

# JORDAN SPRINGS RETIREMENT VILLAGE

## STAGE 1 S4.55 AMENDMENT PLANS

SHEET 01 - SITE ANALYSIS PLAN  
 SHEET 02 - MASTER SITE PLAN  
 SHEET 03 - PART SITE PLAN  
 SHEET 04 - PART SITE PLAN  
 SHEET 05 - PART SITE PLAN  
 SHEET 06 - PART SITE PLAN  
 SHEET 07 - PART SITE PLAN  
 SHEET 08 - STREETScape ELEVATIONS  
 SHEET 09 - STREETScape ELEVATIONS

SHEET 10 - STREETScape ELEVATIONS  
 SHEET 11 - SHADOW DIAGRAMS - 9 AM  
 SHEET 12 - SHADOW DIAGRAMS - 10 AM  
 SHEET 13 - SHADOW DIAGRAMS - 11 AM  
 SHEET 14 - SHADOW DIAGRAMS - 12 PM  
 SHEET 15 - SHADOW DIAGRAMS - 1 PM  
 SHEET 16 - SHADOW DIAGRAMS - 2 PM  
 SHEET 17 - SHADOW DIAGRAMS - 3 PM  
 SHEET 18 - BASIX & FENCING DETAILS

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REV	DESCRIPTION	DATE
N	AMENDED PLANS	18.7.2019
M	ISSUED FOR S4.55 AMENDMENT	29.5.2019
L	ISSUED FOR COORDINATION	22.5.2019
K	ISSUED FOR REVIEW	13.3.2019
J	CHANGES TO LOT BOUNDARY/ROADWAY	12.9.2018
I	ISSUED FOR DA	27.6.2018
H	ISSUED FOR DA	15.6.2018
G	PRELIMINARY DA	31.5.2018
F	REVISED LOT LAYOUT	30.4.2018
E	REVISED LOT LAYOUT	5.4.2018
D	REVISED LOT LAYOUT	27.3.2018
C	CONCEPT YIELD	21.3.2018
B	CONCEPT YIELD	7.2.2018
A	CONCEPT YIELD	16.10.18

project:  
**JORDAN SPRINGS  
 RETIREMENT VILLAGE**

at:  
**JORDAN SPRINGS BOULEVARD  
 JORDAN SPRINGS**

for:  
**LEND LEASE**

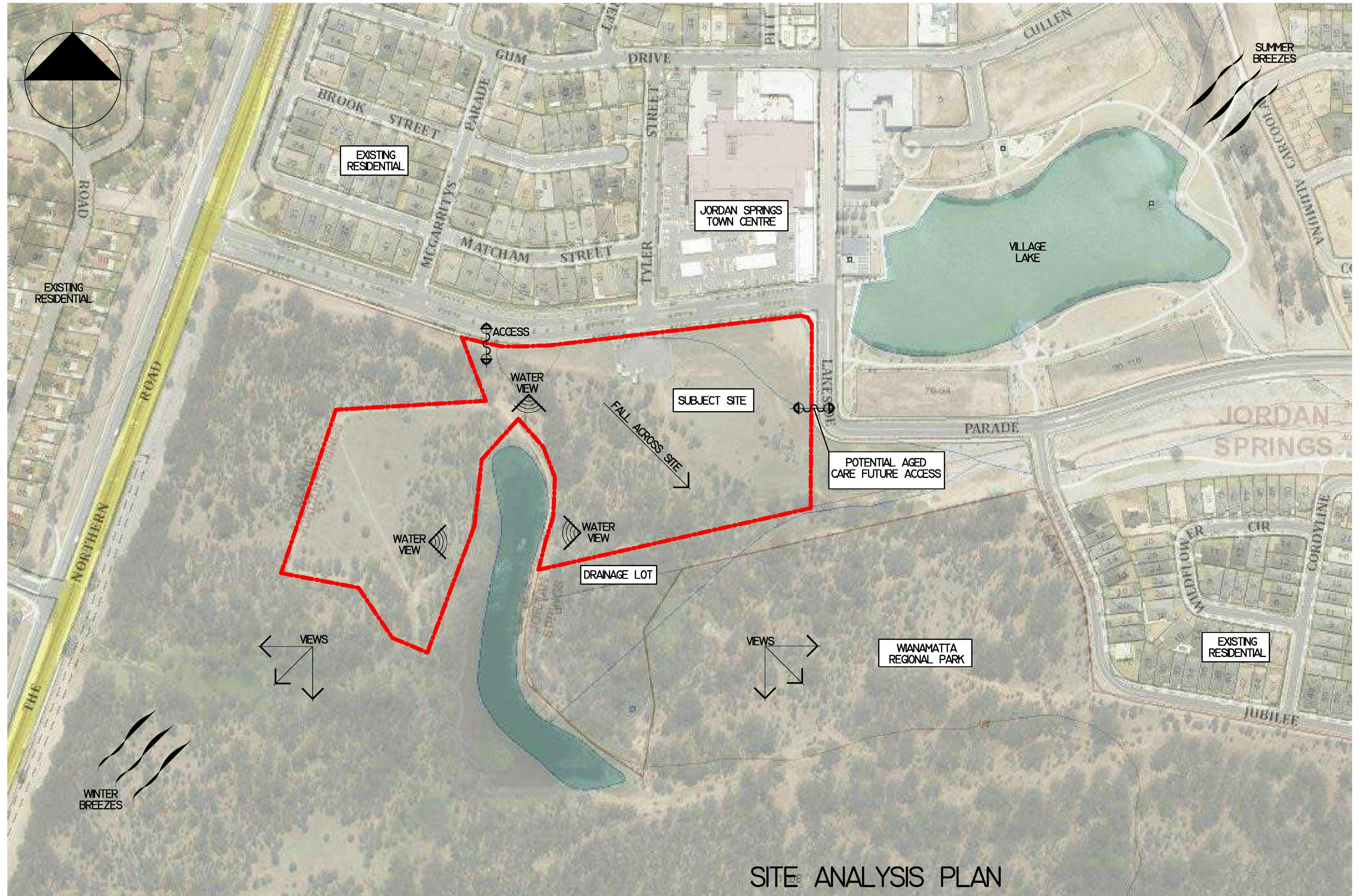
drawing N°:  
**AND-28405**

revision: **N** sheet:



LEVEL 2 SUITE 216 MACARTHUR POINT  
 NO. 25-27 SOLENT CIRCUIT BULLIKHAM HILLS  
 P.O. BOX 6410 BULLIKHAM HILLS BUSINESS CENTRE  
 NSW, 2153  
 PHONE: (02) 8824 3533 FAX: (02) 8824 3544  
 WWW.AANDDESIGNSYDNEY.COM.AU





SITE ANALYSIS PLAN

Certificate no.: 0002853670  
 Assessor Name: Ian Fry  
 Accreditation no.: VIC/BOAV/12/1441  
 Certificate date: 14 June 2018  
 Dwelling Address:  
 Jordan Springs Boulevard  
 Jordan Springs, NSW  
 2747  
[www.nathers.gov.au](http://www.nathers.gov.au)

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REV	NO	DESCRIPTION	BY	DATE	STATUS
G	35.8	PRELIMINARY DA	YS	N	18.7.19
F	30.4.8	REVISED LOT LAYOUT	YS	M	29.5.19
E	5.4.8	REVISED LOT LAYOUT	YS	L	22.5.19
D	27.3.8	REVISED LOT LAYOUT	YS	K	13.3.19
C	23.8	CONCEPT YIELD	YS	J	29.8
B	7.2.8	CONCEPT YIELD	YS	I	27.6.8
A	6.8	CONCEPT YIELD	YS	H	5.6.8

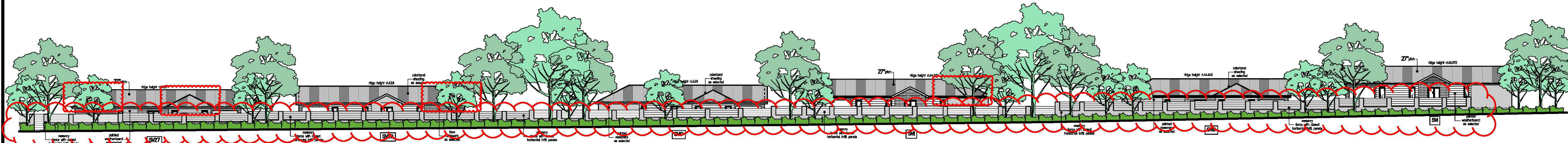
PROJECT: **JORDAN SPRINGS RETIREMENT VILLAGE**

JOB ADDRESS: **JORDAN SPRINGS BOULEVARD  
JORDAN SPRINGS**

FOR: **LEND LEASE**  
 DATE: 15.10.19  
 DRAWING NO.: AND-28405  
 SHEET: 1  
 SET OF: 18

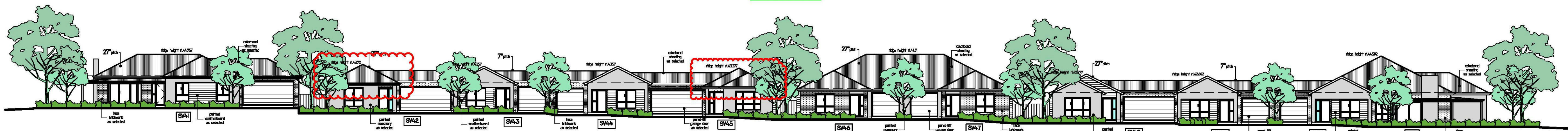
LEVEL 2 SUITE 216 MACARTHUR POINT  
 NO. 25-27 SOLENT GRCUT BALKHAM HILLS  
 P.O. BOX 640 BALKHAM HILLS BUSINESS CENTRE  
 NSW, 2153  
 PHONE: (02) 8824 3533 FAX: (02) 8824 3544  
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Version: 1, Version Date: 23/07/2019



NORTH ELEVATION TO JORDAN SPRINGS BOULEVARD 1:200

STREETSCAPE 1



SOUTH ELEVATION TO COMMUNITY ROAD 1:200

FRONT ELEVATION SV42-SV51

STREETSCAPE 2



NORTH ELEVATION TO COMMUNITY ROAD 1:200

FRONT ELEVATION SV28-SV38

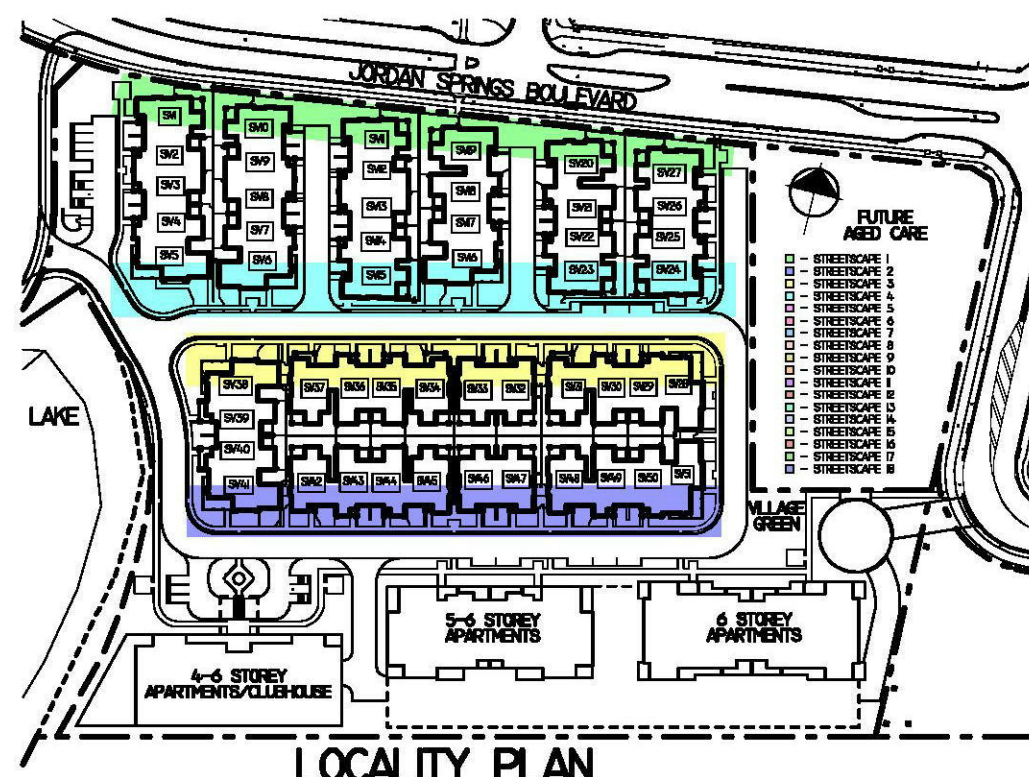
STREETSCAPE 3



SOUTH ELEVATION TO COMMUNITY ROAD 1:200

SIDE ELEVATION SV5, SV6, SV5, SV6, SV23 + SV24

STREETSCAPE 4



LOCALITY PLAN

Certificate no.: 0002853670  
 Assessor Name: Ian Fry  
 Accreditation no.: VIC/BDV/12/1441  
 Certificate date: 14 June 2018  
 Dwelling Address:  
 Jordan Springs Boulevard  
 Jordan Springs, NSW  
 2747  
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G	3.5.B	PRELIMINARY DA	VS	N	8.7.F	APPENDED PLANS	DT
F	30.A.B	REVISED LOT LAYOUT	VS	M	29.5.F	ISSUED FOR S4.55 AMENDMENT	DT
E	5.A.B	REVISED LOT LAYOUT	VS	L	22.5.F	ISSUED FOR COORDINATION	DT
D	27.3.B	REVISED LOT LAYOUT	VS	K	13.3.F	ISSUED FOR REVIEW	DT
C	23.8	CONCEPT YIELD	VS	J	6.9.B	CHANGES TO LOT BOUNDARY/ROADWAY	VS
B	7.2.B	CONCEPT YIELD	VS	I	27.6.B	ISSUED FOR DA	VS
A	6.U.B	CONCEPT YIELD	VS	H	5.6.B	ISSUED FOR DA	VS

PROJECT: JORDAN SPRINGS RETIREMENT VILLAGE

JOB ADDRESS:  
 JORDAN SPRINGS BOULEVARD  
 JORDAN SPRINGS

FOR: LEND LEASE  
 DATE: 15.J.18 DRAWING N°: AND-28405 SHEET: 8 SET OF: 18

LEVEL 2 SUITE 206 MACARTHUR POINT  
 NO. 25-27 SOLENT CROFT BALLKHAM HILLS  
 P.O. BOX 640 BALLKHAM HILLS BUSINESS CENTRE  
 NSW, 2153  
 PHONE: (02) 8824 3533 FAX: (02) 8824 3544  
[WWW.ANDESIGNSYDNEY.COM.AU](http://WWW.ANDESIGNSYDNEY.COM.AU)





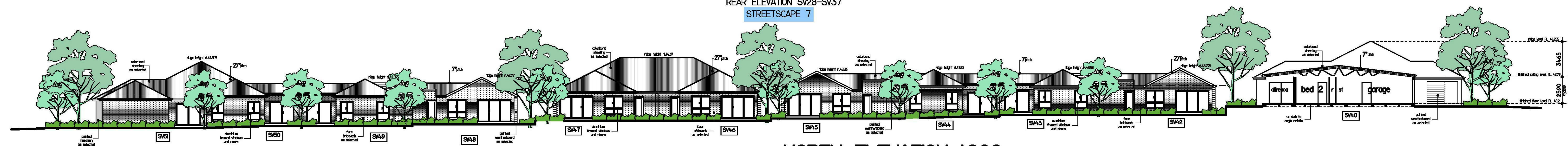
**EAST ELEVATION TO COMMUNITY ROAD 1:200**  
 FRONT ELEVATION SV24-SV37 + SIDE ELEVATION SV28+SV51  
 STREETSCAPE 5



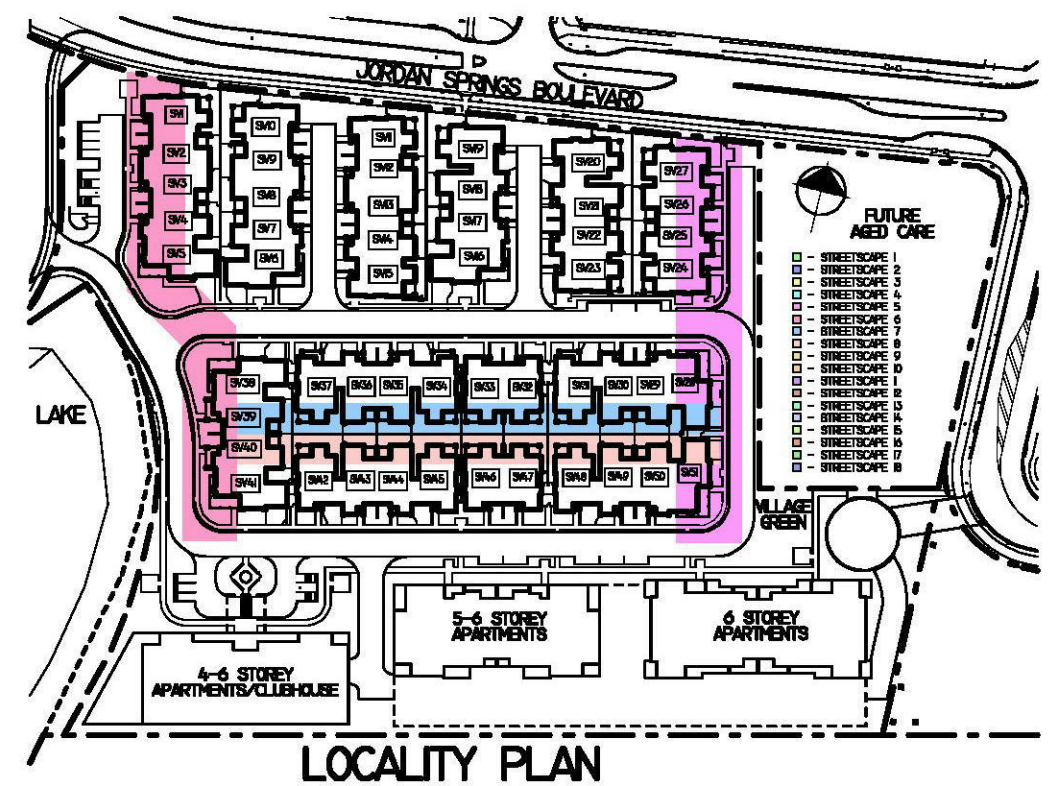
**WEST ELEVATION TO COMMUNITY ROAD 1:200**  
 FRONT ELEVATION SV1-SV 5 + SV38-SV41  
 STREETSCAPE 6



**SOUTH ELEVATION 1:200**  
 REAR ELEVATION SV28-SV37  
 STREETSCAPE 7



**NORTH ELEVATION 1:200**  
 REAR ELEVATION SV42-SV51  
 STREETSCAPE 8



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 Certificate date: 14 June 2018  
 Dwelling Address: Jordan Springs Boulevard, Jordan Springs, NSW 2747  
 www.nathers.gov.au

Average star rating: 6.8  
**NATIONWIDE HOUSE ENERGY RATING SCHEME**  
 www.nathers.gov.au

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G	30.4.B	PRELIMINARY DA	VS	N	18.7.F	APPROVED PLANS	DT
F	30.4.B	REVISED LOT LAYOUT	VS	M	20.5.F	ISSUED FOR 94.55 AMENDMENT	DT
E	5.4.B	REVISED LOT LAYOUT	VS	L	22.5.F	ISSUED FOR COORDINATION	DT
D	27.3.B	REVISED LOT LAYOUT	VS	K	13.3.F	ISSUED FOR REVIEW	DT
C	23.8	CONCEPT YIELD	VS	J	12.9	CHANGES TO LOT BOUNDARY/ROADWAY	VS
B	7.2.B	CONCEPT YIELD	VS	I	27.6.B	ISSUED FOR DA	VS
A	6.8	CONCEPT YIELD	VS	H	5.6.B	ISSUED FOR DA	VS

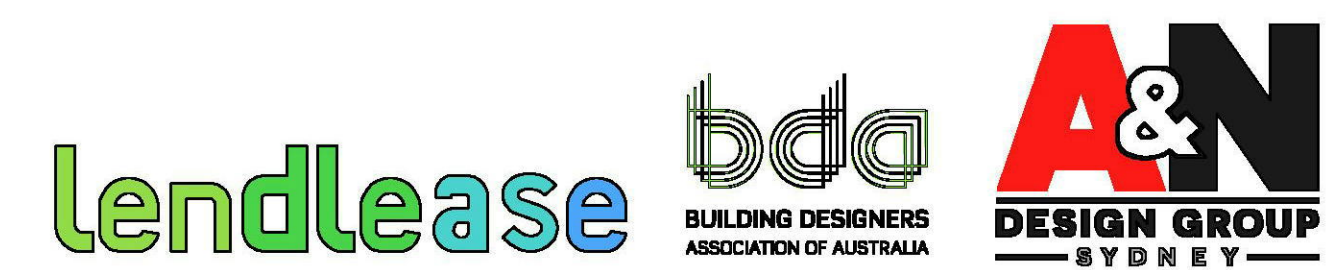
PROJECT: **JORDAN SPRINGS RETIREMENT VILLAGE**

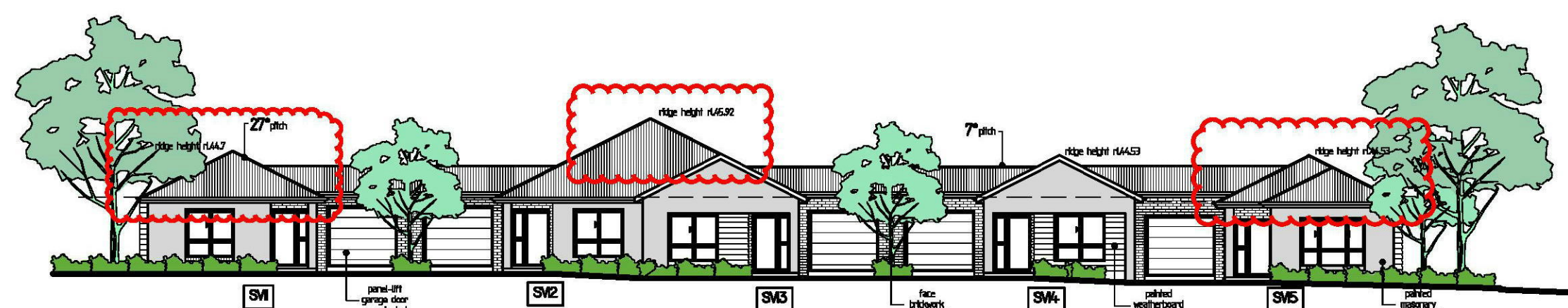
JORDAN SPRINGS BOULEVARD  
 JORDAN SPRINGS

FOR: **LEND LEASE**

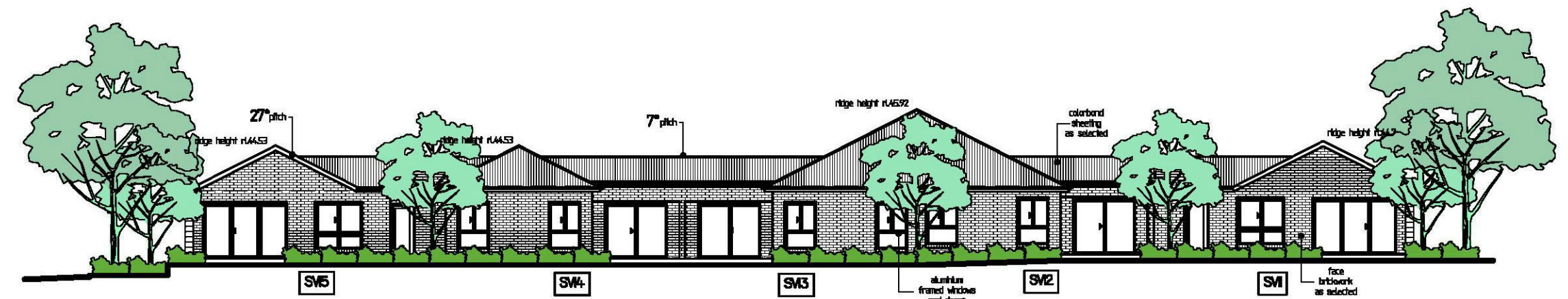
DATE: 15.08 DRAWING N°: AND-28405 SHEET: 9 SET OF: 18

LEVEL: 2 SUITE: 26 MACARTHUR POINT  
 NO. 25-27 SOLENT CIRCUIT BULLKHAM HILLS  
 P.O. BOX 640 BULLKHAM HILLS BUSINESS CENTRE  
 NSW, 2153  
 PHONE: (02) 8824 3533 FAX: (02) 8824 3544  
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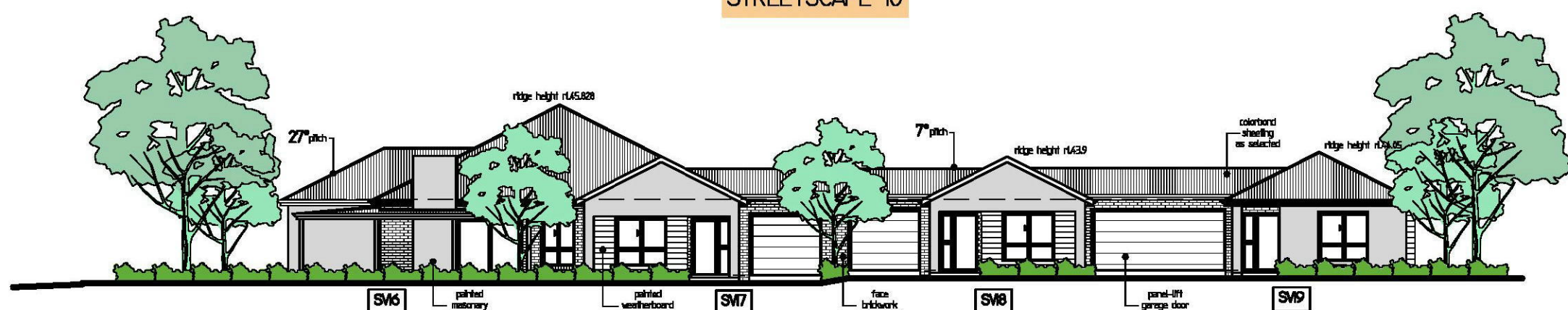
**NORTH ELEVATION TO COMMUNITY ROAD 1:200**  
FRONT ELEVATION SV1-SV5  
STREETSCAPE 9



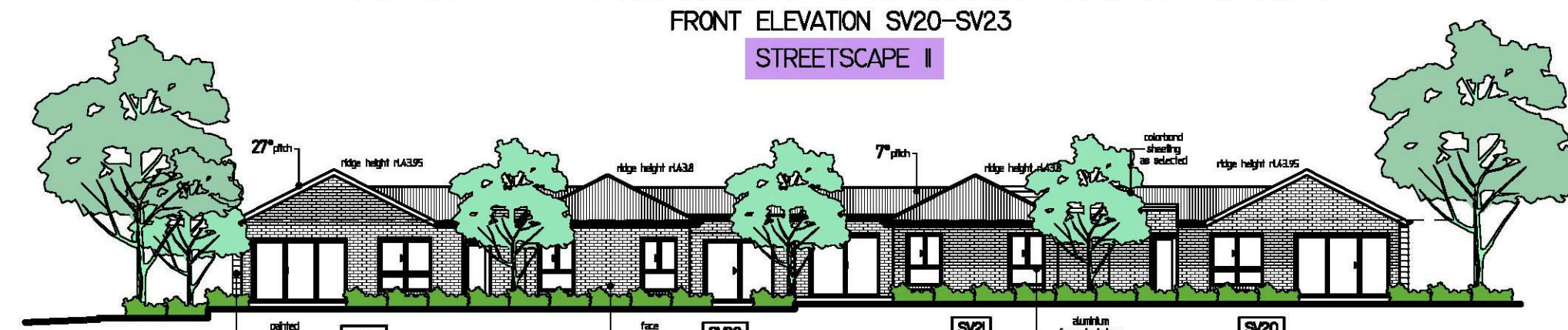
**NORTH ELEVATION TO COMMUNITY ROAD 1:200**  
REAR ELEVATION SV1-SV5  
STREETSCAPE 10



**WEST ELEVATION TO DRIVEWAY 1:200**  
FRONT ELEVATION SV20-SV23  
STREETSCAPE 11



**EAST ELEVATION TO DRIVEWAY 1:200**  
FRONT ELEVATION SV6-SV9  
STREETSCAPE 13



**EAST ELEVATION 1:200**  
REAR ELEVATION SV20-SV23  
STREETSCAPE 12



**WEST ELEVATION 1:200**  
REAR ELEVATION SV6-SV9  
STREETSCAPE 14



**EAST ELEVATION TO DRIVEWAY 1:200**  
FRONT ELEVATION SV6-SV10  
STREETSCAPE 15



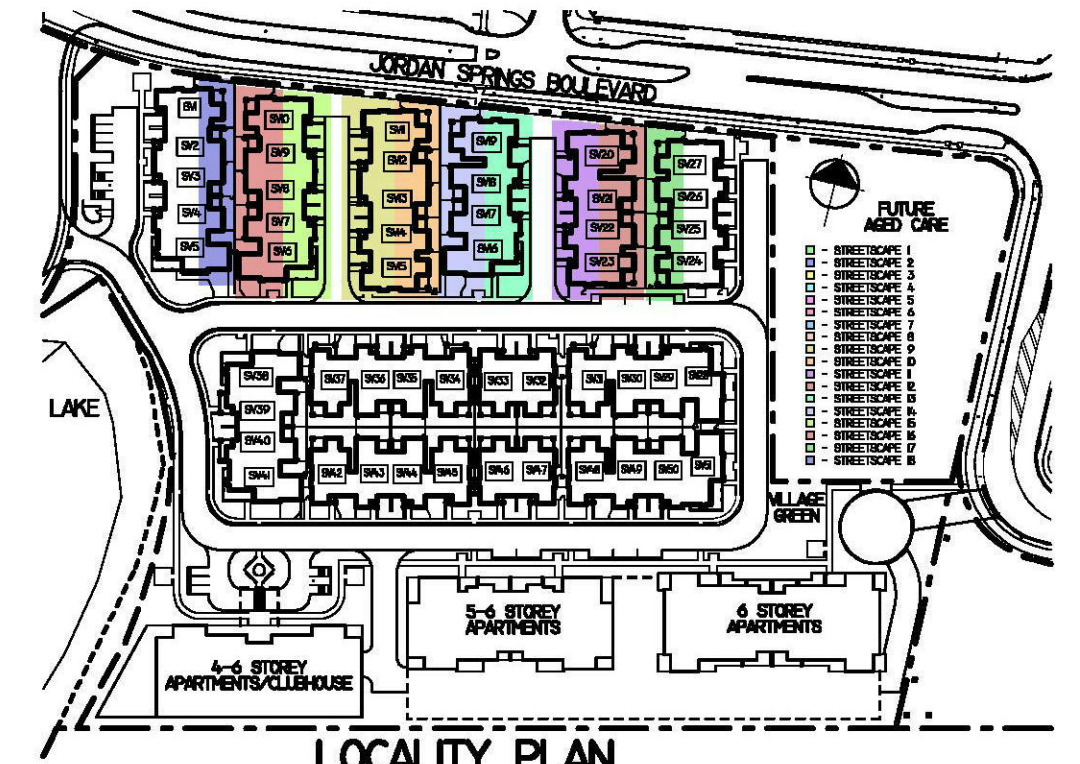
**WEST ELEVATION 1:200**  
REAR ELEVATION SV24-SV27  
STREETSCAPE 17



**WEST ELEVATION 1:200**  
REAR ELEVATION SV6-SV10  
STREETSCAPE 16



**EAST ELEVATION 1:200**  
REAR ELEVATION SV1-SV5  
STREETSCAPE 18



Certificate no.: 0002853670  
 Assessor Name: Ian Fry  
 Accreditation no.: VIC/BDV/12/1441  
 Certificate date: 14 June 2018  
 Dwelling Address: Jordan Springs Boulevard, Jordan Springs, NSW 2747  
[www.nathers.gov.au](http://www.nathers.gov.au)

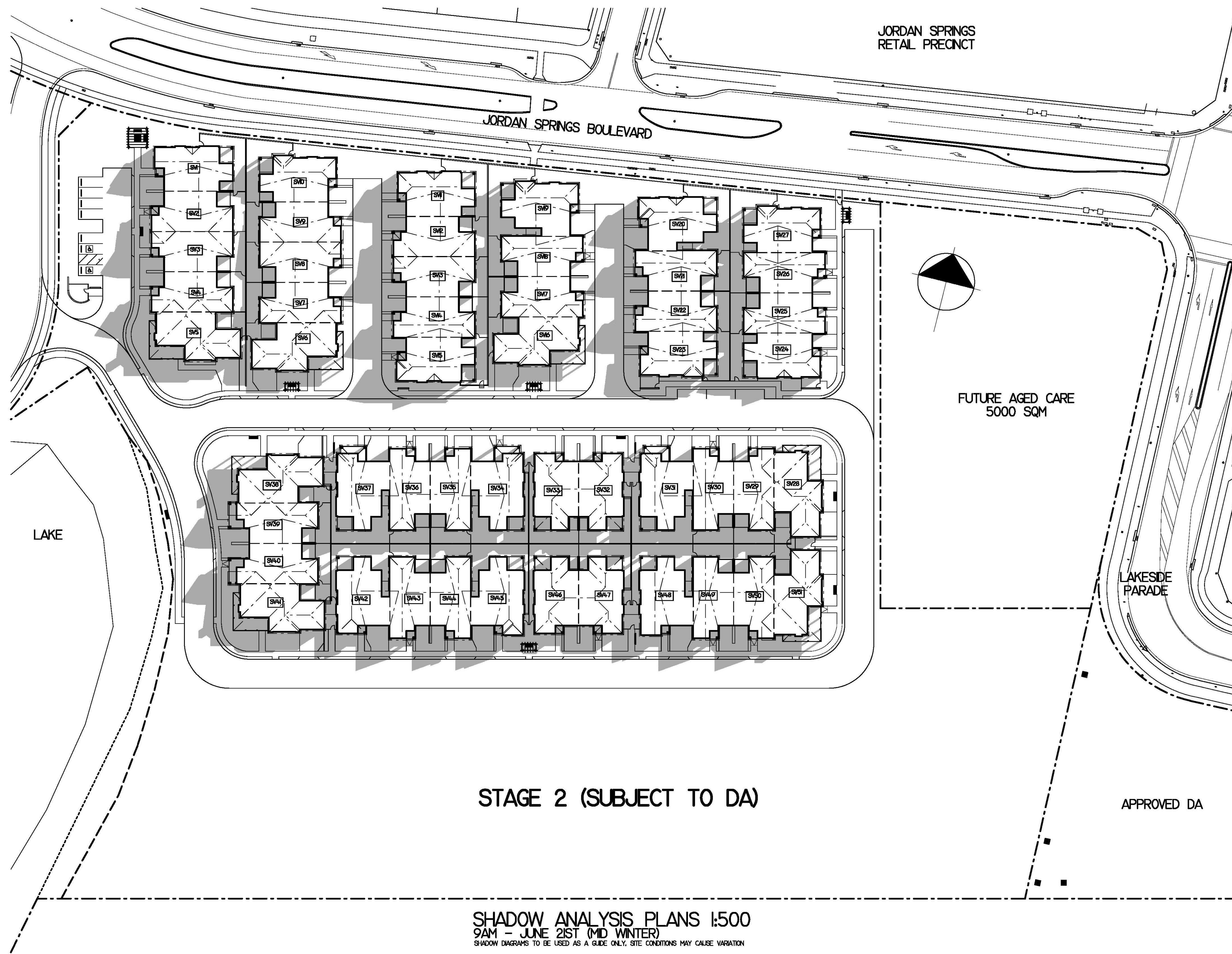
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G	3.5.B	PRELIMINARY DA	VS	N	18.7.F	APPROVED PLANS	DT
F	30.4.B	REVISED LOT LAYOUT	VS	M	20.5.F	ISSUED FOR S4.55 AMENDMENT	DT
E	5.4.B	REVISED LOT LAYOUT	VS	L	22.5.F	ISSUED FOR COORDINATION	DT
D	27.3.B	REVISED LOT LAYOUT	VS	K	13.3.F	ISSUED FOR REVIEW	DT
C	23.3.B	CONCEPT YIELD	VS	J	12.9.B	CHANGES TO LOT BOUNDARY/ROADWAY	VS
B	72.2.B	CONCEPT YIELD	VS	I	27.6.B	ISSUED FOR DA	VS
A	6.2.B	CONCEPT YIELD	VS	H	5.6.B	ISSUED FOR DA	VS

PROJECT: **JORDAN SPRINGS RETIREMENT VILLAGE**  
 JOB ADDRESS: **JORDAN SPRINGS BOULEVARD, JORDAN SPRINGS**

FOR: **LEND LEASE**  
 DATE: 15.08  
 DRAWING N°: AND-28405  
 SHEET: 10  
 SET OF: 18

LEVEL 2 SUITE 206 MACARTHUR POINT  
 NO. 25-27 SOLENT CREEK BALLKHAM HILLS  
 P.O. BOX 640 BALLKHAM HILLS BUSINESS CENTRE  
 NSW, 2153  
 PHONE: (02) 8824 3533 FAX: (02) 8824 3544  
[WWW.ANDESIGNSYDNEY.COM.AU](http://WWW.ANDESIGNSYDNEY.COM.AU)



STAGE 2 (SUBJECT TO DA)

APPROVED DA

SHADOW ANALYSIS PLANS 1:500  
9AM - JUNE 21ST (MID WINTER)  
SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY. SITE CONDITIONS MAY CAUSE VARIATION



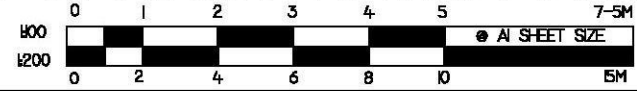
Certificate no.: 0002853670  
Assessor Name: Ian Fry  
Accreditation no.: VIC/BDV/12/1441  
Certificate date: 14 June 2018  
Dwelling Address:  
Jordan Springs Boulevard  
Jordan Springs, NSW  
2747



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REV	DATE	DESCRIPTION	BY	CHKD	DT
G	30.4.18	PRELIMINARY DA	YS	N	18.7.19
F	30.4.18	REVISED LOT LAYOUT	YS	M	29.5.19
E	5.4.18	REVISED LOT LAYOUT	YS	L	22.5.19
D	27.3.18	REVISED LOT LAYOUT	YS	K	13.3.19
C	23.3.18	CONCEPT YIELD	YS	J	29.18
B	7.2.18	CONCEPT YIELD	YS	I	27.1.18
A	6.1.18	CONCEPT YIELD	YS	H	5.1.18

PROJECT: JORDAN SPRINGS RETIREMENT VILLAGE



JOB ADDRESS: JORDAN SPRINGS BOULEVARD  
JORDAN SPRINGS

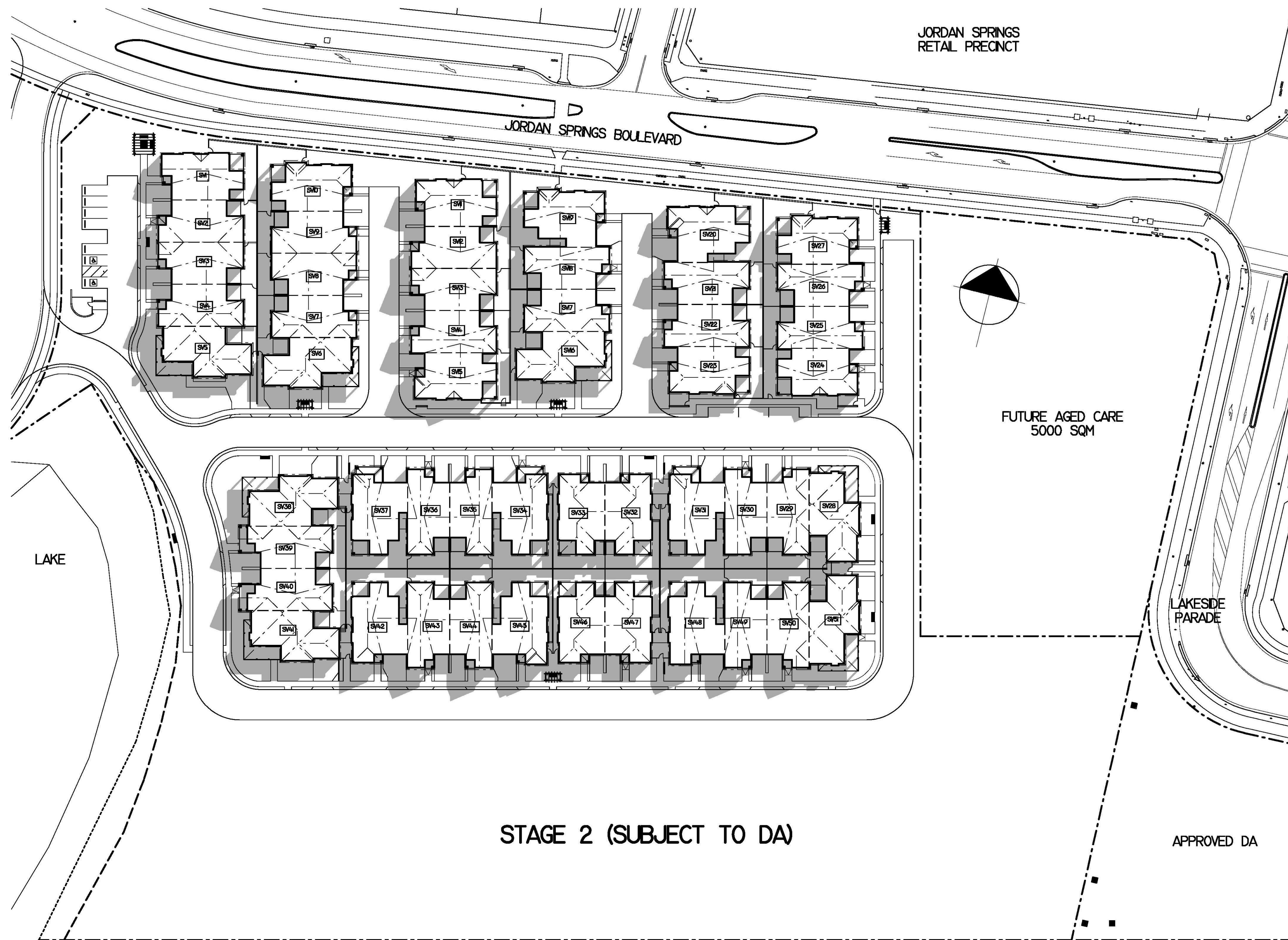
FOR: LEND LEASE  
DATE: 15.11.18  
DRAWING N°: AND-28405  
SHEET: 10  
SET OF: 18

LEVEL: 2 SUITE 216 MACARTHUR POINT  
NO. 25-27 SOLENT CIRCUIT BULLKHAM HILLS  
P.O BOX 640 BULLKHAM HILLS BUSINESS CENTRE  
NSW, 2153  
PHONE: (02) 8824 3533 FAX: (02) 8824 3544  
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lendlease

bda  
BUILDING DESIGNERS  
ASSOCIATION OF AUSTRALIA

A&N  
DESIGN GROUP  
SYDNEY



STAGE 2 (SUBJECT TO DA)

SHADOW ANALYSIS PLANS 1:500  
10AM - JUNE 21ST (MID WINTER)  
SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY, SITE CONDITIONS MAY CAUSE VARIATION



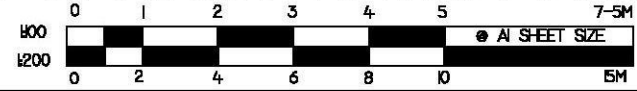
Certificate no.: 0002853670  
Assessor Name: Ian Fry  
Accreditation no.: VIC/BDAV/121441  
Certificate date: 14 June 2018  
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Jordan Springs, NSW  
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REV	DATE	DESCRIPTION	BY	CHKD	STATUS
G	30.4.18	PRELIMINARY DA	YS	N	18.7.19
F	30.4.18	REVISED LOT LAYOUT	YS	M	20.5.19
E	5.4.18	REVISED LOT LAYOUT	YS	L	22.5.19
D	27.3.18	REVISED LOT LAYOUT	YS	K	13.3.19
C	23.3.18	CONCEPT YIELD	YS	J	20.9
B	7.2.18	CONCEPT YIELD	YS	I	27.6.18
A	6.1.18	CONCEPT YIELD	YS	H	5.6.18

PROJECT: JORDAN SPRINGS RETIREMENT VILLAGE

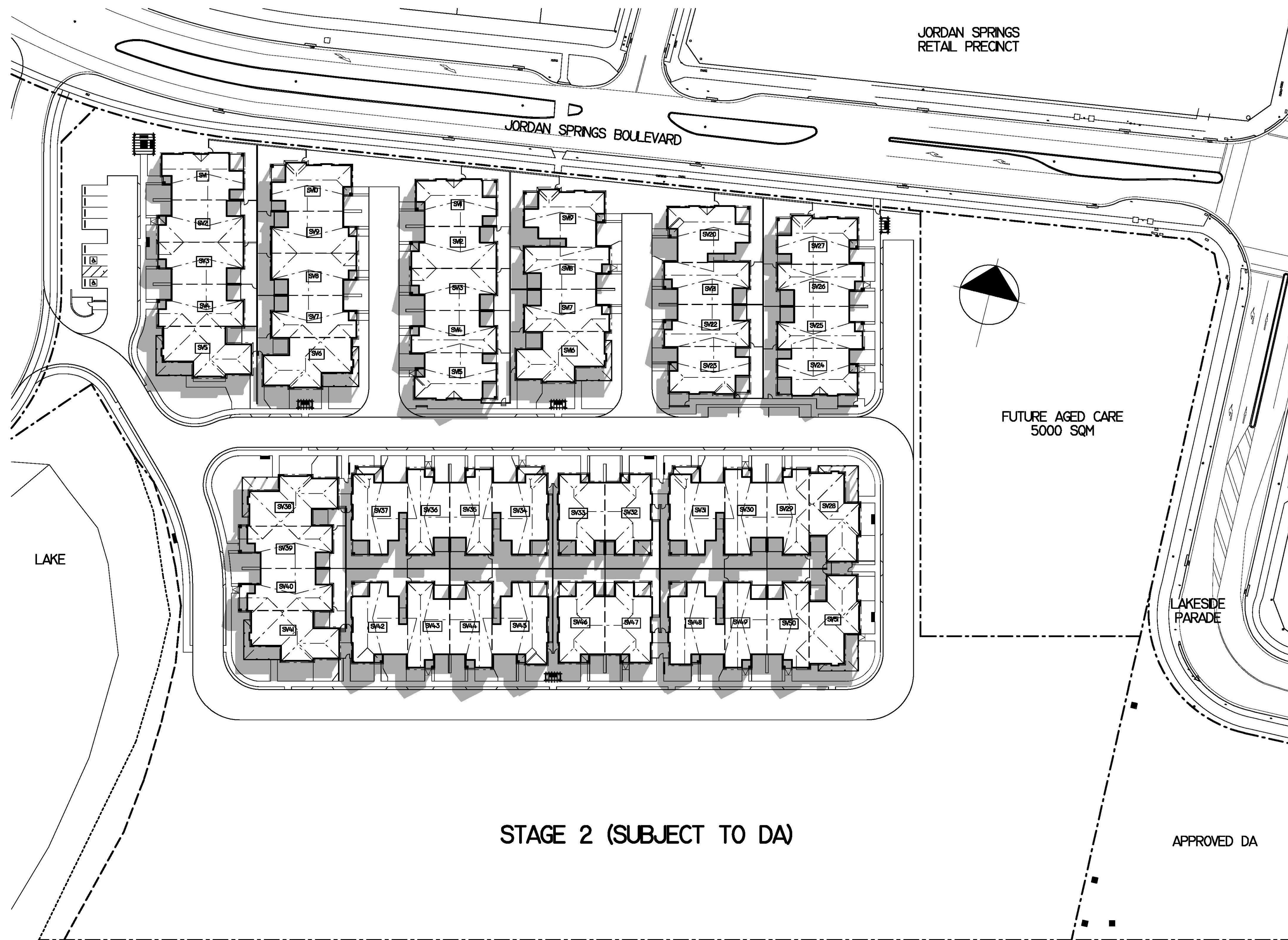


JOB ADDRESS: JORDAN SPRINGS BOULEVARD  
JORDAN SPRINGS

FOR: LEND LEASE  
DATE: 15.1.18  
DRAWING N°: AND-28405  
SHEET: 12  
SET OF: 18

LEVEL: 2 SUITE 216 MACARTHUR POINT  
NO. 25-27 SOLENT CIRCUIT BULLKHAM HILLS  
P.O BOX 640 BULLKHAM HILLS BUSINESS CENTRE  
NSW, 2153  
PHONE: (02) 8824 3533 FAX: (02) 8824 3544  
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STAGE 2 (SUBJECT TO DA)

SHADOW ANALYSIS PLANS 1:500  
IAM - JUNE 21ST (MD WINTER)

SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY, SITE CONDITIONS MAY CAUSE VARIATION



Certificate no.: 0002853670  
Assessor Name: Ian Fry  
Accreditation no.: VIC/BDAA/12/1441  
Certificate date: 14 June 2018  
Dwelling Address:  
Jordan Springs Boulevard  
Jordan Springs, NSW  
2747

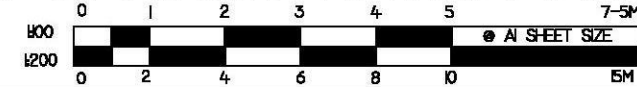


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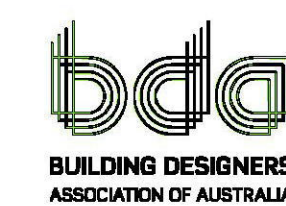
REV	DATE	DESCRIPTION	BY	CHKD	STATUS
G	30.4.18	PRELIMINARY DA	YS	N	18.7.18
F	30.4.18	REVISED LOT LAYOUT	YS	M	20.5.18
E	30.4.18	REVISED LOT LAYOUT	YS	L	22.5.18
D	27.3.18	REVISED LOT LAYOUT	YS	K	13.3.18
C	23.3.18	CONCEPT YIELD	YS	J	22.9.18
B	7.2.18	CONCEPT YIELD	YS	I	27.6.18
A	6.1.18	CONCEPT YIELD	YS	H	5.6.18

PROJECT: JORDAN SPRINGS RETIREMENT VILLAGE



JOB ADDRESS: JORDAN SPRINGS BOULEVARD  
JORDAN SPRINGS

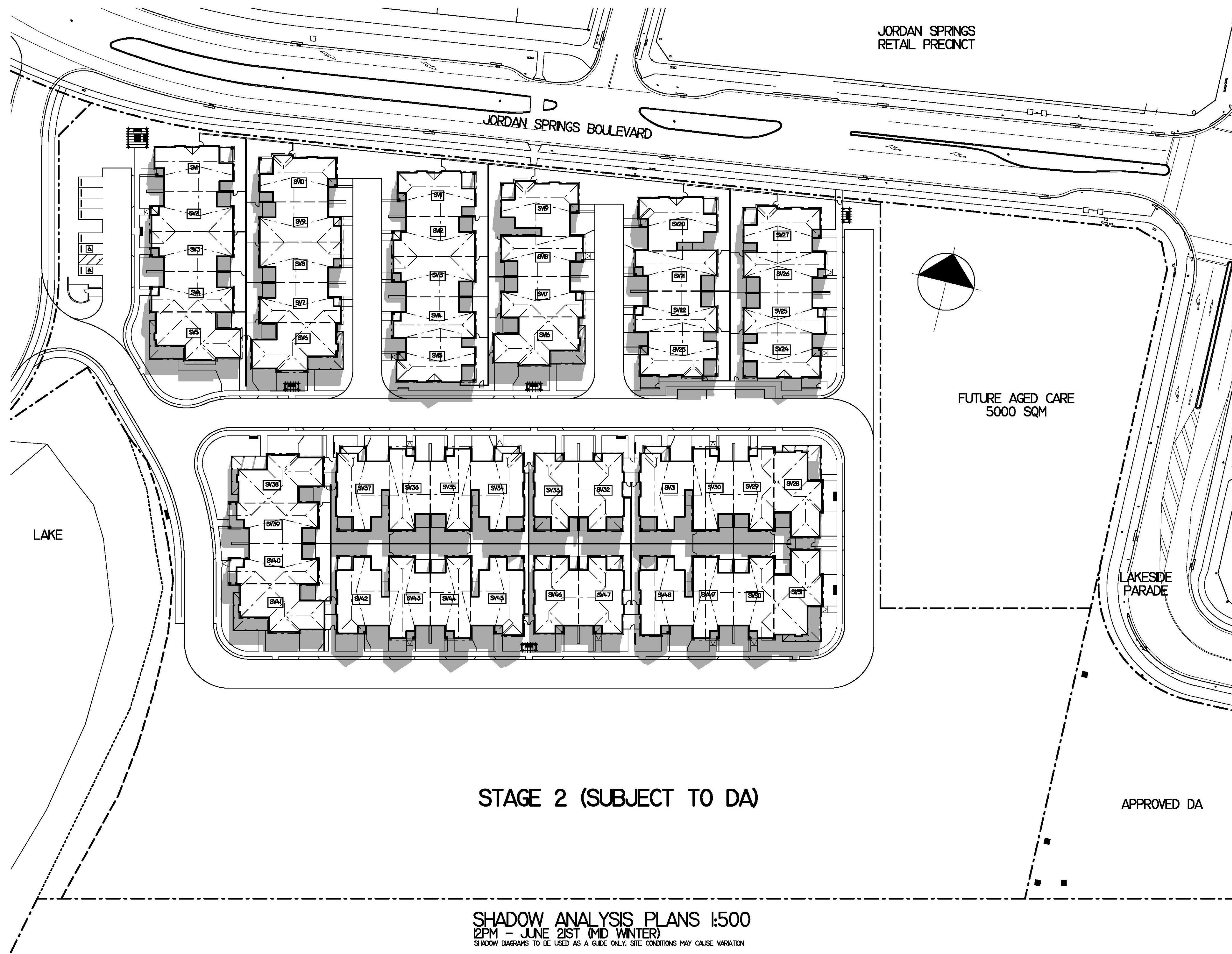
FOR: LEND LEASE  
DATE: 15.1.18  
DRAWING NO.: AND-28405  
SHEET: 13  
SET OF: 18



lendlease

LEVEL 2 SUITE 216 MACARTHUR POINT  
NO. 25-27 SOLENT CIRCUIT BULLKHAM HILLS  
P.O. BOX 640 BULLKHAM HILLS BUSINESS CENTRE  
NSW, 2153  
PHONE: (02) 8824 3533 FAX: (02) 8824 3544  
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STAGE 2 (SUBJECT TO DA)

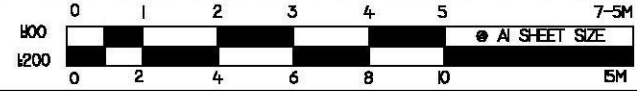
APPROVED DA

SHADOW ANALYSIS PLANS 1:500  
12PM - JUNE 21ST (MID WINTER)  
SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY. SITE CONDITIONS MAY CAUSE VARIATION


 Certificate no.: 0002853670  
 Assessor Name: Ian Fry  
 Accreditation no.: VIC/BDV/12/1441  
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 Jordan Springs, NSW  
 2747  
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G	3.5.B	PRELIMINARY DA	VS	N	18.7.F	APPROVED PLANS	DT
F	30.4.B	REVISED LOT LAYOUT	VS	M	29.5.F	ISSUED FOR S4.55 AMENDMENT	DT
E	5.4.B	REVISED LOT LAYOUT	VS	L	22.5.F	ISSUED FOR COORDINATION	DT
D	27.3.B	REVISED LOT LAYOUT	VS	K	13.3.F	ISSUED FOR REVIEW	DT
C	23.3.B	CONCEPT YIELD	VS	J	12.9.B	CHANGES TO LOT BOUNDARY/ROADWAY	VS
B	7.2.B	CONCEPT YIELD	VS	I	27.6.B	ISSUED FOR DA	VS
A	6.2.B	CONCEPT YIELD	VS	H	5.6.B	ISSUED FOR DA	VS

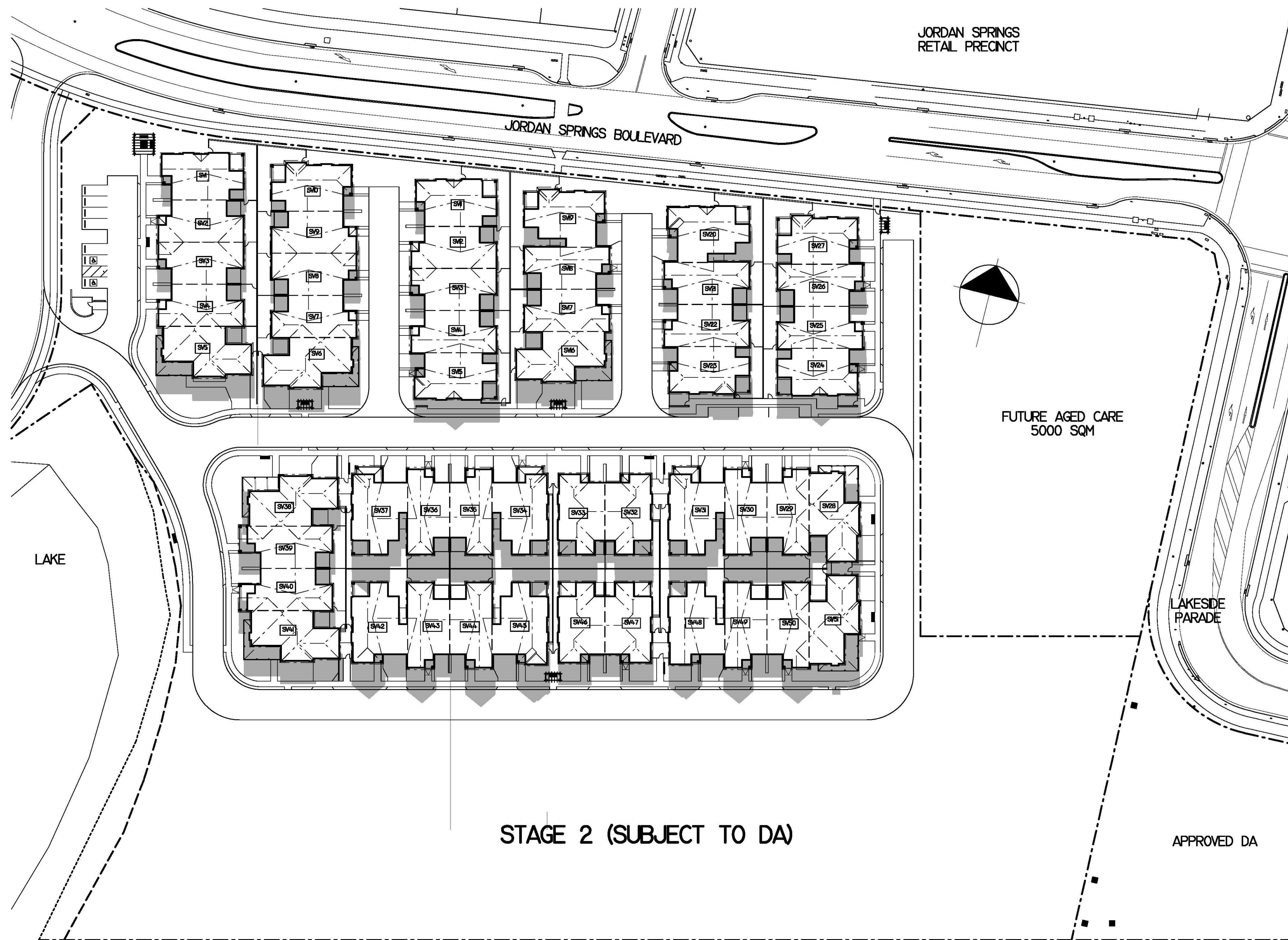
PROJECT: **JORDAN SPRINGS RETIREMENT VILLAGE**  


JOB ADDRESS:  
**JORDAN SPRINGS BOULEVARD  
 JORDAN SPRINGS**

FOR: **LEND LEASE**  
 DATE: 15.08 DRAWING N°: AND-28405 SHEET: 14 SET OF: 18

LEVEL: 2 SUITE: 216 MACARTHUR POINT  
 NO. 25-27 SOLENT CIRCUIT BULLKHAM HILLS  
 P.O. BOX 640 BULLKHAM HILLS BUSINESS CENTRE  
 NSW, 2153  
 PHONE: (02) 8824 3533 FAX: (02) 8824 3544  
[WWW.ANDDESIGNSYDNEY.COM.AU](http://WWW.ANDDESIGNSYDNEY.COM.AU)





STAGE 2 (SUBJECT TO DA)

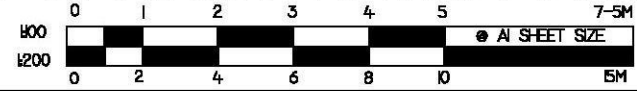
SHADOW ANALYSIS PLANS 1:500  
PM - JUNE 21ST (MID WINTER)  
SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY. SITE CONDITIONS MAY CAUSE VARIATION

Certificate no.: 0002853670  
 Assessor Name: Ian Fry  
 Accreditation no.: VIC/BDV/12/1441  
 Certificate date: 14 June 2018  
 Dwelling Address:  
 Jordan Springs Boulevard  
 Jordan Springs, NSW  
 2747

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REV	DATE	DESCRIPTION	BY	CHKD	STATUS
G	30.4.18	PRELIMINARY DA	YS	N	18.7.18
F	30.4.18	REVISED LOT LAYOUT	YS	M	20.5.18
E	5.4.18	REVISED LOT LAYOUT	YS	L	22.5.18
D	27.3.18	REVISED LOT LAYOUT	YS	K	13.3.18
C	23.3.18	CONCEPT YIELD	YS	J	20.3.18
B	7.2.18	CONCEPT YIELD	YS	I	27.1.18
A	6.1.18	CONCEPT YIELD	YS	H	5.1.18

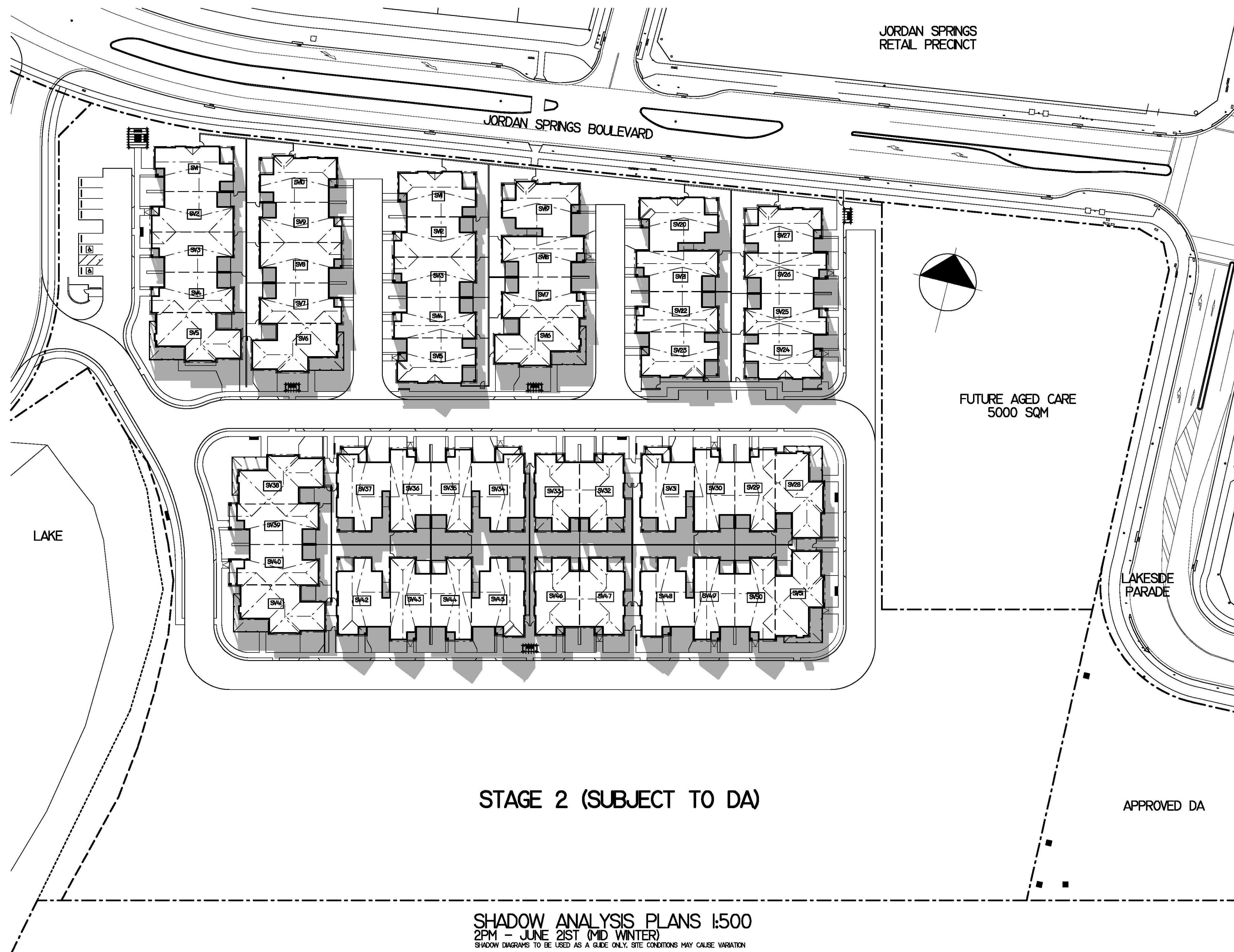
PROJECT: JORDAN SPRINGS RETIREMENT VILLAGE



JOB ADDRESS: JORDAN SPRINGS BOULEVARD  
JORDAN SPRINGS

FOR: LEND LEASE  
DATE: 15.1.18  
DRAWING N°: AND-28405  
SHEET: 15  
SET OF: 18

LEVEL 2 SUITE 216 MACARTHUR POINT  
 NO. 25-27 SOLENT CIRCUIT BULLKHAM HILLS  
 P.O. BOX 640 BULLKHAM HILLS BUSINESS CENTRE  
 NSW, 2153  
 PHONE: (02) 8824 3533 FAX: (02) 8824 3544  
 WWW.ANDESIGNSYDNEY.COM.AU



STAGE 2 (SUBJECT TO DA)

SHADOW ANALYSIS PLANS 1:500  
2PM - JUNE 21ST (MID WINTER)

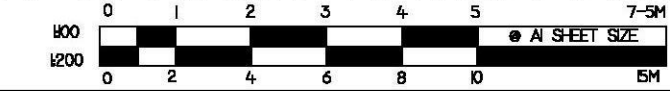
SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY. SITE CONDITIONS MAY CAUSE VARIATION

Certificate no.: 0002853670  
 Assessor Name: Ian Fry  
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 Jordan Springs Boulevard  
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 2747

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REV	DATE	DESCRIPTION	BY	CHKD	DT
G	30.4.18	PRELIMINARY DA	YS	N	18.7.19
F	30.4.18	REVISED LOT LAYOUT	YS	M	29.5.19
E	5.4.18	REVISED LOT LAYOUT	YS	L	22.5.19
D	27.3.18	REVISED LOT LAYOUT	YS	K	13.3.19
C	23.3.18	CONCEPT YIELD	YS	J	29.18
B	7.2.18	CONCEPT YIELD	YS	I	27.1.18
A	6.1.18	CONCEPT YIELD	YS	H	5.1.18

PROJECT: JORDAN SPRINGS RETIREMENT VILLAGE



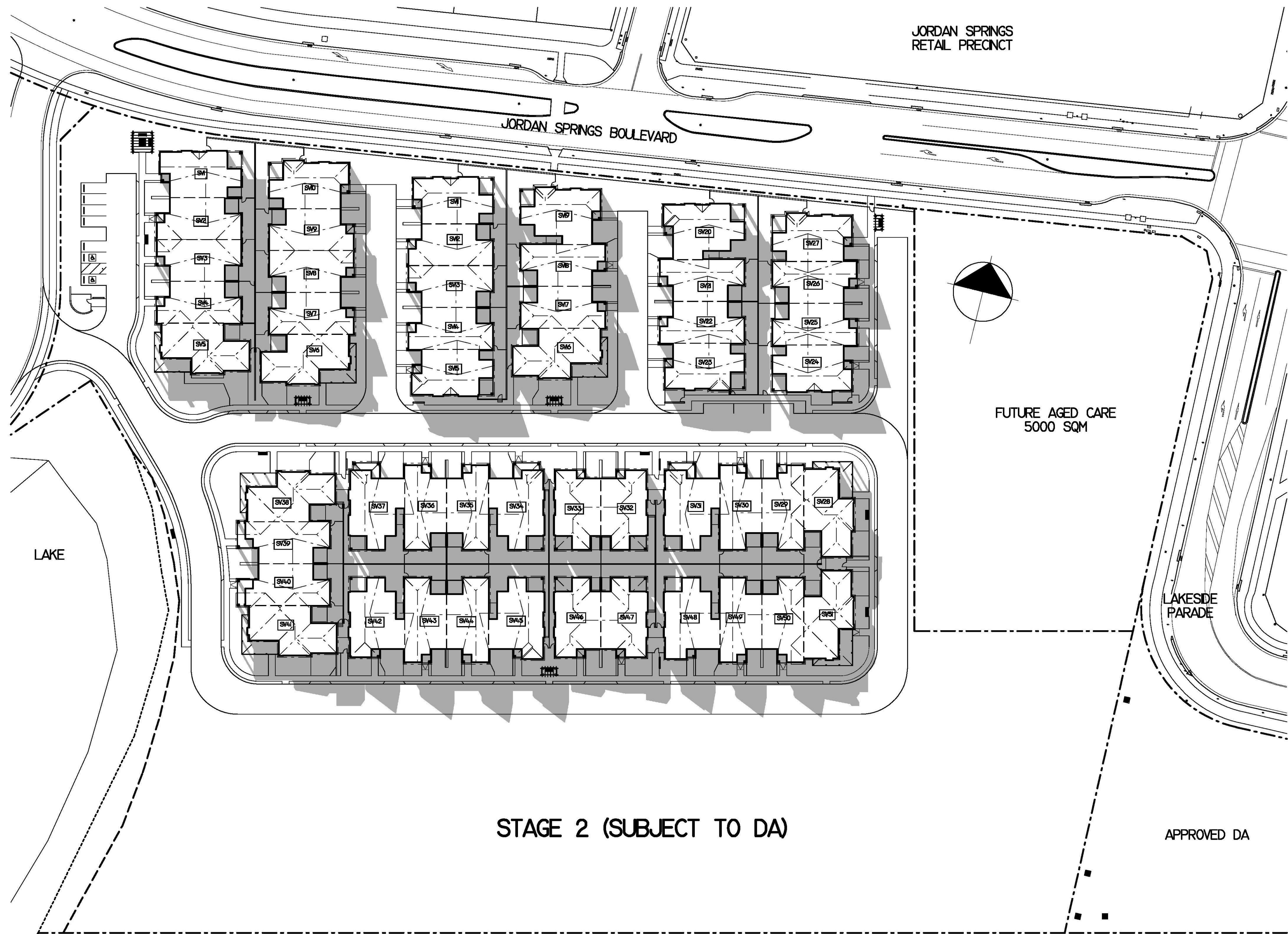
JOB ADDRESS: JORDAN SPRINGS BOULEVARD  
JORDAN SPRINGS

FOR: LEND LEASE  
DATE: 15.1.18 DRAWING N°: AND-28405 SHEET: 16 SET OF: 18

LEVEL 2 SUITE 216 MACARTHUR POINT  
NO. 25-27 SOLENT CIRCUIT BULLKHAM HILLS  
P.O. BOX 640 BULLKHAM HILLS BUSINESS CENTRE  
NSW, 2153  
PHONE: (02) 8824 3533 FAX: (02) 8824 3544  
WWW.ANDESIGNSYDNEY.COM.AU

SOLAR ACCESS TO PRIVATE OPEN SPACE AREA'S (sqm)								
UNIT	P.O.S	9am	10am	11am	12 noon	1pm	2pm	3pm
SV1	72.1	52	63	64	63	60	51	45
SV2	38.9	25	29	30	28	23	9	0
SV3	39.7	17	29	30	28	23	7	0
SV4	39.7	26	29	30	28	23	8	0
SV5	28.5	9	14	12	13	9	11	12
SV6	25.5	20	15	13	14	11	14	3
SV7	39.7	0	0	8	19	27	32	4
SV8	39.7	0	0	5	15	26	32	3
SV9	38.9	0	0	6	17	27	32	0
SV10	73.6	44	49	53	66	78	79	58
SV11	71.4	49	60	64	64	62	49	46
SV12	38.9	11	26	28	28	23	9	0
SV13	39.7	10	26	28	28	23	7	0
SV14	39.7	10	26	28	28	26	8	0
SV15	51.8	14	25	34	34	26	10	0
SV16	25.5	19	18	18	18	16	13	6
SV17	40.0	0	0	7	20	29	30	4
SV18	40.0	0	0	8	18	27	30	4
SV19	96.0	47	49	50	67	83	83	65
SV20	83.0	50	65	66	72	64	55	48
SV21	39.7	8	25	26	27	23	10	0
SV22	39.7	9	26	26	29	23	11	0
SV23	54.2	12	26	28	33	26	11	0
SV24	51.6	0	0	4	18	31	34	18
SV25	39.7	0	0	7	19	29	31	12
SV26	39.7	0	0	4	15	28	31	8
SV27	83.3	47	52	53	63	77	76	51
SV28	26.4	32	31	30	24	19	20	20
SV29	39.7	0	3	3	1	18	1	0
SV30	39.7	0	0	0	0	12	16	0
SV31	71.0	12	4	7	5	8	1	4
SV32	59.4	8	14	18	13	8	6	0
SV33	54.8	0	2	4	5	4	4	1
SV34	66.4	13	8	9	10	2	0	0
SV35	39.7	0	2	2	1	1	1	0
SV36	39.7	0	0	0	0	1	1	0
SV37	66.4	12	4	7	3	9	10	4
SV38	27.8	15	17	17	30	33	33	33
SV39	39.7	3	15	22	28	18	11	0
SV40	39.7	15	25	26	29	18	11	0
SV41	26.4	7	14	13	12	12	8	0
SV42	66.4	26	34	35	36	37	32	13
SV43	39.7	14	22	29	15	18	9	0
SV44	39.7	7	12	17	15	12	8	0
SV45	66.4	24	23	36	36	37	13	3
SV46	54.8	15	23	32	30	25	15	3
SV47	59.4	7	27	35	34	25	18	0
SV48	71.0	18	25	29	29	33	25	0
SV49	39.7	7	14	27	13	11	9	0
SV50	39.7	5	11	17	13	11	9	0
SV51	26.4	21	15	14	16	14	12	0
UNIT	P.O.S	9am	10am	11am	12 noon	1pm	2pm	3pm
SV1	72.1	#	#	#	#	#	#	#
SV2	38.9	#	#	#	#	#	#	#
SV3	39.7	#	#	#	#	#	#	#
SV4	39.7	#	#	#	#	#	#	#
SV5	28.5	#	#	#	#	#	#	#
SV6	25.5	#	#	#	#	#	#	#
SV7	39.7	#	#	#	#	#	#	#
SV8	39.7	#	#	#	#	#	#	#
SV9	38.9	#	#	#	#	#	#	#
SV10	73.6	#	#	#	#	#	#	#
SV11	71.4	#	#	#	#	#	#	#
SV12	38.9	#	#	#	#	#	#	#
SV13	39.7	#	#	#	#	#	#	#
SV14	39.7	#	#	#	#	#	#	#
SV15	51.8	#	#	#	#	#	#	#
SV16	25.5	#	#	#	#	#	#	#
SV17	40.0	#	#	#	#	#	#	#
SV18	40.0	#	#	#	#	#	#	#
SV19	96.0	#	#	#	#	#	#	#
SV20	83.0	#	#	#	#	#	#	#
SV21	39.7	#	#	#	#	#	#	#
SV22	39.7	#	#	#	#	#	#	#
SV23	54.2	#	#	#	#	#	#	#
SV24	51.6	#	#	#	#	#	#	#
SV25	39.7	#	#	#	#	#	#	#
SV26	39.7	#	#	#	#	#	#	#
SV27	83.3	#	#	#	#	#	#	#
SV28	26.4	#	#	#	#	#	#	#
SV29	39.7	#	#	#	#	#	#	#
SV30	39.7	#	#	#	#	#	#	#
SV31	71.0	#	#	#	#	#	#	#
SV32	59.4	#	#	#	#	#	#	#
SV33	54.8	#	#	#	#	#	#	#
SV34	66.4	#	#	#	#	#	#	#
SV35	39.7	#	#	#	#	#	#	#
SV36	39.7	#	#	#	#	#	#	#
SV37	66.4	#	#	#	#	#	#	#
SV38	27.8	#	#	#	#	#	#	#
SV39	39.7	#	#	#	#	#	#	#
SV40	39.7	#	#	#	#	#	#	#
SV41	26.4	#	#	#	#	#	#	#
SV42	66.4	#	#	#	#	#	#	#
SV43	39.7	#	#	#	#	#	#	#
SV44	39.7	#	#	#	#	#	#	#
SV45	66.4	#	#	#	#	#	#	#
SV46	54.8	#	#	#	#	#	#	#
SV47	59.4	#	#	#	#	#	#	#
SV48	71.0	#	#	#	#	#	#	#
SV49	39.7	#	#	#	#	#	#	#
SV50	39.7	#	#	#	#	#	#	#
SV51	26.4	#	#	#	#	#	#	#

■ ACHIEVES SUNLIGHT TO PRIVATE OPEN SPACE AREA'S  
■ ACHIEVES NO SUNLIGHT TO PRIVATE OPEN SPACE AREA'S  
■ ACHIEVES SUNLIGHT TO LIVING AREA'S



STAGE 2 (SUBJECT TO DA)

SHADOW ANALYSIS PLANS 1:500  
 3PM - JUNE 21ST (MID WINTER)  
 SHADOW DIAGRAMS TO BE USED AS A GUIDE ONLY, SITE CONDITIONS MAY CAUSE VARIATION

Certificate no.: 0002853670  
 Assessor Name: Ian Fry  
 Accreditation no.: VIC/BDVA/12/1441  
 Certificate date: 14 June 2018  
 Dwelling Address:  
 Jordan Springs Boulevard  
 Jordan Springs, NSW  
 2747

6.8  
 Average star rating  
 NATIONWIDE HOUSE ENERGY RATING SCHEME  
 www.nathers.gov.au

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REV	DATE	DESCRIPTION	BY	CHKD	APP'D
G	30.4.18	PRELIMINARY DA	VS	N	8.7.19
F	30.4.18	REVISED LOT LAYOUT	VS	M	29.5.19
E	30.4.18	REVISED LOT LAYOUT	VS	L	22.5.19
D	27.3.18	REVISED LOT LAYOUT	VS	K	13.3.19
C	23.8	CONCEPT YIELD	VS	J	29.8
B	22.8	CONCEPT YIELD	VS	I	27.8
A	16.8	CONCEPT YIELD	VS	H	5.8

PROJECT: JORDAN SPRINGS RETIREMENT VILLAGE

JOB ADDRESS: JORDAN SPRINGS BOULEVARD, JORDAN SPRINGS

Scale: 1:500

DATE	DRAWING NO.	SHEET	SET OF
15.10	AND-28405	17	18

FOR: LEND LEASE

LEVEL 2 SUITE 266 MACARTHUR POINT  
 NO. 25-27 SOLENT CREEK BALLKHAM HILLS  
 P.O. BOX 640 BALLKHAM HILLS BUSINESS CENTRE  
 NSW, 2153  
 PHONE: (02) 8824 3533 FAX: (02) 8824 3544  
 WWW.ANDDESIGNSYDNEY.COM.AU

lendlease  
 bda BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA  
 A&N DESIGN GROUP SYDNEY

