

Project Certification Number	1006371775
Certification Date	18/08/2014
Assessor Name	Brad Hoad
Assessor Number	20731
Assessor Company	Thermal Performance
Assessor Signature	

Client Details	Zac Homes
Project Address	Lot 2245 William Hart Crescent PENRITH NSW 2750

Software	BERS Professional v4.2.110811/A(BERS Professional)	Climate Zone	28
Averaged Simulated Energy: HEATING		53.3 MJ/m2 pa	
Averaged Simulated Energy: COOLING		45.5 MJ/m2 pa	
Averaged Simulated Energy: TOTAL		98.8 MJ/m2 pa	

Averaged **NatHERS** Star Rating

5.5



Sole-Occupancy Unit (SOU) Thermal Performance Specifications							
Unit Number	Certificate Number	Floor Area		Simulated Loads (area adjusted MJ/m2/y)		NatHERS Star Rating	Rated with Downlights
		Conditioned	Unconditioned	Heating	Cooling		
1	1006371783	98.4	3.4	42.5	12.4	7.5/10	No
2	1006371791	98.4	3.4	39.1	15.1	7.5/10	No
3	1006371809	103.6	3.8	44.8	56.0	5.0/10	No
4	1006371817	103.6	3.8	43.7	65.5	5.0/10	No
5	1006371825	60.4	25.3	76.1	65.9	4.0/10	No
6	1006371833	60.4	25.3	73.4	58.1	4.0/10	No



NatHERS Rated 5.5/10 STARS*

*www.nathers.gov.au



BUILDING ENERGY EFFICIENCY CERTIFICATE

Zac Homes ISSUED TO	1006371775 CERTIFICATION NUMBER	
William Hart Crescent ADDRESS	18/08/2014 DATE	Brad Hoad ASSESSOR NAME
Site Lot 2245	28 CLIMATE ZONE	20731 ASSESSOR NUMBER
PENRITH	BERS Professional - v4.2.110811/A (BERS Professional) SOFTWARE	Thermal Performance COMPANY
NSW	53.3 MJ/m² pa SIMULATED ENERGY CONSUMPTION - HEATING	 ASSESSOR SIGNATURE
2750	45.5 MJ/m² pa SIMULATED ENERGY CONSUMPTION - COOLING	
	98.8 MJ/m² pa TOTAL SIMULATED ENERGY CONSUMPTION	

Issued by a BUILDING THERMAL PERFORMANCE ASSESSOR accredited by the Association of Building Sustainability Assessors to provide NatHERS house energy ratings.



NatHERS Rated 7.5/10 STARS*

*www.nathers.gov.au



BUILDING ENERGY EFFICIENCY CERTIFICATE

Zac Homes

ISSUED TO

Unit 1 William Hart Crescent

ADDRESS

Site Lot 2245

PENRITH

NSW

2750

1006371783

CERTIFICATION NUMBER

18/08/2014

DATE

28

CLIMATE ZONE

BERS Professional - v4.2.110811/A (BERS Professional)

SOFTWARE

42.5 MJ/m² pa

SIMULATED ENERGY CONSUMPTION - HEATING

12.4 MJ/m² pa

SIMULATED ENERGY CONSUMPTION - COOLING

54.9 MJ/m² pa

TOTAL SIMULATED ENERGY CONSUMPTION

98.4 m²

FLOOR AREA - CONDITIONED

3.4 m²

FLOOR AREA - UNCONDITIONED

101.8 m²

FLOOR AREA - TOTAL

Brad Hoad

ASSESSOR NAME

20731

ASSESSOR NUMBER

Thermal Performance

COMPANY

ASSESSOR SIGNATURE

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NatHERS Rated 7.5/10 STARS*

*www.nathers.gov.au



BUILDING ENERGY EFFICIENCY CERTIFICATE

Zac Homes

ISSUED TO

Unit 2 William Hart Crescent

ADDRESS

Site Lot 2245

PENRITH

NSW

2750

1006371791

CERTIFICATION NUMBER

18/08/2014

DATE

28

CLIMATE ZONE

BERS Professional - v4.2.110811/A (BERS Professional)

SOFTWARE

39.1 MJ/m² pa

SIMULATED ENERGY CONSUMPTION - HEATING

15.1 MJ/m² pa

SIMULATED ENERGY CONSUMPTION - COOLING

54.2 MJ/m² pa

TOTAL SIMULATED ENERGY CONSUMPTION

98.4 m²

FLOOR AREA - CONDITIONED

3.4 m²

FLOOR AREA - UNCONDITIONED

101.8 m²

FLOOR AREA - TOTAL

Brad Hoad

ASSESSOR NAME

20731

ASSESSOR NUMBER

Thermal Performance

COMPANY

ASSESSOR SIGNATURE

Issued by a BUILDING THERMAL PERFORMANCE ASSESSOR accredited by the Association of Building Sustainability Assessors to provide NatHERS house energy ratings.



NatHERS Rated 5.0/10 STARS*

*www.nathers.gov.au



BUILDING ENERGY EFFICIENCY CERTIFICATE

Zac Homes

ISSUED TO

Unit 3 William Hart Crescent

ADDRESS

Site Lot 2245

PENRITH

NSW

2750

1006371809

CERTIFICATION NUMBER

18/08/2014

DATE

28

CLIMATE ZONE

BERS Professional - v4.2.110811/A (BERS Professional)

SOFTWARE

44.8 MJ/m² pa

SIMULATED ENERGY CONSUMPTION - HEATING

56.0 MJ/m² pa

SIMULATED ENERGY CONSUMPTION - COOLING

100.8 MJ/m² pa

TOTAL SIMULATED ENERGY CONSUMPTION

103.6 m²

FLOOR AREA - CONDITIONED

3.8 m²

FLOOR AREA - UNCONDITIONED

107.4 m²

FLOOR AREA - TOTAL

Brad Hoad

ASSESSOR NAME

20731

ASSESSOR NUMBER

Thermal Performance

COMPANY

ASSESSOR SIGNATURE

Issued by a BUILDING THERMAL PERFORMANCE ASSESSOR accredited by the Association of Building Sustainability Assessors to provide NatHERS house energy ratings.



NatHERS Rated 5.0/10 STARS*

*www.nathers.gov.au



BUILDING ENERGY EFFICIENCY CERTIFICATE

Zac Homes

ISSUED TO

Unit 4 William Hart Crescent

ADDRESS

Site Lot 2245

PENRITH

NSW

2750

1006371817

CERTIFICATION NUMBER

18/08/2014

DATE

28

CLIMATE ZONE

BERS Professional - v4.2.110811/A (BERS Professional)

SOFTWARE

43.7 MJ/m² pa

SIMULATED ENERGY CONSUMPTION - HEATING

65.5 MJ/m² pa

SIMULATED ENERGY CONSUMPTION - COOLING

109.2 MJ/m² pa

TOTAL SIMULATED ENERGY CONSUMPTION

103.6 m²

FLOOR AREA - CONDITIONED

3.8 m²

FLOOR AREA - UNCONDITIONED

107.4 m²

FLOOR AREA - TOTAL

Brad Hoad

ASSESSOR NAME

20731

ASSESSOR NUMBER

Thermal Performance

COMPANY

ASSESSOR SIGNATURE

Issued by a BUILDING THERMAL PERFORMANCE ASSESSOR accredited by the Association of Building Sustainability Assessors to provide NatHERS house energy ratings.



NatHERS Rated 4.0/10 STARS*

*www.nathers.gov.au



BUILDING ENERGY EFFICIENCY CERTIFICATE

Zac Homes

ISSUED TO

Unit 5 William Hart Crescent

ADDRESS

Site Lot 2245

PENRITH

NSW

2750

1006371825

CERTIFICATION NUMBER

18/08/2014

DATE

28

CLIMATE ZONE

BERS Professional - v4.2.110811/A (BERS Professional)

SOFTWARE

76.1 MJ/m² pa

SIMULATED ENERGY CONSUMPTION - HEATING

65.9 MJ/m² pa

SIMULATED ENERGY CONSUMPTION - COOLING

142.0 MJ/m² pa

TOTAL SIMULATED ENERGY CONSUMPTION

60.4 m²

FLOOR AREA - CONDITIONED

25.3 m²

FLOOR AREA - UNCONDITIONED

85.7 m²

FLOOR AREA - TOTAL

Brad Hoad

ASSESSOR NAME

20731

ASSESSOR NUMBER

Thermal Performance

COMPANY

ASSESSOR SIGNATURE

Issued by a BUILDING THERMAL PERFORMANCE ASSESSOR accredited by the Association of Building Sustainability Assessors to provide NatHERS house energy ratings.



NatHERS Rated 4.0/10 STARS*

*www.nathers.gov.au



BUILDING ENERGY EFFICIENCY CERTIFICATE

Zac Homes

ISSUED TO

Unit 6 William Hart Crescent

ADDRESS

Site Lot 2245

PENRITH

NSW

2750

1006371833

CERTIFICATION NUMBER

18/08/2014

DATE

28

CLIMATE ZONE

BERS Professional - v4.2.110811/A (BERS Professional)

SOFTWARE

73.4 MJ/m² pa

SIMULATED ENERGY CONSUMPTION - HEATING

58.1 MJ/m² pa

SIMULATED ENERGY CONSUMPTION - COOLING

131.5 MJ/m² pa

TOTAL SIMULATED ENERGY CONSUMPTION

60.4 m²

FLOOR AREA - CONDITIONED

25.3 m²

FLOOR AREA - UNCONDITIONED

85.7 m²

FLOOR AREA - TOTAL

Brad Hoad

ASSESSOR NAME

20731

ASSESSOR NUMBER

Thermal Performance

COMPANY

ASSESSOR SIGNATURE

Issued by a BUILDING THERMAL PERFORMANCE ASSESSOR accredited by the Association of Building Sustainability Assessors to provide NatHERS house energy ratings.

INFRASTRUCTURE RESTORATION BOND 2014-15

Office use Only
B14/ _____

This restoration bond is a refundable bond applied as a condition of development consent and is payable prior to the issue of a Construction Certificate or any site works starting. It is a form of guarantee to protect Council's kerbing, footpaths and verges and may be used to repair or reinstate any damage that occurs during development works.

APPLICATION DETAILS			
At DA/CDC application stage an Infrastructure Restoration Fee of \$173 should have been paid. You will need the original receipt to obtain the following information: DA details and fee receipt number.			
Address:	lot 2245 William Hart Cr, Thornton		
DA/CD/CDP No:		Type of works	Multi-dwelling Manor house
Infrastructure Restoration fee (\$173) receipt no.	2471327	including detached garage with studios	
APPLICANT DETAILS			
Name	Zac Homes P/L		
Company	Peter Zaccaran.		
Address	1/232 Coreen Avenue, Penrith NSW 2750		
Phone	47 242 500	Mobile	—
Email	info@zachomes.com.au		
CONDITION INSPECTION OF PUBLIC INFRASTRUCTURE			
The applicant is to inspect public infrastructure around the work site for damage prior to work starting. Any damage must be documented on the supplied <i>Prior Damage Report</i> and supported by documentation (photographs, maps, descriptions) and be attached to this form.			
I, the applicant (as above), have <u>THOROUGHLY</u> inspected Council's (public) infrastructure, (including, but not limited to, footpaths, vehicle crossovers, road pavement, kerb and gutter, laneways, car parks, bridges, utilities, stormwater drains, drainage pits, nature strip, landscaping, street trees, street furniture) and have found:			
<input checked="" type="checkbox"/> no prior damage exists			
<input type="checkbox"/> prior damage exists as marked on the attached <i>Prior Damage Report</i> and supporting documents.			
Signature			Date 03/09/14
BOND CALCULATION			
Works	2014-15 Bond Structure		
Development/building works that will NOT involve access over or through the Public Infrastructure Assets (as above)			Not Applicable
Residential building-new and/or additional (excluding multi-unit housing), construction of swimming pool, retaining walls, major excavations, demolition and resite of building up to \$400,000.			\$500
Development (including commercial, industrial, subdivision, dual occupancy or equivalent-up to the value of \$400,000.			\$1000
Development application over \$400,000 (0.5% of value). All types of development including subdivision, dual occupancy, residential, commercial, industrial or equivalent.			Minimum \$2000
Value of Works	\$1-2 million	Bond Applicable	\$
CREDIT CARD PAYMENTS (All credit card transactions attract a surcharge of 0.6%)			
Card Type	MC / VISA		
Name on Card			
Card No.	- - - - / - - - - / - - - - / - - - -		
Signature			Expiry / /
OFFICE USE ONLY (Raise ram charge on DA/CD or 50 Item 519 & update custom fields)			
Amount	\$	Receipt No	Date / /
Payment options fax or email this bond payment.			
Penrith City Council Civic Centre, 601 High Street, Penrith 2750 • PO Box 60, Penrith NSW 2751 Phone 4732 7777 • Fax 4732 7968 • Email council@penrithcity.nsw.gov.au			

In Witness of this AGREEMENT the parties have signed, and affixed their seals
this Wed day 8 of May in the year Two Thousand and
Thirteen.

SIGNED for & on Behalf of the
Council of the City of Penrith
(Must be signed by City Works Manager)

Print full name: Johannes (Hans) Christiaan Meijer

Sign: H. Meijer

SIGNED for & on Behalf of Applicant
(Must be signed by a owner of managing director of the company)

Company: ZAC HOMES PTY LTD

Print full name: PETER ZACCAZAN

Sign: [Signature]

IN THE PRESENCE OF: Witness

Name of Witness: DAVID STEWART

Sign: [Signature]

Address of Witness: 89 HERITAGE WAY, GLEN ALPINE 2560

OFFICE USE ONLY (50 Trust Fund 519)		
DATE: <u>8/5/13</u>	RECEIPT NO.: <u>2471327</u>	AMOUNT.: <u>\$ 3000</u>



STATEMENT OF ENVIRONMENTAL EFFECTS

Project:

Manor Home Project with
6 Residences and 6 Car spaces under Strata Subdivision

Site:

Lot 2245, D.P. 1171491

Bristol Street

Thornton

NSW 2750

APPLICATION DETAILS:

Builder

Zac Homes Pty Ltd

Site location

Lot 2245, William Hart Crescent, Thornton 2750, NSW

Purpose of proposal

Proposed: New Manor Home Project with 6 Residences and 6 car spaces under strata subdivision

Zoning: R1 Low Density Residential

This report has been prepared pursuant to

- Penrith City Council's Development Control Plans
- Thornton Design Guidelines
- Section 79C of the Environmental Planning and Assessment Act 1979
- State Environmental Planning Policy (Exempt and Complying Development Codes) General housing Codes
- Along with Penrith City Council's LEP.

Proposed Development

This Statement of Environmental Effects has been prepared as a proposal for new residences with strata subdivision that contain 6 units and each containing their own car space on Lot 2244 Bristol Street, Penrith 2750, in accordance with Penrith City Council's Development Control Plan and the State Environmental Planning Policy (Exempt and Complying Development Codes) General housing Codes, along with Penrith City Council's LEP.

Careful consideration has been given in determining the design and layout of the proposed dwellings to ensure that the amenity of the surrounding area will not be compromised and that the work provides a high standard of residential development compatible and sympathetic with the existing and likely future built and natural environment. Units one & two have been designed to suit adaptable housing regulations.

The Statement of Environmental Effects addresses the relevant statutory planning framework within which the application is to be assessed and determined.

Plans detailing the proposed development accompany this application.

SITE DETAILS:

Site Area

The existing lot is approximately 905.3sqm.

Site Owner

The current owner of the lot to be developed is Zac Homes Pty Ltd.

Site Analysis

- The site is located on the block southern to Cleveland lane and on the Eastern End of the William Hart Crescent and Bristol Street block.
- The site analysis has not identified any major constraints on the site.
- The site maintains sufficient area for the proposed dwellings and private open space areas.
- The site is currently vacant.
- The site's inland location results in the development likely to experience winds from the North-east in the summer and Southerlies during the winter. These prevailing winds will assist in ventilation of the property.
- Minimal privacy issues are raised as a result of the development and those that are affected have been properly screened to maintain privacy.
- In order to permit the construction of the proposed dwelling it will be necessary to undertake minimal earthworks to the site.
- The new dwellings will be connected to the provided stormwater via multiple tanks that combine a total of 14,000 litres in detention and sewage system.
- The development has been designed so as to achieve a built form that is appropriate having regard to the existing character of the locality.

Current Lot uses

The current lot is undeveloped and vacant.

Neighbouring Land uses

The subject Lot will be predominantly surrounded by residential dwellings. Such dwellings will include single and double storeys.

Utility Services

The subject lot has access to a range of utility services such as gas, electricity, telephone, mail delivery, local waste collection, national broadband network and water.

ZONING CONTROLS:

Aboriginal Heritage

The site does not include items of Aboriginal heritage.

Coastal Hazards

The development is not subject to Coastal Hazards.

Mine Subsidence

The subject site is not located within a Mine Subsidence District.

Bushfire

The proposed dwelling is not located within an area that is identified as Bush Fire prone land.

Heritage Matters

The proposed dwelling is not located within a Heritage Precinct.

DEVELOPMENT PROPOSAL:

Proposed Development

The architectural designs have been prepared by Zac Homes Pty Ltd.

The proposal provides for the construction of six new residences each containing a car space each. The three detached properties will contain a total of sixteen bedrooms, six dining's, and six living areas all presented in an open plan style. All dwelling will contain an individual private open space each and will be subdivided through strata. The facades will consist of mixed finishes such as face brickwork and moroka finish. Special consideration was taken to unit's one & two to suit adaptable housing requirements.

The overall design will be aesthetically pleasing and is considered to complement the existing neighbourhood streetscape.

Proposed Development

The amount of disturbance on the land caused by the proposed dwelling has been minimised with the site being cut and filled to form a level building platform.

Appropriate erosion and sediment control measures such as silt fencing will be put in place to limit sediment laid in stormwater discharge and restrict stormwater flows over exposed areas during construction. Due to the level nature of the land it is unlikely that any sediment will leave the site.

Setbacks

Minimal Front setbacks of 350mm and 380mm have been obtained to the properties facing Cleveland Lane & a minimum of 3m to the main living of units 2 & 4 to the Northern building.

A minimum of 900mm has been given to the side setbacks

All setbacks comply with Council's DCP and all related policies. The dwelling does not encroach over any easements or land restriction zones.

Site Coverage

The total approximate site coverage including all hard surfaces= 452m²

The site coverage complies with Council's DCP and all related policies.

Landscaped area

The total approximate landscaped area= 453.3m²

The landscape area complies with Council's DCP and all related policies.

Building Height

The maximum proposed building height to the ridge line is 9.069m from the natural ground line.

The building height complies with Council's DCP and all related policies.

Private open space

The combined proposed P.O.S is 296.82m²

The P.O.S complies with Council's DCP and all related policies.

Streetscape and building Facade

Selected materials and colours utilised on the proposal will be aesthetically pleasing and is considered to complement the overall streetscape.

The Facade design and colour selection complies with Council's DCP, Developer controls and all related policies.

ACCESS AND TRAFFIC:**Site access**

Vehicle access to the proposed dwelling is via a proposed concrete driveway which complies with the Australian standard (AS2890.1) for the driveway gradient located on Simmons Lane

Vehicle Parking

The proposed dwelling provides six single car garages which will cover a total of 6 vehicles for the residents.

Vehicle Parking complies with Council's DCP and all related policies.

Traffic

The proposed dwelling is unlikely to impact local traffic movement in the area.

AIR AND NOISE:**Noise and vibration**

The local amenity is generally perceived as being relative to the acoustic impact of land uses within the local area.

The existing amenity within the subject locality is presently diminished by:

- Traffic movement along Cleveland Lane & William Hart Crescent.
- Noise normally associated with residential type activities.
- The proposed dwelling is unlikely to further emit noise above existing background noise.
- The nominated property is not acoustically affected and does not need further acoustic assessment.

Air and Odours

The proposed dwelling is unlikely to have an impact on the quality of air in the local area. Air and odours emanating from the proposed dwelling will be consistent with all neighbouring developments and unlikely to affect the adjoining lots.

PRIVACY, VIEWS AND OVERSHADOWING:

Views

The proposed dwelling is unlikely to impede the view of adjoining lots and future developments.

Overshadowing

The proposed dwelling is of double storey construction and will have minor overshadowing to the surrounding neighbours. Solar access for the adjoining properties is shown on the provided shadow diagrams.

The shadow diagrams comply with Council's DCP and all related policies.

Privacy

The privacy of adjoining lots will be respected and not interrupted by the proposed dwelling. Privacy shall be achieved by maintaining appropriate setbacks from the neighbouring boundaries and fencing.

SOIL AND WATER:

Site contours

The site is subject to minor natural surface flow from the front boundary to the rear boundary.

Stormwater and drainage

The stormwater will be adequately collected using a combined total of four (14,000 litres in total) rainwater tanks which will be used for watering the landscaping during dry weather. Excess rainwater will be discharged to the proposed easement to the rear lane.

FLORA AND FAUNA:

Existing vegetation

There are no existing trees or vegetation to be removed for construction of the proposed dwelling.

Proposed vegetation

The proposal will comply with Council's DCP and all related policies in regards to landscape requirements and required vegetation plantation.

Basix/Energy

The proposed dwelling will meet with all BASIX requirements and construction will include insulation to external walls and ceiling space along with sarking to the underside of the roof tiles.

WASTE DISPOSAL:**Utility service and waste**

The site is adequately serviced with local council garbage and waste collection. The proposed dwelling will not place any additional demands upon these services.

The proposed dwelling will connect to the provided sewage system.

Building waste is to be contained within the building site in a suitable screened area for the duration of construction. This waste is to be removed by a contractor after completion.

CONCLUSION:

The development complies with the standards and objectives of the State Environmental Planning Policy and other relevant controls that apply to this subject site, the Architectural design, character, scale, materials and details of this project will match the existing neighbourhood area so as to ensure maximum cohesion.

The proposal will enhance the existing streetscape elevation and compliment the general neighbourhood.

The proposed residential development will have minimal adverse environmental effects, and shall prove to become a positive asset to the amenity of the neighbourhood.

Report completed by:

Zac Homes Pty Ltd
Level 1, 232 Coreen Avenue
Penrith, NSW, 2750
Phone: (02) 4724 2500
Email: info@zachomes.com.au

VEHICLE CROSSOVER APPLICATION 2014-15

<input type="checkbox"/> Residential - \$126 per entry (Owner Occupier, Dual Occupancy)	<input checked="" type="checkbox"/> Medium Density - \$252 per entry (Units, Townhouses)	<input type="checkbox"/> Commercial/Industrial \$252 per entry
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- I acknowledge that:
- If the vehicular crossing is constructed in material other than plain grey concrete Council will not be responsible for the restoration or repair in material other than plain concrete.
 - I am aware that Council will not be responsible for any Public Liability Claims for accident or otherwise arising from an incorrectly installed vehicular crossing.
 - I am responsible for contacting DIAL BEFORE YOU DIG 1100 for the location of other utilities services.
 - The proposed surface is to be made up fresh to comply with AS/NZS 1418:1999, AS/NZS 2611:2004.

APPLICANT DETAILS

First name: **ZAC HOMES** Surname: **PL**

Street number: **1/232** Street name: **COREEN AVENUE**

Suburb: **PENRITH** Post code: **2750**

Contact phone number: **47 24 2500** Email address: **info@zachomes.com.au**

Please select the infrastructure you wish to install:
 Footpath crossing Layback Footpath Dish crossing Pipe crossing

PROPERTY DETAILS

Street number: **107 2245** Street name: **WILLIAM HART CR,**

Suburb: **THORNTON** Post code: **2750**

Type of finish: Plain Stencil/Coloured

CONTRACTOR DETAILS

Work will be carried out by: Owner Contractor

Owner / Contractor: **OZ STYLE LANDSCAPING** Licence number: **263514C**

Contact phone number: **0402 086 032** Email address: _____

I understand that I am to observe the following conditions:

- I am responsible for protection of the Public during construction (barricades, safe lanes etc.) and for all damage caused to any Public Utility by the construction of the crossing.
- I am to book an inspection with Council's Engineering Coordinator by telephone (02) 4732 7562 at least 24 hours before the required inspection time, or prior to 11am for the same day afternoon inspections (Monday to Thursday excluding public holidays), quoting the application number.
- For work which is not formed up and ready to pour at the requested time of inspection, which is not cancelled prior to the inspection, an additional charge of \$66 will apply.
- This application is only valid for 12 months from receipt date.

Contractor's / Owner's signature: **C Raw** Date: **03/09/14.**

PAYMENT DETAILS

You can pay the administration fee for your application by cash, credit card or in person at one of our offices. You can also pay by cheque or credit card by mailing your payment in with this form.

I would like to pay by: Mastercard Visa

Card number: _____

Cardholder name: _____ Expiry date: _____

Cardholder signature: _____ Date: _____

OFFICE USE ONLY

Application number: _____

Receipt Number: _____

Amount: _____

Date: _____

First inspection: _____

Final approval: _____

First inspection number: _____

Not ready: _____

Signature: _____

601 High Street
 PENRITH NSW 2755
 P: (02) 4732 7777
 F: (02) 4732 7958
 E: council@penrithcity.nsw.gov.au
 W: www.penrithcity.nsw.gov.au

PENRITH CITY COUNCIL



Waste Management Policy and Contractors Responsibilities

Waste Management Policy

Sydney Bobcat Profiler Pty Ltd has adopted a new policy to help manage on site waste and recycling more effectively and efficiently. It is in the best interest of Zac Homes that all contractors MUST comply in order to avoid additional site cleaning charges and upkeep site tidiness for Workplace Health and Safety obligations.

Compliance with the policy and responsibilities outlined here within will be closely monitored by SBP representatives and by Workcover Officers. Please carefully read and become familiar with the following conditions imposed by the new company policy:

- 1) All sites will comprise of two (2) designated waste areas as nominated by the Site Supervisor:
 - 1st area will be for **“Masonry Waste Only”**
(This includes bricks, tiles and concrete etc.)
NO OTHER WASTE IS TO BE PLACED HERE
 - 2nd area will be a waste compound for all other **“General Waste Only”**
- 2) All reusable pallets and waffle pods are to be stacked in a separate pile out the front for removal by the relevant supplier.
- 3) **ALL OTHER WASTE** is to be put in the general waste compound provided. This includes:
 - Packaging; PVC material; strapping; plastic wrap; steel; bracing; empty paint tins; metal fascia & gutter off cuts and food scraps.
- 4) If compound is full please notify your supervisor immediately so they can arrange for it to be emptied. We would appreciate contractors to report anyone not complying with our company policy.

Contractor Responsibilities

Every contractor is responsible for their own waste and under no circumstances should waste be spread across the site or backyard. All waste is to be brought to the **front** and placed in the waste compound (if applicable) or in a neat pile away from water meters. Back charges will apply for non-conformance by any contractor to these strict conditions.

Plasterers: All plasterboard off-cuts must be placed in one area for removal by relevant supplier. SBP is **not** responsible for any gypsum waste removal from site. Any waste left over and rejected by the relevant supplier pick up will incur additional charges.

Rooftilers: Pallets are to be stacked at the **front** of the house in a separate pile to be taken away by the supplier. All broken roof tiles must be placed in area marked **“Brick, Tile and Concrete”** at the **front** of the house **away from water meters**.

Bricklayers: Brick separators must be placed in the general waste compound. Brick straps, cement bags and plastic wrap are also to be placed in the general waste compound. Broken bricks are to be placed in area marked **“Brick, Tile and Concrete”** at the front of the house **away from water meters**.

Carpenters: All timber off cuts must be placed in the general waste compound.

Painters: All **EMPTY** paint tins must be placed in the general waste compound.

Facia & Gutter Contractors: All metal fascia & gutter off-cuts must be placed in general waste compound.

Slab contractors: All leftover waffle pods must be removed by contractor or supplier. Any excess concrete or wash out is to be spread in driveway.

Electrical contractor: All leftover wiring material and conduit must be placed in general waste compound provided.

Plumbers and Drainers: All waste PVC products must be placed in general waste compound.

All plant and machine operators: Under no circumstances should plant operators place spoil in the waste compound or brick pile. Any waste contamination will incur a back charge.

Any contractor failing to fulfil their responsibly in order to maintain a clean and safe worksite will be back charged \$350.00 by Zac Homes.

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Multi Dwelling

Certificate number: 551913M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 29/06/2009 published by Planning & Infrastructure. This document is available at www.basix.nsw.gov.au

Director-General

Date of issue: Monday, 18 August 2014

To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	ZAC013	
Street address	- William Hart Crescent PENRITH 2750	
Local Government Area	Penrith City Council	
Plan type and plan number	deposited 1171491	
Lot no.	2245	
Section no.	-	
No. of residential flat buildings	0	
No. of units in residential flat buildings	0	
No. of multi-dwelling houses	6	
No. of single dwelling houses	0	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 45	Target 40

Certificate Prepared by

Name / Company Name: Thermal Performance

ABN (if applicable): 64 137 428 767

Description of project

Project address

Project name	ZAC013
Street address	- William Hart Crescent PENRITH 2750
Local Government Area	Penrith City Council
Plan type and plan number	deposited 1171491
Lot no.	2245
Section no.	-

Project type

No. of residential flat buildings	0
No. of units in residential flat buildings	0
No. of multi-dwelling houses	6
No. of single dwelling houses	0

Site details

Site area (m ²)	905.3
Roof area (m ²)	419.7
Non-residential floor area (m ²)	0
Residential car spaces	6
Non-residential car spaces	0

Common area landscape

Common area lawn (m ²)	49
Common area garden (m ²)	7
Area of indigenous or low water use species (m ²)	-

Assessor details

Assessor number	20731
Certificate number	1006371775
Climate zone	28

Project score

Water	 40	Target 40
Thermal Comfort	 Pass	Target Pass
Energy	 45	Target 40

Description of project

The tables below describe the dwellings and common areas within the project

Multi-dwelling houses

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
1	3	101.8	0.0	125	0
5	2	67.4	0.0	23	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
2	3	101.8	0.0	127	0
6	2	67.4	0.0	38	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
3	3	107.4	0.0	52	0

Dwelling no.	No. of bedrooms	Conditioned floor area (m ²)	Unconditioned floor area (m ²)	Area of garden & lawn (m ²)	Indigenous species (min area m ²)
4	3	107.4	0.0	27	0

Description of project

The tables below describe the dwellings and common areas within the project

Schedule of BASIX commitments

1. Commitments for multi-dwelling houses

(a) Dwellings

- (i) Water
- (ii) Energy
- (iii) Thermal Comfort

2. Commitments for single dwelling houses

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

- (i) Water
- (ii) Energy

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

1. Commitments for multi-dwelling houses

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: <ul style="list-style-type: none"> (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling. 		✓ ✓	✓ ✓
(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	✓	✓	
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures					Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	HW recirculation or diversion	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	3 star (> 7.5 but <= 9 L/min)	4 star	3 star	4 star	no	-	-	-	-	-	-	-	-	-

Dwelling no.	Alternative water source							
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
1, 3	central water tank (no. 1)	See central systems	See central systems	yes	yes	yes	no	no
2, 4	central water tank (no. 2)	See central systems	See central systems	yes	yes	yes	no	no
All other dwellings	individual water tank (no. 1)	Tank size (min) 2000 litres	To collect run-off from at least: 77 square metres of roof area; 0 square metres of impervious area; 0 square metres of garden and lawn area; and 0 square metres of planter box area.	yes	yes	yes	no	no

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓ ✓	
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓ ✓ ✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	
(j) The applicant must install the photovoltaic system specified for the dwelling under the "Photovoltaic system" heading of the "Alternative energy" column of the table below, and connect the system to that dwelling's electrical system.	✓	✓	✓

	Hot water		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
Dwelling no.	Hot water system		Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control
5, 6	gas instantaneous 5.5 star		individual fan, ducted to façade or roof	interlocked to light	individual fan, ducted to façade or roof	manual switch on/off	natural ventilation only, or no laundry	-
1, 2, 3, 4	gas instantaneous 5.5 star		individual fan, ducted to façade or roof	interlocked to light	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off

	Cooling		Heating		Artificial lighting						Natural lighting	
Dwelling no.	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms &/or study	No. of living &/or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms &/or toilets	Main kitchen
5, 6	1-phase airconditioning EER 3.0 - 3.5	-	1-phase airconditioning EER 3.0 - 3.5	-	2	2	yes	yes	yes	yes	0	no
1, 2, 3, 4	1-phase airconditioning EER 3.0 - 3.5	-	1-phase airconditioning EER 3.0 - 3.5	-	2	3	yes	yes	yes	yes	0	no

	Individual pool		Individual spa		Appliances & other efficiency measures							
Dwelling no.	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
All dwellings	-	-	-	-	gas cooktop & electric oven	-	no	-	-	-	no	yes

	Alternative energy
Dwelling no.	Photovoltaic system (min rated electrical output in peak kW)
All dwellings	-

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must attach the certificate referred to under "Assessor details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for a final occupation certificate for the proposed development.			
(b) The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.			
(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.			
(e) The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.			
(f) The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
(g) Where there is an in-slab heating or cooling system, the applicant must: (aa) Install insulation with an R-value of not less than 1.0 around the vertical edges of the perimeter of the slab; or (bb) On a suspended floor, install insulation with an R-value of not less than 1.0 underneath the slab and around the vertical edges of the perimeter of the slab.	✓	✓	✓
(h) The applicant must construct the floors and walls of the development in accordance with the specifications listed in the table below.	✓	✓	✓

Thermal loads		
Dwelling no.	Area adjusted heating load (in mJ/m ² /yr)	Area adjusted cooling load (in mJ/m ² /yr)
1	42.5	12.4
2	39.1	15.1
3	44.8	56
4	43.7	65.5
5	76.1	65.9
All other dwellings	73.4	58.1

Construction of floors and walls					
Dwelling no.	Concrete slab on ground(m ²)	Suspended floor with open subfloor (m ²)	Suspended floor with enclosed subfloor (m ²)	Suspended floor above garage (m ²)	Primarily rammed earth or mudbrick walls
1,2	101	-	-	-	No
3,4	4	-	-	-	No
All other dwellings	5	-	-	61	No

3. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

Central systems	Size	Configuration	Connection (to allow for...)
Central water tank - rainwater or stormwater (No. 1)	5000	To collect run-off from at least: - 132 square metres of roof area of buildings in the development - 0 square metres of impervious area in the development - 0 square metres of garden/lawn area in the development - 0 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system).	- irrigation of 0 square metres of common landscaped area on the site - car washing in 0 car washing bays on the site

Central systems	Size	Configuration	Connection (to allow for...)
Central water tank - rainwater or stormwater (No. 2)	5000	To collect run-off from at least: - 132 square metres of roof area of buildings in the development - 0 square metres of impervious area in the development - 0 square metres of garden/lawn area in the development - 0 square metres of planter box area in the development (excluding, in each case, any area which drains to, or supplies, any other alternative water supply system).	- irrigation of 0 square metres of common landscaped area on the site - car washing in 0 car washing bays on the site

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

Notes

1. In these commitments, "applicant" means the person carrying out the development.
2. The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or reference as is given to that dwelling, building or common area in this certificate.
3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part of the building or development to be used for residential purposes.
4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other rating is specified in a commitment, this is a minimum rating.
6. All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for human consumption in areas with potable water supply.

Legend

1. Commitments identified with a "✔" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
2. Commitments identified with a "✔" in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
3. Commitments identified with a "✔" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfilment it is required to monitor in relation to the building or part, has been fulfilled).

Our Ref: PL14/0057
Contact: Robert Craig
Telephone: (02) 4732 7593

28 July 2014

Peter Zaccazan
Zac Homes
Level 1, 232 Coreen Avenue
PENRITH NSW 2750

Dear Peter

**Pre-Lodgement Meeting
Proposed Multi Dwelling Housing x 4 Units & Studio Lofts x 2
Proposed Lot 2245 in Lot 1195 DP 1171491, Off Coreen Avenue, PENRITH
NSW 2750**

Council welcomes your initiative to commence your project in the Penrith Local Government Area.

Thank you for participating in Council's pre-lodgement meeting on 17 June 2014. Council considers that the pre-lodgement process will assist in the preparation and determination of your Development Application. The attached advice will assist you in preparing your application.

I apologise for the delay in issuing this advice.

Should you require any assistance regarding the attached advice, please contact me on (02) 4732 7593.

Yours sincerely

Robert Craig
Principal Planner

**** Important Note ****

The pre-lodgement panel will endeavour to provide information which will enable you to identify issues that must be addressed in any application. The onus remains on the applicant to ensure that all relevant controls and issues are considered prior to the submission of an application.

Information given by the pre-lodgement panel does not constitute a formal assessment of your proposal and at no time should comments of the officers be taken as a guarantee of approval of your proposal.

It is noted that there is no Development Application before the Council within the meaning of the Environmental Planning and Assessment Act 1979. This response is provided on the basis that it does not fetter the Council's planning discretion and assessment of any Development Application if lodged. It is recommended that you obtain your own independent expert advice.

The response is based upon the information provided at the time of the meeting.

PROPERTY AND PLANNING INFORMATION	
Meeting Attendees	<p><i>Proponent</i> Peter Zaccazan (Zac Homes) Eduardo Garcia (Zac Homes) Mike Scott (The Treadstone Company)</p> <p><i>Penrith City Council</i> Robert Craig (Principal Planner) Colin Wood (Coordinator Fire Safety, Certification & Compliance) Chris Martyn (Planning Administration Officer)</p>
Proposal	Multi Dwelling Housing x 4 Units & Studio Lofts x 2
Address	Proposed Lot 2245 in Lot 1195 DP 1171491, Off Coreen Avenue, PENRITH NSW 2750
Zoning and Permissibility	<p>The subject land is zoned <i>R1 General Residential</i> under the Penrith City Centre Local Environmental Plan (LEP) 2008. Under the LEP, the proposed “residential accommodation” is a permissible form of development in the <i>R1</i> zone subject to Council’s consent.</p> <p>The subject land is proposed to remain zoned <i>R1 General Residential</i> under the Planning Proposal for the draft Stage 2 City-wide LEP.</p> <p>Penrith Development Control Plan 2006 and the North Penrith Design Guidelines 2013 also apply to the land.</p>
Development Type	Local Development
KEY ISSUES AND OUTCOMES	
<p>The proposal is to address the following issues.</p> <p>RELEVANT EPI’s, POLICIES AND GUIDELINES</p> <ul style="list-style-type: none"> Planning provisions applying to the site including land use permissibility and the provisions of relevant plans and policies are contained in Appendix A. <p>KEY ISSUES</p> <ul style="list-style-type: none"> The following key issues must be addressed prior to lodging a Development Application with Council: <ol style="list-style-type: none"> On-site car parking shall be provided in accordance with the North Penrith Design Guidelines 2013. In this regard, it should be noted that the proposed media rooms in Units 1, 2, 3 and 4 constitute a bedroom for the purposes of calculating car parking requirements. In addition, given the high level of public transport accessibility and amenities available to the Thornton estate and the added housing affordability benefits, the studio lofts may be provided with a secure space for bicycle and/or motor cycle storage/parking in lieu of a garaged car parking space. 	

2. Consultation shall be undertaken with Council's Waste Management Coordinator (ph. 4732 7987) for advice in relation to waste management requirements for the development.
3. The apparent bulk and scale of the proposed garage/studio loft buildings could be reduced by stepping the alignment of the triple car garages and lowering the level at which the light weight materials commence on the external street facades of the buildings.
4. Visual relief should be provided in the northern elevation of the building containing Unit 5 as the current blank wall presentation will have some prominence when viewed from William Hart Crescent.
5. Consideration should be given to the provision of an entry gate treatment to Units 5 and 6 to delineate the entrance points to these studio lofts.
6. Appropriate external lighting shall be provided to the recessed dwelling entries to Units 5 and 6.
7. Visual privacy control measures (e.g. awnings) shall be provided to reduce potential overlooking from the rear of Units 3 and 4 (first floor dwellings) to the private open space at the ground floor level.
8. The stairway window in the western elevation of Unit 3 shall include frosted glazing to reduce overlooking to the adjoining property.
9. Visual privacy control measures (e.g. fixed or movable screen louvers) shall be provided to reduce potential overlooking between the balconies of Units 5 and 6.
10. Consideration should be given to the provision of an adaptable unit in accordance with the provisions of AS 4299.

PLANNING MATTERS

- The application shall address, and demonstrate compliance with, the relevant provisions contained in the Penrith City Centre Local Environmental Plan (LEP) 2008.
- The subject land is proposed to remain zoned *R1 General Residential* under the Planning Proposal for the draft Stage 2 City-wide LEP. The provisions contained within the LEP will be matters for consideration in relation to the assessment of the proposal and should be considered and addressed as part of the application submission. The draft LEP is not expected to commence until sometime later this year.
- The application shall address, and demonstrate compliance with, the relevant provisions contained in Penrith Development Control Plan (DCP) 2006 and the North Penrith Design Guidelines 2013. In this regard, a compliance table detailing each dwelling's compliance (or otherwise) with the controls contained in the DCP and Design Guidelines shall be submitted and the architectural and landscape plans will need to be endorsed by the Thornton Design Review Panel.
- The applicable visual privacy controls shall be satisfied.
- Shadow diagrams shall be submitted demonstrating compliance with the applicable solar access controls.
- Building perspective plans and/or photomontages as well as a schedule of proposed external building, fencing and retaining wall materials, finishes and colours shall be submitted with the application.
- The subject allotment will need to be registered prior to the issue of a Construction Certificate. This requirement will be imposed as a condition of consent should development consent be granted for the proposal.

WASTE MANAGEMENT

- A waste management plan addressing the construction and operational aspects of the proposal shall be submitted with the application.

- Provision shall be made for bin collection and storage areas for each dwelling and these areas shall be marked on the plans.

LANDSCAPE DESIGN

- A landscape plan including proposed fencing details and prepared by a Category 2 landscape designer is to be provided.

NOISE

- A noise statement prepared by a suitably qualified acoustic consultant shall be submitted detailing dwelling design measures so as to achieve the following internal noise levels:
 - 35 dB(A) LAeq in sleeping areas.
 - 40 dB(A) LAeq in other living areas.

SUBDIVISION

- Strata subdivision of the development would be permissible subject to Council's consent. Should strata subdivision be sought at this stage, a separate strata plan of subdivision will need to be submitted.

SECTION 94 CONTRIBUTIONS

- Section 94 contributions apply to the proposed development in accordance with Council's District Open Space contributions plans.

CONSULTATION

- Prior to lodgement of the Development Application, it is recommended that you consult with relevant government authorities, service providers, community groups and affected landowners. In particular, you should consult with the relevant energy provider and Sydney Water in relation to servicing requirements for the proposed development.

ENGINEERING MATTERS

General Matters

- All plans for the site shall have levels and details to AHD (Australian Height Datum).
- An erosion and sediment control plan shall be submitted.
- Council's engineering requirements for subdivisions and developments, including policies and specifications listed herein, can be located on Council's website at the following link:

<http://www.penrithcity.nsw.gov.au/Our-Services/Planning-and-Development/Engineering-Requirements-for-Subdivisions-and-Developments/>

Stormwater Drainage

- A stormwater drainage concept plan shall be submitted with the application.
- Stormwater drainage for the site shall be in accordance with the following:
 - Penrith Development Control Plan 2006.
 - Stormwater Drainage for Building Developments (Working Draft) Policy.

Access, Parking and Traffic

- On-site car parking shall be provided in accordance with the North Penrith Design Guidelines 2013.
- The application must demonstrate that access, car parking and manoeuvring details comply with AS 2890 and Council's Development Control Plan.
- Clear internal widths of 3.2m are required for single car garages.

Road Works

- The development will require external road works involving construction of vehicular driveway crossings to service the proposed development.

Earthworks

- No retaining walls or filling is permitted for this development which will impede, divert or concentrate stormwater run-off passing through the site.
- Earthworks and retaining walls must comply with Council's Development Control Plan.

BUILDING MATTERS

- The relevant provisions of the Building Code of Australia (BCA) shall be satisfied.
- Filling and excavation should be minimised and contained within the building footprint.
- A BASIX Certificate shall be submitted and all Development Application commitments shall be shown on the development plans.

Development Application Submission Requirements

- Statement of environmental effects
- Site plan
- Floor plans
- Elevation and section plans
- Notification plan
- DCP and Design Guidelines compliance table
- Shadow diagrams
- Building perspective plans and/or photomontages
- Schedule of proposed external building, fencing and retaining wall materials, finishes and colours
- Waste management plan
- Landscape plan
- Noise statement
- Strata subdivision plan (if seeking consent for strata subdivision)
- Erosion and sediment control plan
- Stormwater drainage concept plan
- BASIX Certificate
- Six printed copies of the application submission and one electronic (CD) copy

Please refer to the attached copy of Council's Development Application checklist for further details of submission requirements. All plans submitted should illustrate consistent detail.

	Please phone Council's duty planning officer on (02) 4732 7991 to make an appointment for lodgement of the application.
Fees	Please phone Council's Development Services Department's Administrative Support Team on (02) 4732 7991 to enquire about applicable fees and charges.

Robert Craig
Principal Planner

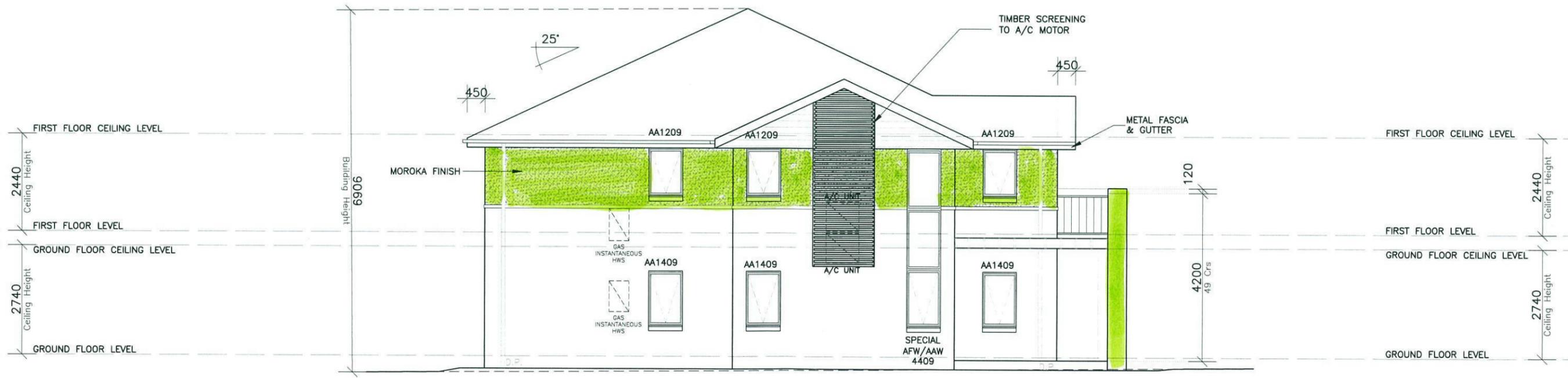
APPENDIX A

- SREP 20 – Hawkesbury-Nepean River
- SEPP (Building Sustainability Index: BASIX) 2004
- Penrith City Centre LEP 2008
- Draft Penrith LEP 2010 (Stage 2)
- Penrith DCP 2006
- North Penrith Design Guidelines 2013
- Nature and extent of any non-compliance with relevant environmental planning instruments, plans and guidelines and justification for any non-compliance.
- Waste Management Plan (PCC)

MOROKA in Taubman's
June Fog NH61



ELEVATION 1
Northern Building



ELEVATION 2
Northern Building

GROUND FLOOR PLAN



Product:
MANOR HOUSE
Custom Facade

Client:
ZAC HOMES
Site Address:
LOT 2245, WILLIAM HART CRES,
THORNTON.

Dwg Title:
ELEVATIONS
Date:
23.05.2014
Council:
PENRITH COUNCIL

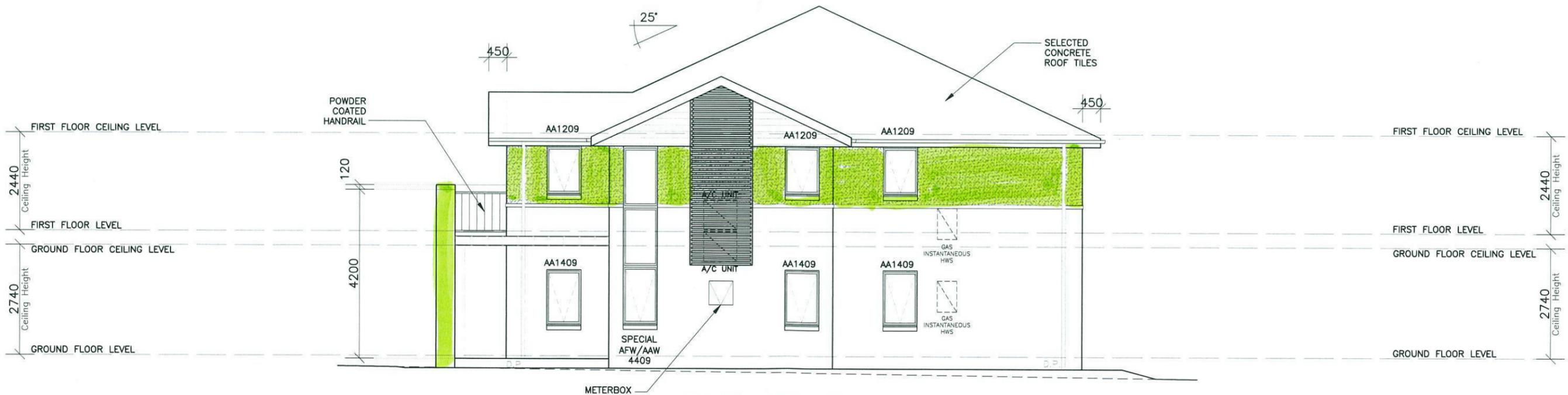
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A3
Scale:
1:100
Sheet No.
6
Issue:
B
Job No:
214014

ISSUE	DATE	DESCRIPTION	DRAWN
A	24.03.14	SKETCH-ISSUE A	D.L.
B	23.05.14	COUNCIL SUBMISSION-ISSUE B	E.G.

MOROKA in Taubmans
June Fog N461



ELEVATION 3
Northern Building



ELEVATION 4
Northern Building



Product:
MANOR HOUSE
Custom Facade

Client:
ZAC HOMES
Site Address:
LOT 2245, WILLIAM HART CRES,
THORNTON.

Dwg Title:
ELEVATIONS
Date:
23.05.2014
Council:
PENRITH COUNCIL

Sheet:
A3
Scale:
1:100
Sheet No.
7
Issue:
B
Job No:
214014

ISSUE	DATE	DESCRIPTION	DRAWN
A	24.03.14	SKETCH-ISSUE A	D.L.
B	23.05.14	COUNCIL SUBMISSION-ISSUE B	E.G.

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NatHERS Certificate

New Dwelling

7.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name ZAC013_u1_1
Date 6/2/2014
Location PENRITH PC 2750
Climate file climat28.TXT
Adjusted Star Rating 7.5 Stars
Conditioned Area 98.44 m²
Unconditioned Area 3.36 m²
Adjusted Cooling 12.4 MJ/m²
Adjusted Heating 42.5 MJ/m²
Adjusted Total 54.9 MJ/m²

Dwelling Address

DP Number
Unit Number 1
Lot Number 2245
House Number
Street Name William Hart Crecent
Development Name Thornton
Suburb PENRITH NSW 2750

Client Details

Name Eddie Garcia - ZAC Homes
Phone (02) 4724-2500 Fax
Email ed@zachomes.com.au
Postal Address 232 Coreen Avenue PENRITH NSW 2750
Street Details 232 Coreen Avenue PENRITH NSW 2750

Assessor Details

Name Brad Hoad
Phone 0458-221-211 Fax (02) 9629-3072
Email brad@thermalperformance.com.au
Postal Address 12 Livorno Grove GLENWOOD NSW 2768
Street Details 12 Livorno Grove GLENWOOD NSW 2768



Signed by the Assessor..........Date.....18 08 2014.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project ZAC013_ul Run 1
 PENRITH PC 2750 Lat -33.80 Long 150.70 Climate File climat28.TXT

Summary
 Conditioned Area 98.4 m²
 Unconditioned Area 3.4 m²
 Total Floor Area 101.8 m²
 Total Glazed Area 13.5 m²
 Total External Solid door Area 1.9 m²
 Glass to Floor Area 13.2 %
 Gross External Wall Area 124.4 m²
 Net External Wall Area 109.1 m²

PLEASE NOTE
 This simulation has been carried out with surface mounted lighting & unsealed exhaust fans. Should recessed down lights without fireproof, sealed down light guards be included at a later stage or clearances for exhaust fans or a/c vents exceed 0.5% of the ceiling area then a revised simulation & Basix Certificate will be required as compliance with the NCC and Development Approval will not be achieved. Check compliance with the PCA

Window
 13.5 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
 Glass Single Glazed Clear
 Frame Aluminium

External Wall
 49.3 m² Fibro Cavity Panel 70mm gap to neighbour Bulk Insulation R 2.0
 59.7 m² Brick Veneer Bulk Insulation R 2.0

Internal Wall
 92.3 m² Cavity Panel 70mm gap No Insulation

External Floor
 38.5 m² Concrete Slab on Ground Carpet 10mm Bulk Insulation in Contact with Floor R 0.5
 63.3 m² Concrete Slab on Ground Ceramic Tiles 8mm Bulk Insulation in Contact with Floor R 0.5

External Ceiling
 101.8 m² Plasterboard Bulk Insulation R2.5 Apartment above

Roof (Horizontal area)
 101.8 m² Roof Tiles Foil, Gap Above, Reflective Side Down, Anti-glare Up 25° slope Hip roof



NatHERS Certificate

New Dwelling

7.5 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name ZAC013_u2_1
Date 6/2/2014
Location PENRITH PC 2750
Climate file climat28.TXT
Adjusted Star Rating 7.5 Stars
Conditioned Area 98.44 m²
Unconditioned Area 3.36 m²
Adjusted Cooling 15.1 MJ/m²
Adjusted Heating 39.1 MJ/m²
Adjusted Total 54.2 MJ/m²

Dwelling Address

DP Number
Unit Number 2
Lot Number 2245
House Number
Street Name William Hart Crecent
Development Name Thornton
Suburb PENRITH NSW 2750

Client Details

Name Eddie Garcia - ZAC Homes
Phone (02) 4724-2500 Fax
Email ed@zachomes.com.au
Postal Address 232 Coreen Avenue PENRITH NSW 2750
Street Details 232 Coreen Avenue PENRITH NSW 2750

Assessor Details

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Phone 0458-221-211 Fax (02) 9629-3072
Email brad@thermalperformance.com.au
Postal Address 12 Livorno Grove GLENWOOD NSW 2768
Street Details 12 Livorno Grove GLENWOOD NSW 2768



Signed by the Assessor..........Date.....18 / 08 / 2014.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project ZAC013_u2 Run 1
 PENRITH PC 2750 Lat -33.80 Long 150.70 Climate File climat28.TXT

Summary
 Conditioned Area 98.4 m²
 Unconditioned Area 3.4 m²
 Total Floor Area 101.8 m²
 Total Glazed Area 13.5 m²
 Total External Solid door Area 1.9 m²
 Glass to Floor Area 13.2 %
 Gross External Wall Area 124.4 m²
 Net External Wall Area 109.1 m²

PLEASE NOTE
 This simulation has been carried out with surface mounted lighting & unsealed exhaust fans. Should recessed down lights without fireproof, sealed down light guards be included at a later stage or clearances for exhaust fans or a/c vents exceed 0.5% of the ceiling area then a revised simulation & Basix Certificate will be required as compliance with the NCC and Development Approval will not be achieved. Check compliance with the PCA

Window
 13.5 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
 Glass Single Glazed Clear
 Frame Aluminium

External Wall
 59.7 m² Brick Veneer Bulk Insulation R 2.0
 49.3 m² Fibro Cavity Panel 70mm gap to neighbour Bulk Insulation R 2.0

Internal Wall
 92.3 m² Cavity Panel 70mm gap No Insulation

External Floor
 38.5 m² Concrete Slab on Ground Carpet 10mm Bulk Insulation in Contact with Floor R 0.5
 63.3 m² Concrete Slab on Ground Ceramic Tiles 8mm Bulk Insulation in Contact with Floor R 0.5

External Ceiling
 101.8 m² Plasterboard Bulk Insulation R2.5 Apartment above

Roof (Horizontal area)
 101.8 m² Roof Tiles Foil, Gap Above, Reflective Side Down, Anti-glare Up 25° slope Hip roof



NatHERS Certificate

New Dwelling

5.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name ZAC013_u3_1
Date 6/2/2014
Location PENRITH PC 2750
Climate file climat28.TXT
Adjusted Star Rating 5.0 Stars
Conditioned Area 103.57 m²
Unconditioned Area 3.81 m²
Adjusted Cooling 56.0 MJ/m²
Adjusted Heating 44.8 MJ/m²
Adjusted Total 100.8 MJ/m²

Dwelling Address

DP Number
Unit Number 3
Lot Number 2245
House Number
Street Name William Hart Crecent
Development Name Thornton
Suburb PENRITH NSW 2750

Client Details

Name Eddie Garcia - ZAC Homes
Phone (02) 4724-2500 Fax
Email ed@zachomes.com.au
Postal Address 232 Coreen Avenue PENRITH NSW 2750
Street Details 232 Coreen Avenue PENRITH NSW 2750

Assessor Details

Name Brad Hoad
Phone 0458-221-211 Fax (02) 9629-3072
Email brad@thermalperformance.com.au
Postal Address 12 Livorno Grove GLENWOOD NSW 2768
Street Details 12 Livorno Grove GLENWOOD NSW 2768



Signed by the Assessor..........Date.....18 / 08 / 2014.....

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project ZAC013_u3 Run 1
 PENRITH PC 2750 Lat -33.80 Long 150.70 Climate File climat28.TXT

Summary
 Conditioned Area 103.6 m²
 Unconditioned Area 3.8 m²
 Total Floor Area 107.4 m²
 Total Glazed Area 15.1 m²
 Total External Solid door Area 1.7 m²
 Glass to Floor Area 14.1 %
 Gross External Wall Area 138.7 m²
 Net External Wall Area 121.9 m²

PLEASE NOTE
 This simulation has been carried out with surface mounted lighting & unsealed exhaust fans. Should recessed down lights without fireproof, sealed down light guards be included at a later stage or clearances for exhaust fans or a/c vents exceed 0.5% of the ceiling area then a revised simulation & Basix Certificate will be required as compliance with the NCC and Development Approval will not be achieved. Check compliance with the PCA

Window
 15.1 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
 Glass Single Glazed Clear
 Frame Aluminium

External Wall
 45.0 m² Fibro Cavity Panel 70mm gap to neighbour Bulk Insulation R 2.0
 77.0 m² Brick Veneer Bulk Insulation R 2.0

Internal Wall
 75.9 m² Cavity Panel 70mm gap No Insulation

External Floor
 39.6 m² Timber Floor, Unit Below Carpet 10mm Bulk Insulation, Gap to Floor R 2.5
 11.3 m² Timber Floor, Unit Below Ceramic Tiles 8mm Bulk Insulation, Gap to Floor R 2.5
 51.7 m² Timber Floor, Unit Below Cork Tiles or Parquetry 8mm Bulk Insulation, Gap to Floor R 2.5
 4.4 m² Concrete Slab on Ground 80/20 Carpet 10mm/Ceramic Bulk Insulation in Contact with Floor R 0.5

External Ceiling
 107.0 m² Plasterboard Bulk Insulation R3.0 Unventilated roofspace

Internal Floor/Ceiling
 4.4 m² Timber Above Plasterboard No Insulation

Roof (Horizontal area)
 107.0 m² Roof Tiles Foil, Gap Above, Reflective Side Down, Anti-glare Up 25° slope Hip roof



NatHERS Certificate

New Dwelling

4.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name ZAC013_u5_1
Date 6/2/2014
Location PENRITH PC 2750
Climate file climat28.TXT
Adjusted Star Rating 4.0 Stars
Conditioned Area 60.36 m²
Unconditioned Area 25.32 m²
Adjusted Cooling 65.9 MJ/m²
Adjusted Heating 76.1 MJ/m²
Adjusted Total 142.0 MJ/m²

Dwelling Address

DP Number
Unit Number 5
Lot Number 2245
House Number
Street Name William Hart Crecent
Development Name Thornton
Suburb PENRITH NSW 2750

Client Details

Name Eddie Garcia - ZAC Homes
Phone (02) 4724-2500 Fax
Email ed@zachomes.com.au
Postal Address 232 Coreen Avenue PENRITH NSW 2750
Street Details 232 Coreen Avenue PENRITH NSW 2750

Assessor Details

Name Brad Hoad
Phone 0458-221-211 Fax (02) 9629-3072
Email brad@thermalperformance.com.au
Postal Address 12 Livorno Grove GLENWOOD NSW 2768
Street Details 12 Livorno Grove GLENWOOD NSW 2768



Signed by the Assessor..........Date..18 / 08 / 2014

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project ZAC013_u5 Run 1
 PENRITH PC 2750 Lat -33.80 Long 150.70 Climate File climat28.TXT

Summary
 Conditioned Area 60.4 m²
 Unconditioned Area 25.3 m²
 Total Floor Area 85.7 m²
 Total Glazed Area 10.5 m²
 Total External Solid door Area 6.8 m²
 Glass to Floor Area 12.3 %
 Gross External Wall Area 145.1 m²
 Net External Wall Area 127.7 m²

PLEASE NOTE
 This simulation has been carried out with surface mounted lighting & unsealed exhaust fans. Should recessed down lights without fireproof, sealed down light guards be included at a later stage or clearances for exhaust fans or a/c vents exceed 0.5% of the ceiling area then a revised simulation & Basix Certificate will be required as compliance with the NCC and Development Approval will not be achieved. Check compliance with the PCA

Window
 10.5 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
 Glass Single Glazed Clear
 Frame Aluminium

External Wall
 72.8 m² Brick Veneer Bulk Insulation R 2.0
 17.6 m² Weatherboard Cavity Panel Bulk, Reflective One Side, Anti-glare Other R 2.0
 17.0 m² Fibro Cavity Panel 70mm gap to neighbour Bulk Insulation R 2.0
 20.3 m² Brick Veneer No Insulation

Internal Wall
 42.0 m² Cavity Panel 70mm gap No Insulation
 11.8 m² Cavity Panel 70mm gap Bulk Insulation R 2.0

External Floor
 21.8 m² Suspended Timber Floor Carpet 10mm Bulk Insulation, Gap to Floor R 2.5
 7.0 m² Suspended Timber Floor Ceramic Tiles 8mm Bulk Insulation, Gap to Floor R 2.5
 16.1 m² Suspended Timber Floor Cork Tiles or Parquetry 8mm Bulk Insulation, Gap to Floor R 2.5
 4.9 m² Concrete Slab on Ground 80/20 Carpet 10mm/Ceramic Bulk Insulation in Contact with Floor R 0.5
 18.3 m² Concrete Slab on Ground Bare Bulk Insulation in Contact with Floor R 0.5

External Ceiling
 66.5 m² Plasterboard Bulk Insulation R3.0 Unventilated roofspace
 1.5 m² Plasterboard Bulk Insulation R2.5 Apartment above

Internal Floor/Ceiling
 21.6 m² Timber Above Plasterboard No Insulation

Roof (Horizontal area)
 68.0 m² Roof Tiles Foil, Gap Above, Reflective Side Down, Anti-glare Up 25° slope Hip roof



NatHERS Certificate

New Dwelling

4.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name ZAC013_u6_1
Date 6/2/2014
Location PENRITH PC 2750
Climate file climat28.TXT
Adjusted Star Rating 4.0 Stars
Conditioned Area 60.36 m²
Unconditioned Area 25.32 m²
Adjusted Cooling 58.1 MJ/m²
Adjusted Heating 73.4 MJ/m²
Adjusted Total 131.5 MJ/m²

Dwelling Address

DP Number
Unit Number 6
Lot Number 2245
House Number
Street Name William Hart Crecent
Development Name Thornton
Suburb PENRITH NSW 2750

Client Details

Name Eddie Garcia - ZAC Homes
Phone (02) 4724-2500 Fax
Email ed@zachomes.com.au
Postal Address 232 Coreen Avenue PENRITH NSW 2750
Street Details 232 Coreen Avenue PENRITH NSW 2750

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Postal Address 12 Livorno Grove GLENWOOD NSW 2768
Street Details 12 Livorno Grove GLENWOOD NSW 2768

Signed by the Assessor..........Date 18 / 08 / 2014



*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project ZAC013_u6 Run 1
 PENRITH PC 2750 Lat -33.80 Long 150.70 Climate File climat28.TXT

Summary
 Conditioned Area 60.4 m²
 Unconditioned Area 25.3 m²
 Total Floor Area 85.7 m²
 Total Glazed Area 10.5 m²
 Total External Solid door Area 6.8 m²
 Glass to Floor Area 12.3 %
 Gross External Wall Area 145.1 m²
 Net External Wall Area 127.7 m²

PLEASE NOTE
 This simulation has been carried out with surface mounted lighting & unsealed exhaust fans. Should recessed down lights without fireproof, sealed down light guards be included at a later stage or clearances for exhaust fans or a/c vents exceed 0.5% of the ceiling area then a revised simulation & Basix Certificate will be required as compliance with the NCC and Development Approval will not be achieved. Check compliance with the PCA

Window
 10.5 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
 Glass Single Glazed Clear
 Frame Aluminium

External Wall
 17.6 m² Weatherboard Cavity Panel Bulk, Reflective One Side, Anti-glare Other R 2.0
 72.8 m² Brick Veneer Bulk Insulation R 2.0
 17.0 m² Fibro Cavity Panel 70mm gap to neighbour Bulk Insulation R 2.0
 20.3 m² Brick Veneer No Insulation

Internal Wall
 42.0 m² Cavity Panel 70mm gap No Insulation
 11.8 m² Cavity Panel 70mm gap Bulk Insulation R 2.0

External Floor
 21.8 m² Suspended Timber Floor Carpet 10mm Bulk Insulation, Gap to Floor R 2.5
 7.0 m² Suspended Timber Floor Ceramic Tiles 8mm Bulk Insulation, Gap to Floor R 2.5
 16.1 m² Suspended Timber Floor Cork Tiles or Parquetry 8mm Bulk Insulation, Gap to Floor R 2.5
 4.9 m² Concrete Slab on Ground 80/20 Carpet 10mm/Ceramic Bulk Insulation in Contact with Floor R 0.5
 18.3 m² Concrete Slab on Ground Bare Bulk Insulation in Contact with Floor R 0.5

External Ceiling
 66.5 m² Plasterboard Bulk Insulation R3.0 Unventilated roofspace
 1.5 m² Plasterboard Bulk Insulation R2.5 Apartment above

Internal Floor/Ceiling
 21.6 m² Timber Above Plasterboard No Insulation

Roof (Horizontal area)
 68.0 m² Roof Tiles Foil, Gap Above, Reflective Side Down, Anti-glare Up 25° slope Hip roof



NatHERS Certificate

New Dwelling

5.0 Stars

Simulation Software

Software Name BERS Pro 4.2
Software Version Release 110811/A
Engine Version CHENATH V2.13

Simulation Details

Project Name ZAC013_u4_1
Date 6/2/2014
Location PENRITH PC 2750
Climate file climat28.TXT
Adjusted Star Rating 5.0 Stars
Conditioned Area 103.57 m²
Unconditioned Area 3.81 m²
Adjusted Cooling 65.5 MJ/m²
Adjusted Heating 43.7 MJ/m²
Adjusted Total 109.2 MJ/m²

Dwelling Address

DP Number
Unit Number 4
Lot Number 2245
House Number
Street Name William Hart Crecent
Development Name Thornton
Suburb PENRITH NSW 2750

Client Details

Name Eddie Garcia - ZAC Homes
Phone (02) 4724-2500 Fax
Email ed@zachomes.com.au
Postal Address 232 Coreen Avenue PENRITH NSW 2750
Street Details 232 Coreen Avenue PENRITH NSW 2750

Assessor Details

Name Brad Hoad
Phone 0458-221-211 Fax (02) 9629-3072
Email brad@thermalperformance.com.au
Postal Address 12 Livorno Grove GLENWOOD NSW 2768
Street Details 12 Livorno Grove GLENWOOD NSW 2768



Signed by the Assessor..........Date..... 18 / 08 / 2014

*Tilted roof windows with blinds cannot be modelled using this version of BERSPro.
All windows are modelled with Holland Blinds for regulatory purposes.*

Building Element Details

Project ZAC013_u4 Run 1
 PENRITH PC 2750 Lat -33.80 Long 150.70 Climate File climat28.TXT

Summary
 Conditioned Area 103.6 m²
 Unconditioned Area 3.8 m²
 Total Floor Area 107.4 m²
 Total Glazed Area 19.2 m²
 Total External Solid door Area 1.7 m²
 Glass to Floor Area 17.9 %
 Gross External Wall Area 138.7 m²
 Net External Wall Area 117.9 m²

PLEASE NOTE
 This simulation has been carried out with surface mounted lighting & unsealed exhaust fans. Should recessed down lights without fireproof, sealed down light guards be included at a later stage or clearances for exhaust fans or a/c vents exceed 0.5% of the ceiling area then a revised simulation & Basix Certificate will be required as compliance with the NCC and Development Approval will not be achieved. Check compliance with the PCA

Window
 19.2 m² GGG-05-001a Generics Uval 6.57 SHGC 0.74
 Glass Single Glazed Clear
 Frame Aluminium

External Wall
 72.9 m² Brick Veneer Bulk Insulation R 2.0
 45.0 m² Fibro Cavity Panel 70mm gap to neighbour Bulk Insulation R 2.0

Internal Wall
 75.9 m² Cavity Panel 70mm gap No Insulation

External Floor
 39.6 m² Timber Floor, Unit Below Carpet 10mm Bulk Insulation, Gap to Floor R 2.5
 11.3 m² Timber Floor, Unit Below Ceramic Tiles 8mm Bulk Insulation, Gap to Floor R 2.5
 51.7 m² Timber Floor, Unit Below Cork Tiles or Parquetry 8mm Bulk Insulation, Gap to Floor R 2.5
 4.4 m² Concrete Slab on Ground 80/20 Carpet 10mm/Ceramic Bulk Insulation in Contact with Floor R 0.5

External Ceiling
 107.0 m² Plasterboard Bulk Insulation R3.0 Unventilated roofspace

Internal Floor/Ceiling
 4.4 m² Timber Above Plasterboard No Insulation

Roof (Horizontal area)
 107.0 m² Roof Tiles Foil, Gap Above, Reflective Side Down, Anti-glare Up 25° slope Hip roof

