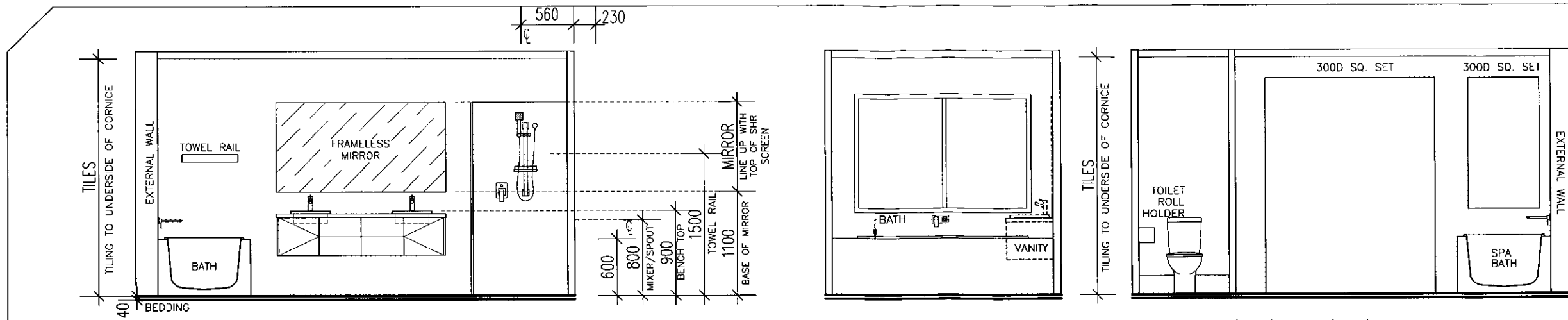
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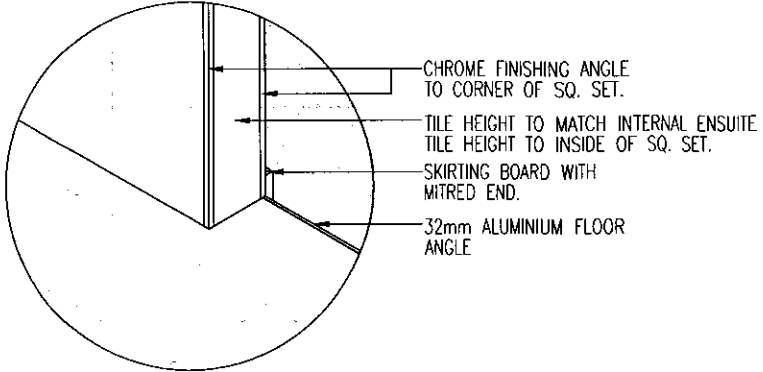
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DRAWN: **MGR**

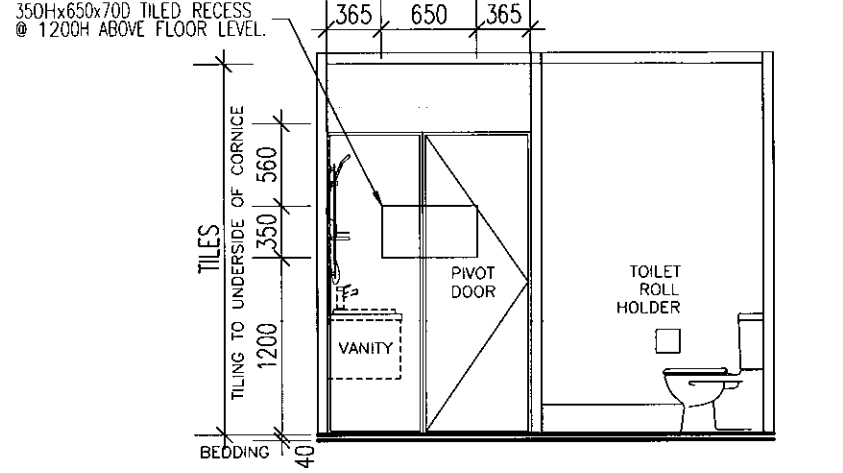
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ENS. SQ. SET FINISHING
SCALE 1:10

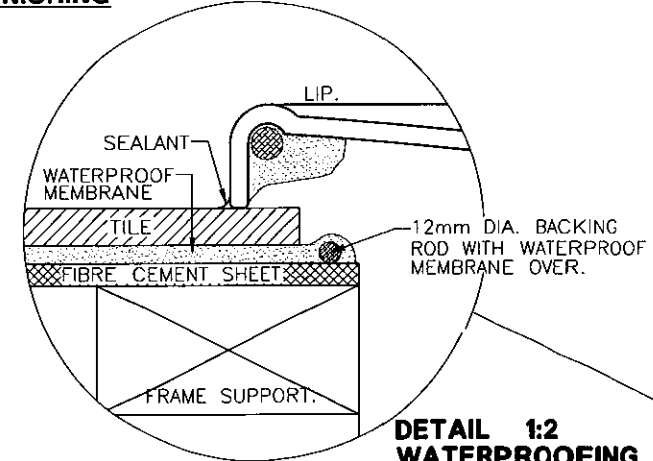


ENS. SQ. SET FINISHING
SCALE 1:10

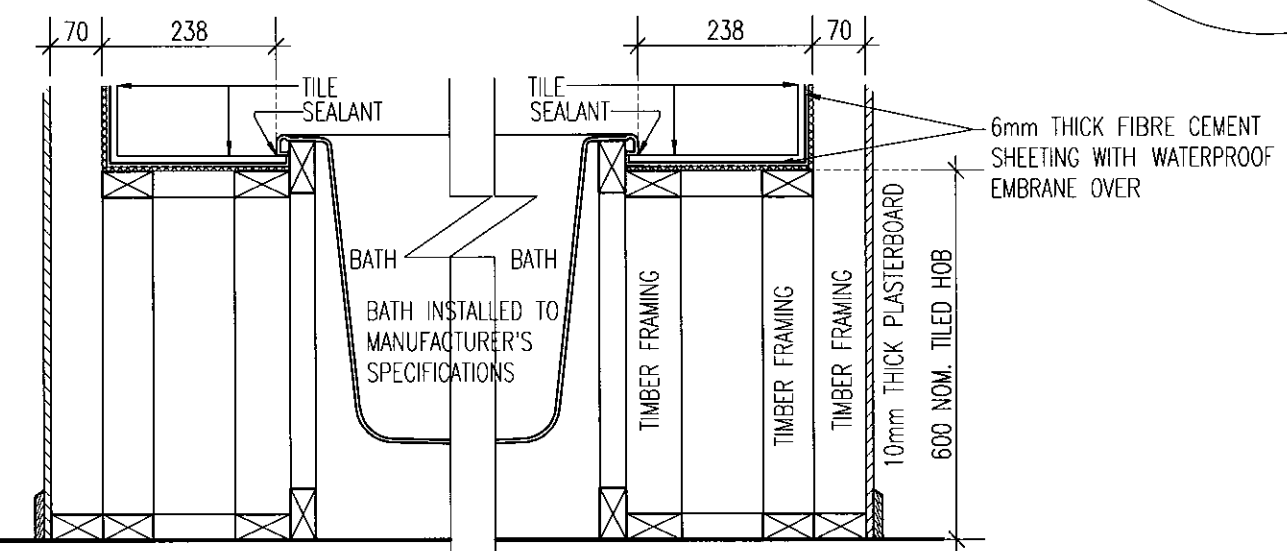


NOTES

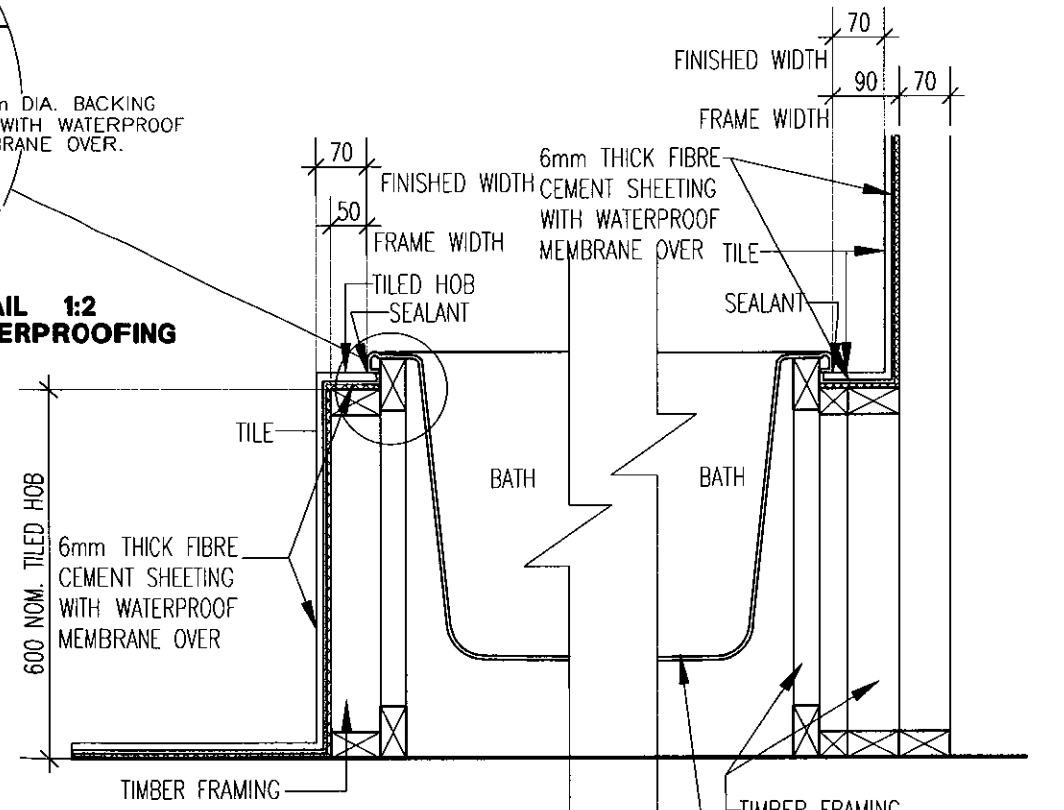
- DISCONNECTOR GULLIES ARE PROVIDED TO FLOORS OF ENSUITES, BATHROOMS & LAUNDRIES WHEN REQUIRED TO ACT A FIXTURE TRAP. THESE ARE TO BE POSITIONED ACCORDING TO AS3500, KEEPING CLEAR OF ALL STEPS & HOBS.
- GRADED BEDDED FLOORS TO ENSUITE, BATHROOM, LAUNDRY & W.C. FLOORS.
- ALL INTERNAL DIMENSIONS TO BE TAKEN FROM BEDDED FINISHED FLOOR HEIGHT.



DETAIL 1:2 WATERPROOFING



SECTION A-A 1:10 BATH/WALL CONNECTION



SECTION B-B 1:10 BATH/WALL CONNECTION

IMPORTANT INFORMATION:
REFER TO WORKING DRAWINGS FOR ALL ROOM DIMENSIONS, ROOM LAYOUT AND WINDOW/DOOR SIZES AND POSITIONS. ALL INTERNAL DIMENSIONS STATED ARE FRAME SIZE - EXCLUDING LININGS. ALL DIMENSIONS ARE APPROX. ONLY AND MAY VARY DEPENDING ON PRODUCT SELECTION. TOWEL RAILS, TOILET ROLL HOLDERS, SHOWER SCREENS, VANITIES, POWER POINTS, AND TILES ARE INDICATIVE ONLY AND WILL VARY DEPENDING ON PRODUCT SELECTION.

NOTE : ALL DIMENSIONS ARE APPROX. ONLY

☐ = AREA OF STANDARD TILING

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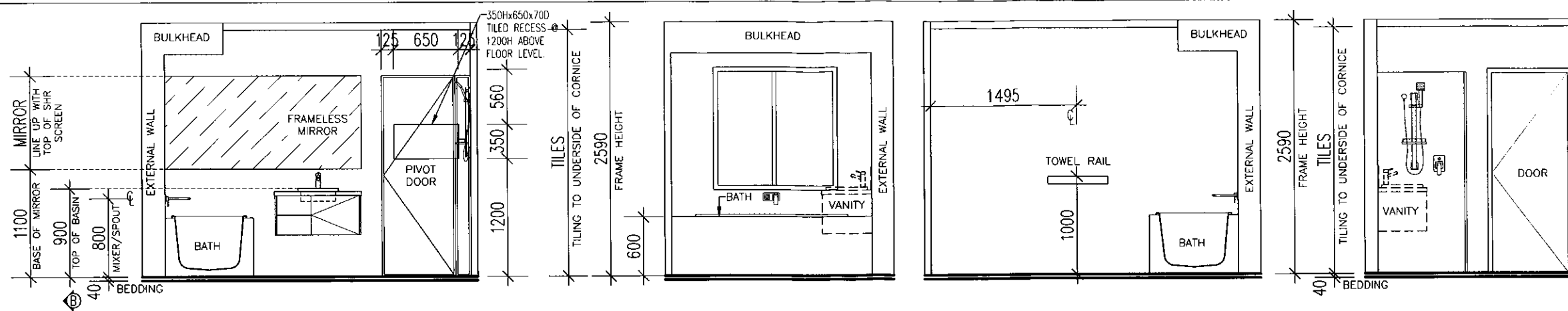
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SHEET 12 OF 13
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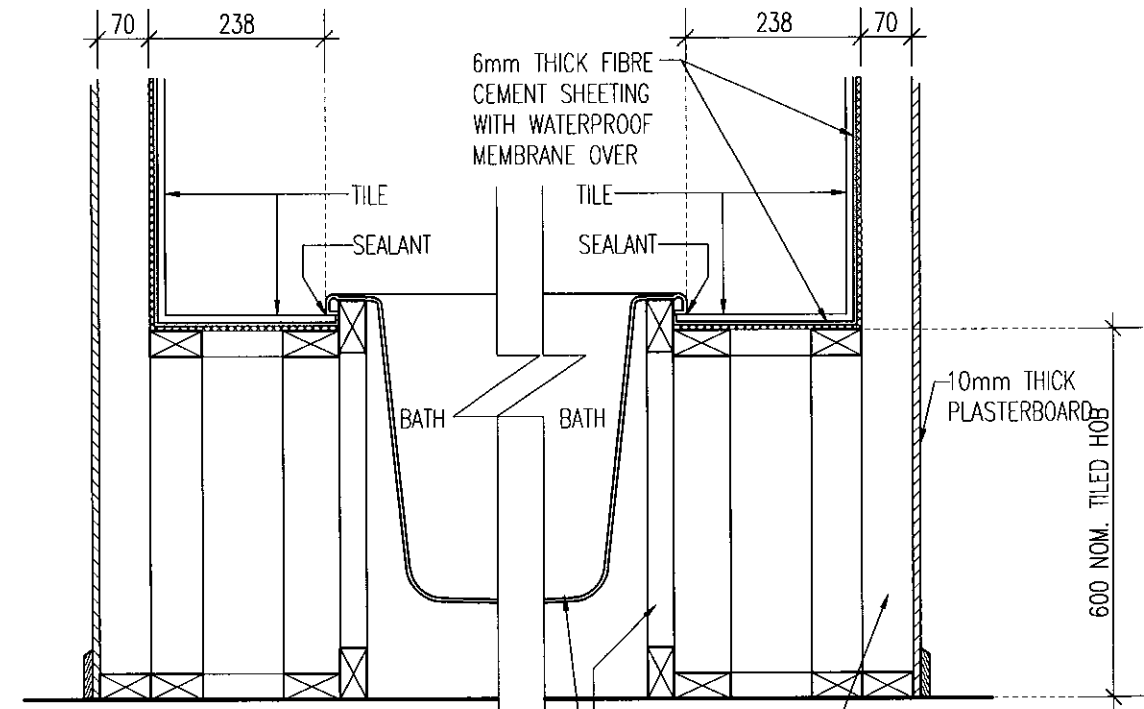
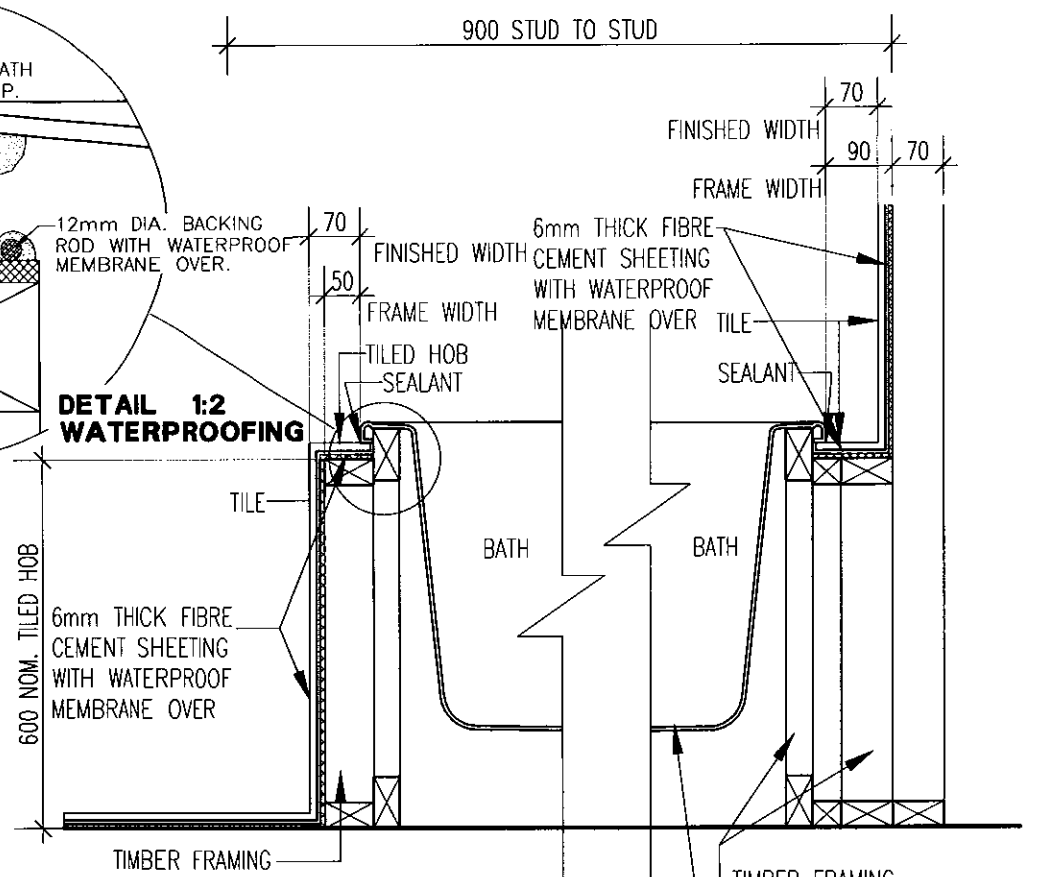
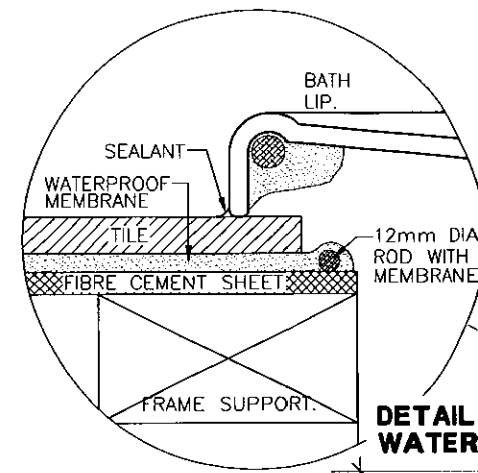
ELEGANCE MODERN - ENSUITE DETAILS



NOTE : ALL DIMENSIONS ARE APPROX. ONLY = AREA OF STANDARD TILING

NOTES

- DISCONNECTOR GULLIES ARE PROVIDED TO FLOORS OF ENSUITES, BATHROOMS & LAUNDRIES WHEN REQUIRED TO ACT A FIXTURE TRAP. THESE ARE TO BE POSITIONED ACCORDING TO AS3500, KEEPING CLEAR OF ALL STEPS & HOBS.
- GRADED BEDDED FLOORS TO ENSUITE, BATHROOM, LAUNDRY & W.C. FLOORS.
- ALL INTERNAL DIMENSIONS TO BE TAKEN FROM BEDDED FINISHED FLOOR HEIGHT.



IMPORTANT INFORMATION:
 REFER TO WORKING DRAWINGS FOR ALL ROOM DIMENSIONS, ROOM LAYOUT AND WINDOW/DOOR SIZES AND POSITIONS. ALL INTERNAL DIMENSIONS STATED ARE FRAME SIZE - EXCLUDING LININGS. ALL DIMENSIONS ARE APPROX. ONLY AND MAY VARY DEPENDING ON PRODUCT SELECTION. TOWEL RAILS, TOILET ROLL HOLDERS, SHOWER SCREENS, VANITIES, POWER POINTS, AND TILES ARE INDICATIVE ONLY AND WILL VARY DEPENDING ON PRODUCT SELECTION.

NOTE : ALL DIMENSIONS ARE APPROX. ONLY

= AREA OF STANDARD TILING

FINAL SIGNED COPY

I/WE ACCEPT THAT THESE PLANS ARE THE FINAL WORKING DRAWINGS THAT SUPERSEDE PRELIM. PLANS & I/WE HAVE CHECKED THAT ANY ALTERATIONS OR ADDITIONS ARE SHOWN. THESE PLANS ALSO FORM PART OF OUR CONTRACT BETWEEN THE PROPRIETOR & CORAL HOMES.

PROPRIETOR SIGNATURE: *[Signature]*
 PROPRIETOR SIGNATURE: *[Signature]*
 BUILDERS SIGNATURE: *[Signature]*
 THESE PLANS REMAIN COPYRIGHT OF THE CORAL HOMES GROUP

CORAL HOMES

QBCC 50792/1014053
 OFT 62084C

CLIENTS
 B. & S. WAUD
 LOT 59 ST. MARYS ROAD
 BERKSHIRE PARK NSW

TENDER LETTER 25-JUNE-2018

CHECKED NSM REFERENCE No. J25635

SCALE: 1:50 U.N.O. DATE: CP2-21.06.18-MGR


SHEET 11 OF 13

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ELEGANCE MODERN - BATHROOM DETAILS

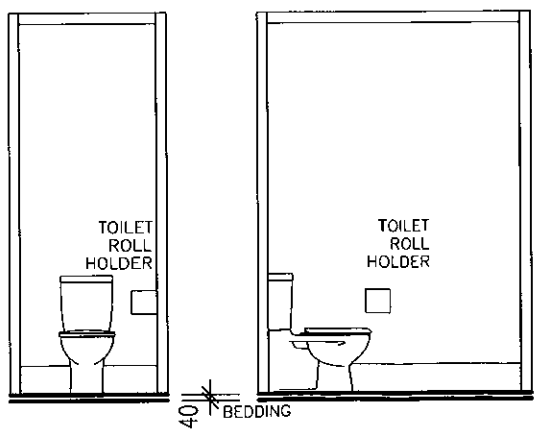
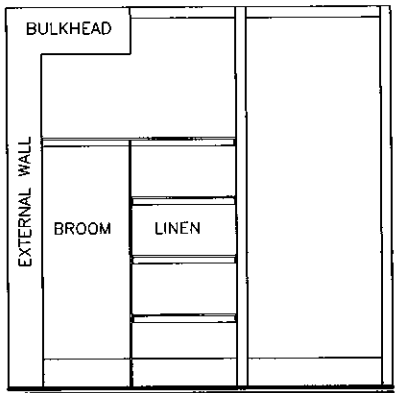
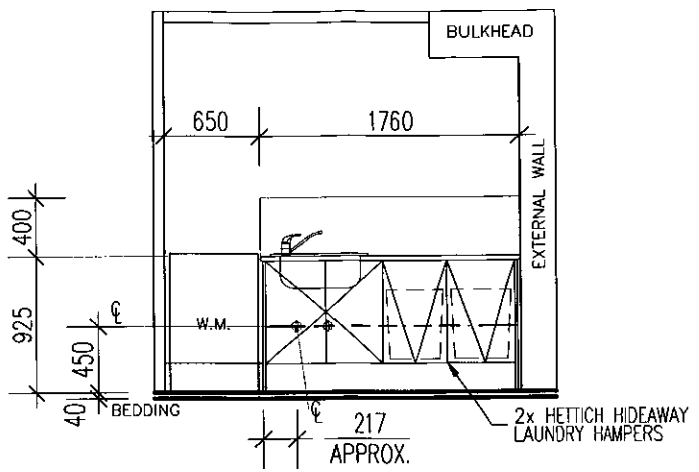
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NOTE : ALL DIMENSIONS ARE APPROX. ONLY

 = AREA OF STANDARD TILING



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PROPRIETOR SIGNATURE: 
 BUILDERS SIGNATURE: 
 PROPRIETOR SIGNATURE: _____
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CORAL HOMES

QBCC 50792/1014053
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CLIENTS
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TENDER LETTER 25-JUNE-2018

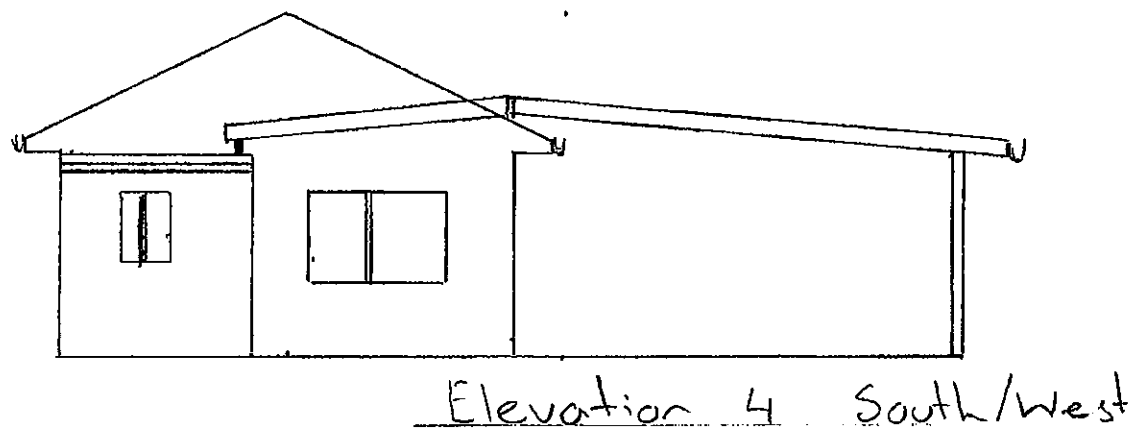
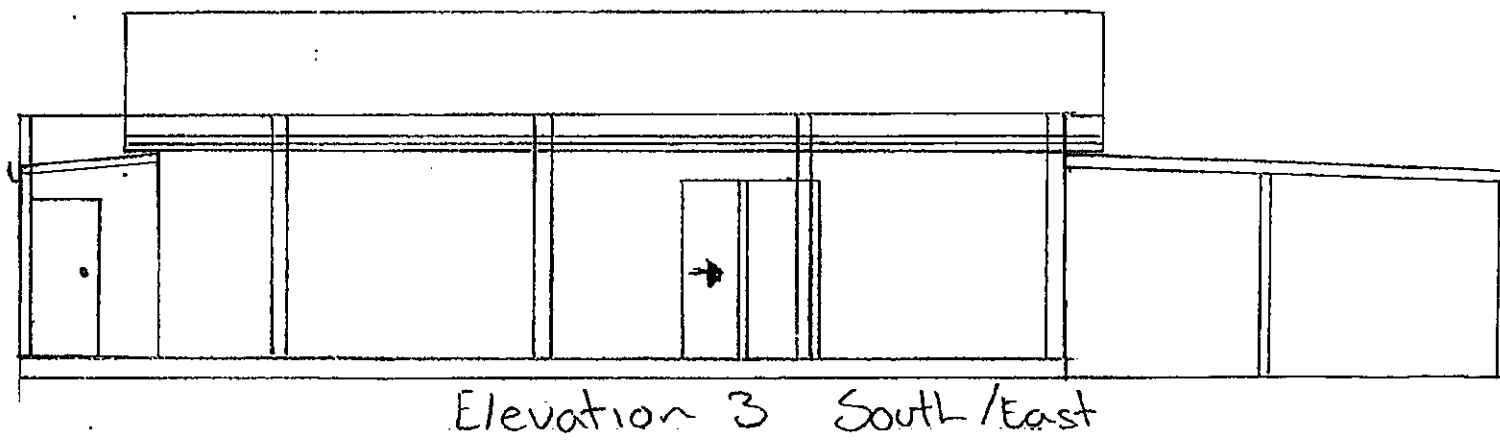
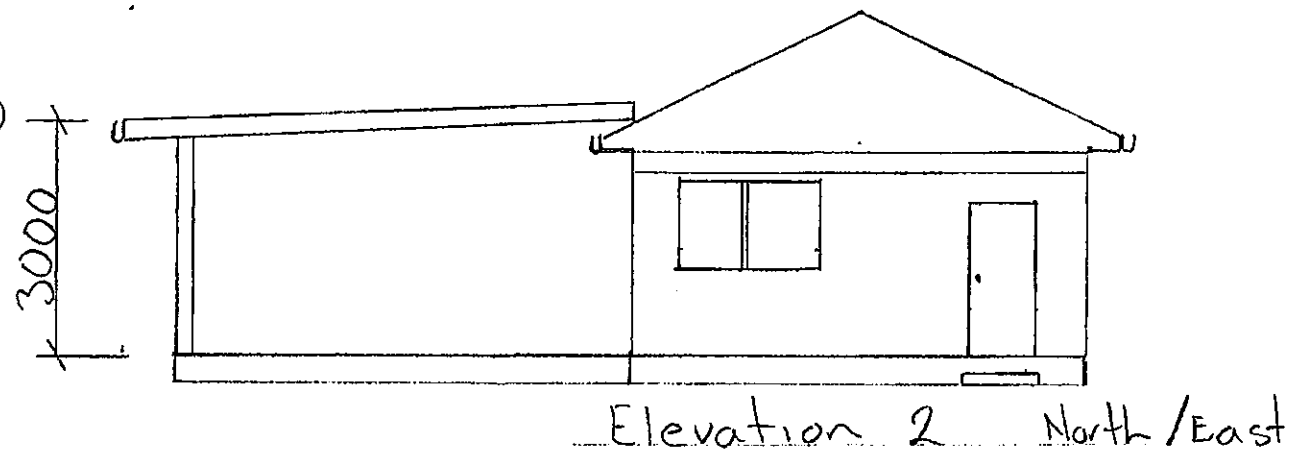
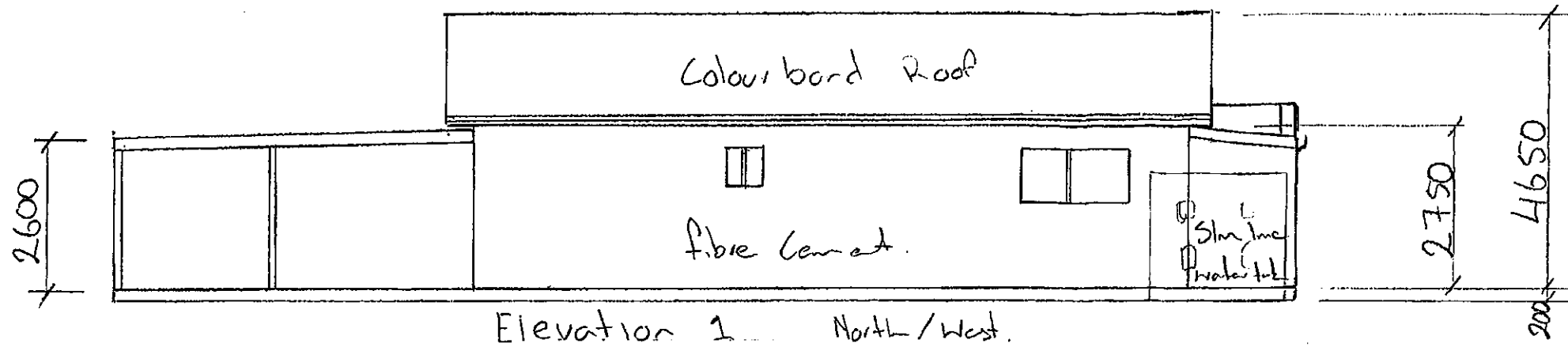
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SHEET 13 OF 13

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ELEGANCE & ORGANIC - W.C. & L'DRY ELEVATIONS

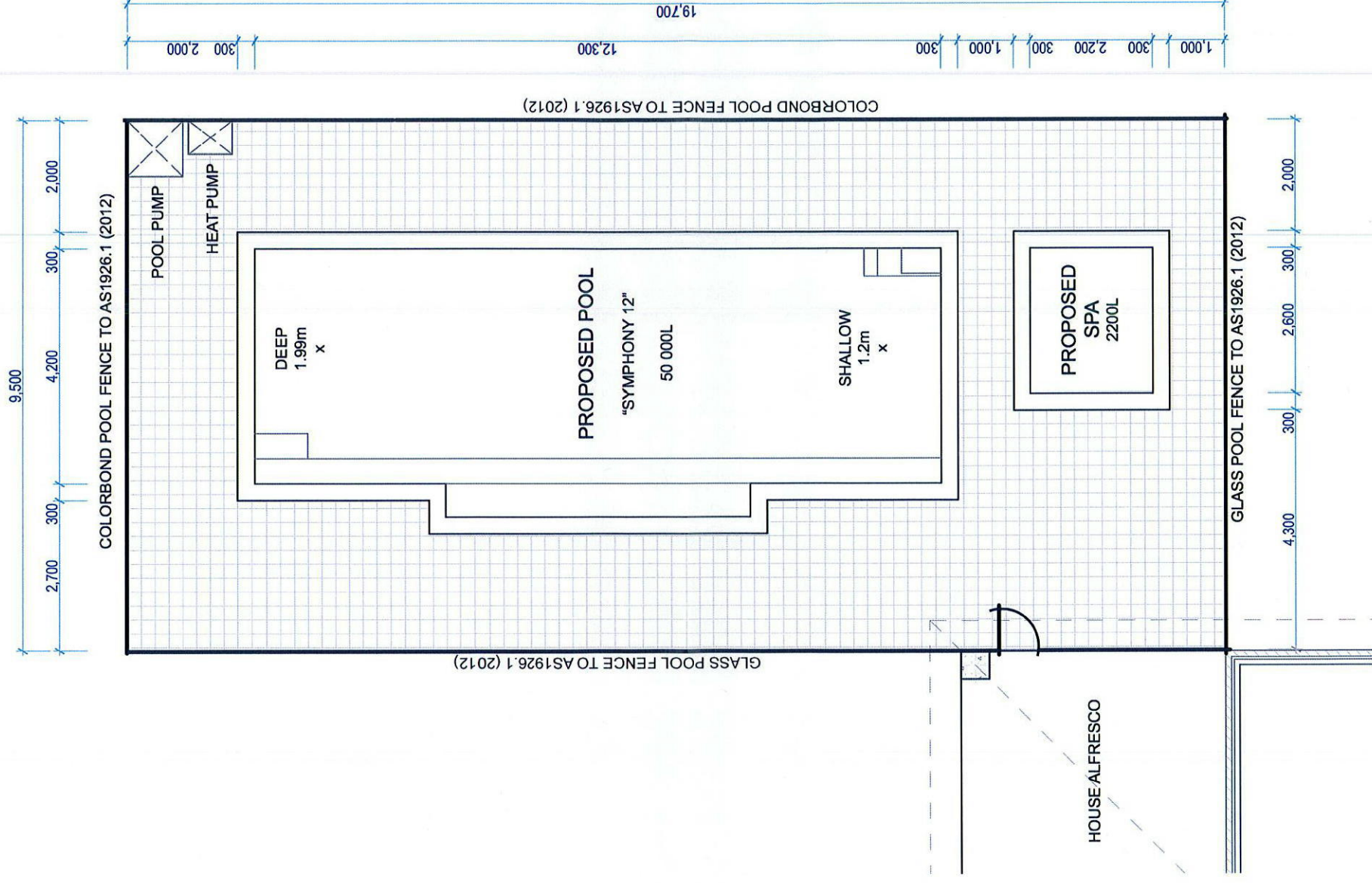


B&S Wood	Granny flat	Scale 1:100
42-48 St Mary's rd Berkshire Park		Draw 2 of 2

SECTION NTS

1.2m DEEP

1.99m DEEP



FOR: B & S WAUD
 AT: 42-48 St Mary's Rd
 BERKSHIRE PARK
 DATE: 2/8/2018
 SHEET: 2/3
 DRAWING # 10999
 DRAWN: TP



**PROPOSED POOL & SPA
 PLAN**
 1:100



ALL DIMENSIONS TO BE CONSIDERED APPROXIMATES. BUILDER TO CONFIRM MEASUREMENTS PRIOR TO COMMENCEMENT OF ANY WORK.