

PARK

B.M. DRILL HOLE & WING TOP OF KERB RL 36.56 (A.H.D)

AVENUE

- EXPLANATORY NOTES**
- 1) THE BOUNDARIES HAVE NOT BEEN DETERMINED OR MARKED. THE RELATIONSHIP OF IMPROVEMENTS TO THE BOUNDARY IS DIAGRAMMATIC ONLY.
 - 2) DO NOT SCALE OFF THIS PLAN. WHERE BOUNDARY OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
 - 3) NO SERVICES SEARCH HAS BEEN UNDERTAKEN. SERVICES SHOWN ON HERE HAVE BEEN DETERMINED FROM VISUAL EVIDENCE ONLY. OTHER SERVICES MAY EXIST THAT ARE NOT SHOWN.
 - 4) ALL AREAS AND DIMENSIONS SHOWN HAVE BEEN COMPILED FROM PLANS AVAILABLE AT NSW LRS. THE BEARINGS SHOWN ARE ON MAGNETIC NORTH.
 - 5) ROOF RIDGE LOCATIONS MAY BE INDICATIVE ONLY.
 - 6) FEATURES, SUCH AS FENCING, SHOWN ON OR NEAR THE BOUNDARIES ARE INDICATIVE ONLY AND HAVE BEEN LOCATED FOR PLOTTING PURPOSES ONLY.
 - 7) ADJOINING BUILDING LOCATIONS AND HEIGHTS HAVE BEEN DERIVED FROM INDIRECT METHODS DUE TO LIMITED ACCESSIBILITY AND MAY BE APPROXIMATE ONLY.
 - 8) THESE NOTES FORM AN INTEGRAL PART OF THE PLAN AND SHOULD NOT BE REMOVED.

IT IS RECOMMENDED A DIAL-BEFORE-YOU-DIG OR SIMILAR SEARCH IS MADE BEFORE CONSTRUCTION.

CODES

TK	DENOTES TOP KERB
PAV	DENOTES LEVEL ON PAVING
TIL	DENOTES LEVEL ON TILES
BTT	DENOTES LEVEL ON BITUMEN
TG	DENOTES TOP OF GUTTER
TR / TA	DENOTES TOP OF ROOF / AWNING
FL	DENOTES FLOOR LEVEL
HD / SL	DENOTES WINDOW HEAD / SILL
TEL	DENOTES TELECOMMUNICATIONS PIT
PP / PPL	DENOTES POWER POLE / WITH LIGHT
SIP/SVP/SMH	DENOTES SEWER, PIT/ VENT PIPE/ MAN HOLE

Registered Surveyor: Bruce Andrew Johnston
 ID No. 1376

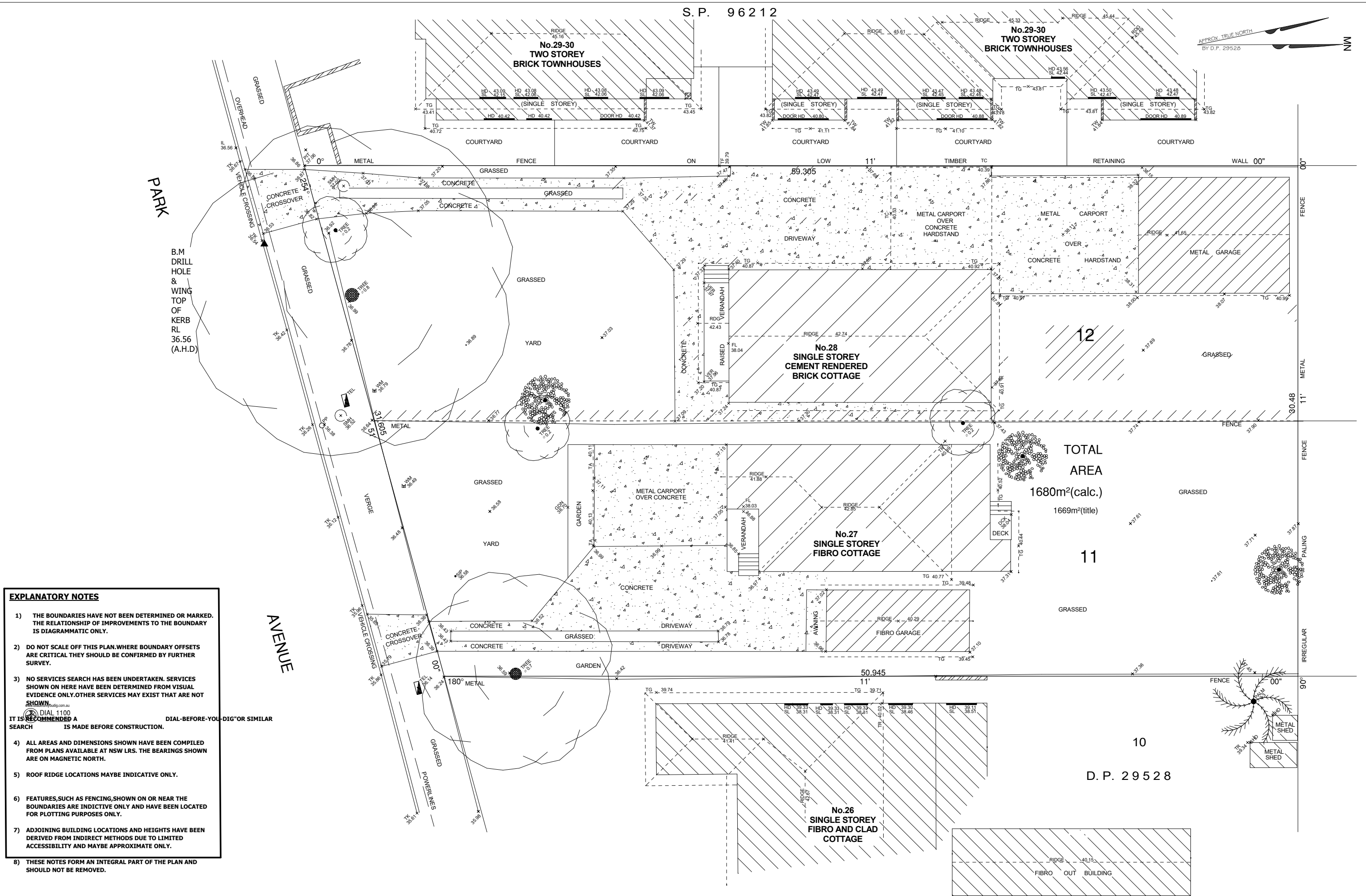
AMENDMENT	DATE	APPR'D
ORIGINAL ISSUE	26/11/2019	

Plan of Levels and Detail at Nos. 27 & 28 Park Avenue Kingswood

L.G.A: PENRITH
 LOCALITY: KINGSWOOD
 SURVEY: RLI / BAJ
 DRAWN: RLI
 CHECKED: BAJ
 CLIENT: NASSER MATTA

SCALE: 1:100
 SHEET: 1 OF 1
 DATE OF SURVEY: 12/11/2019
 DRAWING NUMBER: 19152_LD
 FILE: 19152

Cibar Surveying Pty Ltd
 P.O. BOX 605
 ENGADINE N.S.W. 2233
 PHONE: 8544 3312
 MOB: 0438 78 1184
 EMAIL: bruce@cibarsurveying.com.au



TOTAL AREA
 1680m²(calc.)
 1669m²(title)

D. P. 29528

Multi Dwelling

Certificate number: 1189128M

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Wednesday, 31 March 2021
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Boarding house @ 27-28 PARK AVE, KINGSWOOD	
Street address	27-28 PARK Avenue KINGSWOOD 2747	
Local Government Area	Penrith City Council	
Plan type and plan number	deposited 29528	
Lot no.	12	
Section no.	-	
No. of residential flat buildings	1	
No. of units in residential flat buildings	64	
No. of multi-dwelling houses	0	
No. of single dwelling houses	0	
Project score		
Water	41	Target 40
Thermal Comfort	✓	concession Target Pass
Energy	45	Target 45

Project address	
Project name	Boarding house @ 27-28 PARK AVE, KINGSWOOD
Street address	27-28 PARK Avenue KINGSWOOD 2747
Local Government Area	Penrith City Council
Plan type and plan number	deposited 29528
Lot no.	12
Section no.	-
Project type	
No. of residential flat buildings	1
No. of units in residential flat buildings	64
No. of multi-dwelling houses	0
No. of single dwelling houses	0
Site details	
Site area (m²)	1680
Roof area (m²)	870
Non-residential floor area (m²)	0.0
Residential car spaces	32
Non-residential car spaces	0

Common area landscape		
Common area lawn (m²)	120.0	
Common area garden (m²)	60.0	
Area of indigenous or low water use species (m²)	0.0	
Assessor details		
Assessor number	N/A	
Certificate number	N/A	
Climate zone	N/A	
Ceiling fan in at least one bedroom	N/A	
Ceiling fan in at least one living room or other conditioned area	N/A	
Project score		
Water	41	Target 40
Thermal Comfort	✓	concession Target Pass
Energy	45	Target 45

1. Commitments for Residential flat buildings - Building 1

(a) Dwellings

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	✓	✓	
(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		✓	✓
(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		✓	✓
(e) The applicant must install: (aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and (bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		✓	✓
(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).	✓	✓	
(g) The pool or spa must be located as specified in the table.	✓	✓	
(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system must be connected as specified.	✓	✓	✓

Dwelling no.	Fixtures				Appliances		Individual pool				Individual spa		
	All shower-heads	All toilet flushing systems	All kitchen taps	All bathroom taps	All clothes washers	All dish-washers	Volume (max volume)	Pool cover	Pool location	Pool shaded	Volume (max volume)	Spa cover	Spa shaded
All dwellings	4 star (> 4.5 but <= 6 L/min)	4 star	4 star	4 star	-	4 star	-	-	-	-	-	-	-

Dwelling no.	Alternative water source							
	Alternative water supply systems	Size	Configuration	Landscape connection	Toilet connection (s)	Laundry connection	Pool top-up	Spa top-up
None	-	-	-	-	-	-	-	-

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
(b) The applicant must install each hot water system specified for the dwelling in the table below, so that the dwelling's hot water is supplied by that system. If the table specifies a central hot water system for the dwelling, then the applicant must connect that central system to the dwelling, so that the dwelling's hot water is supplied by that central system.	✓	✓	✓
(c) The applicant must install, in each bathroom, kitchen and laundry of the dwelling, the ventilation system specified for that room in the table below. Each such ventilation system must have the operation control specified for it in the table.		✓	✓
(d) The applicant must install the cooling and heating system/s specified for the dwelling under the "Living areas" and "Bedroom areas" headings of the "Cooling" and "Heating" columns in the table below, in/for at least 1 living/bedroom area of the dwelling. If no cooling or heating system is specified in the table for "Living areas" or "Bedroom areas", then no systems may be installed in any such areas. If the term "zoned" is specified beside an air conditioning system, then the system must provide for day/night zoning between living areas and bedrooms.		✓	✓
(e) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Artificial lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that the "primary type of artificial lighting" for each such room in the dwelling is fluorescent lighting or light emitting diode (LED) lighting. If the term "dedicated" is specified for a particular room or area, then the light fittings in that room or area must only be capable of being used for fluorescent lighting or light emitting diode (LED) lighting.		✓	✓

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(f) This commitment applies to each room or area of the dwelling which is referred to in a heading to the "Natural lighting" column of the table below (but only to the extent specified for that room or area). The applicant must ensure that each such room or area is fitted with a window and/or skylight.	✓	✓	✓
(g) This commitment applies if the applicant installs a water heating system for the dwelling's pool or spa. The applicant must: (aa) install the system specified for the pool in the "Individual Pool" column of the table below (or alternatively must not install any system for the pool). If specified, the applicant must install a timer, to control the pool's pump; and (bb) install the system specified for the spa in the "Individual Spa" column of the table below (or alternatively must not install any system for the spa). If specified, the applicant must install a timer to control the spa's pump.		✓	✓
(h) The applicant must install in the dwelling: (aa) the kitchen cook-top and oven specified for that dwelling in the "Appliances & other efficiency measures" column of the table below; (bb) each appliance for which a rating is specified for that dwelling in the "Appliances & other efficiency measures" column of the table, and ensure that the appliance has that minimum rating; and (cc) any clothes drying line specified for the dwelling in the "Appliances & other efficiency measures" column of the table.		✓	✓
(i) If specified in the table, the applicant must carry out the development so that each refrigerator space in the dwelling is "well ventilated".		✓	✓

Dwelling no.	Hot water system		Bathroom ventilation system		Kitchen ventilation system		Laundry ventilation system	
	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Operation control	
All dwellings	gas instantaneous 6 star	individual fan, ducted to façade or roof	manual switch on/off	individual fan, not ducted	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	

Dwelling no.	Cooling		Heating		Artificial lighting					Natural lighting		
	living areas	bedroom areas	living areas	bedroom areas	No. of bedrooms & or study	No. of living & or dining rooms	Each kitchen	All bathrooms/toilets	Each laundry	All hallways	No. of bathrooms & or toilets	Main kitchen
All dwellings	-	1-phase airconditioning EER 3.5 - 4.0	-	1-phase airconditioning EER 3.5 - 4.0	1 (dedicated)	2 (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	yes (dedicated)	0	yes

Dwelling no.	Individual pool		Individual spa		Appliances & other efficiency measures							
	Pool heating system	Timer	Spa heating system	Timer	Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space	Dishwasher	Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes drying line
10, 11, 12, 13, 14	-	-	-	-	gas cooktop & electric oven	2.5 star	yes	4 star	-	2 star	no	yes
All other dwellings	-	-	-	-	gas cooktop & electric oven	2.5 star	yes	4 star	-	2 star	yes	no

(iii) Thermal Comfort	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) The development will be a Class 3 building. The applicant must include in the documentation accompanying the application for a construction certificate (or complying development certificate, if applicable), a report demonstrating that the development will meet Section J of the National Construction Code - Volume 1.	✓	✓	✓

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

4. Commitments for common areas and central systems/facilities for the development (non-building specific)

(b) Common areas and central systems/facilities

(i) Water	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a showerhead, toilet, tap or clothes washer into a common area, then that item must meet the specifications listed for it in the table.		✓	✓
(b) The applicant must install (or ensure that the development is serviced by) the alternative water supply system(s) specified in the "Central systems" column of the table below. In each case, the system must be sized, be configured, and be connected, as specified in the table.	✓	✓	✓
(c) A swimming pool or spa listed in the table must not have a volume (in kLs) greater than that specified for the pool or spa in the table.	✓	✓	
(d) A pool or spa listed in the table must have a cover or shading if specified for the pool or spa in the table.		✓	
(e) The applicant must install each fire sprinkler system listed in the table so that the system is configured as specified in the table.		✓	✓
(f) The applicant must ensure that the central cooling system for a cooling tower is configured as specified in the table.		✓	✓

Common area	Showerheads rating	Toilets rating	Taps rating	Clothes washers rating
All common areas	no common facility	no common facility	no common facility	no common laundry facility

(ii) Energy	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
(a) If, in carrying out the development, the applicant installs a ventilation system to service a common area specified in the table below, then that ventilation system must be of the type specified for that common area, and must meet the efficiency measure specified.		✓	✓
(b) In carrying out the development, the applicant must install, as the "primary type of artificial lighting" for each common area specified in the table below, the lighting specified for that common area. This lighting must meet the efficiency measure specified. The applicant must also install a centralised lighting control system or Building Management System (BMS) for the common area, where specified.		✓	✓
(c) The applicant must install the systems and fixtures specified in the "Central energy systems" column of the table below. In each case, the system or fixture must be of the type, and meet the specifications, listed for it in the table.	✓	✓	✓

LEVEL 2, 240 CHURCH ST,
PARRAMATTA NSW 2150
P: +61 2 7804 0888 - M: 0411 222 888
E: chris@ckdesign.net.au
W: www.ckdesign.net.au

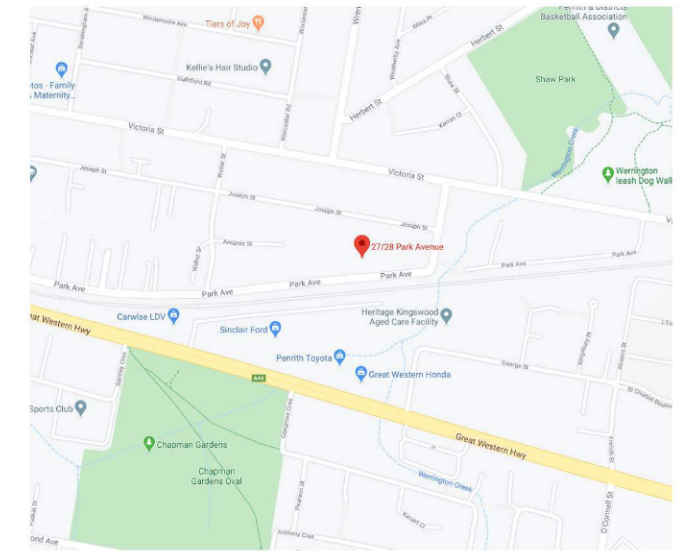
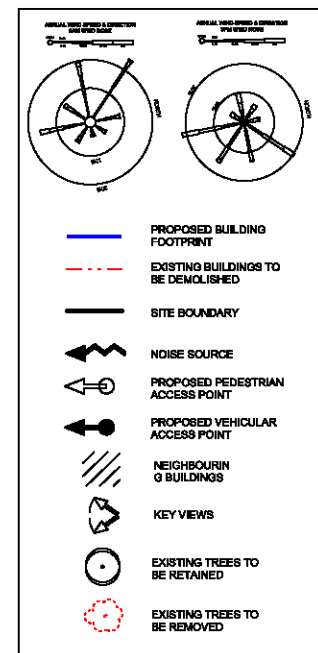
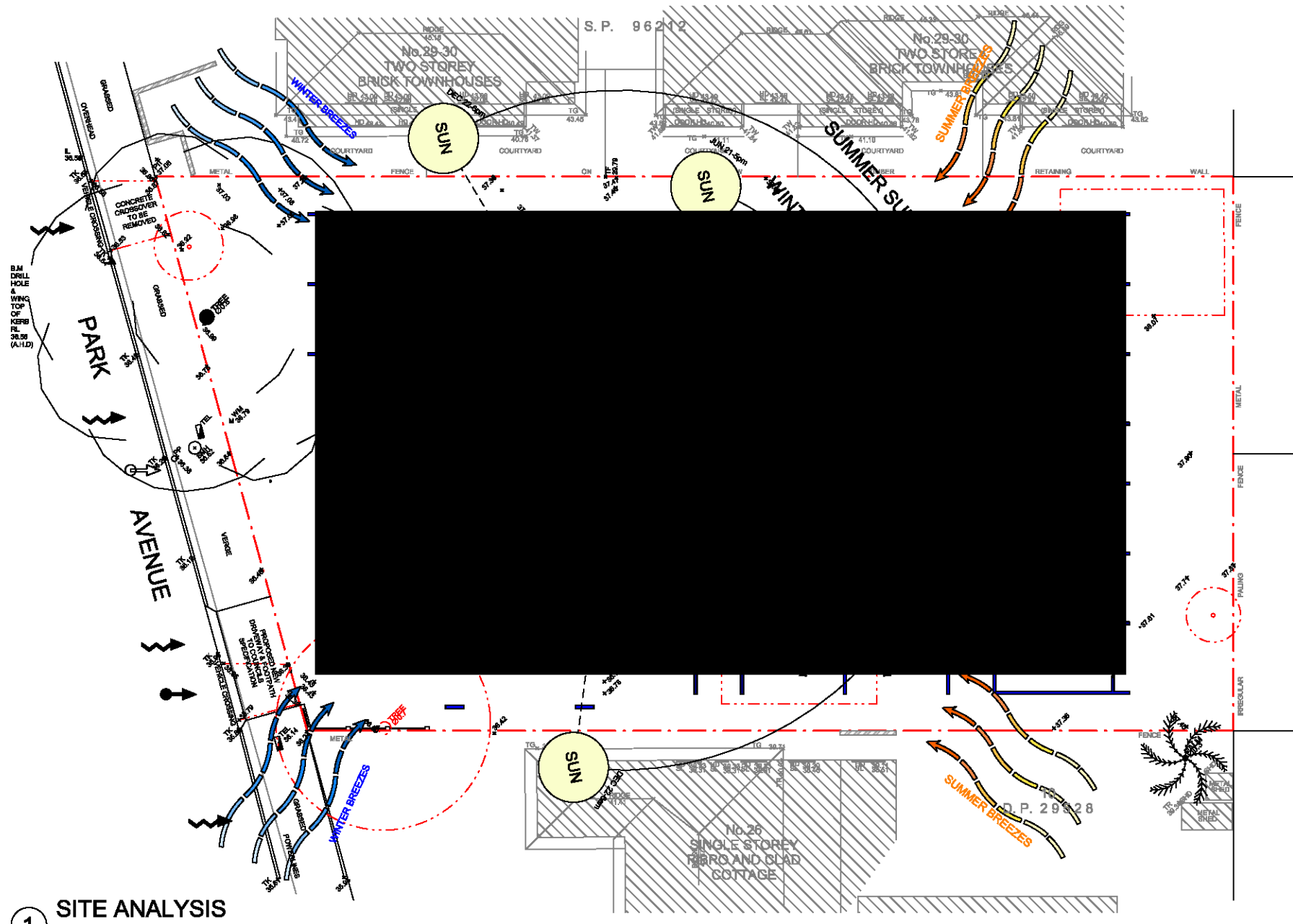
No.	Description	Date

DO NOT SCALE.
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION.
COPYRIGHT:
ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT BETWEEN CK DESIGN AND THE INSTRUCTING PARTY.
DISCLAIMER:
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE GUIDELINES OF THE BUILDING CODE OF AUSTRALIA.

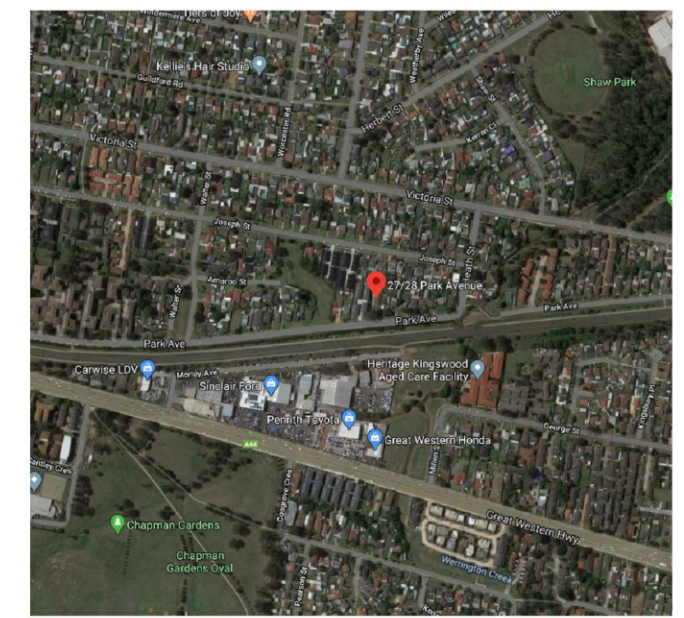
BASIX COMMITMENTS

PRELIMINARY NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION		Scale	
NEW GENERATION BOARDING HOUSE DEVELOPMENT		Drawn by	Date
CLIENT: CK DESIGN		TA	MAY 20
ADDRESS: 27 & 28 PARK AVE, KINGSWOOD		Checked by	Sheet number
		CK	
		Project number	
		20016-04	A1-03



LOCATION MAP

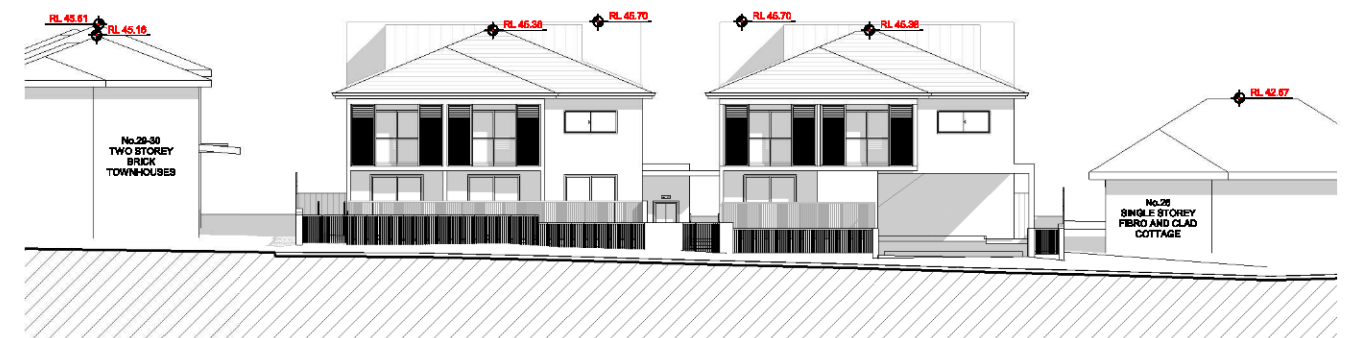


AERIAL IMAGE

1 SITE ANALYSIS
A1 1:150 A3 1:300



EXISTING STREETSCAPE



2 PROPOSED STREETSCAPE ELEVATION
A1 1:150 A3 1:300

CK design
design + interiors

LEVEL 2, 240 CHURCH ST,
PARRAMATTA NSW 2150
P: +61 2 7804 0888 - M: 0411 222 888
E: chris@ckdesign.net.au
W: www.ckdesign.net.au

No.	Description	Date

DO NOT SCALE. USE DIMENSIONS IN PREFERENCE TO SCALES. CHECK ALL DIMENSIONS ON SITE BEFORE PROCEEDING.
COPYRIGHT: ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE MUST BE GIVEN IN RESTRICTION TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT BETWEEN CK DESIGN AND THE INSTANT PARTY.
DISCLAIMER: ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE QUALITIES OF THE BUILDING CODE OF AUSTRALIA.

SITE ANALYSIS

PRELIMINARY NOT FOR CONSTRUCTION

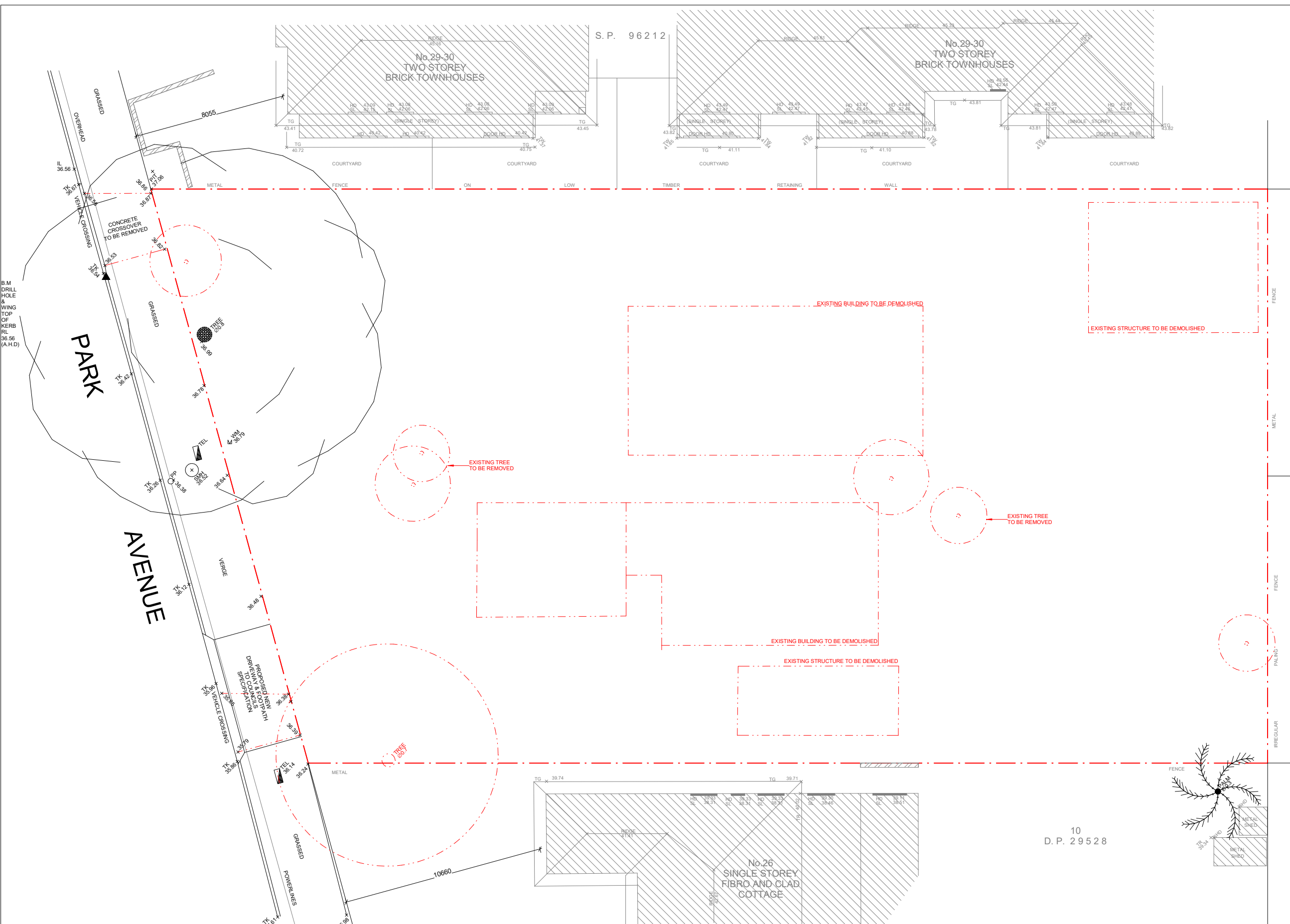
DEVELOPMENT APPLICATION

NEW GENERATION BOARDING HOUSE DEVELOPMENT

CLIENT:
CK DESIGN

ADDRESS:
27 & 28 PARK AVE, KINGSWOOD

Scale	As indicated
Drawn by	TA
Checked by	CK
Project number	20016-04
Date	MAY 20
Sheet number	A1-04



GENERAL NOTES

A SIGN MUST BE PLACED ON THE SITE DETAILING THE BUILDERS NAME, LICENCE NUMBER AND CONTACT DETAILS.

SEDIMENT TRAPS AND FILTERS MUST BE PLACED AROUND ALL DRAINS AFFECTED BY CONSTRUCTION WORKS TO PREVENT SEDIMENT ENTERING THE STORMWATER SYSTEM.

SEDIMENT CONTROL TRAPS ARE TO BE CHECKED REGULARLY. THE SITE SHOULD BE SECURED BY A CONTINUOUS FENCE, HOARDING OR SUITABLE BARRIER CONSTRUCTED IN ACCORDANCE WITH PUBLIC SAFETY AND AMENITY 'A CODE OF GOOD PRACTICE AT CONSTRUCTION SITES'.

BEFORE AND DURING WORK, EXCAVATIONS MUST BE FENCED UNTIL THEY DO NOT POSE A DANGER TO LIFE OR PROPERTY TO THE SATISFACTION OF THE RELEVANT BUILDING SURVEYOR.

ANY DAMAGE TO THE FOOTPATH, ROAD, KERB, CHANNEL, STORMWATER DRAINS OR STREET FURNITURE THAT RESULTS FROM EXCAVATION, DEMOLITION OR BUILDING WORKS IS THE RESPONSIBILITY OF THE BUILDER OR THE DEVELOPER.

ANY DAMAGE THAT MAY IMPACT PEDESTRIANS, CYCLISTS AND MOTORISTS SAFETY SHALL BE REPAIRED IMMEDIATELY. WHEN USING SKIP OR RUBBISH BINS, TAKE THE FOLLOWING STEPS TO PREVENT DISRUPTION TO PUBLIC AREAS.

PROTECT PAVEMENTS AND STREETS AND CONDUCT DILAPIDATION SURVEYS BEFORE AND AFTER WORKS HAVE TAKEN PLACE.

ADEQUATE BARRIERS MUST BE INSTALLED TO PREVENT THE PUBLIC FROM ACCESSING THE CONSTRUCTION AREA. ANY OCCUPATION OR ACTIVITY PRESENTING A HAZARD TO THE PUBLIC MUST BE PROVIDED WITH SUITABLE BARRIERS IN ACCORDANCE WITH THE PUBLIC SAFETY AND AMENITY 'A CODE OF GOOD PRACTICE AT CONSTRUCTION SITES'.

EXCAVATIONS ADJACENT TO OR IN CLOSE PROXIMITY TO A ROAD MUST BE DESIGNED TO SUPPORT THE ROAD OR PATHWAY IN ACCORDANCE WITH THE PUBLIC SAFETY AND AMENITY 'A CODE OF GOOD PRACTICE ON CONSTRUCTION SITES'.

DIAL 1100 (DIAL BEFORE YOU DIG) TO LOCATE SERVICES ON FOOTPATH PRIOR TO EXCAVATION.

ALL EXISTING TREES MUST BE PROTECTED WHEREVER POSSIBLE WHERE THEY ARE NEAR PROPOSED DEMOLITION, EXCAVATION AND CONSTRUCTION WORKS.

PERIMETER FENCING MUST BE DESIGNED TO MINIMISE THE IMPACT OF DUST ON ADJOINING PROPERTIES AND THE GENERAL PUBLIC. ENSURE SEDIMENT FROM THE BUILDING SITE IS RETAINED ON SITE DURING CONSTRUCTION.

PREVENT CONTAMINATION OR DAMAGE TO STORMWATER DRAINS AND WATERWAYS.

MAINTAIN ALL DETAILS AS PER STORMWATER MANAGEMENT PLAN. LIAISE WITH NEIGHBOURS RESIDENCES TO APPLY FULL TRAFFIC CONTROL WHEN CONCRETING.

ENSURE ALL DUST IS CONTAINED WITHIN THE CONSTRUCTION SITE AND THAT SURROUNDING RESIDENCES ARE NOT AFFECTED.

DEMOLITION - WORK PLAN NOTES

ALL DEMOLITION MATERIAL SHALL BE REMOVED FROM THE SITE WITHIN 21 DAYS OF DEMOLITION (UNLESS OTHERWISE STIPULATED BY COUNCIL IN WRITING OR UNLESS MATERIALS ARE TO BE REUSED IN THE DEVELOPMENT). IF THIS IS THE CASE THE MATERIALS ARE TO BE STORED IN A NEAT AND TIDY MANNER AND NOT WITHIN THE DRIP LINE OF ANY TREES.

THERE IS TO BE NO BURNING OFF MATERIALS ON SITE WHATSOEVER. NO DEMOLITION OF EXCAVATION WILL COMMENCE ON SITE UNTIL THE RELEVANT HOARDINGS ARE ERECTED AND PROMINANT FROM THE MAIN STREET.

ADEQUATE FIRE PRECAUTIONS WILL BE TAKEN TO ENSURE THE PREVENTION OF THE POSSIBILITY OF FIRE.

THE SITE SHALL BE KEPT VERMIN FREE AT ALL TIMES.

WHERE POSSIBLE, CONSIDERATION WILL BE GIVEN TO THE RECYCLING TO ANY DEMOLISHED OR EXCAVATED MATERIAL FOR THE REUSE IN THE PROPOSED BUILDING.

WASTE CONTAINERS WILL BE KEPT WHOLLY WITHIN THE PROPERTY AND NOT ON ANY PUBLIC FOOTPATH, PLACE OR ROAD AS SHOWN ON THE WASTE MANAGEMENT PLAN.

THE DEMOLITION WORK, (IF APPLICABLE), OR EXCAVATION WORK, (IF APPLICABLE) SHALL BE CARRIED OUT BY A LICENSED DEMOLITION CONTRACTOR.

THE SITE WILL BE ADEQUATELY SETUP WITH ALL NECESSARY AMENITIES I.E. SHEDS, TOILETS, RUNNING WATER, ETC.

IF ASBESTOS MATERIAL IS FOUND, IT IS TO BE TRANSPORTED OFF SITE AND REMOVED IN COMPLIANCE WITH WORK COVER REQUIREMENTS.

THE BULK OF DEMOLITION WILL BE CARRIED OUT BY APPROPRIATE MACHINERY AFTER IT HAS BEEN MADE SAFE BY REMOVAL OF ANY POISONOUS MATERIAL FIRST.

WASTE WILL BE REMOVED BY LOADING TRUCKS USING MACHINERY. LOCATION AND TREATMENT OF ENTRY POINTS ON SITE FOR TRUCK ACCESS ARE SHOWN ON THE WASTE MANAGEMENT PLAN. ALL TRUCKS WILL BE REQUIRED TO COVER THEIR LOADS PRIOR TO DEPARTING THE SITE AND ACCESSING PUBLIC ROADS.

ALL CONSTRUCTION TIMES SHALL CONFORM TO COUNCILS REGULATIONS OR THOSE SPECIFICALLY STIPULATED IN THE CONDITIONS OF CONSENT.

ALL WORKS ARE TO ENSURE SAFE ACCESS AND EGRESS FROM THE SITE.

ALL ROAD AND FOOTPATH AREAS ARE TO BE PROTECTED FROM BUILDING ACTIVITIES.

ALL LOADING AND UNLOADING OF GOODS AND MATERIALS IS TO BE ON SITE WITH THE APPROPRIATE SAFETY MEASURES TAKEN TO ENSURE SAFETY OF ALL WORKERS ON SITE.

EXISTING NATIVE VEGETATION TO BE RETAINED UNLESS NOTED OTHERWISE.

SOIL AND EXCAVATED MATERIAL IS NOT TO BE TRANSPORTED ONTO SURROUNDING FOOTPATHS AND ROADWAYS.

THE METHOD OF SUPPORT TO ANY EXCAVATION ADJACENT TO ADJOINING PROPERTIES OR ROAD RESERVES, IS TO BE DETAILED AND DESIGNED BY A CHARTERED CIVIL ENGINEER, WITH NATIONAL PROFESSIONAL ENGINEERING REGISTRATION (NPER) IN THE CONSTRUCTION OF CIVIL WORKS OR A SURVEY COMPANY OF REGISTERED SURVEYORS WITH "PRELIMINARY ACCREDITATION" FROM THE INSTITUTE OF SURVEYORS NSW INC. OR AN ACCREDITED CERTIFIER.

PRIOR TO DEMOLITION, THE APPLICANT SHALL SUBMIT THIS WORK PLAN IN ACCORDANCE WITH AS2601 - 2001 AND OTHER RELEVANT STANDARDS.

HAZARDOUS DUST MUST NOT BE ALLOWED TO ESCAPE FROM THE SITE OR CONTAMINATE THE IMMEDIATE ENVIRONMENT. THE USE OF FINE MESH DUST PROOF SCREENS.

AT WORK (NOHS: 1012, 1994) AND AS/NZS 2179.1:1994 WET LEAD SAFE WORK PRACTICES, OR OTHER MEASURES IS REQUIRED.

ALL CONTRACTORS DIRECTLY INVOLVED IN THE REMOVAL OF HAZARDOUS DUST AND SUBSTANCES SHALL WEAR PROTECTIVE EQUIPMENT CONFORMING TO AS/NZS 1716:2003.

ANY EXISTING ACCUMULATION OF DUST (E.G. CEILINGS, VOIDS AND WALL CAVITIES), MUST BE REMOVED BY THE USE OF AN INDUSTRIAL VACUUM FITTED WITH A HIGH EFFICIENCY PARTICULATE.

STREET GUTTER AND STORMWATER SYSTEMS, AIR (HEPA) FILTER AND DISPOSED OF EFFICIENTLY AND APPROPRIATELY.

ALL DUST SURFACES AND DUST CREATED FROM WORK IS TO BE SUPPRESSED BY A FINE WATER SPRAY.

WATER USED AS A SUPPRESSANT SPRAY IS NOT TO BE ALLOWED TO ENTER THE EXISTING STORMWATER SYSTEM.

DEMOLITION IS NOT TO BE PERFORMED DURING HIGH WINDS THAT WAY CAUSE DUST TO SPREAD BEYOND THE SITE BOUNDARIES WITHOUT ADEQUATE CONTAINMENT.

ALL LEAD CONTAMINATED MATERIAL IS TO BE DISPOSED OF IN ACCORDANCE WITH THE NSW ENVIRONMENTAL PROTECTION AUTHORITIES REQUIREMENTS.

CK design
design + interiors

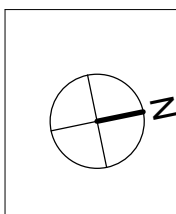
LEVEL 2, 240 CHURCH ST,
PARRAMATTA NSW 2150
P: +61 2 7804 0888 - M: 0411 222 888
E: chris@ckdesign.net.au
W: www.ckdesign.net.au

No.	Description	Date

DO NOT SCALE.
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION.
COPYRIGHT:
ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE, IS HEREBY RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT BETWEEN CK DESIGN AND THE INSTRUCTING PARTY.
DISCLAIMER:
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE GUIDELINES OF THE BUILDING CODE OF AUSTRALIA.

DEMOLITION PLAN

PRELIMINARY NOT FOR CONSTRUCTION



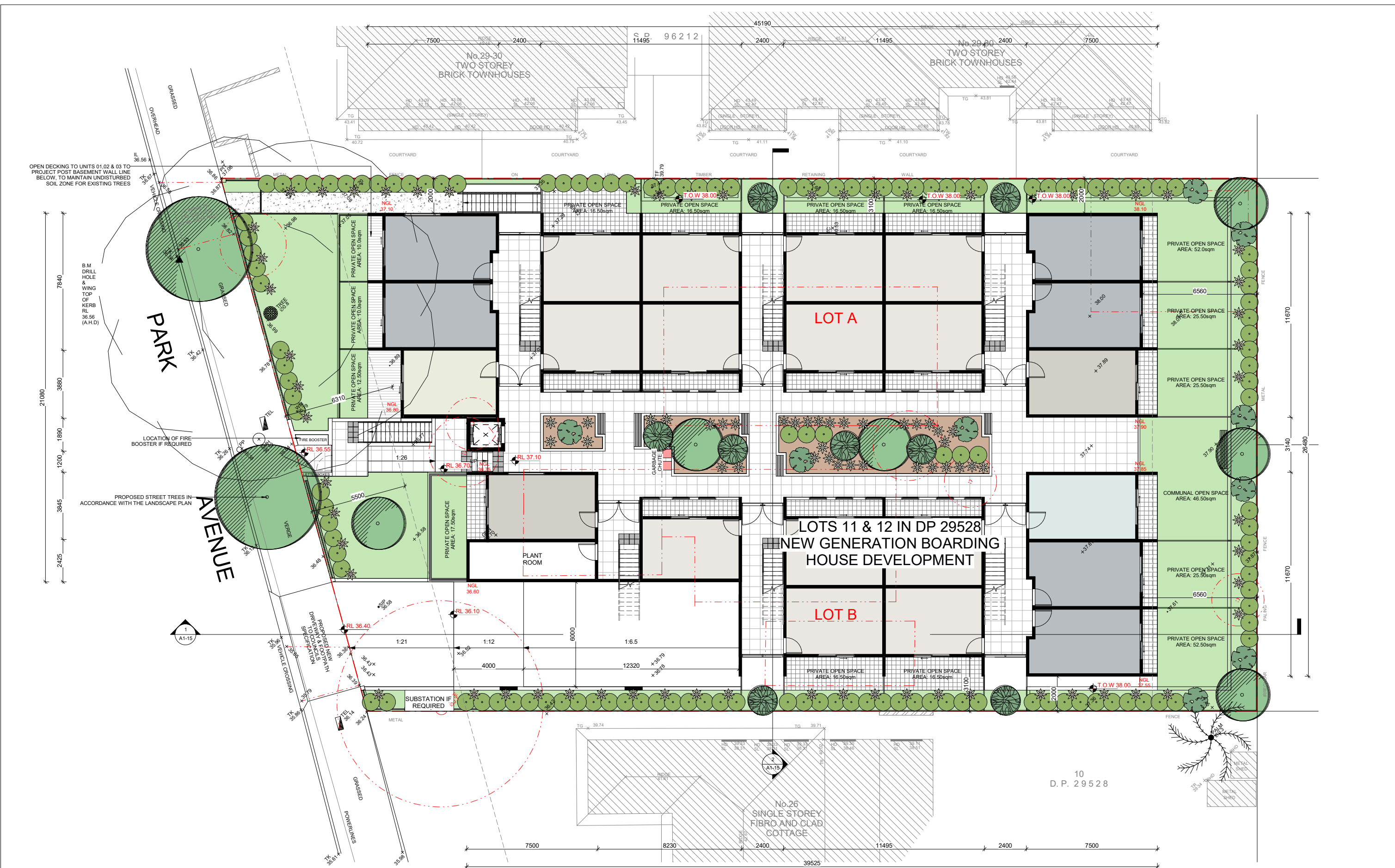
DEVELOPMENT APPLICATION

NEW GENERATION BOARDING HOUSE DEVELOPMENT

CLIENT:
CK DESIGN

ADDRESS:
27 & 28 PARK AVE, KINGSWOOD

Scale	A1 1:100 A3 1:200
Drawn by	JB
Date	MAY 20
Checked by	CK
Sheet number	A1-05
Project number	20016-04



CK design
 design + interiors

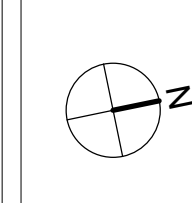
LEVEL 2, 240 CHURCH ST,
 PARRAMATTA NSW 2150
 P: +61 2 7804 0888 - M: 0411 222 888
 E: chris@ckdesign.net.au
 W: www.ckdesign.net.au

No.	Description	Date

DO NOT SCALE.
 USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION.
 COPYRIGHT: ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE WHAT SO EVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR MARKED AGREEMENT BETWEEN CK DESIGN AND THE INSTRUCTING PARTY.
 DISCLAIMER: ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE GUIDELINES OF THE BUILDING CODE OF AUSTRALIA.

SITE PLAN

PRELIMINARY NOT FOR CONSTRUCTION



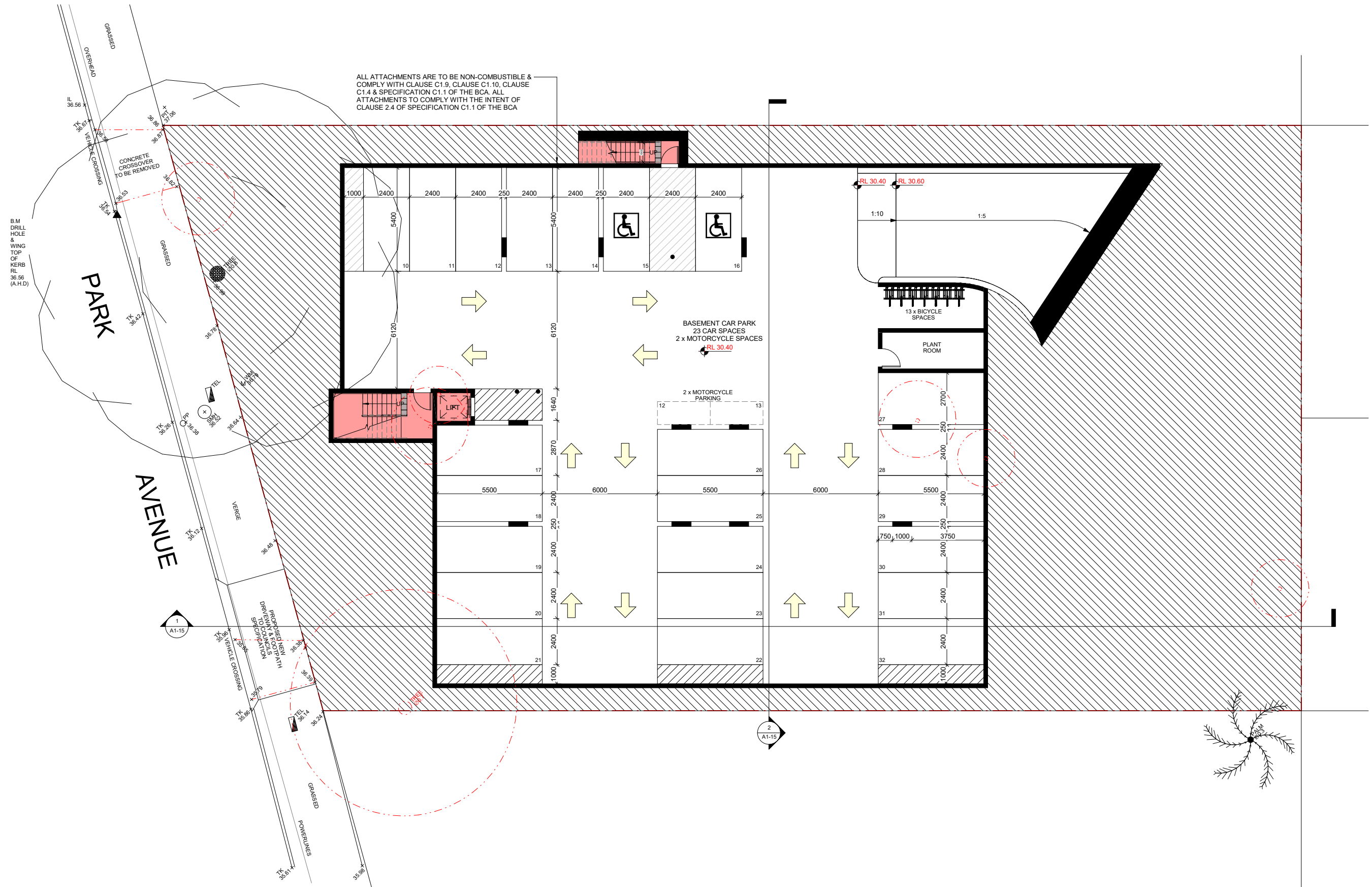
DEVELOPMENT APPLICATION
 NEW GENERATION BOARDING HOUSE DEVELOPMENT

CLIENT:
CK DESIGN

ADDRESS:
27 & 28 PARK AVE, KINGSWOOD

Scale	A1 1:100 A3 1:200	
Drawn by	TA	Date MAY 20
Checked by	CK	Sheet number
Project number	20016-04	A1-06

ALL ATTACHMENTS ARE TO BE NON-COMBUSTIBLE & COMPLY WITH CLAUSE C1.9, CLAUSE C1.10, CLAUSE C1.4 & SPECIFICATION C1.1 OF THE BCA. ALL ATTACHMENTS TO COMPLY WITH THE INTENT OF CLAUSE 2.4 OF SPECIFICATION C1.1 OF THE BCA



CK design
design + interiors

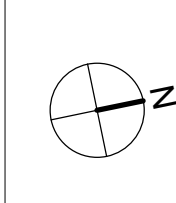
LEVEL 2, 240 CHURCH ST,
PARRAMATTA NSW 2150
P: +61 2 7804 0888 - M: 0411 222 888
E: chris@ckdesign.net.au
W: www.ckdesign.net.au

No.	Description	Date

DO NOT SCALE.
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION.
COPYRIGHT:
ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT BETWEEN CK DESIGN AND THE INSTRUCTING PARTY.
DISCLAIMER:
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE GUIDELINES OF THE BUILDING CODE OF AUSTRALIA.

BASEMENT 2 FLOOR PLAN

PRELIMINARY NOT FOR CONSTRUCTION

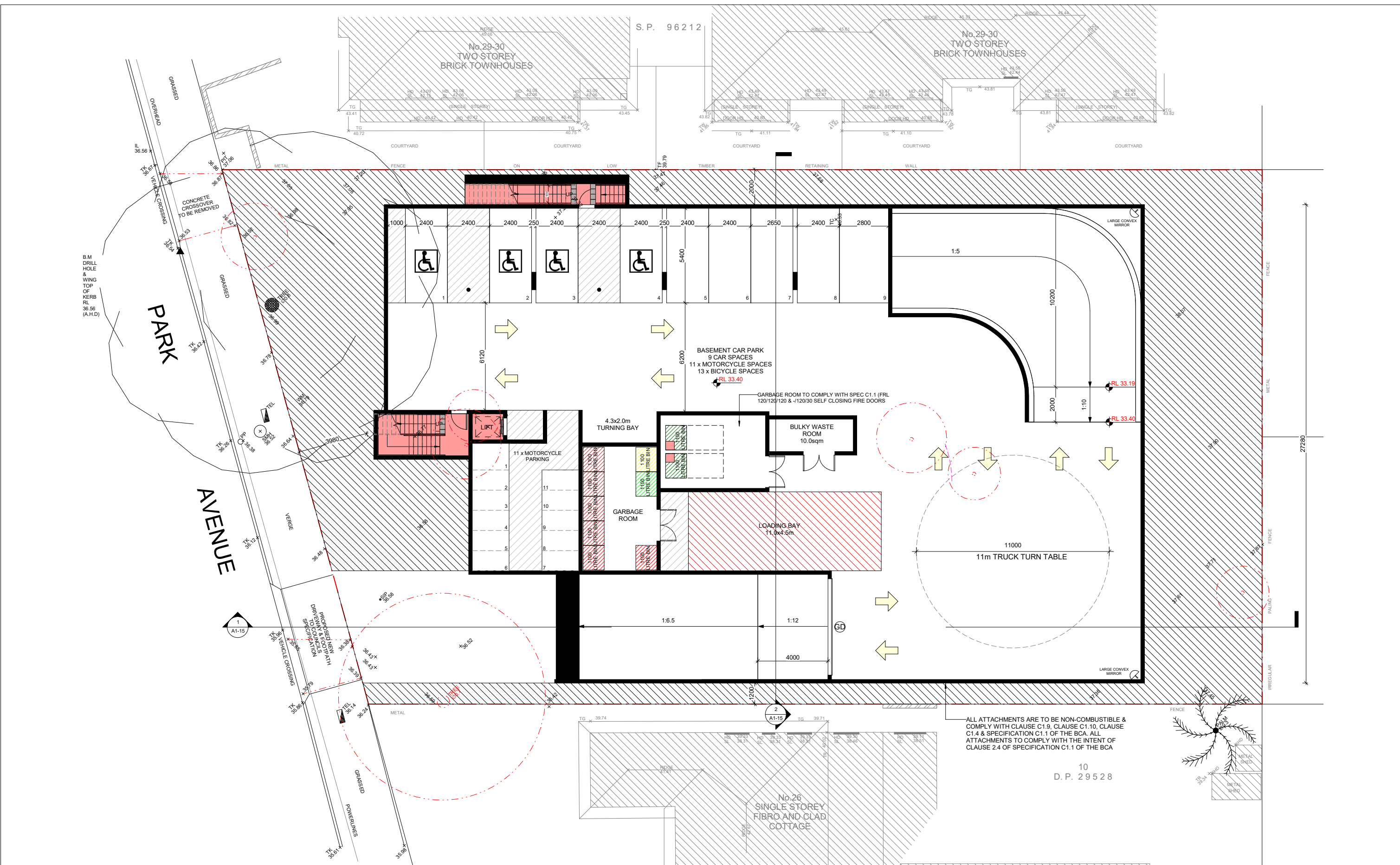


DEVELOPMENT APPLICATION
NEW GENERATION BOARDING HOUSE DEVELOPMENT

CLIENT:
CK DESIGN

ADDRESS:
27 & 28 PARK AVE, KINGSWOOD

Scale	A1 1:100 A3 1:200	
Drawn by	TA	Date MAY 20
Checked by	CK	Sheet number
Project number	20016-04	A1-07



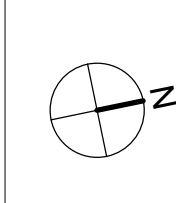
CK design
 design + interiors

LEVEL 2, 240 CHURCH ST,
 PARRAMATTA NSW 2150
 P: +61 2 7804 0888 - M: 0411 222 888
 E: chris@ckdesign.net.au
 W: www.ckdesign.net.au

No.	Description	Date

DO NOT SCALE.
 USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION.
 COPYRIGHT: ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE WHAT SO EVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT BETWEEN CK DESIGN AND THE INSTRUCTING PARTY.
 DISCLAIMER: ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE GUIDELINES OF THE BUILDING CODE OF AUSTRALIA.

BASEMENT 1 FLOOR PLAN
PRELIMINARY NOT FOR CONSTRUCTION

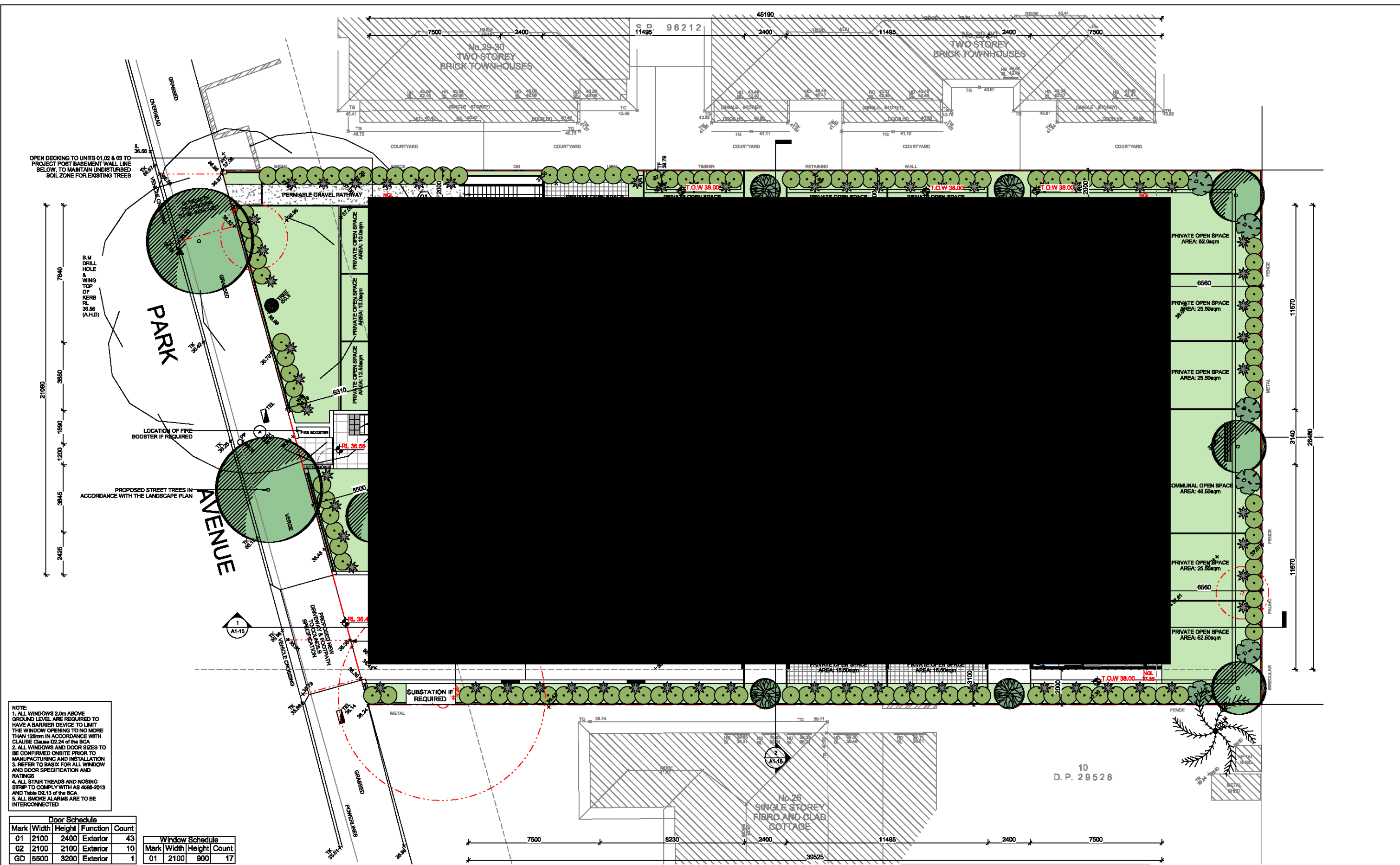


DEVELOPMENT APPLICATION
 NEW GENERATION BOARDING HOUSE DEVELOPMENT

CLIENT:
CK DESIGN

ADDRESS:
27 & 28 PARK AVE, KINGSWOOD

Scale	A1 1:100 A3 1:200	
Drawn by	TA	Date MAY 20
Checked by	CK	Sheet number
Project number	20016-04	A1-08



NOTE:
 1. ALL WINDOWS 2.0m ABOVE GROUND LEVEL ARE REQUIRED TO HAVE A BARRIER DEVICE TO LIMIT THE WINDOW OPENING TO NO MORE THAN 125mm IN ACCORDANCE WITH CLAUSE Clause D2.24 of the BCA
 2. ALL WINDOWS AND DOOR SIZES TO BE CONFIRMED ON SITE PRIOR TO MANUFACTURING AND INSTALLATION
 3. REFER TO BASIX FOR ALL WINDOW AND DOOR SPECIFICATION AND RATINGS
 4. ALL STAIR TREADS AND NOSING STRIP TO COMPLY WITH AS 4686-2013 AND Table D2.13 of the BCA
 5. ALL SMOKE ALARMS ARE TO BE INTERCONNECTED

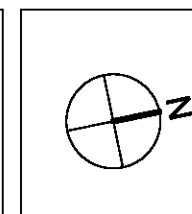
Door Schedule				
Mark	Width	Height	Function	Count
01	2100	2400	Exterior	43
02	2100	2100	Exterior	10
GD	5500	3200	Exterior	1
Grand total: 54				

Window Schedule			
Mark	Width	Height	Count
01	2100	900	17
Grand total: 17			

No.	Description	Date

DO NOT SCALE.
 USE DIMENSIONS IN PREFERENCE TO SCALES. CHECK ALL DIMENSIONS ON SITE BEFORE PROCEEDING.
 COPYRIGHT:
 ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSING, COPYRIGHT OR SIMILAR TO USE THIS DOCUMENT FOR ANY PURPOSE MUST BE IN ACCORDANCE WITH THE TERMS OF THE AGREEMENT OR WRITTEN AGREEMENT BETWEEN CK DESIGN AND THE RESTRICTING PARTY.
 DISCLAIMER:
 ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE QUALITIES OF THE BUILDING CODE OF AUSTRALIA.

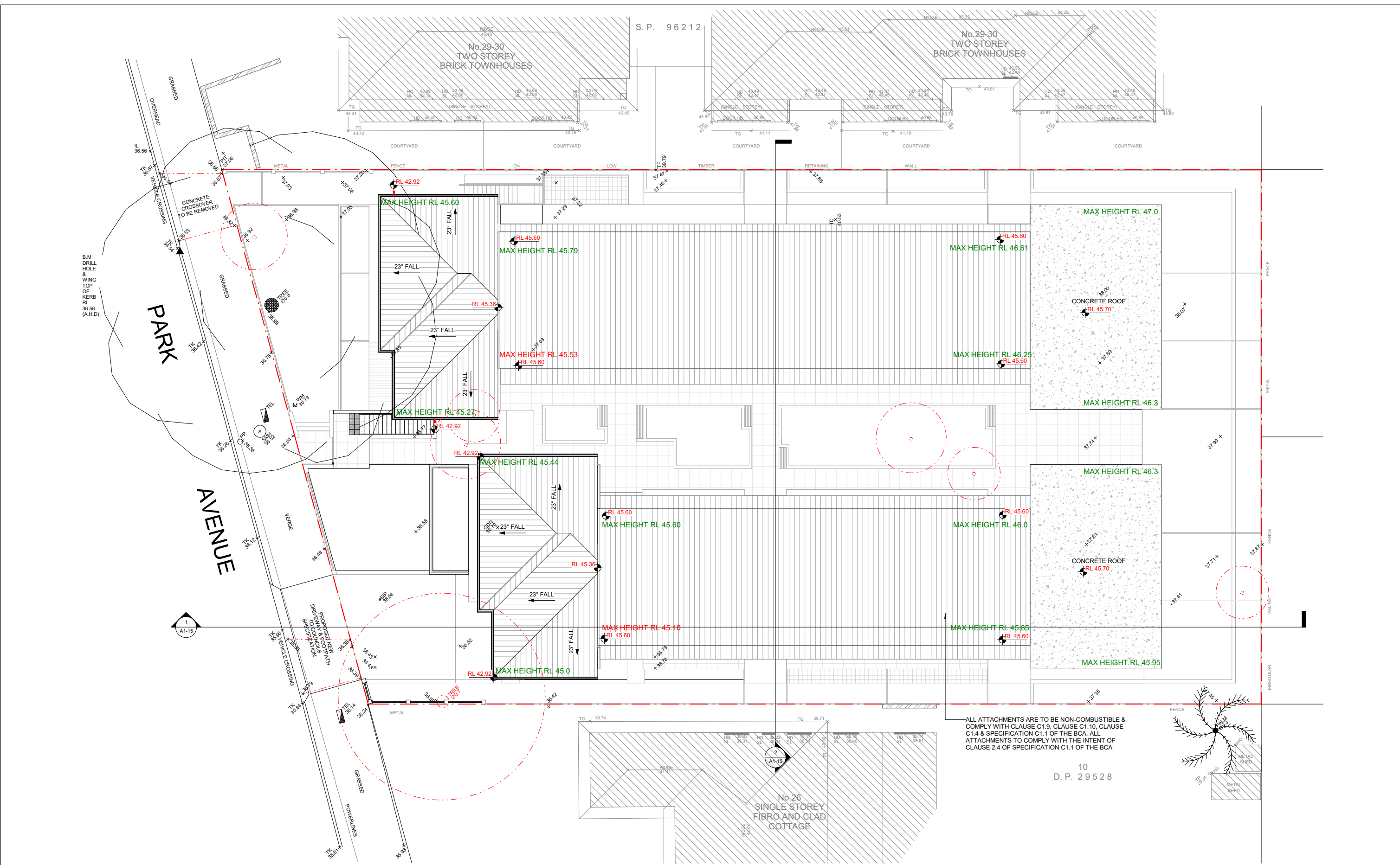
GROUND FLOOR PLAN
PRELIMINARY NOT FOR CONSTRUCTION



DEVELOPMENT APPLICATION
 NEW GENERATION BOARDING HOUSE DEVELOPMENT
 CLIENT: CK DESIGN
 ADDRESS: 27 & 28 PARK AVE, KINGSWOOD

Scale	A1 1:100 A3 1:200	
Drawn by	TA	Date MAY 20
Checked by	CK	Sheet number
Project number	20016-04	A1-09

CK design
 design + interiors
 LEVEL 2, 240 CHURCH ST,
 PARRAMATTA NSW 2150
 P: +61 2 7804 0888 - M: 0411 222 888
 E: chris@ckdesign.net.au
 W: www.ckdesign.net.au



ALL ATTACHMENTS ARE TO BE NON-COMBUSTIBLE & COMPLY WITH CLAUSE C1.9, CLAUSE C1.10, CLAUSE C1.4 & SPECIFICATION C1.1 OF THE BCA. ALL ATTACHMENTS TO COMPLY WITH THE INTENT OF CLAUSE 2.4 OF SPECIFICATION C1.1 OF THE BCA

10
D. P. 29528

CK design
design + interiors

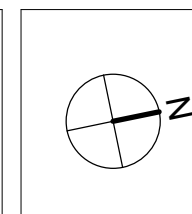
LEVEL 2, 240 CHURCH ST,
PARRAMATTA NSW 2150
P: +61 2 7804 0888 - M: 0411 222 888
E: chris@ckdesign.net.au
W: www.ckdesign.net.au

No.	Description	Date

DO NOT SCALE.
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION.
COPYRIGHT:
ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE EXCEPT AS OVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR MARKED AGREEMENT BETWEEN CK DESIGN AND THE INSTRUCTING PARTY.
DISCLAIMER:
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE GUIDELINES OF THE BUILDING CODE OF AUSTRALIA.

ROOF PLAN

PRELIMINARY NOT FOR CONSTRUCTION

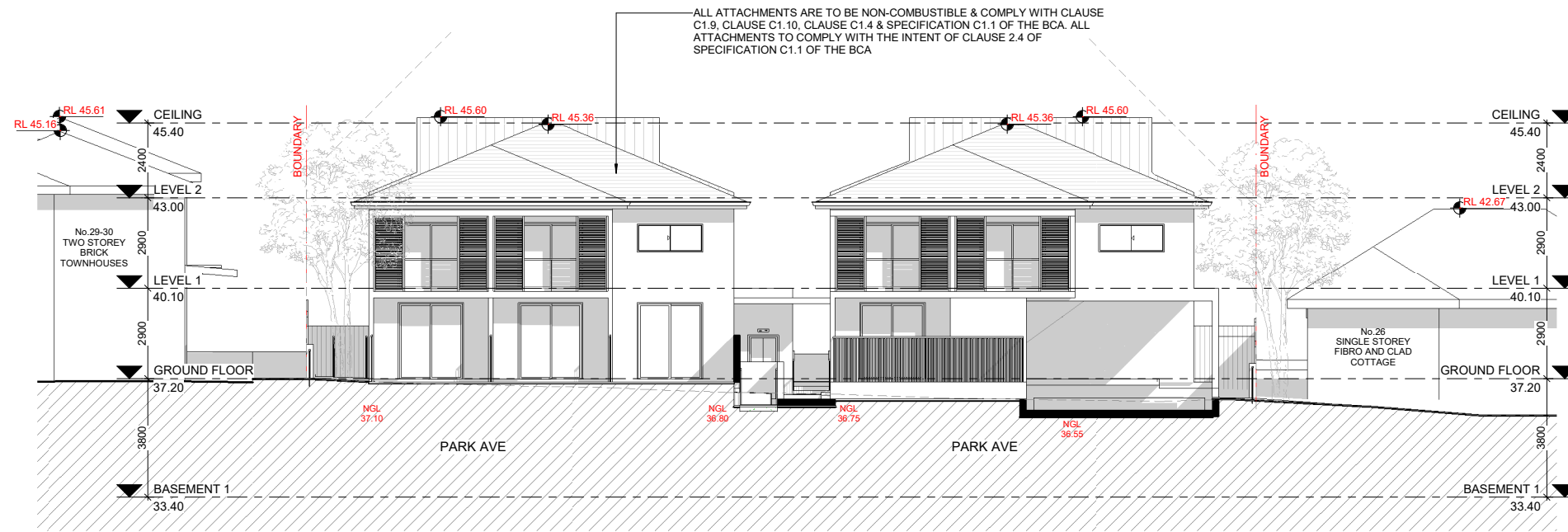


DEVELOPMENT APPLICATION
NEW GENERATION BOARDING HOUSE DEVELOPMENT

CLIENT:
CK DESIGN

ADDRESS:
27 & 28 PARK AVE, KINGSWOOD

Scale	A1 1:100 A3 1:200	
Drawn by	TA	Date MAY 20
Checked by	CK	Sheet number
Project number	20016-04	A1-12



1 SOUTH ELEVATION
A1 1:100 A3 1:200



2 EAST ELEVATION
A1 1:100 A3 1:200

CK design
design + interiors

LEVEL 2, 240 CHURCH ST,
PARRAMATTA NSW 2150
P: +61 2 7804 0888 - M: 0411 222 888
E: chris@ckdesign.net.au
W: www.ckdesign.net.au

No.	Description	Date

DO NOT SCALE.
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION.
COPYRIGHT: ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT BETWEEN CK DESIGN AND THE INSTRUCTING PARTY.
DISCLAIMER: ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE GUIDELINES OF THE BUILDING CODE OF AUSTRALIA.

ELEVATIONS

PRELIMINARY NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION
NEW GENERATION BOARDING HOUSE DEVELOPMENT

CLIENT:
CK DESIGN

ADDRESS:
27 & 28 PARK AVE, KINGSWOOD

Scale	A1 1:100 A3 1:200	
Drawn by	TA	Date MAY 20
Checked by	CK	Sheet number
Project number	20016-04	A1-13

1 NORTH ELEVATION
A1 1:100 A3 1:200



2 WEST ELEVATION
A1 1:100 A3 1:200



CK design
design + interiors

LEVEL 2, 240 CHURCH ST,
PARRAMATTA NSW 2150
P: +61 2 7804 0888 - M: 0411 222 888
E: chris@ckdesign.net.au
W: www.ckdesign.net.au

No.	Description	Date

DO NOT SCALE.
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION.
COPYRIGHT: ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT BETWEEN CK DESIGN AND THE INSTRUCTING PARTY.
DISCLAIMER: ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE GUIDELINES OF THE BUILDING CODE OF AUSTRALIA.

ELEVATIONS

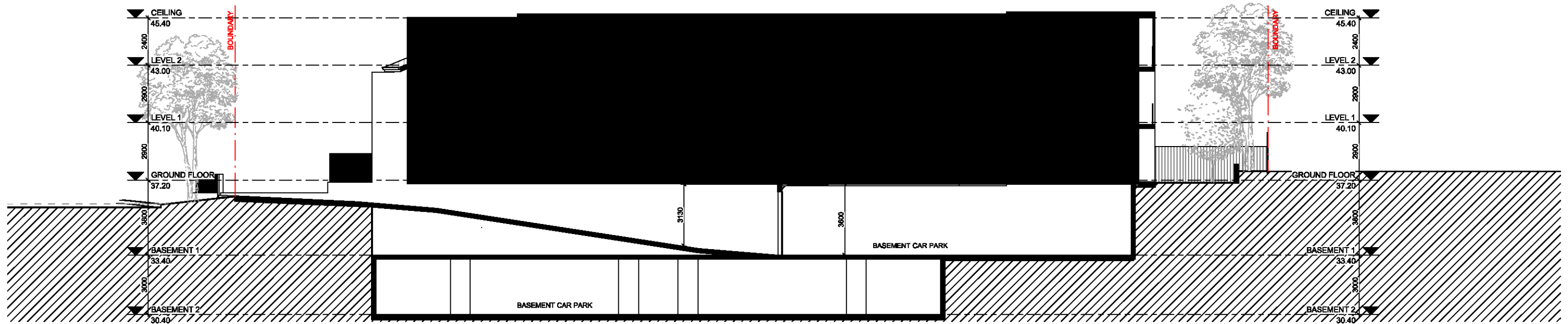
PRELIMINARY NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION
NEW GENERATION BOARDING HOUSE DEVELOPMENT

CLIENT:
CK DESIGN

ADDRESS:
27 & 28 PARK AVE, KINGSWOOD

Scale	A1 1:100 A3 1:200	
Drawn by	TA	Date MAY 20
Checked by	CK	Sheet number
Project number	20016-04	A1-14



1 SECTION A
A1 1:100 A3 1:200



2 SECTION B
A1 1:100 A3 1:200

CK design
design + interiors

LEVEL 2, 240 CHURCH ST,
PARRAMATTA NSW 2150
P: +61 2 7804 0888 - M: 0411 222 888
E: chris@ckdesign.net.au
W: www.ckdesign.net.au

No.	Description	Date

DO NOT SCALE.
USE DIMENSIONS IN PREFERENCE TO SCALES. CHECK ALL DIMENSIONS ON SITE BEFORE PROCEEDING.
COPYRIGHT: ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSING, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE MUST BE GIVEN IN WRITING AND IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT BETWEEN CK DESIGN AND THE INSTRUCTING PARTY.
DISCLAIMER: ALL VISUALS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE QUALITY OF THE BUILDING CODE OF AUSTRALIA.

SECTIONS

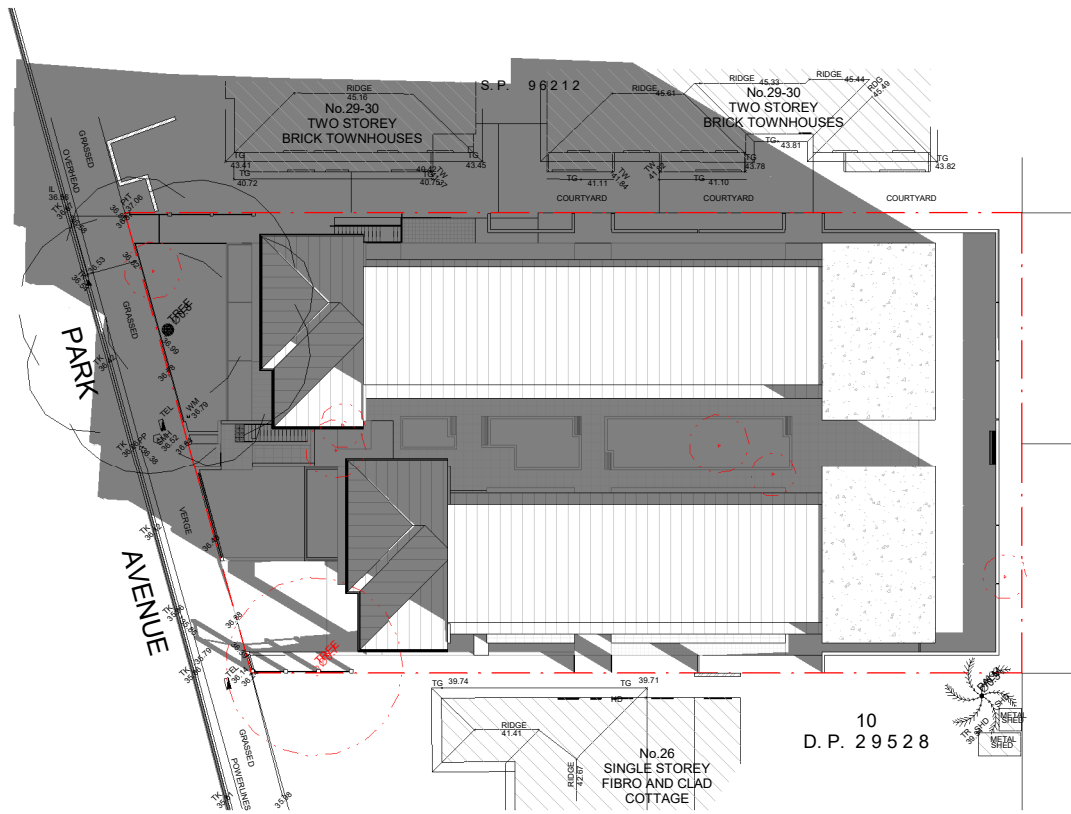
PRELIMINARY NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION
NEW GENERATION BOARDING HOUSE DEVELOPMENT

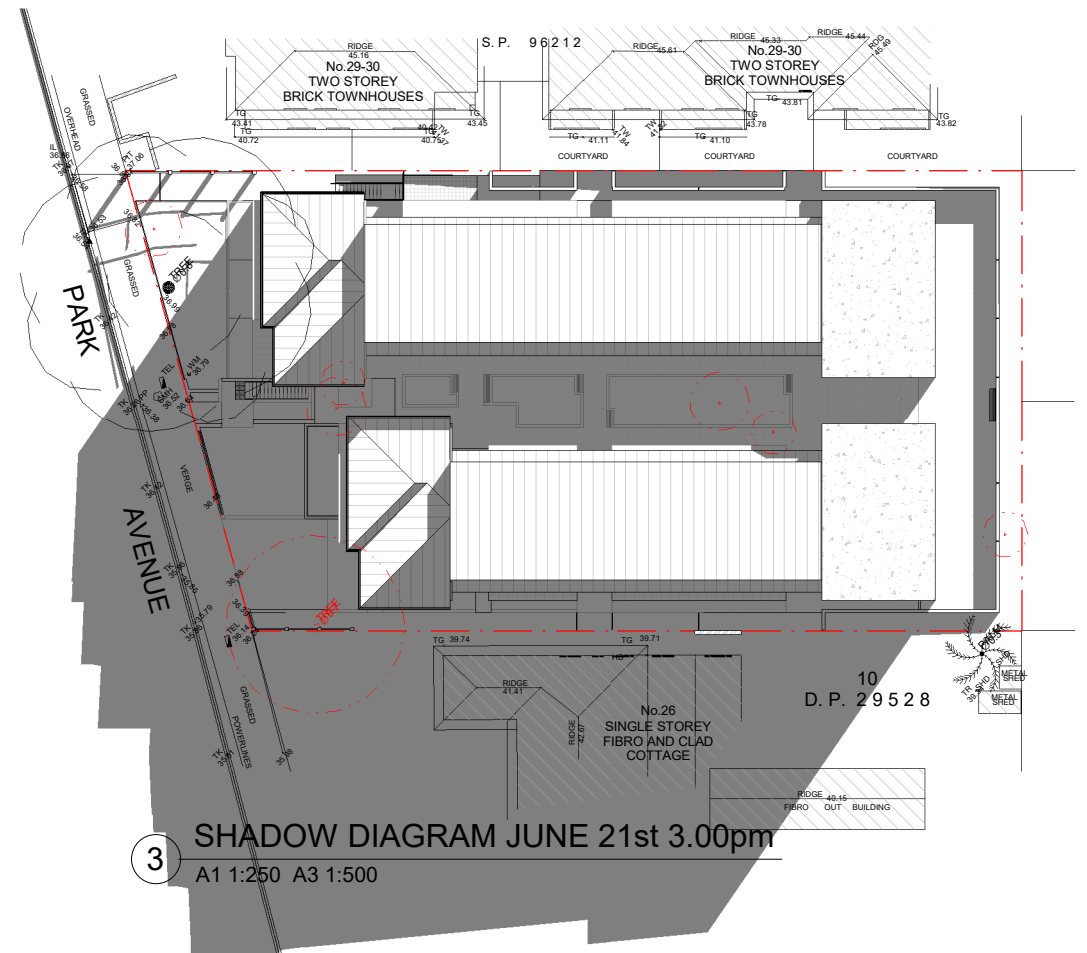
CLIENT:
CK DESIGN

ADDRESS:
27 & 28 PARK AVE, KINGSWOOD

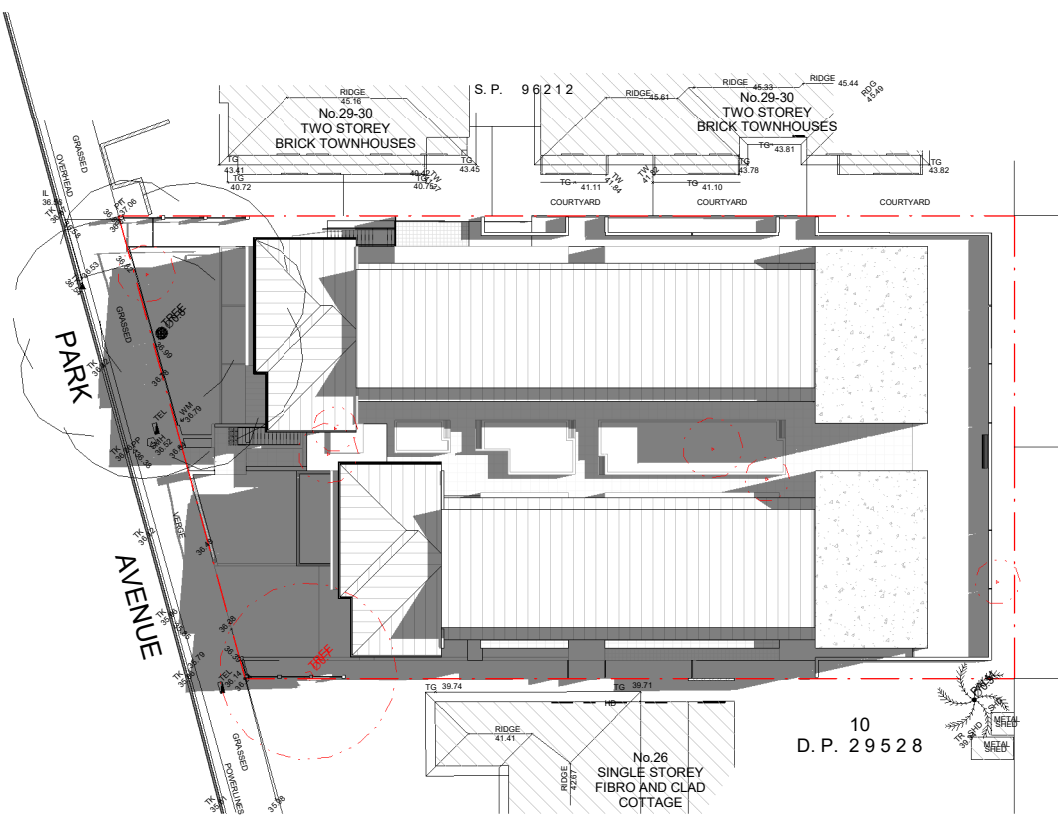
Scale A1 1:100 A3 1:200	
Drawn by TA	Date MAY 20
Checked by CK	Sheet number
Project number 20016-04	A1-15



1 SHADOW DIAGRAM JUNE 21st 9.00am
A1 1:250 A3 1:500



3 SHADOW DIAGRAM JUNE 21st 3.00pm
A1 1:250 A3 1:500



2 SHADOW DIAGRAM JUNE 21st 12.00pm
A1 1:250 A3 1:500

CK design
design + interiors

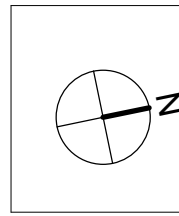
LEVEL 2, 240 CHURCH ST,
PARRAMATTA NSW 2150
P: +61 2 7804 0888 - M: 0411 222 888
E: chris@ckdesign.net.au
W: www.ckdesign.net.au

No.	Description	Date

DO NOT SCALE.
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION.
COPYRIGHT: ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE IS REVOKED BY THIS AGREEMENT OR IMPLIED AGREEMENT BETWEEN CK DESIGN AND THE INSTRUCTING PARTY.
DISCLAIMER: ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE GUIDELINES OF THE BUILDING CODE OF AUSTRALIA.

SHADOW DIAGRAMS

PRELIMINARY NOT FOR CONSTRUCTION



DEVELOPMENT APPLICATION
NEW GENERATION BOARDING HOUSE DEVELOPMENT

CLIENT:
CK DESIGN

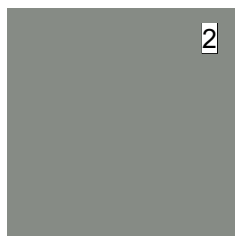
ADDRESS:
27 & 28 PARK AVE, KINGSWOOD

Scale	A1 1:250 A3 1:500	
Drawn by	TA	Date MAY 20
Checked by	CK	Sheet number
Project number	20016-04	A1-16



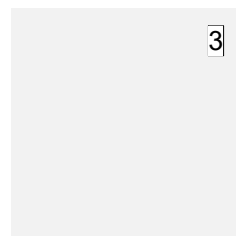
1
WALLS AND ROOF - STANDING SEAM MONUMENT MATT

(NON-COMBUSTIBLE TO AS 1530.1)



2
WALLS TO BE RENDERED & PAINTED DULUX - TIMELESS GREY

(NON-COMBUSTIBLE TO AS 1530.1)



3
WALLS TO BE RENDERED & PAINTED DULUX - LEXICON

(NON-COMBUSTIBLE TO AS 1530.1)



4
LOUVRES, WINDOW AND DOOR FRAMES POWERCOATED DULUX DURALLOY - NIGHT SKY MATT

(NON-COMBUSTIBLE TO AS 1530.1)



LEVEL 2, 240 CHURCH ST,
PARRAMATTA NSW 2150
P: +61 2 7804 0888 - M: 0411 222 888
E: chris@ckdesign.net.au
W: www.ckdesign.net.au

No.	Description	Date

DO NOT SCALE.
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION.
COPYRIGHT: ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT BETWEEN CK DESIGN AND THE INSTRUCTING PARTY.
DISCLAIMER: ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE GUIDELINES OF THE BUILDING CODE OF AUSTRALIA.

SCHEDULE OF FINISHES

PRELIMINARY NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION

NEW GENERATION BOARDING HOUSE DEVELOPMENT

CLIENT:
CK DESIGN

ADDRESS:
27 & 28 PARK AVE, KINGSWOOD

Scale		N.T.S
Drawn by	JB	Date MAY 20
Checked by	CK	Sheet number
Project number	20016-04	A1-17



CK design + interiors

LEVEL 2, 240 CHURCH ST,
PARRAMATTA NSW 2150
P: +61 2 7804 0888 - M: 0411 222 888
E: chris@ckdesign.net.au
W: www.ckdesign.net.au

No.	Description	Date

DO NOT SCALE.
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION.
COPYRIGHT: ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT BETWEEN CK DESIGN AND THE INSTRUCTING PARTY.
DISCLAIMER: ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE GUIDELINES OF THE BUILDING CODE OF AUSTRALIA.

3D PERSPECTIVE

PRELIMINARY NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION
NEW GENERATION BOARDING HOUSE DEVELOPMENT

CLIENT:
CK DESIGN

ADDRESS:
27 & 28 PARK AVE, KINGSWOOD

Scale		
Drawn by	TA	Date MAY 20
Checked by	CK	Sheet number
Project number 20016-04		A1-18



CK design
design + interiors

LEVEL 2, 240 CHURCH ST,
PARRAMATTA NSW 2150
P: +61 2 7804 0888 - M: 0411 222 888
E: chris@ckdesign.net.au
W: www.ckdesign.net.au

No.	Description	Date

DO NOT SCALE.
USE FIGURED DIMENSIONS IN
PREFERENCE TO SCALED. CHECK ALL
DIMENSIONS ON SITE BEFORE
FABRICATION.
COPYRIGHT:
ALL RIGHTS RESERVED. CANNOT BE
REPRODUCED OR COPIED IN ANY
FORM WITHOUT THE WRITTEN
PERMISSION OF CK DESIGN. ANY
LICENSE, EXPRESS OR IMPLIED, TO
USE THIS DOCUMENT FOR ANY
PURPOSE WHAT SO EVER IS
RESTRICTED TO THE TERMS OF THE
AGREEMENT OR IMPLIED AGREEMENT
BETWEEN CK DESIGN AND THE
INSTRUCTING PARTY.
DISCLAIMER:
ALL WORKS ARE TO BE IN
ACCORDANCE WITH THE RELEVANT
AUSTRALIAN STANDARDS AND FOLLOW
THE GUIDELINES OF THE BUILDING
CODE OF AUSTRALIA.

3D PERSPECTIVE

**PRELIMINARY NOT FOR
CONSTRUCTION**

DEVELOPMENT APPLICATION		Scale
NEW GENERATION BOARDING HOUSE DEVELOPMENT		Drawn by JB Date MAY 20
CLIENT: CK DESIGN	Checked by CK	Sheet number
ADDRESS: 27 & 28 PARK AVE, KINGSWOOD	Project number 20016-04	A1-19



CK design + interiors

LEVEL 2, 240 CHURCH ST,
PARRAMATTA NSW 2150
P: +61 2 7804 0888 - M: 0411 222 888
E: chris@ckdesign.net.au
W: www.ckdesign.net.au

No.	Description	Date

DO NOT SCALE.
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION.
COPYRIGHT: ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT BETWEEN CK DESIGN AND THE INSTRUCTING PARTY.
DISCLAIMER: ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE GUIDELINES OF THE BUILDING CODE OF AUSTRALIA.

3D PERSPECTIVE

PRELIMINARY NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION		Scale
NEW GENERATION BOARDING HOUSE DEVELOPMENT		Drawn by JB Date MAY 20
CLIENT:	CK DESIGN	Checked by CK Sheet number
ADDRESS:	27 & 28 PARK AVE, KINGSWOOD	Project number 20016-04 A1-20



8.5m HEIGHT PLANE

CK design + interiors

LEVEL 2, 240 CHURCH ST,
PARRAMATTA NSW 2150
P: +61 2 7804 0888 - M: 0411 222 888
E: chris@ckdesign.net.au
W: www.ckdesign.net.au

No.	Description	Date

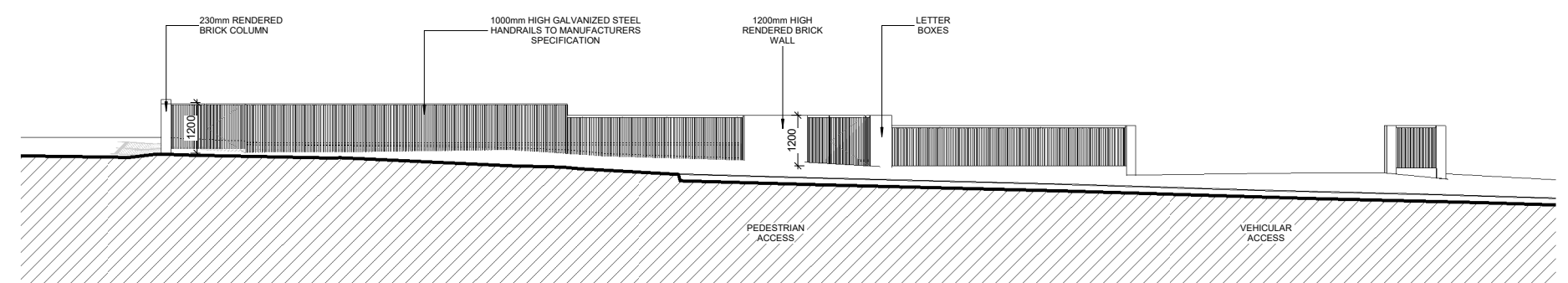
DO NOT SCALE.
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION.
COPYRIGHT: ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT BETWEEN CK DESIGN AND THE INSTRUCTING PARTY.
DISCLAIMER: ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE GUIDELINES OF THE BUILDING CODE OF AUSTRALIA.

HEIGHT PLANE ANALYSIS

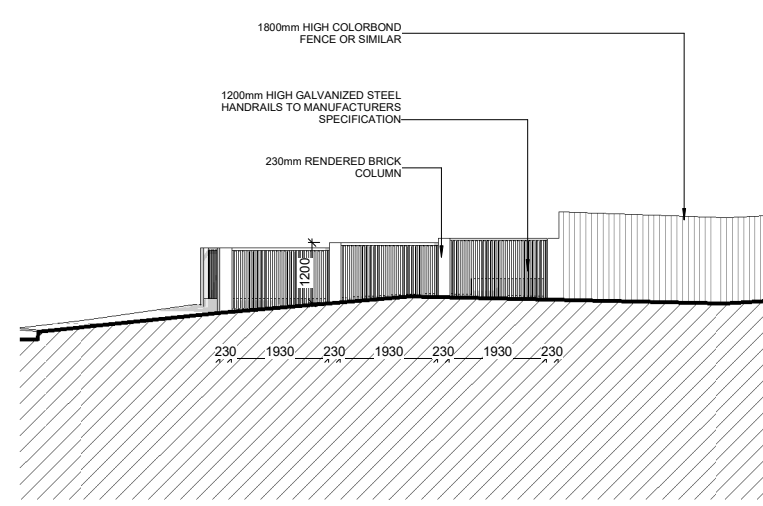
PRELIMINARY NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATION	
NEW GENERATION BOARDING HOUSE DEVELOPMENT	
CLIENT:	CK DESIGN
ADDRESS:	27 & 28 PARK AVE, KINGSWOOD

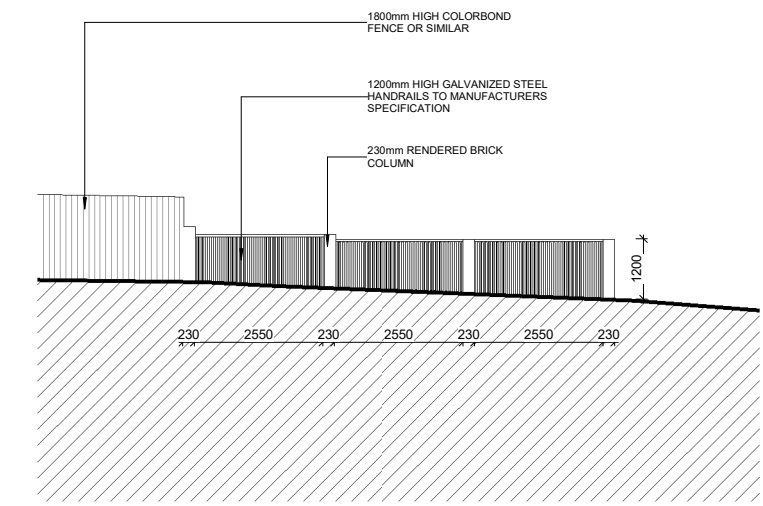
Scale	1 : 100	
Drawn by	JB	Date MAY 20
Checked by	CK	Sheet number
Project number	20016-04	A1-21



2 FENCE SOUTH ELEVATION
A1 1:75 A3 1:150



3 FENCE EAST ELEVATION
A1 1:75 A3 1:150



4 FENCE WEST ELEVATION
A1 1:75 A3 1:150

1 FENCE DETAIL - GROUND FLOOR
A1 1:75 A3 1:150

CK design
design + interiors

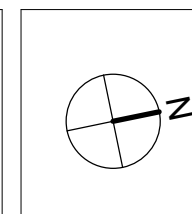
LEVEL 2, 240 CHURCH ST,
PARRAMATTA NSW 2150
P: +61 2 7804 0888 - M: 0411 222 888
E: chris@ckdesign.net.au
W: www.ckdesign.net.au

No.	Description	Date

DO NOT SCALE.
USE FIGURED DIMENSIONS IN PREFERENCE TO SCALED. CHECK ALL DIMENSIONS ON SITE BEFORE FABRICATION.
COPYRIGHT: ALL RIGHTS RESERVED. CANNOT BE REPRODUCED OR COPIED IN ANY FORM WITHOUT THE WRITTEN PERMISSION OF CK DESIGN. ANY LICENSE, EXPRESS OR IMPLIED, TO USE THIS DOCUMENT FOR ANY PURPOSE WHATSOEVER IS RESTRICTED TO THE TERMS OF THE AGREEMENT OR IMPLIED AGREEMENT BETWEEN CK DESIGN AND THE INSTRUCTING PARTY.
DISCLAIMER: ALL WORKS ARE TO BE IN ACCORDANCE WITH THE RELEVANT AUSTRALIAN STANDARDS AND FOLLOW THE GUIDELINES OF THE BUILDING CODE OF AUSTRALIA.

FENCE DETAILS

PRELIMINARY NOT FOR CONSTRUCTION



DEVELOPMENT APPLICATION
NEW GENERATION BOARDING HOUSE DEVELOPMENT

CLIENT:
CK DESIGN

ADDRESS:
27 & 28 PARK AVE, KINGSWOOD

Scale	A1 1:75 A3 1:150	
Drawn by	JB	Date MAY 20
Checked by	CK	Sheet number
Project number	20016-04	A1-22