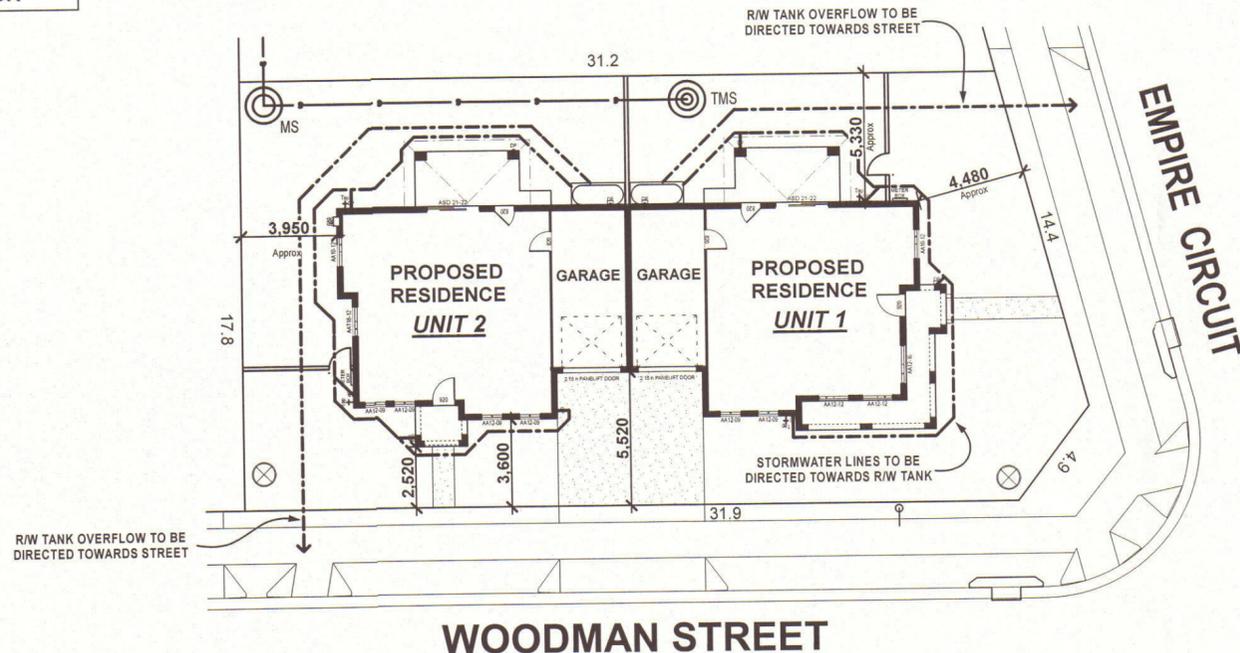


NOTE:
FINAL SITING AND LEVELS OF
PROPOSED RESIDENCE, TO BE
CONFIRMED UPON RECEIPT OF
CONTOUR SURVEY PREPARED
BY BUILDER'S SURVEYOR



NORTH
LOT 2246
589m²



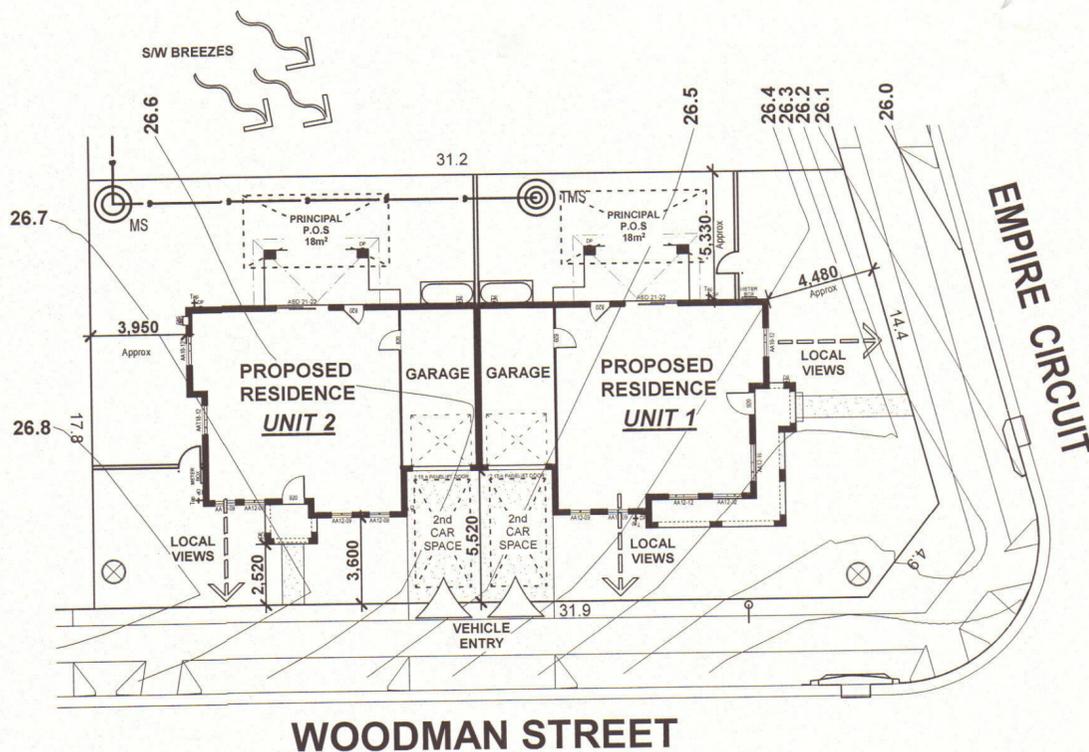
Proposed Site & Drainage Plan

SCALE 1:200

NOTE:
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NORTH
LOT 2246
589m²



Proposed Site Analysis Plan

SCALE 1:200

NORTH PENRITH "THORNTON" REQUIREMENTS:
SITE AREA: 589m²
UNIT 1 SITE AREA: 305.17m²
UNIT 2 SITE AREA: 283.88m²
PRIVATE OPEN SPACE:
UNIT 1
REQUIRED: 20% or 61.03m²
ACHIEVED: 22% or 67.59m²
UNIT 2
REQUIRED: 20% or 56.76m²
ACHIEVED: 40% or 113.04m²
LANDSCAPE AREA:
ACHIEVED: 53% or 315.05m²
CARPARKING:
REQUIRED: 2 SPACES
ACHIEVED: 2 SPACES

SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY:

EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
BALCONY (UNIT 1 ONLY)	130 mm FROM F.F.L.

Figured dimensions to be used in preference to scaling this drawing.
Do not assume - if in doubt ASK.

Champion Homes
Simply the Best

Suite 1, Level 1,
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P.O. Box 95 Hoxton Park,
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Telephone (02) 9825 8000
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Basix Template

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of bedrooms or more bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)	Dwelling no.	No. of bedrooms or more bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
U1	4	116.0	15.0	157.52	0	U2	4	116.0	15.0	157.52	0

Dwelling no.	Fixtures				Appliances			Individual pool			Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	All dish-washers	All clothes washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 7.5 but <= 9 L/min)	4 star	4 star	4 star	-	-	-	-	-	-	-	-	-

Dwelling no.	Alternative water source						
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up
All dwellings	individual water tank (no. 1)	Tank size (min) 3000 litres	To collect run-off from at least: 105.17 square metres of roof area; 0 square metres of impervious area; 0 square metres of garden and lawn area; and 0 square metres of planter box area.	yes	yes	yes	no

Dwelling no.	Hot water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control	
All dwellings	gas instantaneous 5 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	natural ventilation only, or no laundry	-	

Dwelling no.	Cooling		Heating		Artificial lighting				Natural lighting		
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets
All dwellings	1-phase airconditioning EER 2.5 - 3.0 (zoned)	0	0	no	no	no	no	0			

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated ridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	no	-	-	-	no	yes

Dwelling no.	Thermal loads	
	Area adjusted heating load (in MJ/m ² /yr)	Area adjusted cooling load (in MJ/m ² /yr)
U1	66.2	45.6
All other dwellings	69.3	49.2

Dwelling no.	Construction of floors and walls				
	Concrete slab on ground (m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
All dwellings	68	-	-	-	No

Common area	Showerheads rating		Toilets rating		Taps rating		Clothes washers rating	
	Rating	Common facility	Rating	Common facility	Rating	Common facility	Rating	Common facility
All common areas	no common facility	-	no common facility	-	no common facility	-	no common laundry facility	-

Energy Rating Certificate Number **15430349**
15430350

single-dwelling rating
 multi-unit development (attach listing of ratings)
If selected, data specified is the average across the entire development

heating **U1 = 66.2 MJ/m²**
cooling **U2 = 49.2 MJ/m²**

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number **Luis Contigiani BDAV/13/1543**

Assessor Signature *[Signature]* Date **19-05-2014**

ALL GLAZING TO BE NFRC VALUE OF UW = 6.66 OR LESS AND SHGCw = 0.70 + / - 10 %

R 3.5 INSULATION TO ALL CEILING R 1.5 BATTS TO ALL EXT. WALLS

Plot Date
Wed 29 Oct 2014

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Proposed Dual Occupancy
at Lot : 2246
Woodman Street,
Penrith. (Thornton)

Client : **Champion Homes**

Sheet Size: A2 Date: 22.04.14 Drawn: BT

Design : **Custom Design**

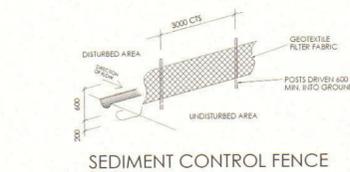
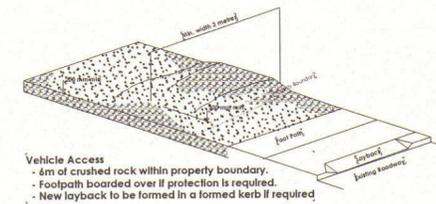
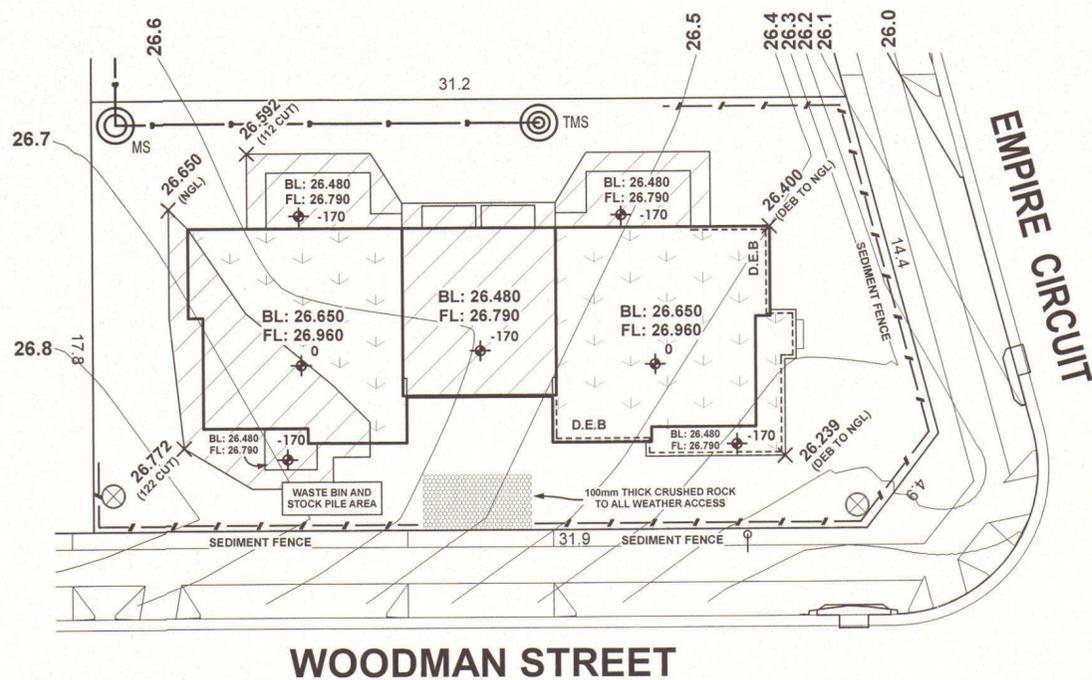
Job No. 3166N Sheet 1 of 7

Revision	Date	Amendment
C	29.10.14	COUNCIL AMENDMENTS - MT
B	06.06.14	FLOOR LEVELS ADDED / DA PLANS - MT
A	22.04.14	CONTRACT DRAWINGS - BT

NOTE:
FINAL SITING AND LEVELS OF
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NORTH
LOT 2246
589m²



Energy Rating Certificate Number: 15430349
15430350

single-dwelling rating
 multi-unit development (attach listing of ratings)

Recessed downlights confirmation: Rated with Rated without

Assessor Name/Number: Luis Contigiani BDAV/13/1543
Assessor Signature: [Signature] Date: 19-05-2014

ALL GLAZING TO BE RFRIC VALUE OF U1 < 0.50 OR LESS AND SHGC < 0.70 - 15
R 2.5 INSULATION TO ALL CEILING R 1.5 BATTs TO ALL EXT. WALLS

SITE PLAN

ALL SITEWORKS INDICATED ARE ILLUSTRATIVE ONLY.
FINAL BENCH LEVEL (BL) MAY BE SUBJECT TO ADJUSTMENT.
SUCH ADJUSTMENTS, WHILE COMPLYING WITH COUNCIL REQUIREMENTS
REMAIN AT THE DISCRETION OF THE BUILDER.

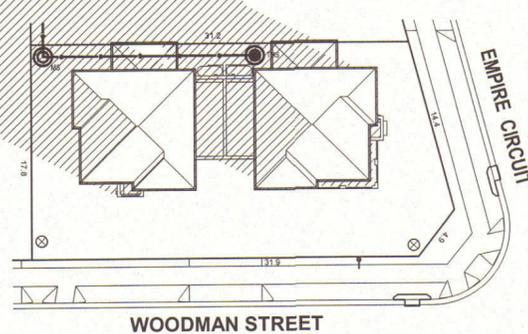
Erosion & Sediment Control Plan

SCALE 1:200

NOTE:
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NORTH
LOT 2246
589m²



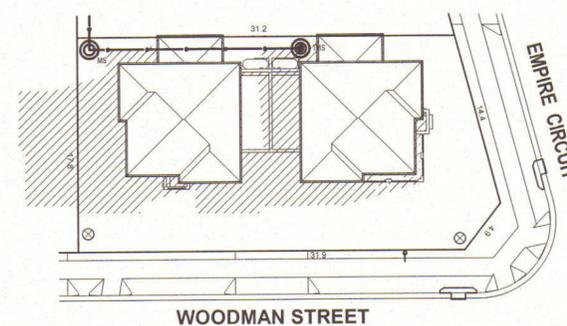
June 21st - 9am

SCALE 1:400

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589m²



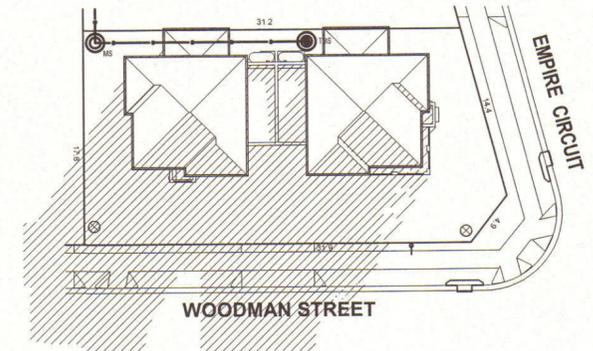
June 21st - 12noon

SCALE 1:400

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NORTH
LOT 2246
589m²



June 21st - 3pm

SCALE 1:400

Figured dimensions to be used in preference to scaling this drawing.
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Penrith. (Thornton)

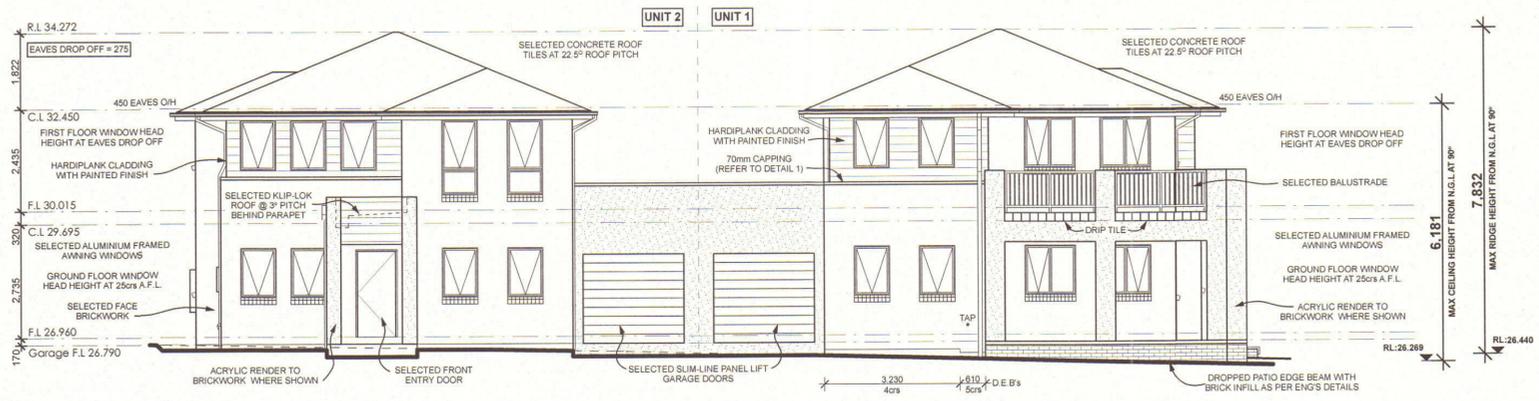
Plot Date
Wed 29 Oct 2014

Client :
Champion Homes
Sheet Size: A2 Date: 22.04.14 Drawn: BT
Design :
Custom Design
Job No. 3166N
3167N Sheet 2 of 7

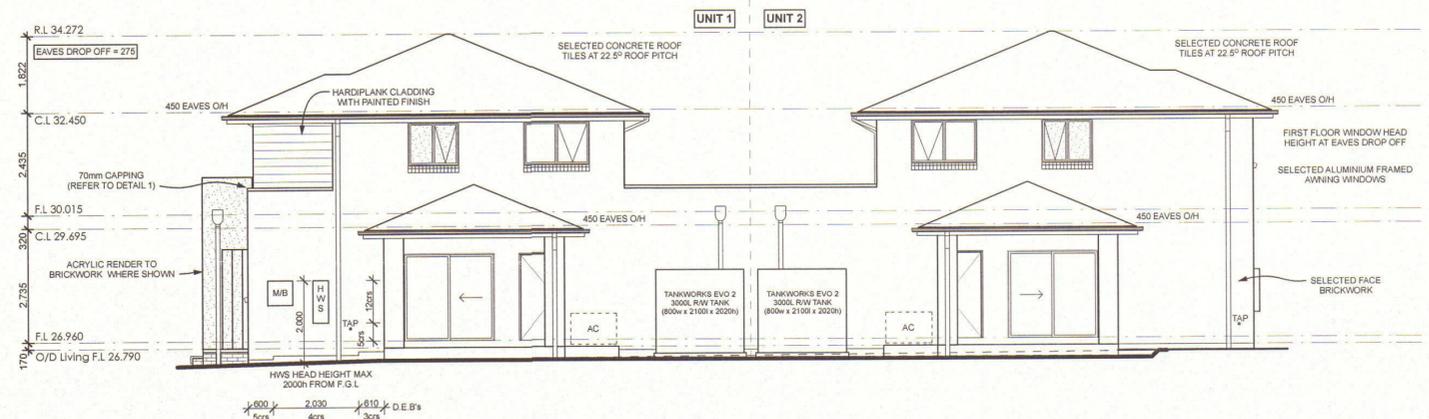
SITE & SLAB
CLASSIFICATION
IS TO BE CONFIRMED

Wind Speed : Class = N2

SLAB SETDOWNS FROM ENTRY.	
EDGE REBATES	172mm x 150mm WIDE
GARAGE	170 mm FROM F.F.L.
FRONT PORCH/VERANDAH	170 mm FROM F.F.L.
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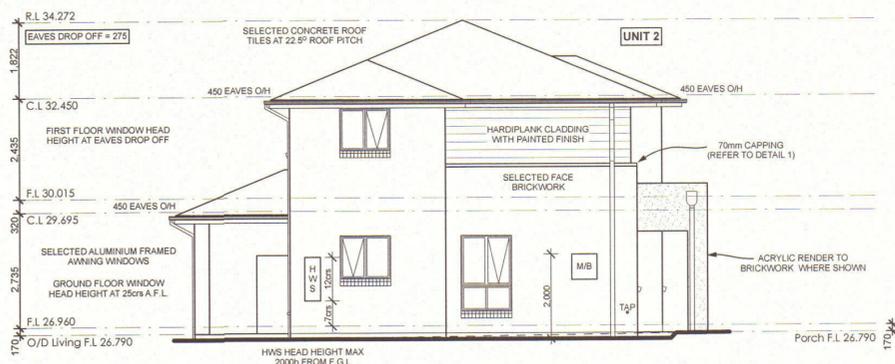
Eastern Elevation
SCALE 1:100



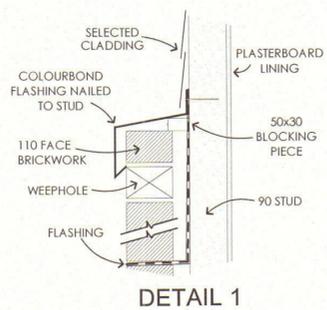
Western Elevation
SCALE 1:100



Northern Elevation
SCALE 1:100



Southern Elevation
SCALE 1:100



Energy Rating Certificate Number: 15430349
15430350
 single-dwelling rating
 multi-unit development (attach table of ratings)
 Recessed downlights confirmation: Rated with Rated without
 Assessor Name/Number: Luis Conigliani BDAV13/1543
 Assessor Signature: [Signature] Date: 19-05-2014

ALL GLAZING TO BE NEW VALUE
 U_F ≤ 0.55 OR LESS AND
 U_G ≤ 0.15 U_F ≤ 1.0 U_G
 R 3.5 INSULATION TO ALL CEILING
 R 1.5 BATTS TO ALL EXT. WALLS

PROTECTION OF OPENABLE WINDOWS AS PER B.C.A. CONDITION 3.9.2.5
 A WINDOW OPENING MUST BE PROVIDED WITH PROTECTION IF THE FLOOR BELOW THE WINDOW IN A BEDROOM IS 2m OR MORE ABOVE THE SURFACE BENEATH. WHERE THE LOWEST LEVEL OF A WINDOW OPENING IS LESS THAN 1.7m ABOVE THE FLOOR, A KEYED LOCK MUST BE FITTED SO AS TO RESTRICT THE WINDOW OPENING TO A MAX 125mm

SITE & SLAB CLASSIFICATION IS TO BE CONFIRMED

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3167N Sheet 5 of 7