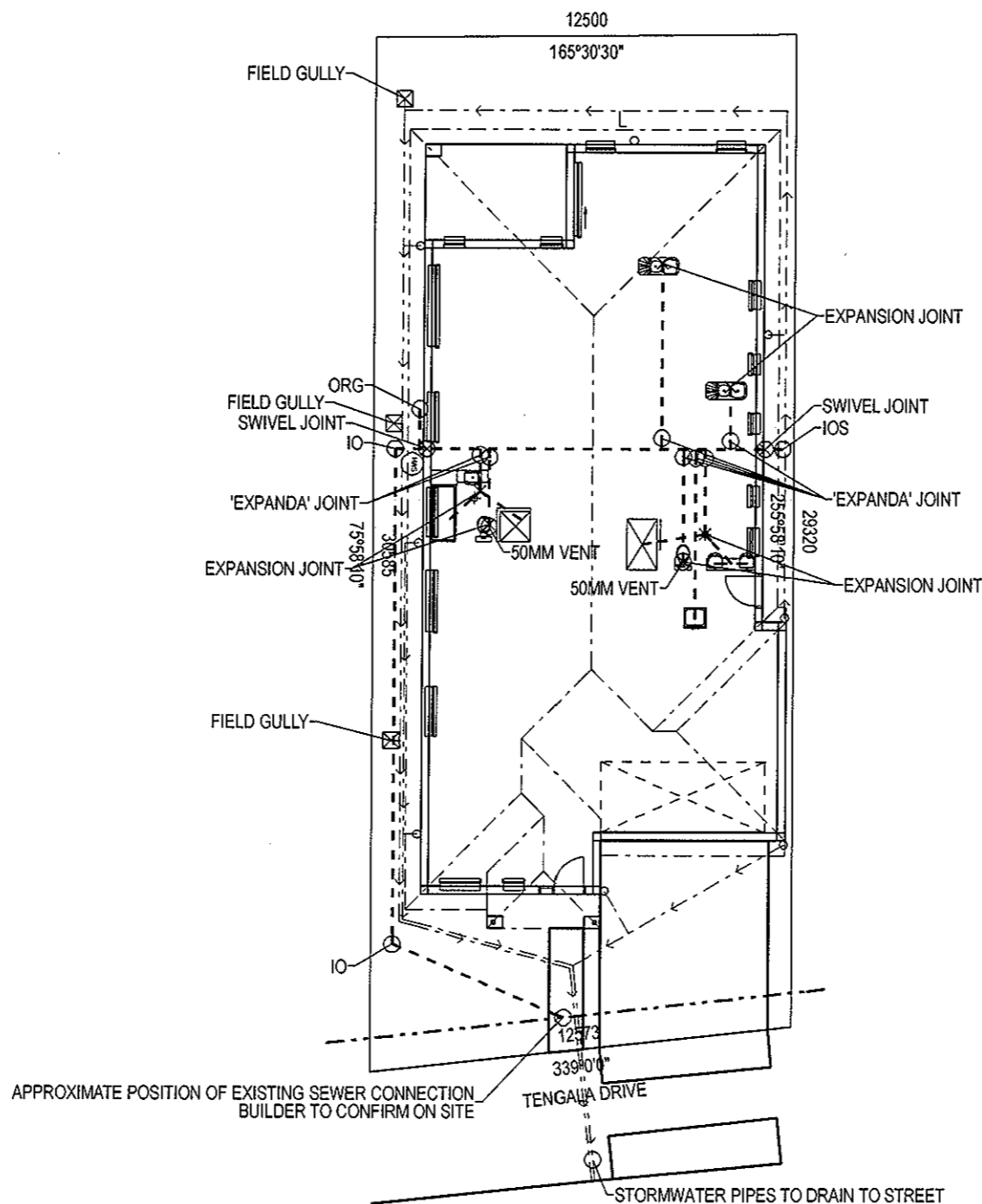


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DRAINAGE PLAN SCALE 1:200

FLOOR AREA	209.21 M2
PORCH/CARPORT AREA	15.26 M2
PATIO % OF FOOTPRINT	6.8%
JOB	90041

SCALE	1:100
ROOF	Metal 25°
EXT WALL	70F/50/110B
CEILING HT	2440
WIND RATING	N2
SC	6324

LEGEND:	
B	BASIN
BTH	BATH
CYJ	CAPPED 'Y' JUNCTION
FFL	FINISHED FLOOR LEVEL
FT	FIXTURE TRAP
HC	HOUSE COCK
IL	INVERT LEVEL
IO	INSPECTION OPENING

IOS	INSPECTION OPENING TO SURFACE
LT	LAUNDRY TUB
ORG	OVERFLOW RELIEF GULLY
SH	SHOWER
SK	SINK
SL	SURFACE LEVEL
WC	TOILET
WM	WASHING MACHINE
WTNK	WATER TANK

DESIGNER:	Lev Mizikovsky
BUILDING DESIGN LICENCE NO:	22416

Only sign if 100% correct. If not correct please contact your consultant.
 CLIENT:..... DATE:.....
 CLIENT:.....
 BUILDER:..... DATE:.....
 NOT TO BE MODIFIED WITHOUT WRITTEN AUTHORITY

G & C ANDREWS
 Lot 2267 Tengala Drive, Jordan Springs
 PENRITH NSW, 2750
 RP. DP1168993 MAP REF.

TAMARWOOD LTD. LIC. 25373 (QLD) 74336 (NSW)
 DRAWN BY: eej 03/02/2014
 DRAWN FOR: Carrington, Brisbane
 Carrington Homes

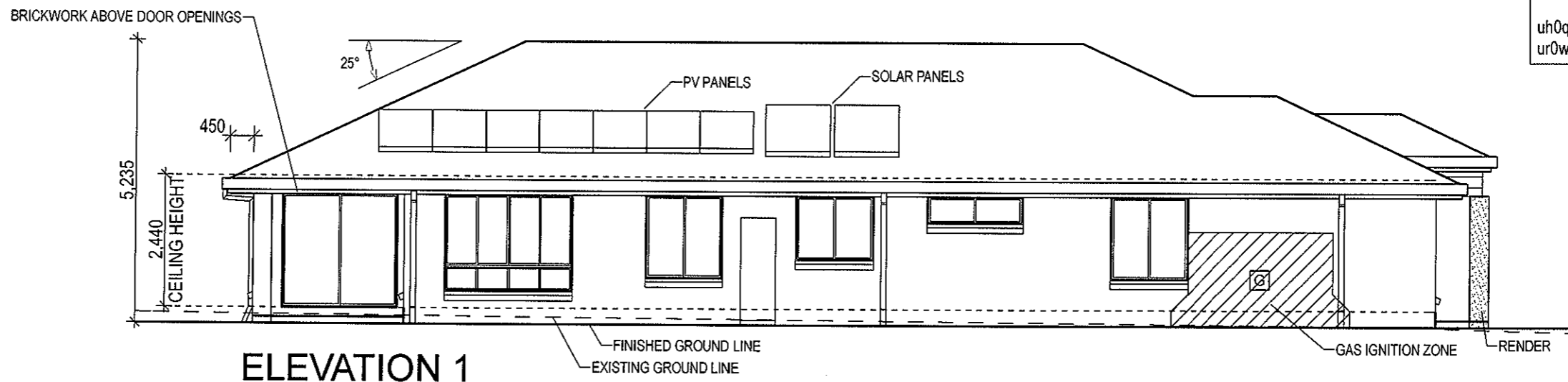
Home to 70,000 Australians
 WWW.DIXONHOMES.COM.AU
1300 10 10 10
 Admired since 1959

Unauthorised use of these Dixon System's plans constitutes a breach of the Copyright Act and make you liable for significant damages.

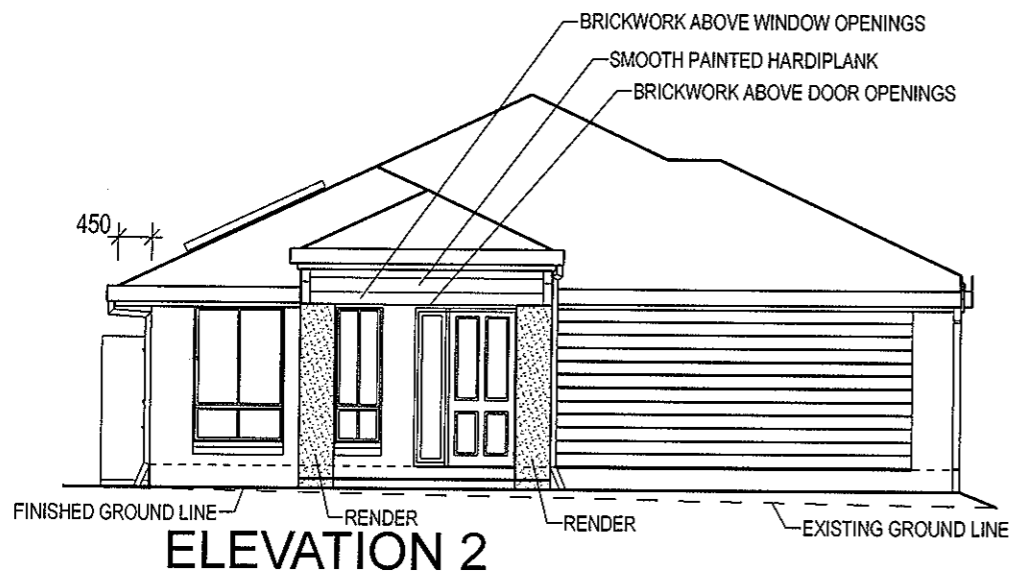
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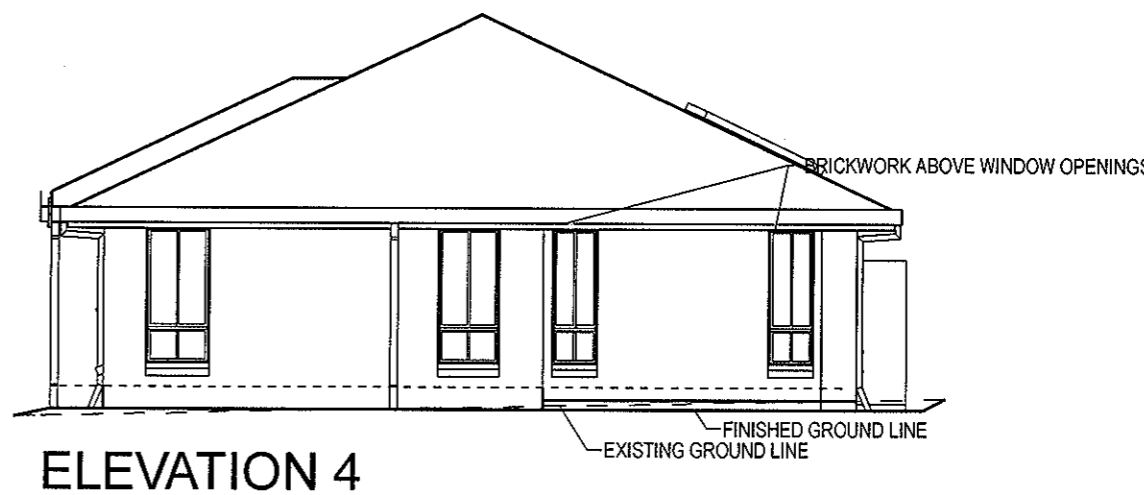
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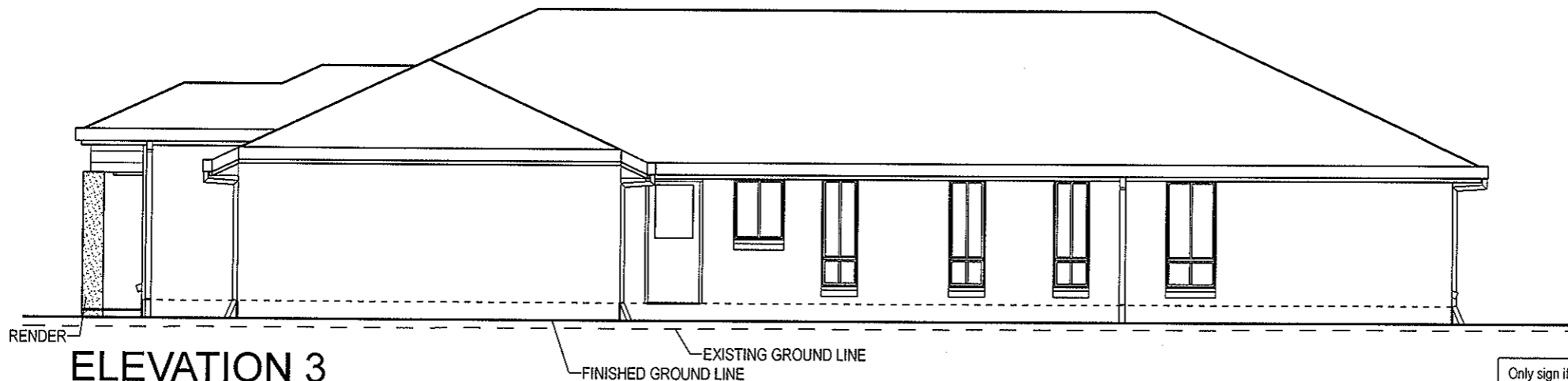
ELEVATION 1



ELEVATION 2



ELEVATION 4



ELEVATION 3

ARTICULATION JOINT SPACING: 5m

Only sign if 100% correct. If not correct please contact your consultant.

CLIENT:..... DATE:.....

CLIENT:.....

BUILDER:..... DATE:.....

NOT TO BE MODIFIED WITHOUT WRITTEN AUTHORITY

G & C ANDREWS

Lot 2267 Tengala Drive, Jordan Springs
PENRITH NSW, 2750
RP. DP1168993 MAP REF.

TAMWOOD LTD. LIC. 25373 (QLD) 74338 (NSW)
DRAWN BY: eej 03/02/2014
DRAWN FOR: Carrington, Brisbane
Carrington Homes

Home to 70,000 Australians
WWW.DIXONHOMES.COM.AU
DIXONHOMES
1300 10 10 10
Admired since 1959

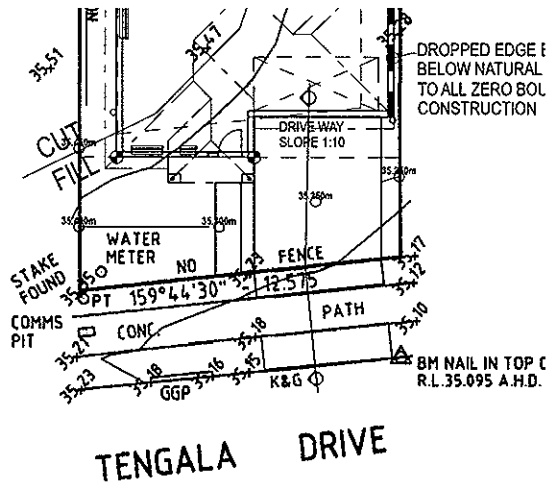
FLOOR AREA	209.21 M2	SCALE	1:100
PORCH/CARPORT AREA	15.26 M2	ROOF	Metal 25°
PATIO % OF FOOTPRINT	6.8%	EXT WALL	70F/50/110B
		CEILING HT	2440
		WIND RATING	N2
JOB	SC6324		

NOTE: WINDOWS AND DOORS SHOWN ARE STANDARD BLOCKS ONLY. FOR DETAIL ON PANEL SIZE & POSITION SEE CODES ON THE FLOOR PLAN. WINDOW SIZE AND STYLE ARE INDICATIVE ONLY AND MAY VARY DEPENDING ON SUPPLIER

Plan Dimensions/Errors and Omissions. Where inadvertent changes to the originally specified dimensions and/or spaces occur, the Owner(s) will only be entitled to compensation for consequential financial loss on a resale basis, as assessed by a registered valuer nominated by the Queensland Institute of Valuers and a refund for items charged for, but not incorporated in the Contract

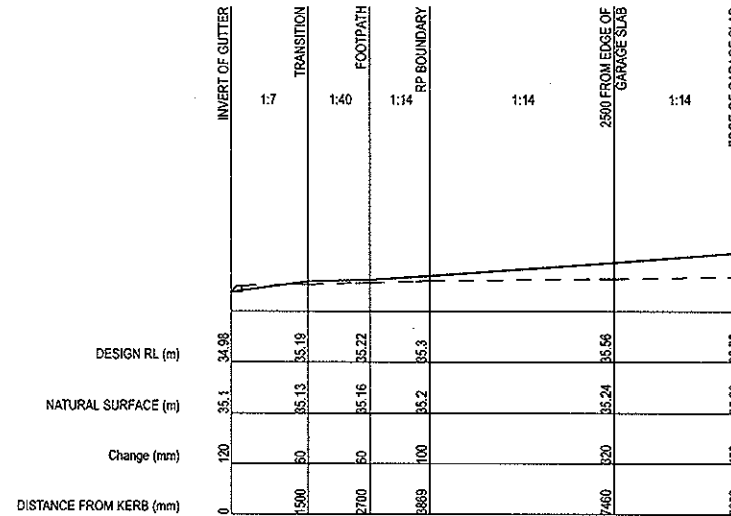
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TENGALA DRIVE
DRIVEWAY CROSSOVER PLAN

SCALE 1:200



LONGITUDINAL SECTION

SCALE 1:100

———— DESIGN RL
- - - - - NATURAL GROUND LINE

I EDDIE JOHNSON, CERTIFY THIS IS A TRUE REPRESENTATION OF THE SITE

APPROX LEVEL OF TOP OF GARAGE SLAB: 35.75m

SIGNED: _____ NOTE: DRIVEWAY TO BE SUPPLIED AND INSTALLED BY OWNER

TRAWOOD LTD. LIC. 25373 (OLD) 74336 (NSW)
 DRAWN BY: eej 14/10/2013
 DRAWN FOR: Cairngrove, Brisbane
 Carrington Homes

Home to 70,000 Australians
 WWW.DIXONHOMES.COM.AU
1300 10 10 10
 Admired since 1959

FLOOR AREA	209.21 M2	SCALE	1:100
PORCH/CARPORT AREA	15.26 M2	ROOF	Metal 25°
PATIO % OF FOOTPRINT	6.8%	EXT WALL	70F/50/110B
		CEILING HT	2440
		WIND RATING	N2
JOB 90041		SC6324	

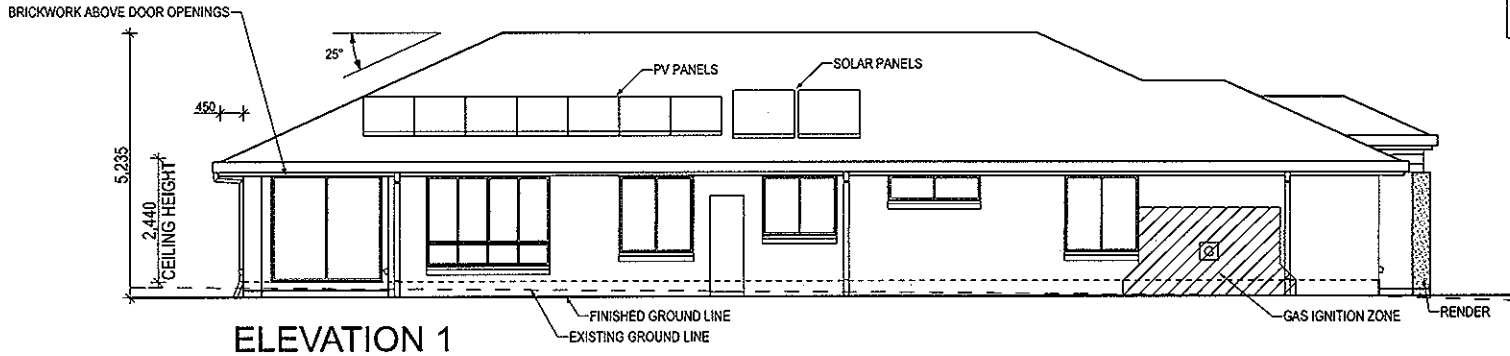
G & C ANDREWS
 Lot 2267 Tengala Drive, Jordan Springs
 PENRITH NSW, 2750
 RP. DP1168993 MAP REF.

Unauthorised use of these Dixon System's plans constitutes a breach of the Copyright Act and make you liable for significant damages.

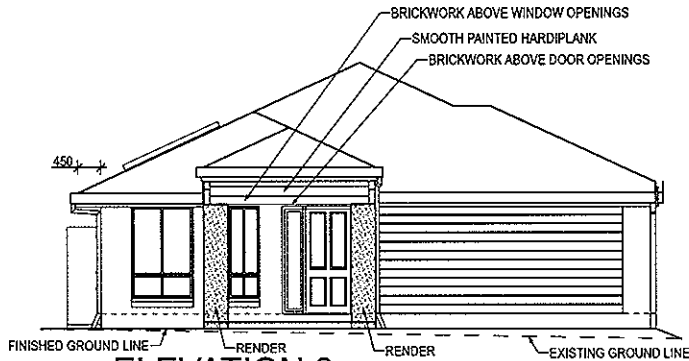
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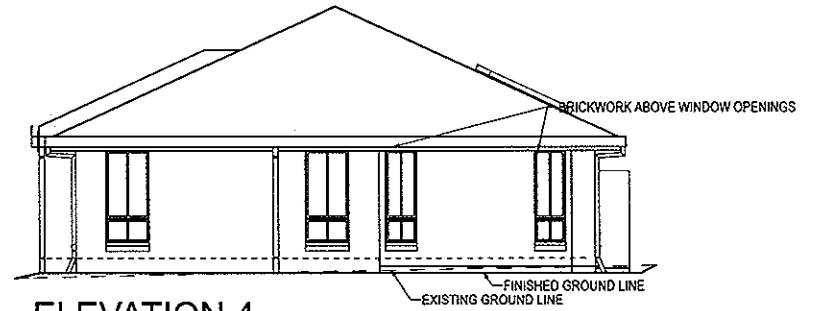
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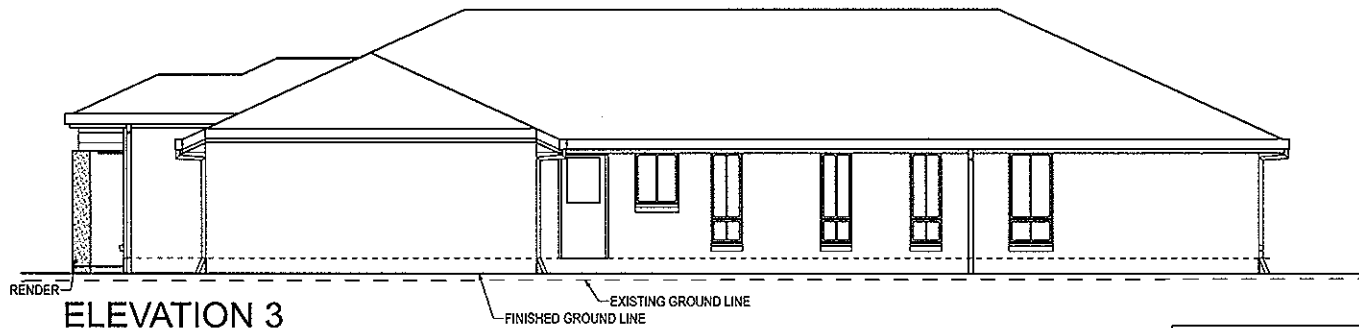
ELEVATION 1



ELEVATION 2



ELEVATION 4



ELEVATION 3

ARTICULATION JOINT SPACING: 5m

Only sign if 100% correct. If not correct please contact your consultant.

CLIENT:..... DATE:.....

CLIENT:.....

BUILDER:..... DATE:.....

NOT TO BE MODIFIED WITHOUT WRITTEN AUTHORITY

G & C ANDREWS
Lot 2267 Tengala Drive, Jordan Springs
PENRITH NSW, 2750
RP. DP1168993 MAP REF.

FLOOR AREA	209.21 M2	SCALE	1:100
PORCH/CARPORT AREA	15.26 M2	ROOF	Metal 25°
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TRAWWOOD LTD. LIC. 25373 (QLD) 74338 (NSW)
DRAWN BY: (ed) 14/10/2013
DESIGN FOR: Carrington, Brisbane
Carrington Homes

Home to 70,000 Australians
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A3

- ROOFWATER**
- To Street Channel or Gully
 - To Connection Point
 - To Dispersion Pods
 - To Rubble Pits (MIN 6m from house & 1.5m from bdy)
 - To Water Tanks

EARTHWORKS
GL: 35.45 approx
FFL: 35.75 approx
 Side Scrape, Import & Compact fill to provide level building pad

NOTES:
 * When preparing plumbing & drainage plan, position pipes under floor slab to allow for shortest possible run
 * All dimensions, boundary and setbacks to be verified on site
 The pad and slab height levels are to be read as that stated plus or minus 300mm and subject to further changes due to moisture content, settlement, bulking and / or similar. The client accepts that those levels will be varied without further notice to avoid extra costs of importing or disposing of fill.

CLIENT

WATER TANK PLUMBING AND CAPACITY TO COMPLY WITH COUNCIL REQUIREMENTS AND BE INSTALLED TO MANUFACTURERS SPECIFICATIONS

PRIVATE OPEN SPACE

PRIVATE OPEN SPACE REQUIRED	56.16m2	15%
PRIVATE OPEN SPACE PROVIDED	56.18m2	15%

UNCOVERED P.O.S. REQUIRED	42.12m2	75%
UNCOVERED P.O.S. PROVIDED	44.27m2	78.8%

CAUTION

- THIS SURVEY DOES NOT GUARANTEE THE LOCATION OF BOUNDARY PEGS.
- NON-VISIBLE SERVICES HAVE NOT BEEN LOCATED.
- THE CERTIFICATE OF TITLE MUST BE CHECKED FOR EASEMENTS AND ENCUMBRANCES.

NOTE

LEVELS TAKEN ON 19/4/13 AND ARE SUBJECT TO CHANGE OR SITE GRADING.

WARNING-

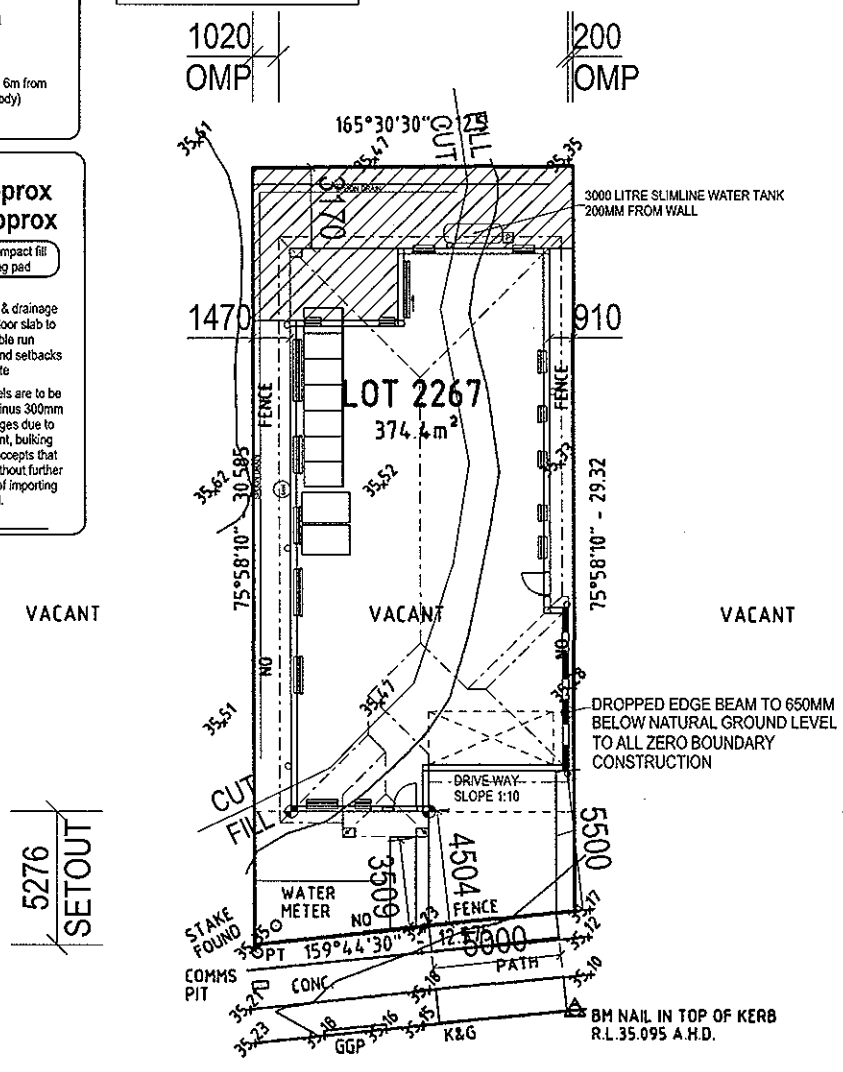
- Plan compiled from information at Land Titles Office as regards dimensions and these are subject to final survey
- All details and features shown hereon have been plotted in relation to the occupations (fences and/or walls, etc.). These occupations have not yet been accurately located in relation to the boundaries.
- The detail and features and contours are shown to scale plot accuracy only. Copying may distort the scale.
- Service structures shown hereon are those that were visible at the time of survey and have been located by field survey. Further services may be present. Prior to any construction or excavation on site the relevant authorities should be contacted for possible location of further underground services and detailed locations of all services.

SITE CALCULATIONS

SITE AREA : 374.4 m2
 GROUND FLOOR : 173.21 m2
 FIRST FLOOR : N/A
 GARAGE : 36 m2
 PORCH : 15.26 m2

SEPP CODE CALCULATIONS

SITE COVERAGE : 55.87 %
 FLOOR AREA : 209.21 m2
 LANDSCAPING : >40%



2717 OMP

3911 SETOUT

3509 OMP

5276 SETOUT

BM ORIGIN SSM18014.8 R.L. 36.367 BY OTHERS

1470 SETOUT

5670 SETOUT

TENGALA DRIVE

TITLE
LEVEL AND FEATURE SURVEY
LOT 2267 D.P. UNREGISTERED
TENGALA DRIVE
JORDON SPRINGS

ASHER SILCOCK CONSULTING
 PTY LTD
 A.C.N. 155 115 710
 2/231 Marsborough Rd, Marsborough, NSW 2835
 PHONE: 04081 65667
 EMAIL: steve@ashersconsulting.com.au
 CIVIL AND RESIDENTIAL SURVEYORS

REV	AMENDMENT	DATE	CHECK
1		29/4/13	
PROJECT NO.	1:200	DATE	29/4/13
DRAWING NO.	136511s	JOB NO.	13651
DRAWN BY:	A.H.D.	CHECKED BY:	DB
DATE:	29/4/13	DATE:	
APPROVED BY:		DATE:	
SHEET:	1 OF 1		

2:55:3004:1097:10K6 in

10/03/2013 11:40:09 AM