JORDAN SPRINGS RETIREMENT VILLAGE

STAGE 1 S4.55 AMENDMENT PLANS

SHEET 02 - MASTER SITE PLAN
SHEET 03 - PART SITE PLAN
SHEET 04 - PART SITE PLAN
SHEET 05 - PART SITE PLAN
SHEET 06 - PART SITE PLAN
SHEET 07 - PART SITE PLAN
SHEET 08 - STREETSCAPE ELEVATIONS
SHEET 09 - STREETSCAPE ELEVATIONS

SHEET 01 - SITE ANALYSIS PLAN

SHEET 11 - SHADOW DIAGRAMS - 9 AM SHEET 12 - SHADOW DIAGRAMS - 10 AM SHEET 13 - SHADOW DIAGRAMS - 11 AM SHEET 14 - SHADOW DIAGRAMS - 12 PM SHEET 15 - SHADOW DIAGRAMS - 1 PM SHEET 16 - SHADOW DIAGRAMS - 2 PM SHEET 17 - SHADOW DIAGRAMS - 3 PM SHEET 18 - BASIX & FENCING DETAILS

SHEET 10 - STREETSCAPE ELEVATIONS

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Jordan Springs Boulevard
Jordan Springs, NSW
2747

www.nathers.gov.au

AMENDED PLANS 18.7.2019 ISSUED FOR S4.55 AMENDMENT 29.5.2019 ISSUED FOR COORDINATION 22.5.2019 ISSUED FOR REVIEW 13.3.2019 CHANGES TO LOT BOUNDARY/ROADWAY 2.9.2018 ISSUED FOR DA 27.6.2018 ISSUED FOR DA 5.6.2018 PRELIMINARY DA 315.2018 REVISED LOT LAYOUT 30.4.2018 5.4.2018 REVISED LOT LAYOUT REVISED LOT LAYOUT 27.3.2018 CONCEPT YELD 213.2018 CONCEPT YELD 7.2.2018 CONCEPT YELD 1612018 **REV DESCRIPTION** DATE

JORDAN SPRINGS RETIREMENT VILLAGE

JORDAN SPRINGS BOULEVARD
JORDAN SPRINGS

LEND LEASE

drawing N°:

AND-28405

revision:

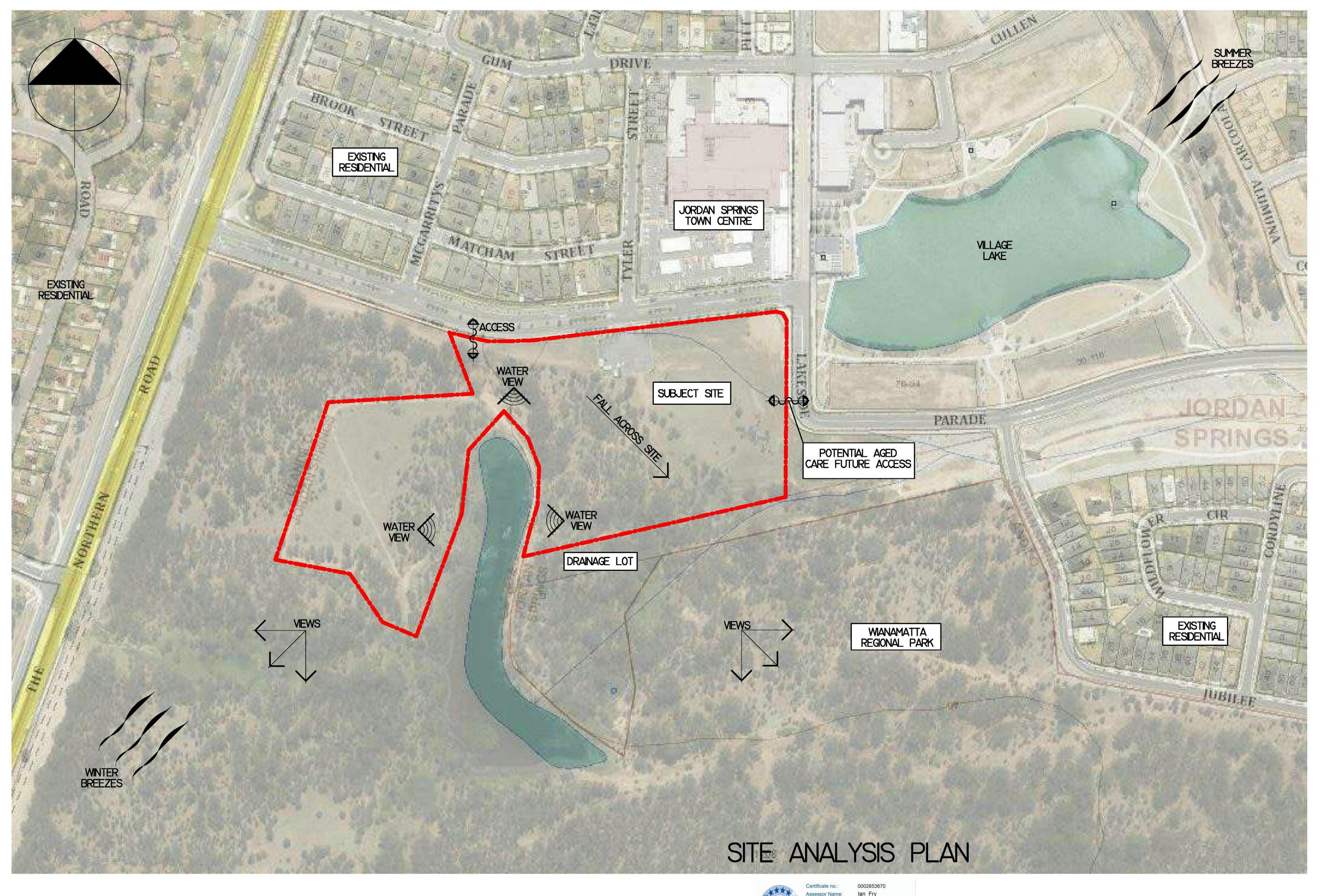
sheet:





LEVEL 2 SUITE 216 MACARTHUR POINT
NO. 25-27 SOLENT CRCUT BAULKHAM HILLS
P.O BOX 6410 BAULKHAM HILLS BUSINESS CENTRE
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G 315.18 PRELMINARY DA
F 30.4.18 REVISED LOT LAYOUT
C 21.3.18 CONCEPT YIELD
B 7.2.18 CONCEPT YIELD
A 16.118 CONCEPT YIELD

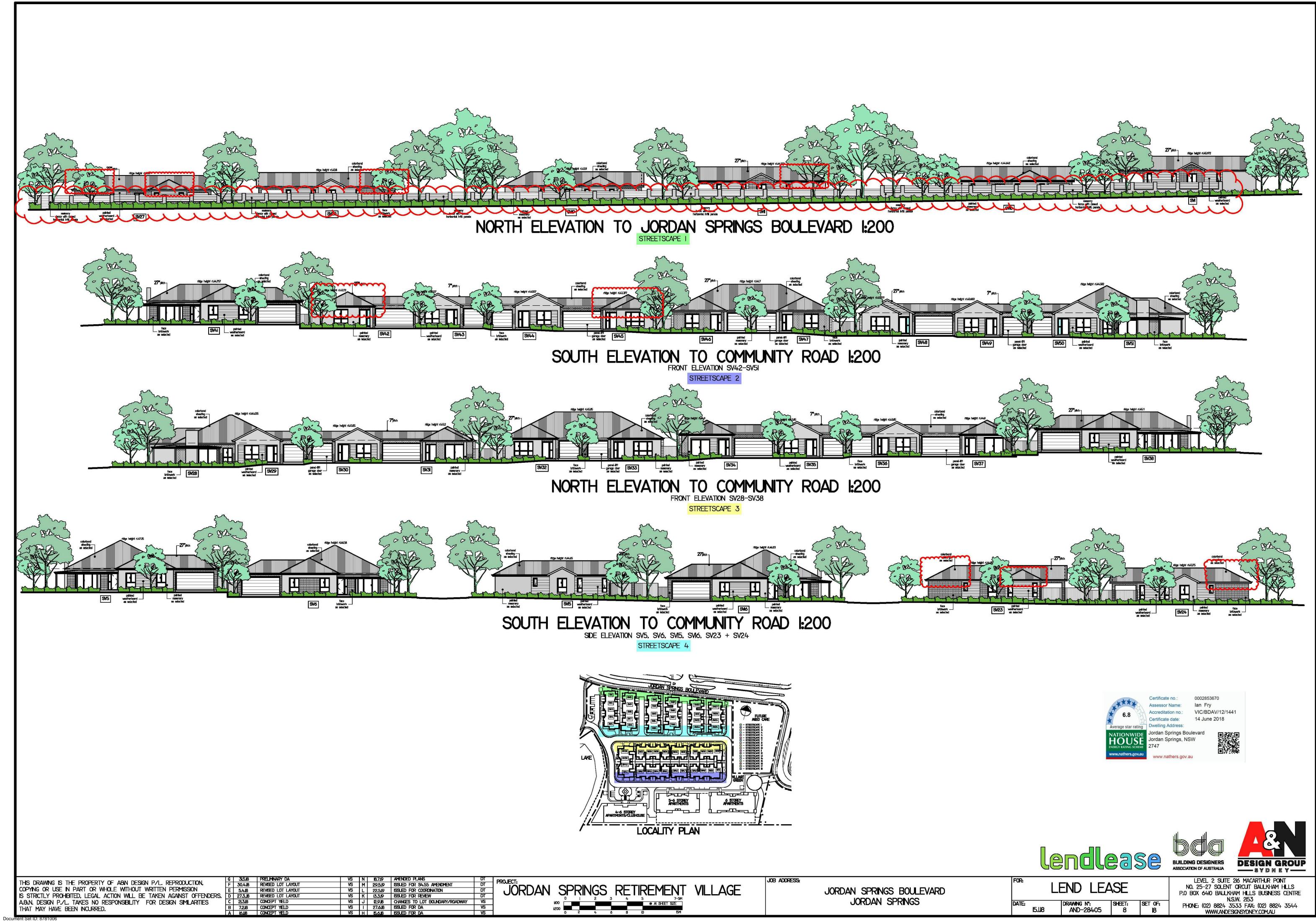
G 3L5JB PRELIMNARY DA VS N 18,7J9 AMENDED PLANS
F 30,4JB REVISED LOT LAYOUT VS M 29,5J9 ISSUED FOR S4,55 AMENDMENT
E 5,4JB REVISED LOT LAYOUT VS L 22,5J9 ISSUED FOR COORDINATION

RS. D 27,3JB REVISED LOT LAYOUT VS K 13,3J9 ISSUED FOR REVIEW
C 21,3JB CONCEPT YIELD VS J 12,9JB CHANGES TO LOT BOUNDARY/ROADWAY
B 7,2JB CONCEPT YIELD VS I 27,6JB ISSUED FOR DA
A 16JJB CONCEPT YIELD VS H 5,6JB ISSUED FOR DA

JORDAN SPRINGS BOULEVARD JORDAN SPRINGS LEND LEASE

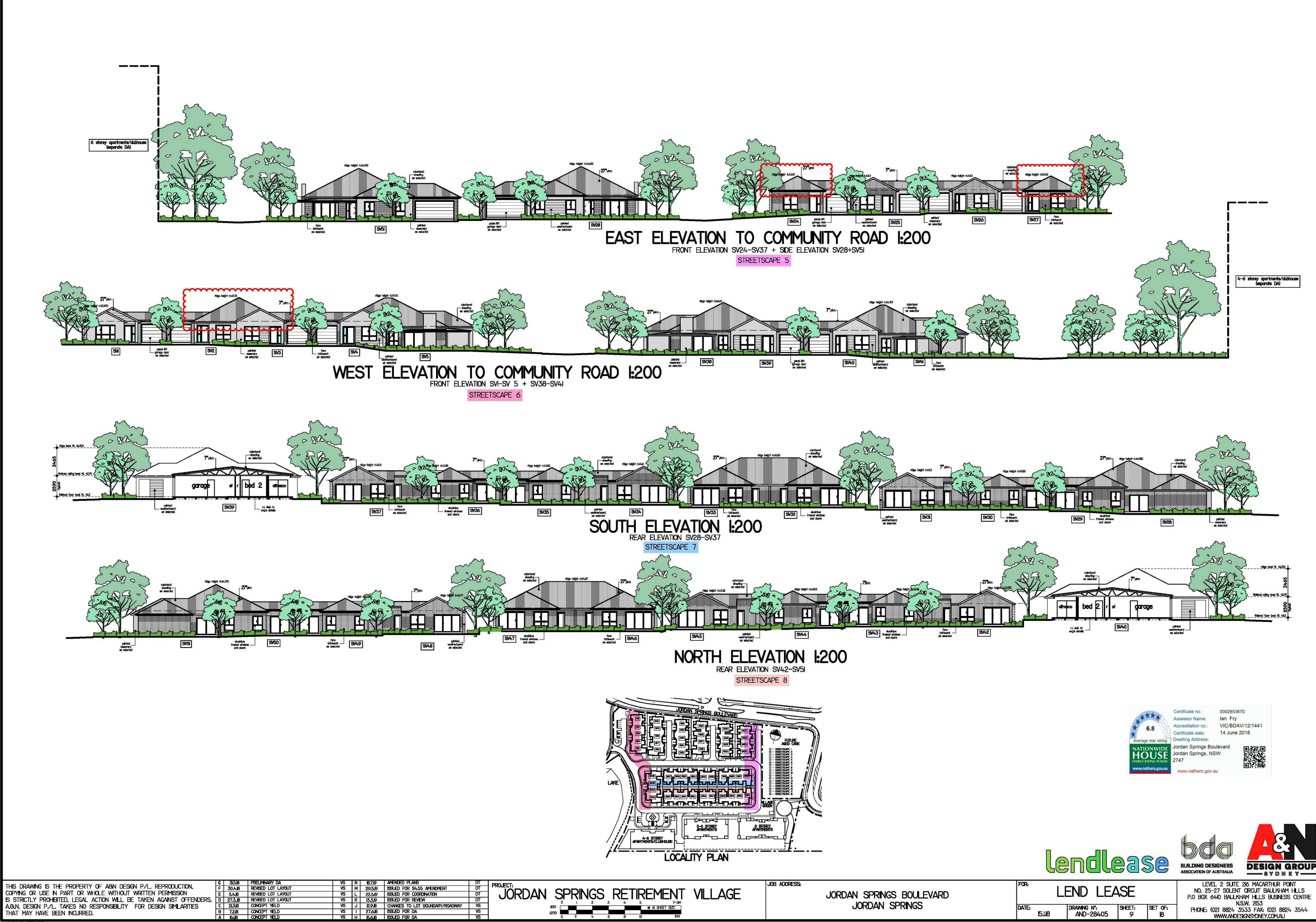
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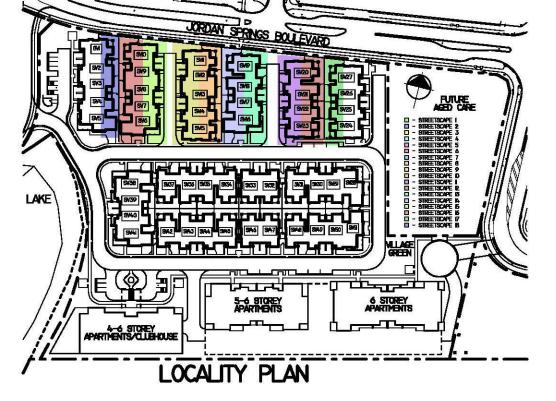
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VS M 29.5.19 AMENDED PLANS
VS M 29.5.19 ISSUED FOR \$4.55 AMENDMENT
VS L 22.5.19 ISSUED FOR COORDINATION
VS K 13.3.19 ISSUED FOR REVIEW
VS J 12.9.18 CHANGES TO LOT BOUNDARY/ROADWAY
VS I 27.6.18 ISSUED FOR DA
VS H 5.6.18 ISSUED FOR DA

G 3L5J8 PRELIMNARY DA
F 30.4.18 REVISED LOT LAYOUT
E 5.4.18 REVISED LOT LAYOUT
D 27.3.18 REVISED LOT LAYOUT
C 2L3J8 CONCEPT YIELD
B 7.2.18 CONCEPT YIELD
A ISJUS CONCEPT YIELD

SPRINGS RETIREMENT VILLAGE

JORDAN SPRINGS BOULEVARD

JOB ADDRESS:

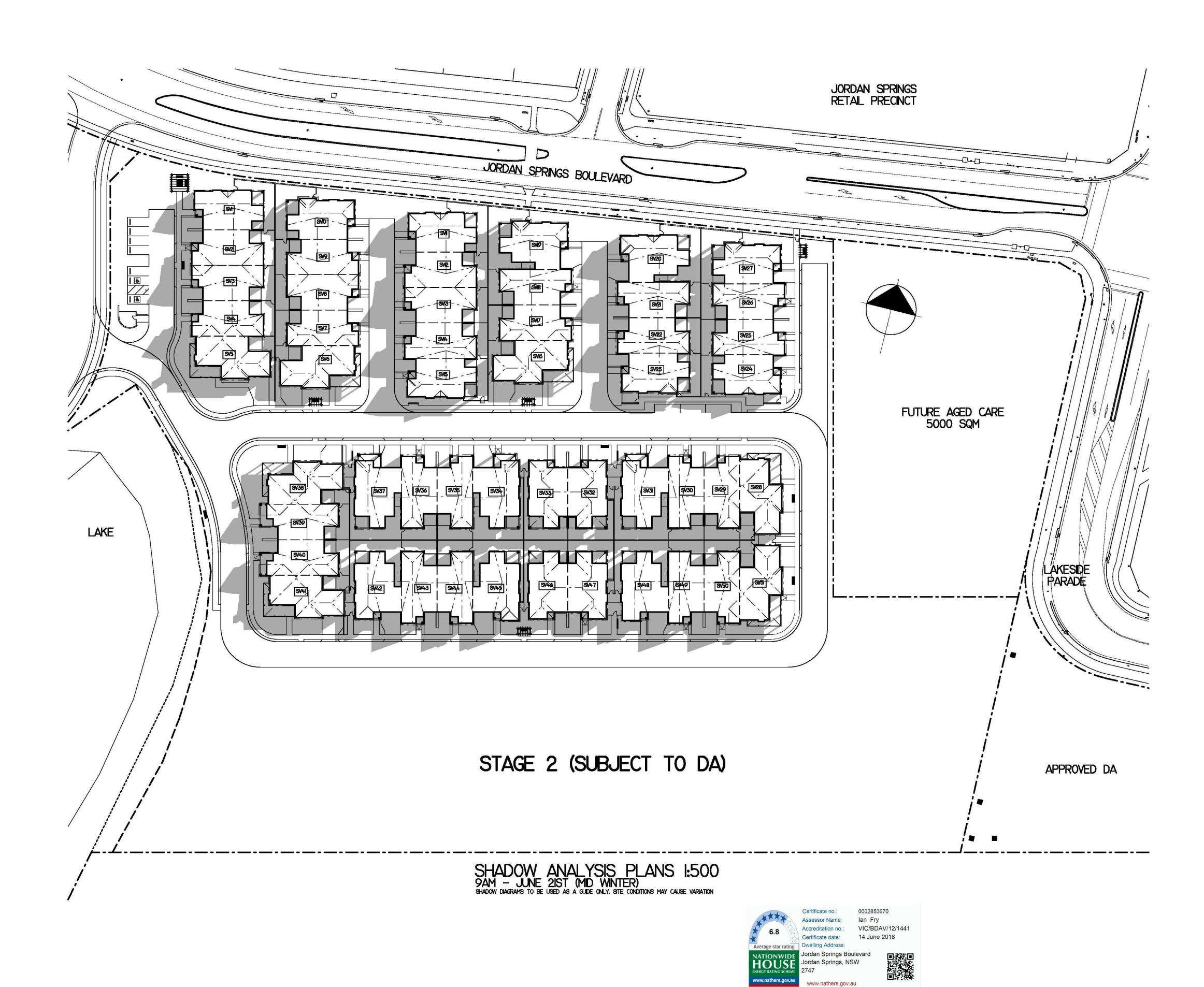
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LEVEL 2 SUITE 216 MACARTHUR POINT NO. 25-27 SOLENT CRCUT BAULKHAM HILLS P.O BOX 6410 BAULKHAM HLLS BUSINESS CENTRE PHONE: (02) 8824 3533 FAX: (02) 8824 3544 WWW.ANDESIGNSYDNEY.COM.AU

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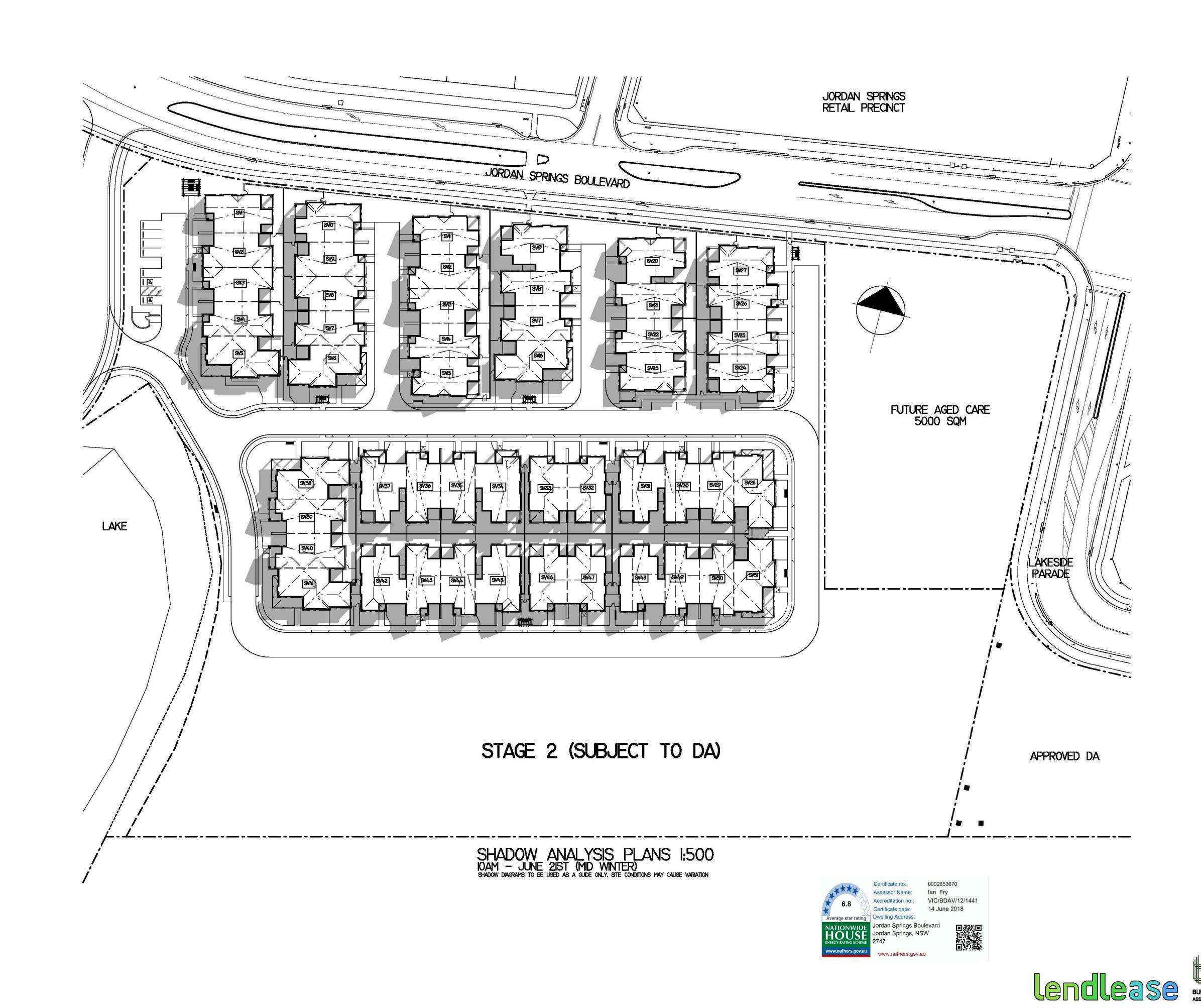
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DRAWING Nº: SHEET: SET OF: 18

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VS N 18.7.19 AMENDED PLANS
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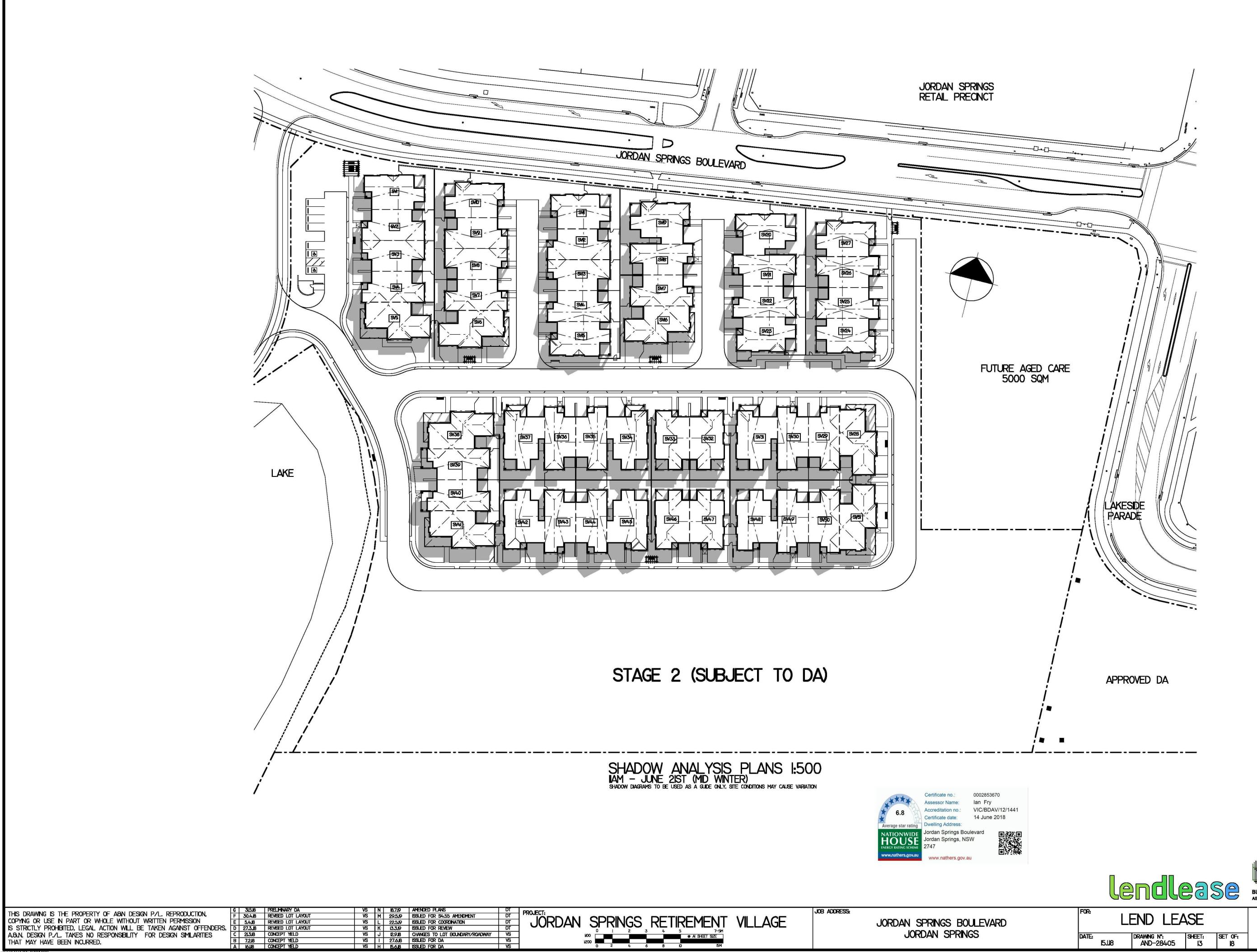
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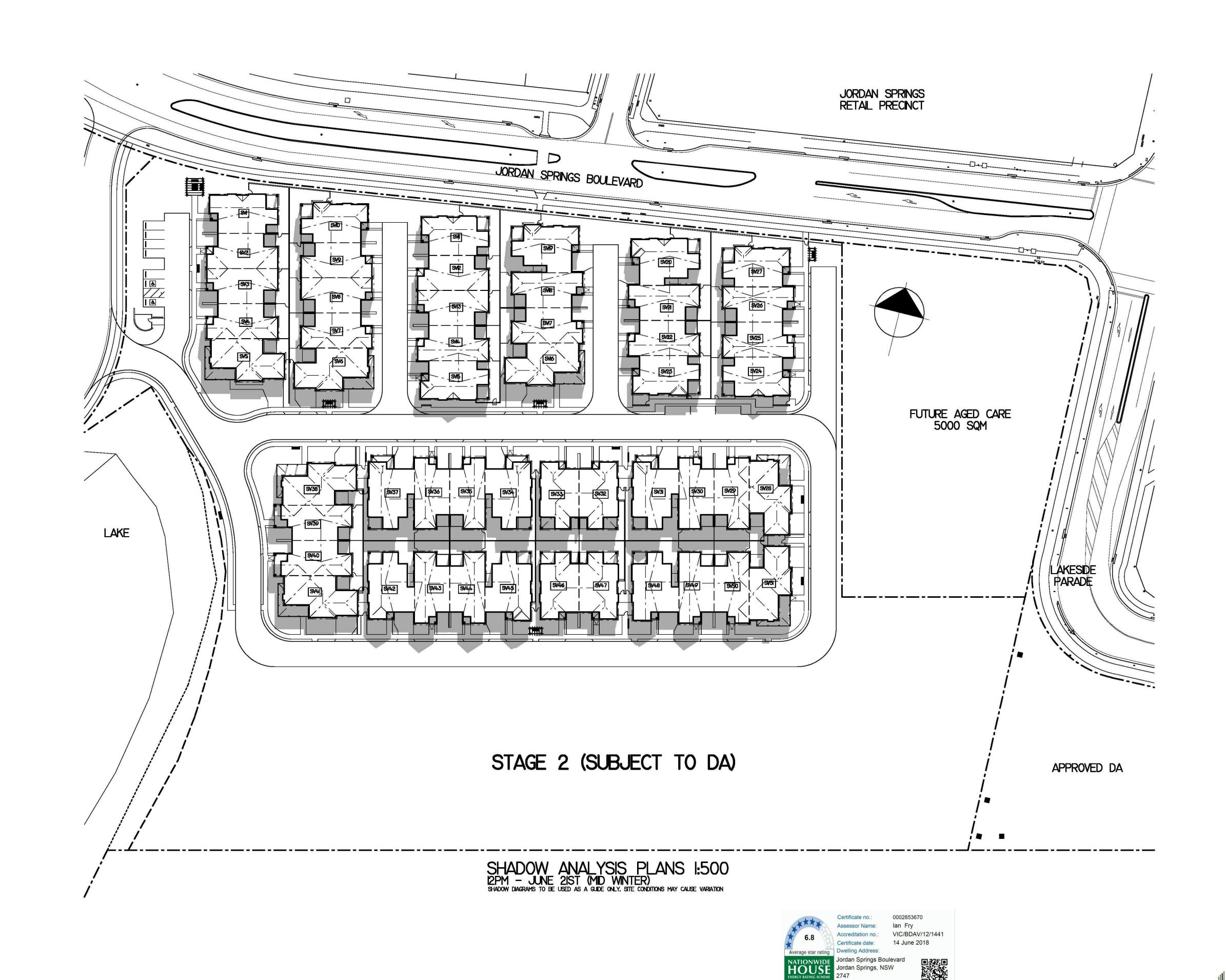


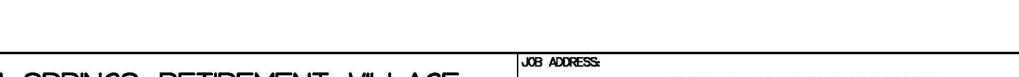
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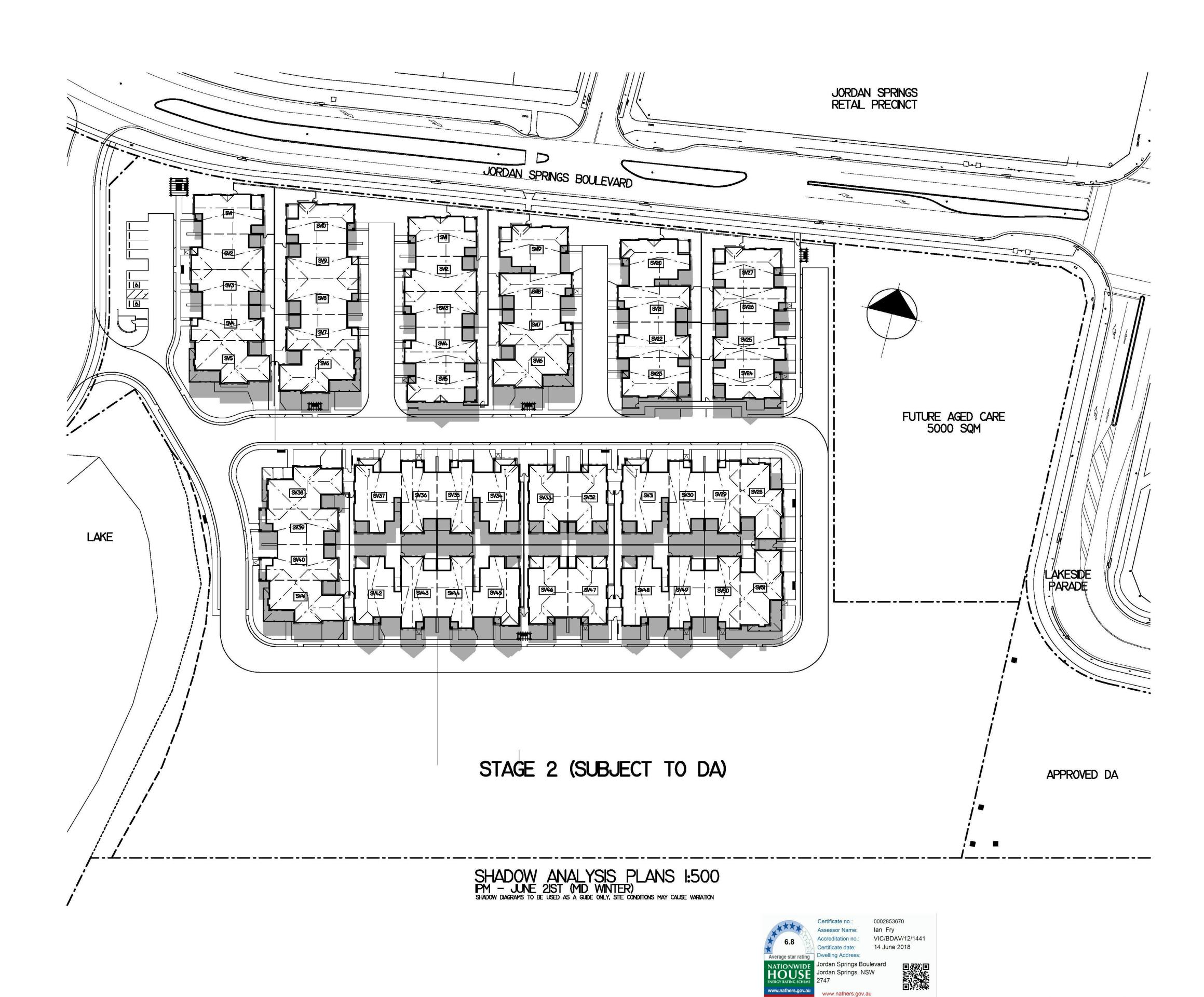
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A 16.118 CONCEPT YIELD

VS N 18.7.19 AMENDED PLANS
VS M 29.5.19 ISSUED FOR S4.55 AMENDMENT
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VS J 12.9.18 CHANGES TO LOT BOUNDARY/ROADWAY
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DRAWING N°: AND-28405









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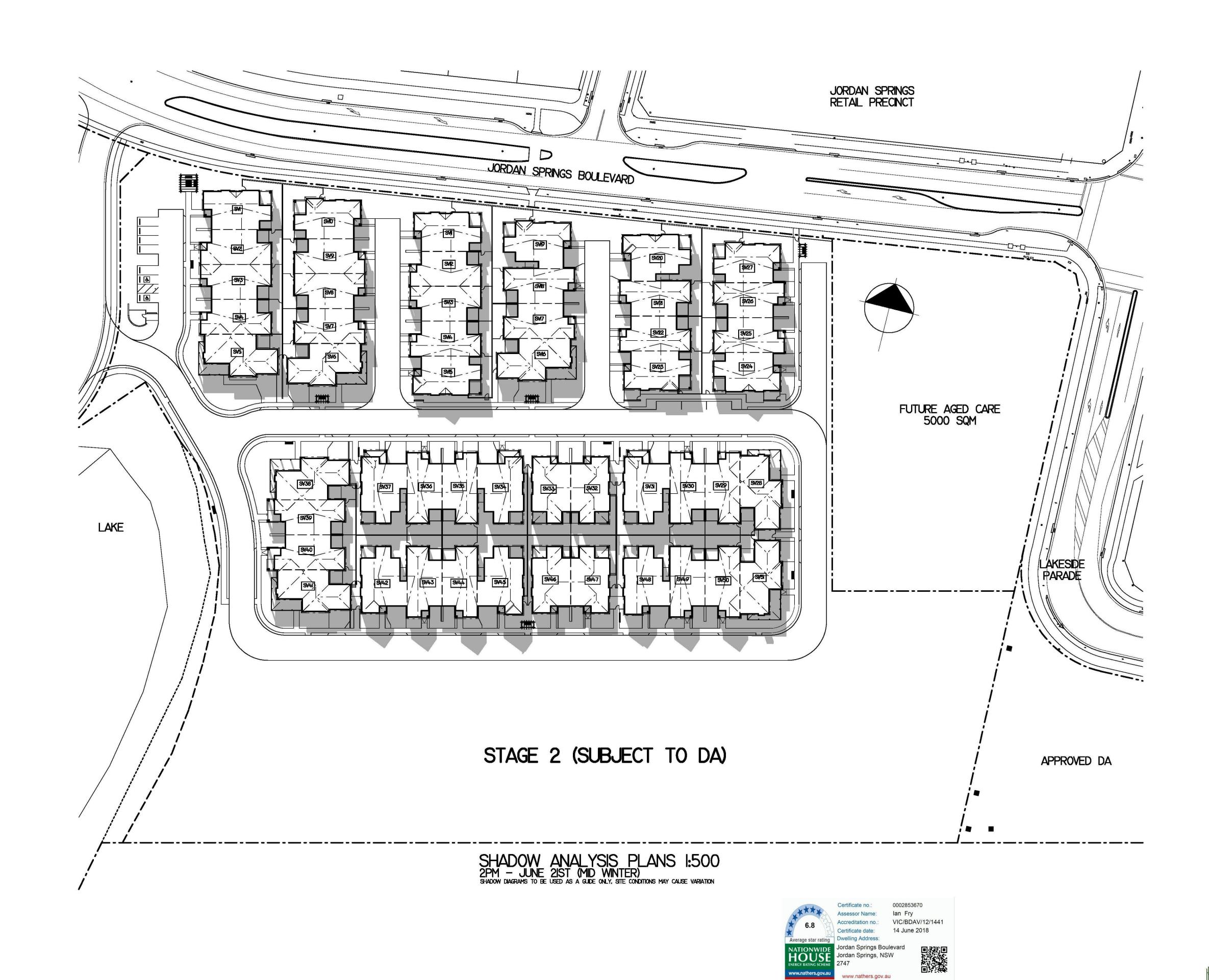
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DRAWING Nº: SHEET: SET OF:
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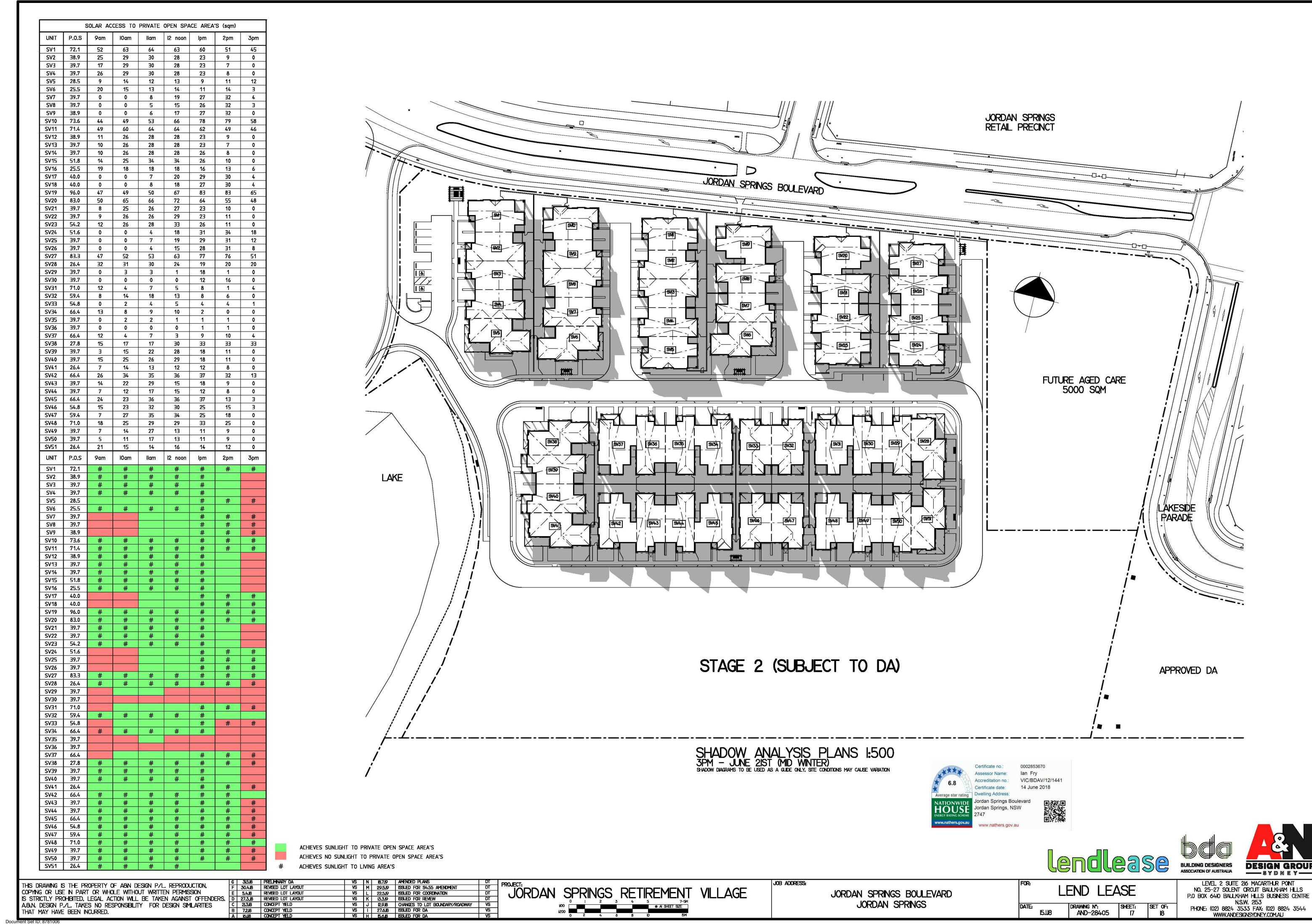
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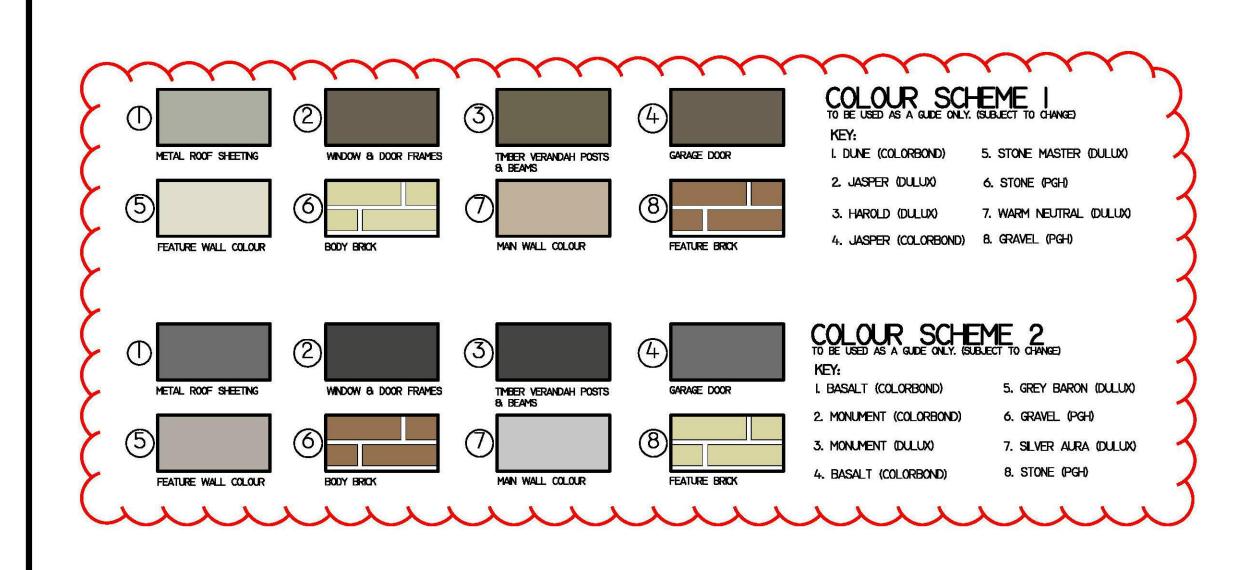
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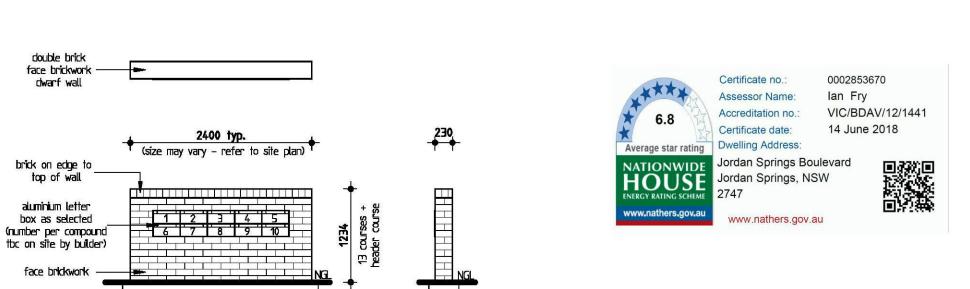
JORDAN SPRINGS BOULEVARD

JORDAN SPRINGS

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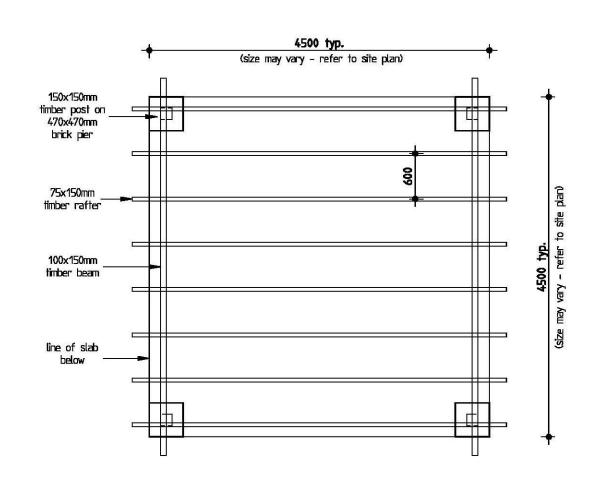


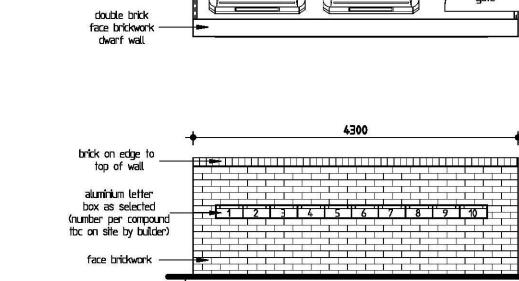




LETTERBOX COMPOUND DETAIL **SCALE 1:50**

r.c. strip footing shown dotted to eng's details



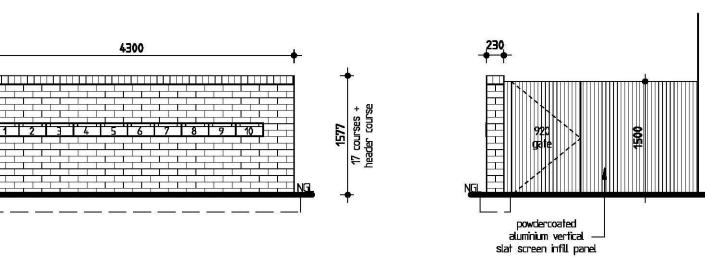


powdercoated aluminium vertical ——•

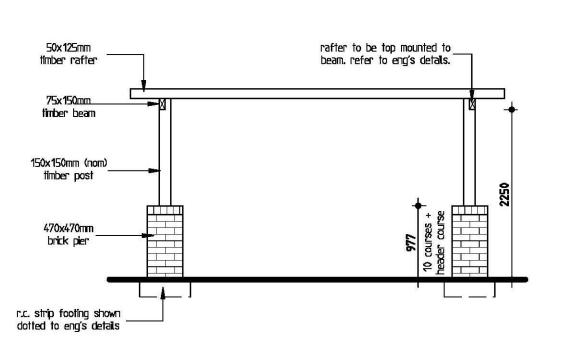
stat screen infill panel

r.c. strip footing shown

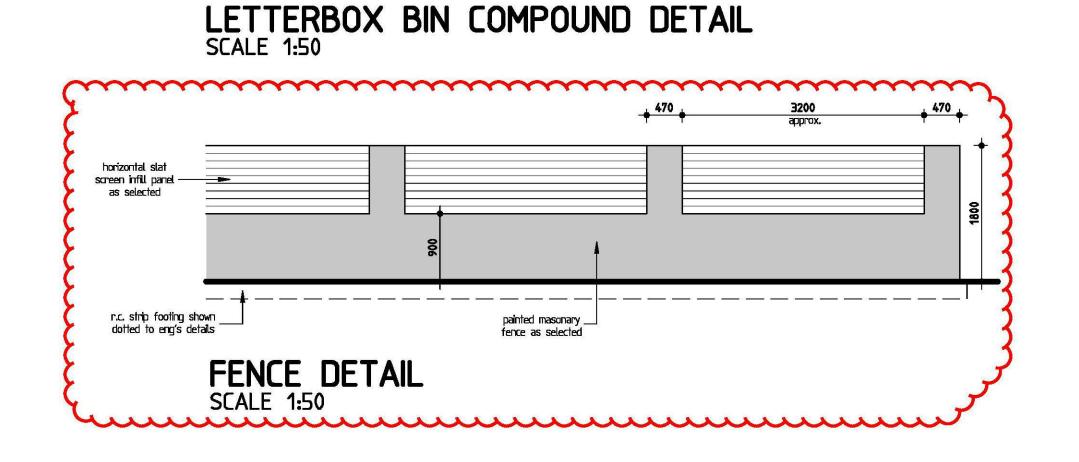
dotted to eng's details



compound



PERGOLA/ARBOR DETAIL SCALE 1:50



BASIX Certificate

Multi Dweiling
Certificate number: 936259M
This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments have the meaning given by the document entitled "BASIX Definitions" dated 06/10/2017 published by the Department. This document is available at

at out below. Terms used in this certificate, or in the commitments, and given by the document entitled "BASIX Definitions" dated	No. of units in residential flat buildings	0
ished by the Department. This document is available at	No. of multi-dwelling houses	51
gov.au	No. of single dwelling houses	0
	Project score	
au , 18 June 2018 ate must be lodged within 3 months of the date of issue.	Water	✓ 50
	Thermal Comfort	✓ Pass
ing &	Energy	✓ 50

No. of residential flat building

Certificate Prepared by	
Name / Company Name: Frys Energywise	

Jordan Springs Boulevard Jordan Springs

Penrith City Council

Schedule of BASIX commitments 1. Commitments for multi-dwelling houses

(a) Dwellings
(i) Water
(ii) Energy
(iii) Thermal Comfort
2. Commitments for single dwelling houses
3. Commitments for common areas and central systems/facilities for the development (non-building spe
(i) Water
(ii) Energy

					_
(e) The applicant must s certificate, if applical development which		~			
(f) The applicant must of Certificate, and in accertificate which were		~	~		
(g) Where there is an in-	~	~	~		
(bb) On a susper					
ougus or an					
	construct the floors and walls of the development in accordance with the s	specifications listed in the table	~	~	~
(h) The applicant must of	construct the floors and walls of the development in accordance with the s	specifications listed in the table Thermal loads	~	~	~
(h) The applicant must obelow.	construct the floors and walls of the development in accordance with the s		load (in mJ/m	√	•
(h) The applicant must of		Thermal loads	load (in mJ/m	V Hyr)	•
(h) The applicant must obelow.	Area adjusted heating load (in mJ/m²/yr)	Thermal loads Area adjusted cooling	load (in mJ/m	✓	_
(h) The applicant must of below.	Area adjusted heating load (in mJ/m²/yr) 35.7	Thermal loads Area adjusted cooling 28.6	load (in mJ/m	llye)	_
(h) The applicant must obelow. Dwelling no.	Area adjusted heating load (in mJ/m²/yr) 35.7 37.2	Thermal loads Area adjusted cooling 28.6 22.7	load (in mJ/m	✓	
(h) The applicant must obelow. Dwelling no.	Area adjusted heating load (in mJ/m²/yr) 35.7 37.2 38.7	Thermal loads Area adjusted cooling 28.6 22.7 22.6	load (in mJ/m	√	
(h) The applicant must obelow. Dwelling no.	Area adjusted heating load (in mJ/m ² /yr) 35.7 37.2 38.7 40.7	Thermal loads Area adjusted cooling 28.6 22.7 22.6 23.4	load (in mJ/m	lyr)	•

(c) The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX Certificate, including the details shown in the "Thermal Loads" table below.

(d) The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Thermal Comfort Protocol requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor, to certify that this is the case.

(iii) Thermal Comfort

D. J. Martin		O			
Project address		Common area landscape	Option -		
Project name	Lot 3991 Jordan Springs Blvd	Common area lawn (m²)	0.0		
Street address	Jordan Springs Boulevard Jordan Springs 2747	Common area garden (m²)	0.0		
Local Government Area	Penrith City Council	Area of indigenous or low water use species (m²)	*		
Plan type and plan number	deposited 1190132	Assessor details	500		
Lot no.	3991	Assessor number	BDAV/12/1441		
Section no.	187	Certificate number	0002853670		
Project type		Climate zone	28		
No. of residential flat buildings	0	Project score	lass.		
No. of units in residential flat buildings	0	Water	✓ 50	Target 40	
No. of multi-dwelling houses	51	774.03	> 50	1 arget 40	
No. of single dwelling houses	0	Thermal Comfort	✓ Pass	Target Pass	
Site details		Energy	- 4 50	Target 50	
Site area (m²)	10830	z.o.gy	✓ 50	rarget 50	
Roof area (m²)	7100				
Non-residential floor area (m²)	-				
Residential car spaces	2				
Non-residential car spaces					

0.0		(a) Dwellings			
0.0		(i) Water	Show on	Show on CC/CDC	Certifier
			DA plans	plans & specs	check
		(a) The applicant must comply with the commitments listed below in carrying out the development of a dwelling listed in a table below.			
BDAV/12/1441		(b) The applicant must plant indigenous or low water use species of vegetation throughout the area of land specified for the dwelling in the "Indigenous species" column of the table below, as private landscaping for that dwelling. (This area of indigenous vegetation is to be contained within the "Area of garden and lawn" for the dwelling specified in the "Description of Project" table).	~	~	
0002853670		(c) If a rating is specified in the table below for a fixture or appliance to be installed in the dwelling, the applicant must ensure that each such fixture and appliance meets the rating specified for it.		~	~
		(d) The applicant must install an on demand hot water recirculation system which regulates all hot water use throughout the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below.		~	V
✓ 50	Target 40	(e) The applicant must install:			
✓ Pass	Target Pass	(aa) a hot water diversion system to all showers, kitchen sinks and all basins in the dwelling, where indicated for a dwelling in the "HW recirculation or diversion" column of the table below; and		~	~
√ 50	Target 50	(bb) a separate diversion tank (or tanks) connected to the hot water diversion systems of at least 100 litres. The applicant must connect the hot water diversion tank to all toilets in the dwelling.		~	~
		(e) The applicant must not install a private swimming pool or spa for the dwelling, with a volume exceeding that specified for it in the table below.	~	~	
		(f) If specified in the table, that pool or spa (or both) must have a pool cover or shading (or both).		~	
		(g) The pool or spa must be located as specified in the table.	~	~	
		(h) The applicant must install, for the dwelling, each alternative water supply system, with the specified size, listed for that dwelling in the table below. Each system must be configured to collect run-off from the areas specified (excluding any area which supplies any other alternative water supply system), and to divert overflow as specified. Each system to be connected as specified.	~	~	~

Schedule of BASIX commitments

Dwelling no.	Area adjusted heating load (in mJ/m²/yr)	Area adjusted cooling load (in mJ/m²/yr)
11	36.0	28.1
12	37.5	21.9
13	39.0	22.1
15	55.7	24.1
16	55.5	25.5
18	51.8	23.8
19	46.2	28.0
20	44.5	26.3
21	47.3	23.1
23	54.7	26.0
24	53.6	30.5
25	44.6	23.9
26	47.0	24.0
27	39.4	32.6
28	32.5	32.2
29	47.2	18.4
31	55.7	19.1
32	52.8	20.2
33	55.3	19.8
34	55.4	18.0
35	52.2	19.0
37	55.0	18.9
38	48.8	29.2
39	44.5	20.8
40	43.8	20.9
41	42.8	32.9
42	54.2	22.3

Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)	Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)	Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)	Dwelling no.	No. of bedrooms	Conditioned floor area (m²)	Unconditioned floor area (m²)	Area of garden & lawn (m²)	Indigenous species (min area m²)
1	2	107.0	4.0	25.0	-	2	2	99.0	5.0	25.0	-	3	2	99.0	5.0	25.0		4	2	99.0	5.0	25.0	-
5	2	107.0	4.0	25.0	-	6	2	107.0	4.0	25.0		7	2	99.0	5.0	25.0	-	8	2	99.0	5.0	25.0	
9	2	99.0	5.0	25.0	-	10	2	107.0	4.0	25.0		11	2	107.0	4.0	25.0	-	12	2	99.0	5.0	25.0	-
13	2	99.0	5.0	25.0	-	14	2	99.0	5.0	25.0		15	2	107.0	4.0	25.0	-	16	2	107.0	4.0	25.0	•
17	2	99.0	5.0	25.0	-	18	2	99.0	5.0	25.0		19	2	99.0	5.0	25.0	-	20	2	99.0	5.0	25.0	
21	2	99.0	5.0	25.0	-	22	2	99.0	5.0	25.0		23	2	107.0	4.0	25.0	-	24	2	107.0	4.0	25.0	-
25	2	99.0	5.0	25.0	-	26	2	99.0	5.0	25.0		27	2	107.0	4.0	25.0		28	2	107.0	4.0	25.0	
29	2	99.0	5.0	25.0	-	30	2	99.0	5.0	25.0		31	2	99.0	5.0	25.0	-	32	2	107.0	4.0	25.0	-
33	2	107.0	4.0	25.0	-	34	2	99.0	5.0	25.0		35	2	99.0	5.0	25.0	-	36	2	99.0	5.0	25.0	-
37	2	99.0	5.0	25.0	-	38	2	107.0	4.0	25.0		39	2	99.0	5.0	25.0	-	40	2	99.0	5.0	25.0	
41	2	107.0	4.0	25.0	-	42	2	99.0	5.0	25.0		43	2	99.0	5.0	25.0	-	44	2	99.0	5.0	25.0	-
45	2	99.0	5.0	25.0		46	2	107.0	4.0	25.0		47	2	107.0	4.0	25.0	-	48	2	99.0	5.0	25.0	-
49	2	99.0	5.0	25.0	-	50	2	99.0	5.0	25.0	-	51	2	107.0	4.0	25.0	-						

All dwellings	3 star (> 4.5 but <= 6	4 star	5 star	5 star	no	-	-	-	-			-		•	1-0)
	L/min)														
							Alternative v	vater source	Ð						
Dwelling r		ernative wate oply systems		Size	Configurati	on			andscape onnection		tion Conf	ndry nection	Pool top-u	Р	Spa top
All dwelling	s indi	vidual water t	tank (no.	Tank size (min) 2000.0 litres		n-off from at I metres of roo		У	es	yes	yes		no		no
None							2	-		-	-		-		
(ii) Energy											Show on DA plans		w on CC		Certific
(a) The a	oplicant m	nust comply w	ith the cor	nmitments list	ed below in carry	ring out the de	evelopment of	a dwelling lis	ted in a ta	ble below.	DA pians	pian	s & spe	cs	check
suppl	ed by tha	t system. If th	e table sp	ecifies a centra	cified for the dwe al hot water syste not water is supp	em for the dw	elling, then the				~		V		-
					and laundry of th ave the operatio				ied for tha	t room in			V		-
areas	heading oling or he	s of the "Cool eating system	ing" and "I is specifie	Heating" colum ed in the table	tem/s specified ins in the table b for "Living areas e an air condition	elow, in/for al or "Bedroom"	least 1 living/t areas", then r	edroom are no systems n	a of the dy	velling. If talled in			~		~

				Therma	al loads		
Dwelling no.		Area adjust	ted heating load (in mJ/m²/yr)		Area	adjusted cooling load (in mJ/	m²/yr)
44		52.0			25.0		
45		55.4			18.6		
46		55.7					
47		51.6					
48		55.5			23.4		
50		40.0		Ī	17.8		
51		36.3			30.8		
7, 17		45.5			23.5		
14, 22		41.0			22.9		
30, 36		51.3			17.8		
All other dwelling	ngs	43.7			17.8		
Dwelling no	Concrete slah on	ground(m²)	Suspended floor with onen	Construction of floors and	d walls		Primarily rammed earth or
Dwelling no.	Concrete slab on	ground(m²)	Suspended floor with open subfloor (m²)	Construction of floors and Suspended floor with endclosed subfloor (m²)		Suspended floor above garage (m²)	Primarily rammed earth or mudbrick walls
Dwelling no.	Concrete slab on		subfloor (m²)	Suspended floor with		Suspended floor above	Primarily rammed earth or mudbrick walls
			subfloor (m²)	Suspended floor with endclosed subfloor (m²)		Suspended floor above garage (m²)	mudbrick walls

	the te lightic speci	able below (but only to the ng" for each such room in fied for a particular room	ch room or area of the dwe extent specified for that ru the dwelling is fluorescent or area, then the light fittin itting diode (LED) lighting.	oom or area). The applica t lighting or light emitting	ant must ensure that the "p diode (LED) lighting. If the	primary type of artificial term "dedicated" is
	the ta		ch room or area of the dwe e extent specified for that re right.			
	(g) This	commitment applies if the	applicant installs a water	heating system for the dv	velling's pool or spa. The	applicant must:
	(8		cified for the pool in the "In ol). If specified, the applica			
	(t		cified for the spa in the "Inc a). If specified, the applica			ively must not install
	(h) The a	pplicant must install in th	e dwelling:			
	(a	 a) the kitchen cook-top a table below; 	nd oven specified for that	dwelling in the "Appliance	is & other efficiency meas	sures" column of the
	(E		ich a rating is specified for that the appliance has that		iarices & other efficiency i	measures" column of
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	(0	c) any clothes drying line	specified for the dwelling	in the "Appliances & other	r efficiency measures" col	lumn of the table.
		cified in the table, the appated".	licant must carry out the de	evelopment so that each	refrigerator space in the d	welling is "well
·			hotovoltaic system specifie the table below, and conn			heading of the
					-5	
11.1/11.11.11.11.11.11.11.11.11.11.11.11		Hot water	Bathroom ven	tilation system	Kitchen vent	ilation system
11	Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control
<u> </u>	All dwellings	electric heat pump - air sourced 26 to 30 STCs	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off
		3108			L	
coated						
vertical —						
infill panel						

(ii) Energy

JOB ADDRESS:

(i) If spec		licant must carry out the	development so that each	refrigerator space in the	dwelling is "well		Ž	
(j) The ap	oplicant must install the p		ied for the dwelling under nect the system to that dv			_		
	Hot water	Bathroom ve	ntilation system	Kitchen ven	tilation system	Laund	ry ventilation s	system
Dwelling no.	Hot water system	Each bathroom	Operation control	Each kitchen	Operation control	Each laundry	Opera	ition contr
All dwellings	electric heat pump - air sourced 26 to 30 STCs	individual fan, ducted to façade or roof	manual switch on/off	individual fan, ducted to façade or roof	manual switch on/off	natural ventilation		

~

b) Common a	reas and central systems/fa	cilities					
(i) Water					Show on DA plans	Show on CC/CDC plans & specs	Certifie
	ng out the development, the appli meet the specifications listed for i		p or clothes washer into a common area	a, then that		~	~
	stems" column of the table below		ternative water supply system(s) specific sized, be configured, and be connected		~	~	~
(c) A swimmin table.	g pool or spa listed in the table m	oust not have a volume (in kLs) great	er than that specified for the pool or spa	in the	~	~	
(d) A pool or s	pa listed in the table must have a	cover or shading if specified for the	pool or spa in the table.			~	
(e) The applica	ant must install each fire sprinkler	system listed in the table so that the	system is configured as specified in the	e table.		~	~
(f) The applica	nt must ensure that the central or	ooling system for a cooling tower is	configured as specified in the table.			~	~
(f) The applica	nt must ensure that the central or	poling system for a cooling tower is	configured as specified in the table.			~	~
(f) The applica	nt must ensure that the central or	coling system for a cooling tower is o	configured as specified in the table. Taps rating	Clo	thes washer	s rating	~
				, governors	thes washer		_
Common area	Showerheads rating	Toilets rating	Taps rating	, governors	ALL SHARE AND ADDRESS OF THE SECOND		Certifie
Common area All common areas (ii) Energy (a) If, in carryin	Showerheads rating no common facility	Toilets rating no common facility cant installs a ventilation system to	Taps rating	no d	Show on	dry facility Show on CC/CDC	
Commonarea All common areas (ii) Energy (a) If, in carryin below, their specified. (b) In carrying specified in	Showerheads rating no common facility no common fac	Toilets rating no common facility cant installs a ventilation system to of the type specified for that common mut must install, as the "primary type cified for that common area. This lig	Taps rating no common facility service a common area specified in the	table easure ea specified.	Show on	dry facility Show on CC/CDC	

Dwelling living areas no.	bedroom areas	living areas	bedroom		8 9			- 10				
no.	areas				No. of	Each	All	Each	All	No. o		
			areas	&/or st		or kitchen	bathroom toilets	s/ laundry	/ hall	ways bath &/or		In these commitments, "applicant" means the person carrying out the development.
All 1-phase	ceiling fans + 1-phase	1-phase airconditioning	1-phase airconditi	2	rooms	yes	yes	yes	yes	toile		The applicant must identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development specifications accompanying the application for a construction certificate / complying development certificate, for the proposed development reference as is given to that dwelling, building or common area in this certificate;
dwellings airconditioning 4 Star (zoned)		4 Star (zoned)										3. This note applies if the proposed development involves the erection of a building for both residential and non-residential purposes (or the ch residential and non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the building or development to be used for residential purposes.
Individu	nd and	Individual sp				Annlianas	s & other efficie					4. If this certificate lists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or buil system need only be installed once (even if it is separately listed as a commitment for that other dwelling or building).
				and the second		Total Control			II Toronto Control	Ten records	-	5. If a star or other rating is specified in a commitment, this is a minimum rating.
Dwelling Pool heating no. system		Spa heating system		Kitchen cooktop/oven	Refrigerator	Well ventilated fridge space		Clothes washer	Clothes dryer	Indoor or sheltered clothes drying line	Private outdoor or unsheltered clothes	 All alternative water systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all a NSW Health does not recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consum human consumption in areas with potable water supply.
All - dwellings		-		electric cooktop &		yes		-		yes	drying line yes	Legend
				electric oven	L							4 Complete the Market State of the School of
												 Commitments identified with a ", " in the "Show on DA plans" column must be shown on the plans accompanying the development application is to be lodged for the proposed development).
							Alternative ene	ergy				2. Commitments identified with a """ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications according
Dwelling no.			8	Photovoltaic s	vstem (min rate	d electrical ou	tput in peak kW	0				certificate / complying development certificate for the proposed development.
1, 2, 3, 8, 9, 10, 11, 12, 18	8, 19		- 1	3.0				,				3. Commitments identified with a "w" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note:
All other dwellings				-								occupation certificate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that it is required to monitor in relation to the building or part, has been fulfilled).
												it is required to monitor in relation to the building or part, has been lumiled).
(iii) Thermal Comfort					<u> </u>			Show or		v on CC/CDC s & specs	Certifier check	
(a) The applicant must a "Assessor Certificate the applicant is apply must also attach the	e") to the develop ying for a comply	oment application a ring development of	and constru certificate fo	or the proposed	application for the development, to	e proposed de that application	velopment (or, if					
(b) The Assessor Certific	cate must have t	peen issued by an	Accredited	Assessor in acc	cordance with the	Thermal Com	fort Protocol.					
	Seles 1505, Svilla Land	4.755	******				MARCOL I	**********				
StX Planning & Environm	nent www.bas	six.nsw.gov.au	version:	3.0 / DARWINIA_	3_6_5 (Certificate No.: 93	95259M	Monday, 18	June 2018		page 9/14	BASIX Planning & Environment www.basix.nsw.gov.au Version: 3.0 / DARWINIA_3_6_5 Certificate No.: 936259M Monday,

specifications a	st identify each dwelling, building and common area listed in this certificate, on the plans accompanying any development application, and on the plans and companying the application for a construction certificate / complying development certificate, for the proposed development, using the same identifying letter or piven to that dwelling, building or common area in this certificate.
residential and	if the proposed development involves the erection of a building for both residential and non-residential purposes (or the change of use of a building for both non-residential purposes). Commitments in this certificate which are specified to apply to a "common area" of a building or the development, apply only to that part evelopment to be used for residential purposes.
	ists a central system as a commitment for a dwelling or building, and that system will also service any other dwelling or building within the development, then that by be installed once (even if it is separately listed as a commitment for that other dwelling or building).
5. If a star or other	ating is specified in a commitment, this is a minimum rating.
NSW Health do	ter systems to be installed under these commitments (if any), must be installed in accordance with the requirements of all applicable regulatory authorities. NOTE: so the recommend that stormwater, recycled water or private dam water be used to irrigate edible plants which are consumed raw, or that rainwater be used for storing are with potable water supply.
egend.	
Commitments id- development ap	entified with a "" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a plication is to be lodged for the proposed development).
Commitments iddevelopment ap Commitments iddevelopment ap	
Commitments id development ag Commitments id certificate / com Commitments id occupation certificate.	plication is to be lodged for the proposed development). In the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construct
Commitments id- development ap Commitments id- certificate / com Commitments id- occupation certificate.	plication is to be lodged for the proposed development). Intified with a "*," in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construct plying development certificate for the proposed development. Intified with a "*," in the "Certifier check" column must be certified by a certifying authority as having been fulfilled. (Note: a certifying authority must not issue an ficate (either interim or final) for a building listed in this certificate, or for any part of such a building, unless it is satisfied that each of the commitments whose fulfill







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| G | 3L5J8 | PRELIMINARY DA | F | 30.4J8 | REVISED LOT LAYOUT | E | 5.4J8 | REVISED LOT LAYOUT | D | 27.3JB | REVISED LOT LAYOUT | VS N 18.7.19 AMENDED PLANS

VS M 29.5.19 ISSUED FOR \$4,55 AMENDMENT

VS L 22.5.19 ISSUED FOR COORDINATION

VS K 13.3.19 ISSUED FOR REVIEW

VS J 12.9.18 CHANGES TO LOT BOUNDARY/ROADWAY

VS I 27.6.18 ISSUED FOR DA

VS H 5.6.18 ISSUED FOR DA C 21.3.18 CONCEPT YELD

B 7.2.18 CONCEPT YELD

A 16.118 CONCEPT YELD

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THAT MAY HAVE BEEN INCURRED.