

20<sup>th</sup> August 2013

Attention: James Remaili  
JR Design & Drafting for LB Homes  
448-452 Victoria St  
WETHERILL PARK, NSW 2164

Dear James,

The design plans for the new home you are building for Mr Yu & Ms Chen at Lot 2190 Katandra Place, Jordan Springs are now stamped and ready for submission to Penrith City Council or your Certifier on the following conditions:

- An additional material is required to be provided on the home to the secondary façade within the articulation element in the first 10m of this side. Rendering/bagging of the ground floor from the living room to study would satisfy this requirement. Other solutions will be considered provided they meet the intent of this requirement.
- The external finishes schedule is required to be updated to show the details and colours of the alternative material solutions to the front of the home (balcony/portico columns) and the secondary frontage.
- Secondary fencing in accordance with the Illoura Village Guidelines and Landscape Checklist is required to be provided. The landscape plans is to provide a detail of the secondary fencing in accordance with the guidelines and is to show and notate this fencing accordingly on the landscape plan. See review comments on landscape plan for options.
- The site plan is to indicate the location of the secondary fencing and is to note the details and reference the landscape plan detail accordingly.
- The following notes are to be added to the site plan where not shown:
  - Any garden or lawn edging visible from the street is to be constructed of masonry textured or coloured bricks, blocks or coloured concrete – no timber edging is permitted.
  - Any retaining walls visible from the street or 900mm high and over are to be of masonry construction.
  - Vehicle crossovers are to be plain concrete to PCC specifications. 5m wide V.C for double garage and 3m wide V.C for single garage.
  - All existing street trees and verge planting are to be protected during construction.

**PLEASE ENSURE THAT THE AMENDED PLANS AND FINISHES SCHEDULES ARE FORWARDED TO THE LEND LEASE FOR THEIR RECORDS PRIOR TO SUBMISSION TO COUNCIL OR YOUR CERTIFIER.**

*It is also worth noting that Sydney Water is currently implementing 'low infiltration' systems and we recommend that you consult with Sydney Water to confirm whether this system will impact your design in any way. Should this system alter the design in any way please ensure these plans are submitted to Lend Lease for re-approval.*

**Please note: Jordan Springs is a Fibre Connected Community and arrangements for connections and related costs will be required. Please visit <http://www.opticom.net.au> for further information.**

We look forward to the opportunity of welcoming Mr Yu & Ms Chen or her residents to the Jordan Springs community and to working with you when you choose to build again at Jordan Springs.

However, in the meantime, remember we are here to help with any questions or concerns you may have, so please don't hesitate to contact us.

Yours sincerely,



**Rebecca Minney**  
Design Coordinator, Jordan Springs

CC: Mr Yu & Ms Chen  
66 Ebony ave  
CARLINGFORD, NSW 2118

# Color Schedule of Lot No.2190 Jordan Springs



## Roof Tiles



Macquarie  
Colour: Ebony

## Gutter



Powdercoat/Painted Gutters  
Colour: Warm Grey 2

## Fascia



Painted Fascia  
Colour: Brown 1

## Windows



Dowell Windows & Doors  
Colour: Woodland Grey

## Bricks

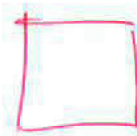


Horizon Riverside  
Colour: Grays Point  
Mortar Colour: Default

## Concrete



Exposed Aggregate -  
Exposé™  
Colour: Rustic Red



PROVIDE  
ALTERNATIVE  
MATERIAL  
DETAILS AND  
COLOUR.

# BASIX<sup>®</sup>Report

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

Project summary		
Project name	Lot 2190 Katandra Place, Jordan Springs, NSW	
Street address	Katandra Place Jordan Springs 2747	
Local Government Area	Penrith City Council	
Plan type and plan number	deposited 1168993	
Lot no.	2190	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	40	Target 40
Thermal Comfort	Pass	Target Pass
Energy	40	Target 40



# Description of project

Project address	
Project name	Lot 2190 Katandra Place, Jordan Springs, NSW
Street address	n/a Katandra Place Jordan Springs 2747
Local Government Area	Penrith City Council
Plan type and plan number	Deposited Plan 1168993
Lot no.	2190
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	4
Site details	
Site area (m <sup>2</sup> )	467
Roof area (m <sup>2</sup> )	217
Conditioned floor area (m <sup>2</sup> )	211
Unconditioned floor area (m <sup>2</sup> )	12
Total area of garden and lawn (m <sup>2</sup> )	100

Assessor details and thermal loads		
Assessor number	n/a	
Certificate number	n/a	
Climate zone	n/a	
Area adjusted cooling load (MJ/m <sup>2</sup> .year)	n/a	
Area adjusted heating load (MJ/m <sup>2</sup> .year)	n/a	
Other		
none	n/a	
Project score		
Water	40	Target 40
Thermal Comfort	Pass	Target Pass
Energy	40	Target 40

## Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 3 star (> 4.5 but <= 6 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 1 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 2000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 217.28 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to:			
<ul style="list-style-type: none"> <li>all toilets in the development</li> </ul>		✓	✓
<ul style="list-style-type: none"> <li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li> </ul>		✓	✓

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Floor, walls and ceiling/roof</b>			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	nil	
floor - suspended floor above garage, framed	0.3 (or 1 including construction) (down)	
external wall - brick veneer	1.66 (or 2.20 including construction)	
external wall - framed (weatherboard, fibre cement, metal clad)	1.80 (or 2.20 including construction)	
internal wall shared with garage - plasterboard	nil	
ceiling and roof - flat ceiling / pitched roof	ceiling: 3 (up), roof: foil/sarking	unventilated; medium (solar absorptance 0.475-0.70)

**Note** Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Windows, glazed doors and skylights</b>			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) and up to 2 windows/glazed doors (<0.7 square metres) which are not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
<ul style="list-style-type: none"> <li>Except where the glass is 'single clear' or 'single toned', each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) +/-10% of that listed. Total system U-values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.</li> <li>The leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 millimetres above the head of the window or glazed door, except that a projection greater than 500 mm and up to 1500 mm above the head must be twice the value in the table.</li> <li>Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.</li> <li>Unless they have adjustable shading, pergolas must have fixed battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.</li> </ul>	✓	✓	✓

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W1,W2	N	3.06	standard aluminium, single clear (or U-value:7.63, SHGC:0.75)	eave/verandah/pergola/balcony 901-1,200 mm	not overshadowed
W12,W13	N	2.88	standard aluminium, single clear (or U-value:7.63, SHGC:0.75)	eave/verandah/pergola/balcony 451-600 mm	not overshadowed
W14,W15	N	3.06	standard aluminium, single clear (or U-value:7.63, SHGC:0.75)	eave/verandah/pergola/balcony 1,500-2,000 mm	not overshadowed
W3,W4,W5	W	3.96	standard aluminium, single pyrolytic low-e (U-value:5.7, SHGC:0.47)	none	not overshadowed
W6,W7	W	7.2	improved aluminium, single pyrolytic low-e (U-value:4.48, SHGC:0.46)	none	not overshadowed
W24	W	5.76	standard aluminium, single clear (or U-value:7.63, SHGC:0.75)	eave/verandah/pergola/balcony >2,000 mm	not overshadowed

Window/glazed door no.	Orientation	Maximum area (square metres)	Type	Shading	Overshadowing
W16,W17,W18,W20	W	4.42	standard aluminium, single clear (or U-value:7.63, SHGC:0.75)	eave/verandah/ pergola/balcony 451-600 mm	not overshadowed
W19	W	2.52	standard aluminium, single clear (or U-value:7.63, SHGC:0.75)	eave/verandah/ pergola/balcony 451-600 mm	not overshadowed
W8,W9	S	4.32	standard aluminium, single clear (or U-value:7.63, SHGC:0.75)	none	not overshadowed
W23	S	6.24	standard aluminium, single clear (or U-value:7.63, SHGC:0.75)	eave/verandah/ pergola/balcony >2,000 mm	not overshadowed
W10,W11	E	1.21	standard aluminium, single clear (or U-value:7.63, SHGC:0.75)	none	not overshadowed
W21,W22	E	2.57	standard aluminium, single clear (or U-value:7.63, SHGC:0.75)	eave/verandah/ pergola/balcony 451-600 mm	not overshadowed



Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.	✓	✓	✓
<b>Cooling system</b>			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.		✓	✓
<b>Heating system</b>			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 3-phase airconditioning; Energy rating: EER 3.5 - 4.0		✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.		✓	✓
<b>Ventilation</b>			
<p>The applicant must install the following exhaust systems in the development:</p> <p>At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off</p> <p>Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off</p> <p>Laundry: natural ventilation only, or no laundry; Operation control: n/a</p>		<p>✓</p> <p>✓</p> <p>✓</p>	<p>✓</p> <p>✓</p> <p>✓</p>
<b>Artificial lighting</b>			
<p>The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:</p> <ul style="list-style-type: none"> <li>• all bathrooms/toilets;</li> </ul>		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Natural lighting</b>			
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
<b>Other</b>			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

## Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

NOTES: USE FIGURED DIMENSIONS ONLY, DO NOT SCALE.  
 \* CHECK ALL DIMENSIONS PRIOR STARTING ANY WORK REPORT ANY DISCREPANCIES  
 \* FINISHED GROUND LEVELS SHOWN ON PLAN ARE SUBJECT TO SITE CONDITIONS  
 \* ALL CALCULATED DIMENSIONS ARE SUBJECT TO SITE MEASURE DURING CONSTRUCTION  
 \* NO ALLOWANCE HAS BEN MADE FOR SHRINKAGE OR MILLING  
 \* POSITION OF ELECTRICAL METER TO BE DETERMINED ON SITE

PROOF OF EXISTENCE OF ALL SERVICES IS THE CONTRACTOR'S RESPONSIBILITY. CURRENT "DIAL BEFORE YOU DIG" SERVICES PLANS MUST BE OBTAINED PRIOR TO COMMENCING ANY EXCAVATION

AREAS:	
Site Plan:	466.6m <sup>2</sup>
Ground Fl Living:	128.62m <sup>2</sup>
Patio:	6.51m <sup>2</sup>
Alfresco:	15.54m <sup>2</sup>
Garage:	33.74m <sup>2</sup>
First Fl Living:	101.23m <sup>2</sup>
Balcony:	6.51m <sup>2</sup>
TOTAL:	292.15m <sup>2</sup>
Courtyard:	
Required:	70m <sup>2</sup>
Proposed:	132.49m <sup>2</sup>
Provide 6 x 4 Dim:	Yes



**Jordan Springs - Illoura Village Notes:**

(THESE NOTES MUST BE ADDED TO YOUR SITE AND LANDSCAPE PLANS)

- ANY GARDEN OR LAWN EDGING VISIBLE FROM THE STREET IS TO BE CONSTRUCTED OF MASONRY TEXTURED OR COLOURED BRICKS, BLOCKS OR COLOURED CONCRETE - NO TIMBER EDGING IS PERMITTED.
- ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900MM HIGH AND OVER ARE TO BE OF MASONRY CONSTRUCTION.
- VEHICLE CROSSOVER IS TO BE PLAN CONCRETE TO COUNCIL SPECIFICATIONS. 5M WIDE V.C. FOR A DOUBLE GARAGE AND 3M WIDE V.C FOR A SINGLE GARAGE.
- ALL EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.

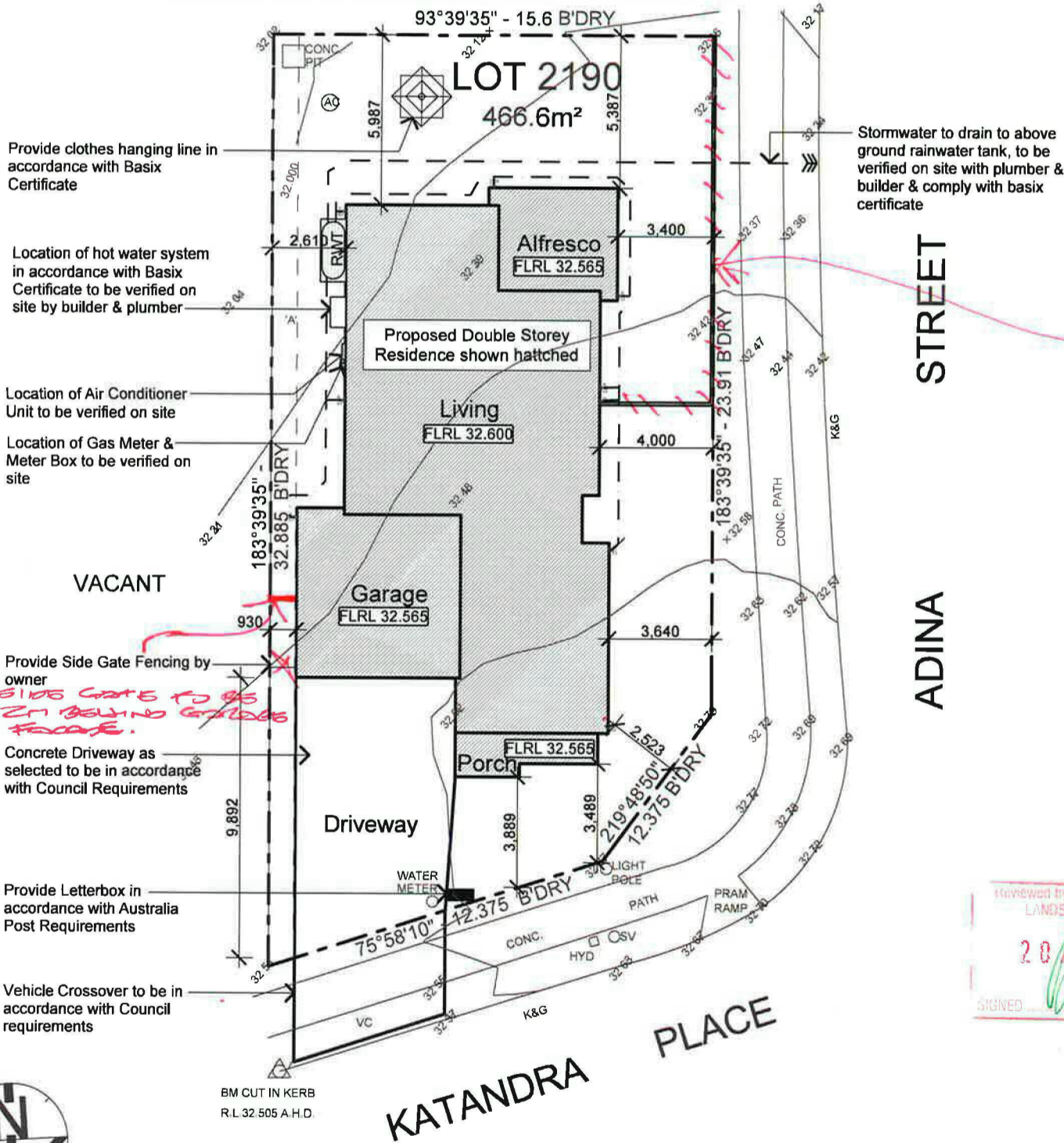
**General Notes:**

1. All work to be carried out in accordance with the requirements of the Building Code of Australia and the relevant local authority.
2. All timber framing to be carried out to the requirements of Australian Standards (as 1684) as a minimum.
3. All reinforced concrete, steel beams including supports, and nominated beams including supports to Engineer's details.
4. Structural Engineer to check, detail and certify brickwork to garage area with a height greater than 3000mm between horizontal supports.
5. All brickwork to be constructed in accordance with the requirements of the Building Code of Australia.
6. Control joints in brickwork to be provided in accordance with the requirements of the Building Code of Australia.
7. Doorway openings with inward opening doors to room containing toilets which are closer than 1200mm to the toilet are to be fitted with hinges to allow the door to be removed from the outside when the door is closed.

**Construction Notes:**

- \* Insulation to be in accordance with Basix Requirements
- \* Provide Foil & Sarking to Roof
- \* Control Joints to be checked in accordance with engineers plans
- \* Centre of kitchen Sink, Vanity, WC, Range Hood, to be confirmed with owner & Manufacturer Details.
- \* All windows, Insulation requirements, lighting to comply with Basix Certificate Approve by council.
- \* Structural slab to engineer details.
- \* Metre Box, Gas Metre to be confirmed with Builder on site.
- \* Downpipes to be confirmed with plumber on site.

*ADD ILLOURA VILLAGE NOTES TO SITE PLAN*



*SECONDARY FENCING REQUIRED IN ACCORDANCE WITH GUIDELINES REFER DETAIL ON LANDSCAPE PLAN!*

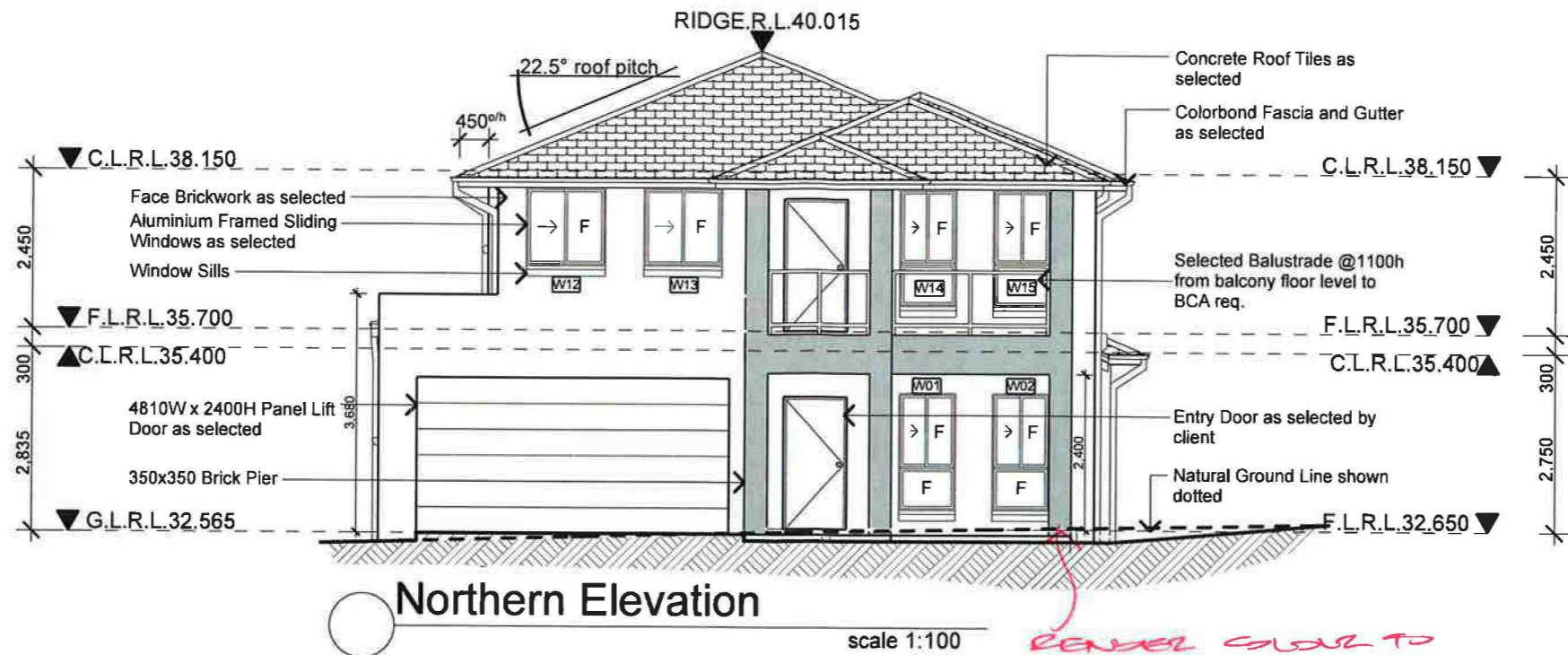
**Proposed Site Plan / Concept Drainage Plan**

scale 1:200

Issue	Amendment	Date	North:	Proposed:	Drawing Title:	Revision:
A	Preliminary Plans for Sign off	09.07.13		New Two Storey Residence	Proposed Site Plan / Concept Drainage Plan	B
B	Submission to Jordan Springs	28.07.13		Location: Lot 2190 in DP 1168993 Katandra Place, Jordan Springs. NSW	L.G.A	Job No:
				Client: LB Homes	Drawn: JR Date: 28.07.2013	LB1305
					Scale: 1:200 Sheet: 2 of 10	

**JR DESIGN & DRAFTING**  
 RESIDENTIAL DESIGN & DRAFTING SERVICES  
 Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003  
 Email: jr.design.drafting@gmail.com  
 Address: 448 - 452 Victoria Street, Wetherill Park. NSW 2164

Note: Builder shall check and verify all dimensions prior to the commencement of any work.  
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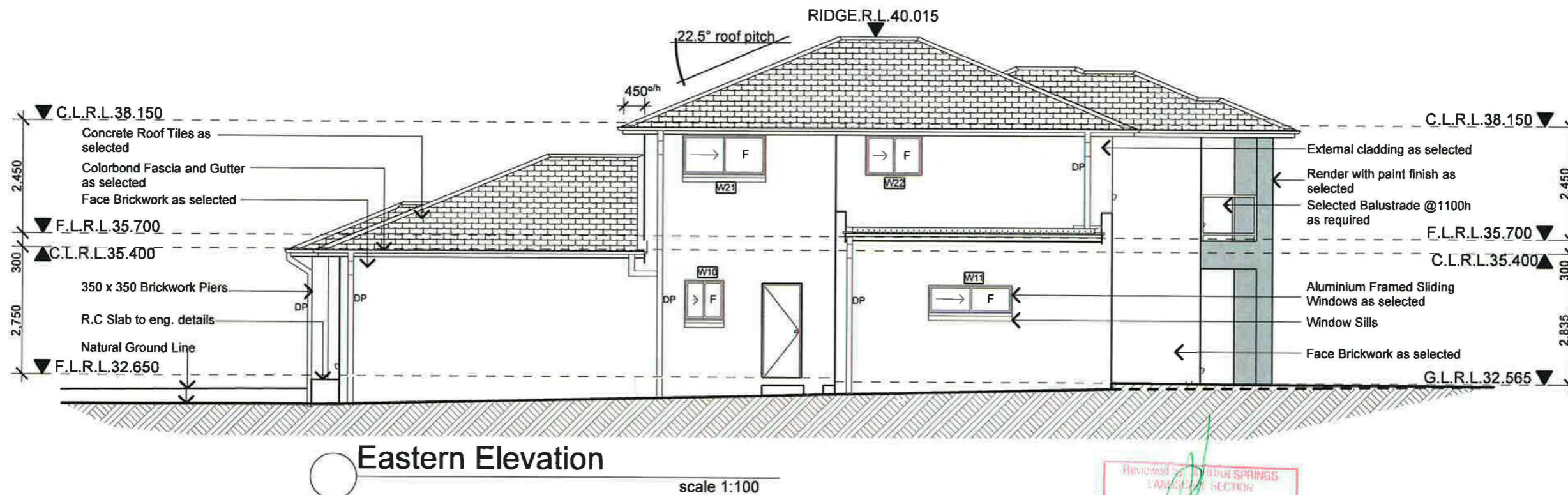
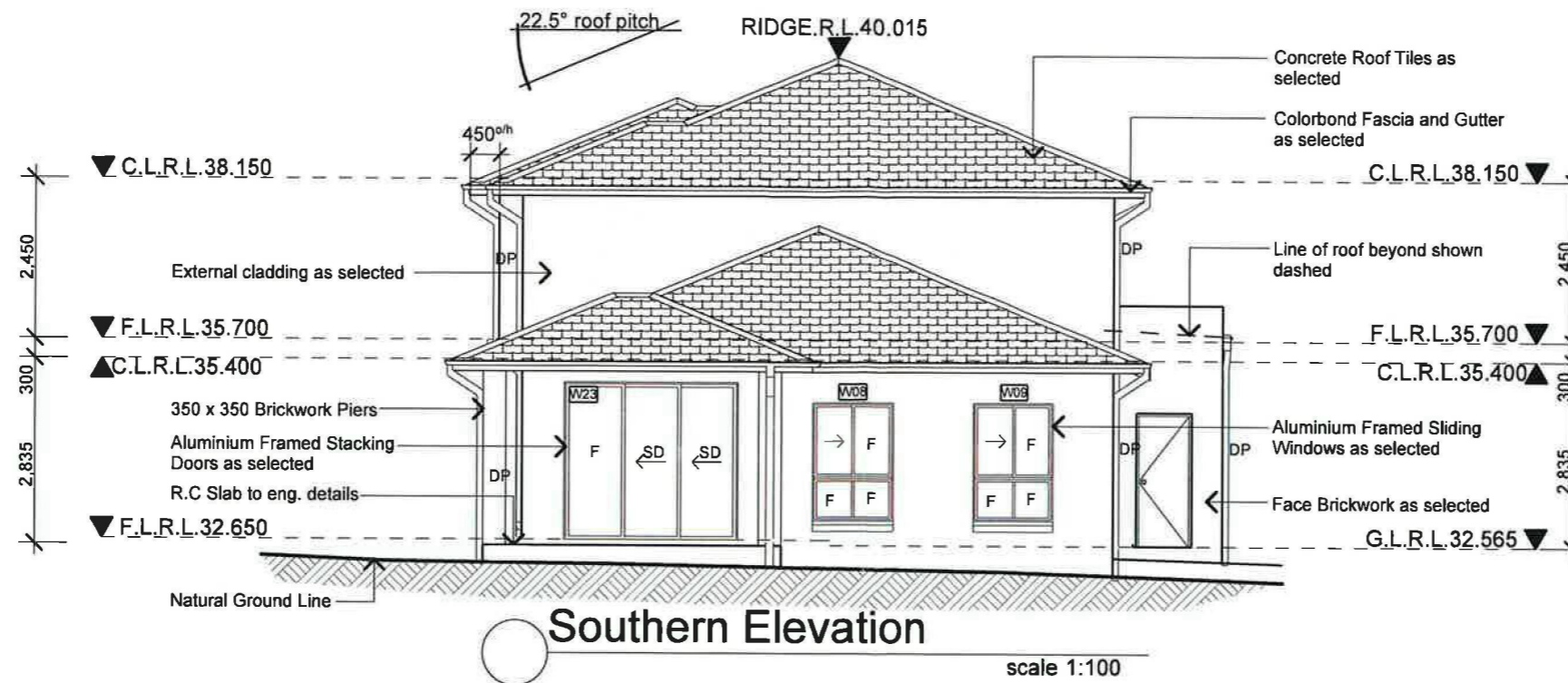
RENDER COLOUR TO BE PROVIDED ON EXTERNAL FINISHED SCHEDULE

Reviewed by: JORDAN SPRING LANDSCAPE SECTION  
20 AUG 2013  
SIGNED



DOORWAY MATERIAL REQUIRED TO MATCH FRAMING. SUITABLE GLASS SHOWN

Issue	Amendment	Date:	 Phone: (02) 9757 - 4002 Fax: (02) 9757 - 4003 Email: jr.design.drafting@gmail.com Address: 448 - 452 Victoria Street, Wetherill Park, NSW 2164	North:	General Notes All work shall be carried out strictly in accordance with The Building Code Of Australia, relevant S.A.A. codes & to the satisfaction of the regulatory authority. All levels, dimensions & areas are to be verified by the Builder, prior to the preparation of contracts & the commencement of any building works. Any discrepancies are to be brought to the attention of JR Design & Drafting, prior to the commencement of any building works.	Where Engineering Detail Plans are required, such must take preference to this drawing. Levels shown are approximate unless accompanied by reduced levels or Australian Height Datum Levels. Figured dimensions to be taken in preference to scaling. All Boundary clearances must be verified by Survey. Stormwater to be discharged to Councils requirements before any work commences. All services to be located & verified by the Builder with relevant Authorities before any work commences.	Proposed:	Drawing Title:	Revision:
A	Preliminary Plans for sign off	09.07.13		New Two Storey Residence Elevations		B			
B	Submission to Jordan Springs	28.07.13	Location: Lot 2190 in DP 1168993 Katandra Place, Jordan Springs, NSW	L.G.A.	Job No:				
				Client:	Drawn: JR Date: 28.07.2013 Scale: 1:100 Sheet: 6 of 10	LB1305			
							LB Homes		



Reviewed by JORDAN SPRINGS  
LAWSCAPE SECTION  
20 AUG 2013  
SCNED

Issue	Amendment	Date:	North:	General Notes	Proposed:	Drawing Title:	Revision:
A	Preliminary Plans for sign off	09.07.13		<p>All work shall be carried out strictly in accordance with The Building Code Of Australia, relevant S.A.A. codes &amp; to the satisfaction of the regulatory authority. All levels, dimensions &amp; areas are to be verified by the Builder, prior to the preparation of contracts &amp; the commencement of any building works. Any discrepancies are to be brought to the attention of JR Design &amp; Drafting, prior to the commencement of any building works.</p> <p>Where Engineering Detail Plans are required, such must take preference to this drawing. Levels shown are approximate unless accompanied by reduced levels or Australian Height Datum Levels. Figured dimensions to be taken in preference to scaling. All Boundary clearances must be verified by Survey. Stormwater to be discharged to Councils requirements before any work commences. All services to be located &amp; verified by the Builder with relevant Authorities before any work commences.</p>	<p>New Two Storey Residence</p>	<p>Southern Elevation Eastern Elevation</p>	<p>B</p>
B	Submission to Jordan Springs	28.07.13					
					<p>Client: LB Homes</p>	<p>Drawn: JR Date: 28.07.2013 Scale: 1:100 Sheet: 7 of 10</p>	<p>LB1305</p>

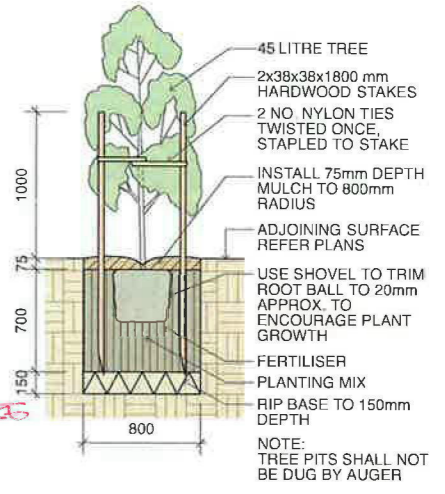
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Address: 448 - 452 Victoria Street, Wetherill Park. NSW 2164

Note:  
Builder shall check and verify all dimensions prior to the commencement of any work

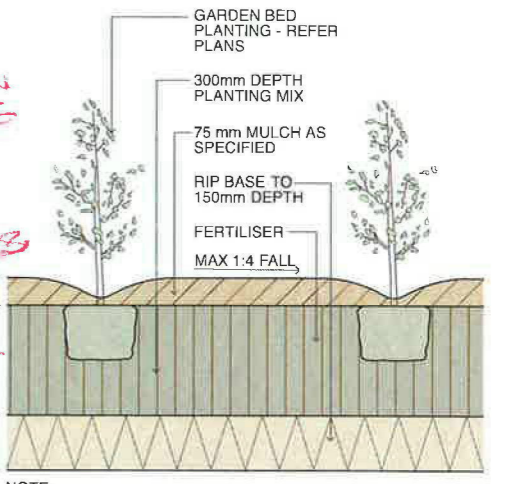
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**JORDAN SPRINGS - ILLOURA VILLAGE NOTES:**

- Any garden or lawn edging visible from the street is to be constructed of masonry textured or coloured bricks, blocks or coloured concrete – no timber edging is permitted.
- Any retaining walls visible from the street or 900mm high and over are to be of masonry construction.
- Vehicle crossovers are to be plain concrete to PCC specifications. 5m wide V.C for double garage and 3m wide V.C for single garage.
- All existing street trees and verge planting are to be protected during construction.



1 45 Litre Tree Planting scale 1:50



2 Planting Bed Detail scale 1:20

Reviewed by JORDAN SPRINGS LANDSCAPE ARCHITECTS  
23 AUG 2013  
SIGNED

ID	Qty	Common Name	Botanical Name	Size	Mature Height	Mature Spread	Native (N)
<b>Tree</b>							
TEE	1	Eumundi Quandong	Elaeocarpus eumundi	45Litre	6 - 8m	3.5 - 6m	N
TMG	1	Teddy Bear Magnolia	Magnolia grandiflora 'Teddy Bear'	45Litre	4 - 6m	2.0 - 3.5m	N
<b>Shrubs</b>							
SBM	11	Japanese Box	Buxus microphylla var japonica	200mm	0.6 - 0.8m	0.8 - 1.0m	
SCE	5	Scarlet Bottlebrush	Callistemon citrinus 'Endeavour'	200mm	3 - 5m	2.0 - 3.5m	N
SCL	12	Little John	Callistemon 'Little John'	200mm	0.9 - 1.5m	0.9 - 1.2m	N
SNN	5	Dwarf Sacred Bamboo	Nandina domestica 'Nana'	150mm	0.6m	0.8m	
SST	12	Tiny Trev	Syzygium australe 'Tiny Trev'	200mm	0.8 - 1m	0.6 - 0.8m	N
<b>Native Grasses &amp; Ground Covers</b>							
GBD	3	Break O Day	Brachycome multifida	150mm	0.45 - 0.6m	0.9 - 1.2m	N

NOTE : 70% OF NATIVE PLANT SPECIES ARE PROPOSED

**LEGEND**

- Proposed tree plantings
- Proposed shrub plantings
- Proposed groundcover & native grass plantings
- Coloured concrete driveway / path pavement
- Non slip patio pavement
- Proposed garden bed
- Proposed turfed area
- Coloured concrete flush edge or brick garden edge

**Notes:**

- Refer Architects drawings for pavement, walls, fence, steps, and levels
- Refer Engineers drawings for hydraulic information

**SPECIFICATION NOTES**

**PLANTING MATERIALS**  
**Planting Mix:**  
 Imported planting mix to planting beds is to comprise an approved soil mix of:  
 • 60% Soil mix (75% coarse sand and 25% blacksoil)  
 • 10% Mushroom compost  
 • 10% Composted sawdust  
 • 10% Pine bark fines  
 • 10% Composted manure

**Mulch:**  
 Mulch shall mean Hort-Bark (15mm grade), free from material derived from Privet, Willow, Poplar, Coral trees, or other noxious weeds. Any mulch exceeding the 25mm grade shall be rejected / removed from the site. Graded pine bark mulch (ANL code MHB) to be supplied by Australian Native Landscapes Pty Ltd Phone (02) 9450 1444, or approved equivalent.

**Plant Material:**  
 All plant material must be true to the species. No substitutes will be allowed. All plants shall be free of fungus and insect damage. All plants shall be healthy, well shaped, not soft or force grown and not root bound.

**Turfed areas:**  
 All new turfed areas are to be selected weed free Soft Leaf Buffalo (eg. Sir Walter). Turf shall be laid neatly butted with staggered joints, flush with adjacent surfaces and have even running falls to all drainage points.  
 All new turfed area shall have a minimum 150mm depth of weed free top soil, placed and levelled prior to turfing.

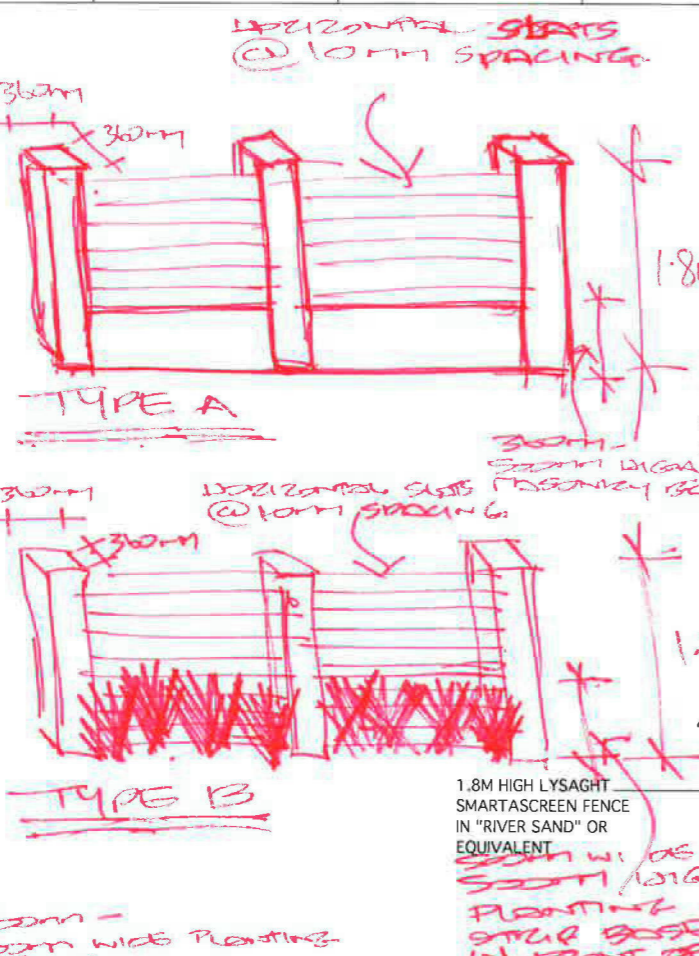
**PREPARATION AND HARDWORKS**  
**Excavating for Spot Planting**  
 To planting areas, excavate a hole for each plant large enough to provide not less than twice the depth and twice the diameter than the root ball of species to be planted.

**Staking**  
 Use durable hardwood, straight, free from knots or twists, pointed at one end. Drive stakes into the ground a minimum one third of their length, avoiding damage to the root system.  
 • 45 Litre trees in 2 x 38x38x1800mm Hardwood Stake with double Nylon tie  
**TIES:** Provide a 50mm wide Nylon webbing tie per stake, fixed securely to the stakes, one tie at half the height of the main stem and the other as necessary to stabilise the plant.

**Coloured concrete Edge**  
**MATERIALS:** Concrete to be dark grey colour.  
**INSTALLATION:** Supply and install 100 x 150mm reinforced flush concrete kerb to locations as approved on site by the Superintendent. Provide flexible joints at maximum 3 metre intervals in colour to match concrete. Lightly expose aggregate through rinsing / sponging. Tool finish exposed edges with 10mm pencil round to prevent chipping.

**MAINTENANCE / PLANT ESTABLISHMENT**  
 - Landscape Contractors to provide 13 weeks for maintenance / plant establishment period. Carry out recurrent works of a maintenance nature including, but not limited to, watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, returfing, staking and tying, replanting, cultivating, pruning, hedge clipping, top dressing, and keeping the site neat and tidy.

**NOTE:**  
 - All finished levels are to be verified by Contractor on site.  
 - All landscape works be in strict accordance with Council's landscape code and guidelines  
 - This plan to be used in conjunction with all other submitted architectural, hydraulics and engineering drawing where applicable.



"All internal fencing and side gates/returns are to be set back a minimum of 7.5m from the front boundary or 2m behind the adjacent façade - whichever is furthest back".

Secondary plantings to be specified in accordance with Iloura Village Guidelines.

TYPE A OR TYPE B IS TO BE SPECIFIED PROVIDES DETAIL ON LANDSCAPE PLAN.

POST + RAIL MUST BE PROVIDED ON INSIDE OF FENCING NOT TO STREET

**GENERAL NOTES:**

- Do not scale of drawings. Follow written dimensions. If in doubt obtain written advice from the Superintendent.
- Verify all dimensions on site.
- Refer to legend for all symbol and code keys.
- Read in conjunction with the specifications
- Read in conjunction with all associated drawings

DESIGNED:	GD	PREPARED FOR:	LB HOMES
DRAWN:	CL	DATE:	05.08.13
ISSUE:	AMENDMENT	DRAWN:	DATE
A	FOR APPROVAL	CL	05.08.13

LANDSCAPE ARCHITECTS:  
**GREENLAND DESIGN** Pty Ltd  
 ABN 73 139 152 855  
 Landscape Architect: C. Ly I AILA  
 Mob.: 0403 164 198

PROJECT:  
**NEW TWO STOREY RESIDENCE**

PROJECT ADDRESS:  
 LOT 2190 ADINA STREET, JORDAN SPRINGS

DRAWING TITLE:  
**Landscape Plan**

DATE:  
**AUGUST 2013**

SCALE: 1:200  
 FULL SIZE: A3

ISSUE:  
**A**

DRAWING NO:  
**LB1305.L.01**

