

- LOT 2170 CABARITA WAY JORDAN SPRINGS ADDRESS MELWAY REF No. ?
- SITE SOIL CLASSIFICATION CLASS '?' TO AS 2870-1996
- DWELLING & GARAGE: WAFFLE POD CONCRETE
- SLAB DEEP SITE SCRAPE & FILL TO R.L. ?
- SITE CUT GARAGE TO R.L. ?
- FREEBOARD ?mm
- REBATE TO HOUSE ?mm
- STEP DOWN TO ALFRESCO ?mm
- STEP DOWN TO PORCH ?mm
- STEP DOWN TO GARAGE ?mm
- PROPERTY SUBJECT TO HIGH WIND SPEEDS OF ? m/s
- CUT TO BE 1.0m MINIMUM FROM EDGE OF BUILDING AND BATTERED BACK AT 45° (Min) UNLESS OTHERWISE SHOWN. CUT OUTSIDE HOUSE LINE TO FALL AWAY FROM HOUSE TO TOE OF BATTER BY 75mm MINIMUM.
- CONTOURS ARE AT 200mm INTERVALS LEVELS ARE TO AN ASSUMED DATUM
- A.G. DRAINS & SILT PITS TO BASE OF CUT BACKFILL TO ALL EXPOSED EDGE BEAMS
- DRAINER MUST REFER TO START WORK NOTICE FOR SEWER POINT LOCATION
- SURPLUS SPOIL TO BE DISPOSED FROM SITE INCL- FROM SERVICES TRENCHES RETAIN FILL ON SITE FOR BACKFILL TO SLAB REBATE AS REQ'D
- IF CROSSOVER IS NOT PROVIDED OR EXISTING CROSSOVER IS NOT IN CORRECT POSITION TO DRIVEWAY THE FULL COST TO CONSTRUCT NEW CROSSOVER IS AT THE OWNER'S EXPENSE
- STORMWATER DRAIN NOTES:
 - PROVIDE 100mm DIAMETER HEAVY DUTY PVC STORMWATER PIPE WITH MINIMUM FALL OF 1:100
 - PROVIDE 100mm DIAMETER PVC STORMWATER PIPE UNDER GARAGE AND FUTURE DRIVEWAYS
 - STORMWATER DRAIN LAYOUT IS INDICATIVE ONLY AND WILL BE LAID AT THE DRAINER'S DISCRETION
 - PROVIDE 100x50 DOWNPIPES PER 12000 MAX. OF GUTTER FALL.
- POSITION OF THE FRONT GARDEN TAP & WATER METER IS BY WATER AUTHORITY, THE FULL COST OF RELOCATION IS AT THE OWNER'S EXPENSE.
- TERMITE TREATMENT TO COMPLY WITH A.S 3660.1 2000 SPECIFICATIONS

NOTE: COLOUR PALETTE - PAPERBARK

MIN 2500 Lt. RAINWATER TANK. RAINWATER TANK TO BE PLUMBED TO DWELLING AS PER BASIX APPROVAL

NOTES:

ANY RETAINING WALLS VISIBLE FROM THE STREET OR 900MM HIGH OR OVER ARE TO BE OF MASONRY CONSTRUCTION.

ANY EXISTING STREET TREES AND VERGE PLANTING ARE TO BE PROTECTED DURING CONSTRUCTION.

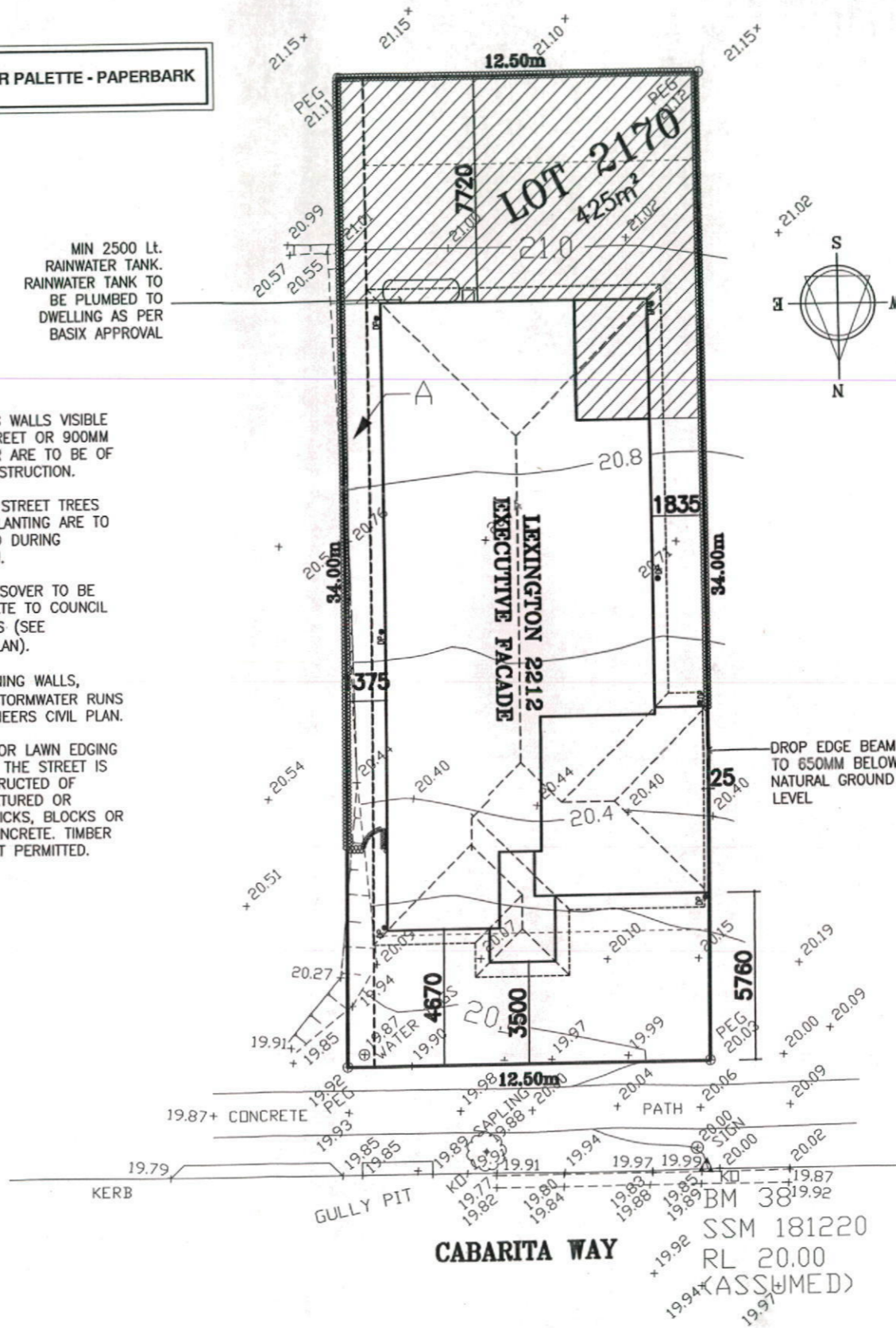
VEHICLE CROSSOVER TO BE PLAIN CONCRETE TO COUNCIL SPECIFICATIONS (SEE LANDSCAPE PLAN).

F.F.L'S, RETAINING WALLS, CUT/FILL & STORMWATER RUNS AS PER ENGINEERS CIVIL PLAN.

ANY GARDEN OR LAWN EDGING VISIBLE FROM THE STREET IS TO BE CONSTRUCTED OF MASONRY, TEXTURED OR COLOURED BRICKS, BLOCKS OR COLOURED CONCRETE. TIMBER EDGING IS NOT PERMITTED.

SITE CALCULATIONS

SITE TYPE C - 300sqm-<450sqm	EXISTING	PROPOSED	REQUIRED	COMPLIANCE
MINIMUM STREET FRONTAGE	12.5m	12.5m	6.0m	YES
MAXIMUM SITE COVERAGE	N/A	49%	55%	YES
MAXIMUM FLOOR AREA	N/A	211sqm	270sqm	YES
MAXIMUM BUILDING HEIGHT	N/A	4.8m	8.5m	YES
MINIMUM LANDSCAPED AREA	N/A	30%	15%	YES
MINIMUM PRINCIPLE PRIVATE OPEN SPACE	N/A	117sqm	16sqm-24sqm	YES



- DAL-12.5**
- PROVIDE BUSH-FIRE RATED CONSTRUCTION TO COMPLY WITH CLAUSES 5.4, 5.5, 5.6 AND 5.8 OF THE AUSTRALIAN STANDARD AS 3659-2009 AND SHALL INCORPORATE, BUT IS NOT LIMITED TO, THE FOLLOWING ITEMS.
- PROVIDE BUSH-FIRE RATED CONSTRUCTION TO COMPLY WITH CLAUSES 5.4, 5.5, 5.6 AND 5.8 OF THE AUSTRALIAN STANDARD AS 3659-2009 AND SHALL INCORPORATE, BUT IS NOT LIMITED TO, THE FOLLOWING ITEMS.
- EXTERNAL WALLS**
- VENTS AND WEEDHOLES TO BE SCREENED WITH ALUMINUM MESH WITH MAXIMUM APERTURE SIZE OF 2MM.
 - CLADDING MAY BE- FIBRE CEMENT SHEET CLADDING NOT LESS THAN 6MM THICK OR BUSH-FIRE RESISTING TIMBER OR ANY COMBINATION OF THESE.
 - FINISH ALL JOINTS IN THE EXTERNAL SURFACE MATERIAL OF WALLS TO PREVENT GAPS GREATER THAN 3 MM.
- SCREENS**
- SCREENS SHALL BE ALUMINUM FRAMED WITH ALUMINUM MESH WITH MAXIMUM APERTURE SIZE OF 2MM AND SHALL FIT WINDOW AND DOOR OPENINGS TO PREVENT GAPS GREATER THAN 3MM.
 - THE OPENABLE PORTIONS OF WINDOWS SHALL BE SCREENED.
 - FRAMES AND GLAZING, IF LESS THAN 400MM FROM AN EXTERNAL 'HORIZONTAL SURFACE' SHALL HAVE FRAMES MADE FROM METAL OR FIRE RESISTANT TIMBER AND SHALL HAVE GRADE A SAFETY GLASS MINIMUM 4MM THICK.
- DOORS**
- PROVIDE WEATHER STRIPS OR DRAUGHT EXCLUDERS/SEALS AT BASE OF ALL EXTERNAL HINGED DOORS.
 - FRONT ENTRY AND GARAGE REAR ACCESS DOORS (IF APPLICABLE) TO HAVE FRAMES MADE FROM METAL OR FIRE RESISTANT TIMBER.
 - GARAGE DOORS TO BE FITTED WITH WEATHER STRIPS, DRAUGHT EXCLUDERS/SEALS (EMB-A-SEAL), WITH GAPS NOT GREATER THAN 3MM.
 - SLIDING DOORS SHALL HAVE FRAMES MADE FROM METAL OR FIRE RESISTANT TIMBER AND SHALL HAVE GRADE A SAFETY GLASS COMPLYING WITH AS 1288 OR BE PROTECTED BY AN EXTERNAL SCREEN COMPLYING WITH CLAUSE 5.5.1A.
- ROOFS**
- TILED ROOFS TO BE FULLY SARKED DIRECTLY BELOW ROOF BATTENS AND EXTENDING INTO GUTTERS AND VALLEYS. PREVENT GAPS WHERE SARKING MEETS FASCIAS, GUTTERS, VALLEYS AND THE LINE.
 - SHEET ROOFING SHALL HAVE FOIL-BACKED INSULATION INSTALLED OVER BATTENS.
 - GAPS GREATER THAN 2MM TO BE SCREENED WITH ALUMINUM MESH WITH MAXIMUM APERTURE SIZE OF 2MM.
 - BUTTERFLY CLOSERS AT/NEAR CEILING LEVEL TO EVAPORATIVE COOLING SYSTEM OR NON COMBUSTIBLE COVER WITH MESH MADE OF SS, BRONZE OR ALUMINUM, MAXIMUM APERTURE SIZE OF 2MM.
 - ALL TILED AND SHEET ROOFS AND EAVE PENETRATIONS (INCLUDING ROOF VENTILATORS, ROOF MOUNTED EVAPORATIVE COOLING UNITS) SHALL INCORPORATE METAL SCREENS AND BE SEALED WITH NON-COMBUSTIBLE MATERIAL TO PREVENT GAPS GREATER THAN 3MM.
 - PROVIDE ROOF VENTILATION TO FULLY SARKED ROOFS.
- UTILITY SERVICES**
- ALL ABOVE GROUND EXPOSED PIPES (WATER & GAS) TO BE METAL.

- FTH HOME NETWORK OPTICOMM-SMARTWIRING**
- COMPULSORY INSTALLATION OF OPTIC FIBRE SERVICE TO DWELLING- REFER TO www.opticomm.net.au GUIDELINES & SPECIFICATIONS
- FIBRE CONNECTION & OPTICAL NETWORK UNIT (NTD)
 - 25mmØ CONDUIT WITH FIBRE LEAD-IN WITH 90° SWEEP BENDS (NOT ELBOW BENDS) WITH A MIN. RADIUS OF 300mm. FROM PIT TO SIDE OF THE HOUSE INTO MB (METERBOX)
 - NTD WITH INTERNAL PSU (POWER SUPPLY CABINET) INC. 1 No. 10amp 240V to GPO (GENERAL PURPOSE OUTLET)
 - HDU (HOME DISTRIBUTION UNIT) WILL SPLIT INTERNET, PHONE AND TV POINTS ENABLING MULTIPLE ACCESS POINTS
 - ADDITIONAL POWER POINT FOR THE HDU
 - 2 Cat6 CABLES FROM THE MB TO THE HDU LOCATION (PHONE AND DATA)
 - ONE QUAD SHIELD RG6 CABLE FROM THE MB TO THE HDU (TELEVISION)
- WHAT YOU GET:
- MULTIPLE POINTS LOCATIONS WITHIN THE HOME WIRED BACK TO THE HDU
 - MULTIPLE INTERNET POINTS LOCATED WITHIN THE HOME WIRED BACK TO THE HDU
 - MULTIPLE TV POINTS WITHIN THE HOME WIRED BACK TO THE HDU
- ALL WORKS TO BE CARRIED OUT BY A REGISTERED & LICENCED CABLING CONTRACTOR

P.O.S AREA TABULATIONS

P.O.S - 115sqm

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INTERNET www.simonds.com.au

Spec: 2010 SIMVESTA SPEC. (VIC)

View: SITE PLAN

Customer: SCOTT & SIMMONE PRIDEAUX

Address: LOT 2170 CABARITA WAY JORDAN SPRINGS

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House: LEXINGTON 2212

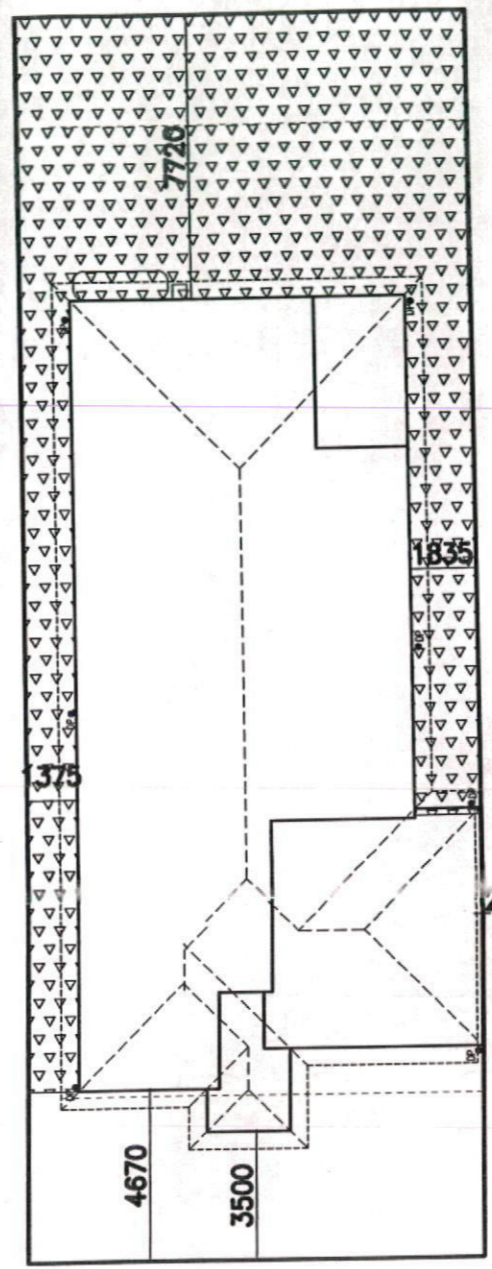
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Drawn: K.M. Job No: N0046

G.B. Checked: Sheet No: 1.1

V2

BASIX AREA TABULATIONS
 SITE AREA - 425sqm
 FORMAL WATERED LANDSCAPING - 150sqm



DROP EDGE BEAM
 TO 650MM BELOW
 NATURAL GROUND
 LEVEL

CABARITA WAY



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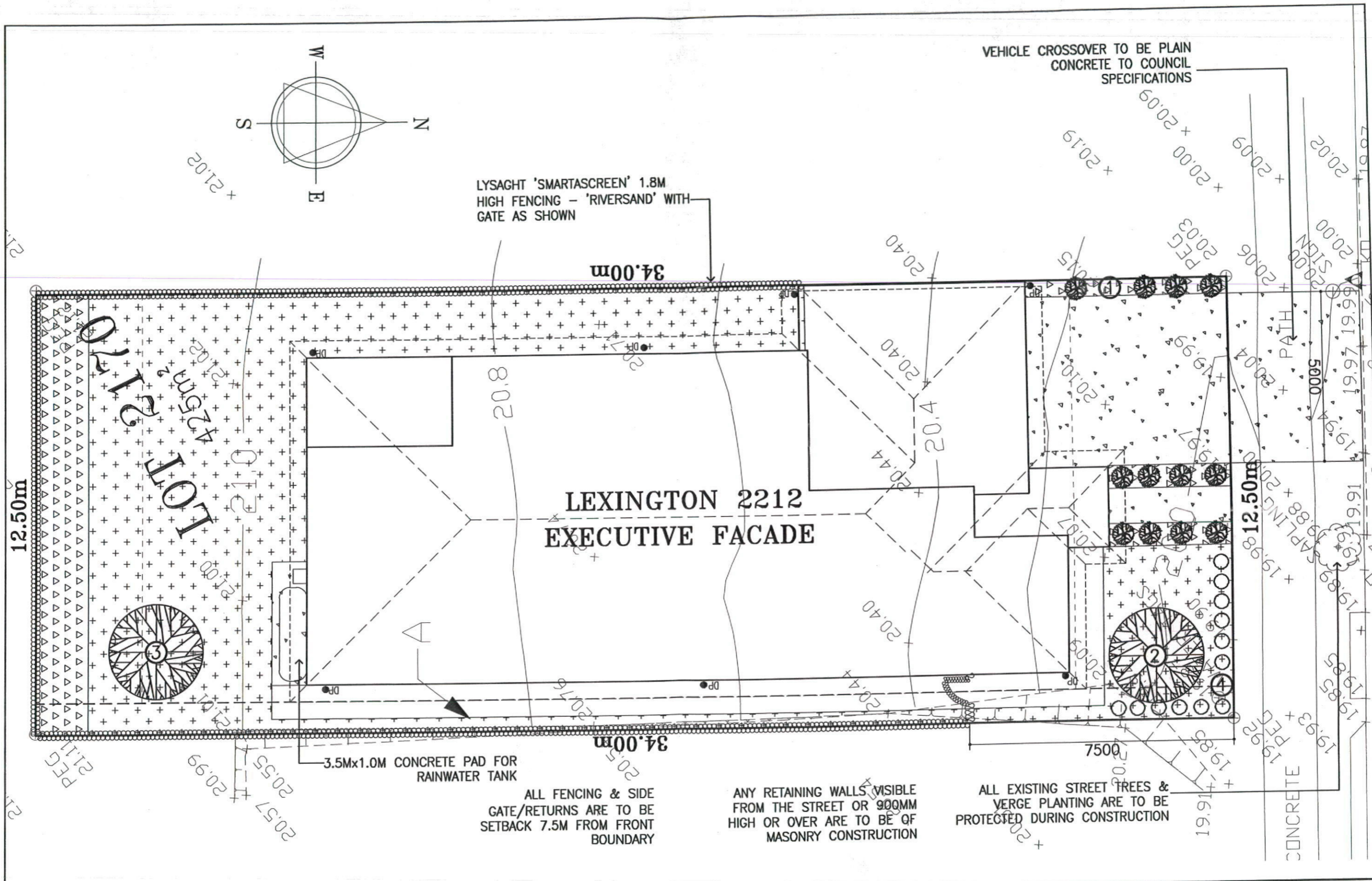
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V2

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LYSAGHT 'SMARTASCREEN' 1.8M
HIGH FENCING - 'RIVERSAND' WITH
GATE AS SHOWN

VEHICLE CROSSOVER TO BE PLAIN
CONCRETE TO COUNCIL
SPECIFICATIONS

**LEXINGTON 2212
EXECUTIVE FACADE**

3.5Mx1.0M CONCRETE PAD FOR
RAINWATER TANK

ALL FENCING & SIDE
GATE/RETURNS ARE TO BE
SETBACK 7.5M FROM FRONT
BOUNDARY

ANY RETAINING WALLS VISIBLE
FROM THE STREET OR 900MM
HIGH OR OVER ARE TO BE OF
MASONRY CONSTRUCTION

ALL EXISTING STREET TREES &
VERGE PLANTING ARE TO BE
PROTECTED DURING CONSTRUCTION

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LANDSCAPING PLAN

Customer:
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



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PLANT SCHEDULE (* INDICATES AUSTRALIAN NATIVE PLANT)

NAME	HEIGHT	MATURE HEIGHT	POT SIZE
① DIANELLA 'BREEZE' - FLAX LILY CULTIVAR*		0.3M	140MM CONTAINER
② BLUEBERRY ASH - ELAEOCADPUS RETICULATUS ALBA*	2.5M	4-5.5M	50MM CAL
③ CREPE MYRTLE - LAGERSTROEMIA ARCHERIANA*	2.5M	4-6.5M	50MM CAL
④ LOMANDRA WINGARRA*		0.3M	140MM CONTAINER

LEGEND

	CONCRETE PAVING		TURF
	GRAVEL PATH		GARDEN MULCH



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View: **LANDSCAPING SCHEDULE**

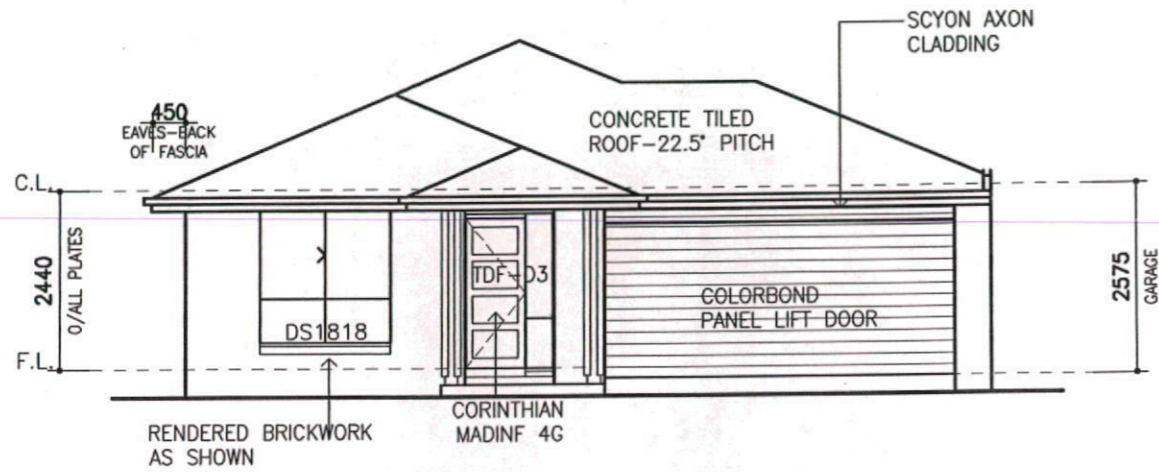
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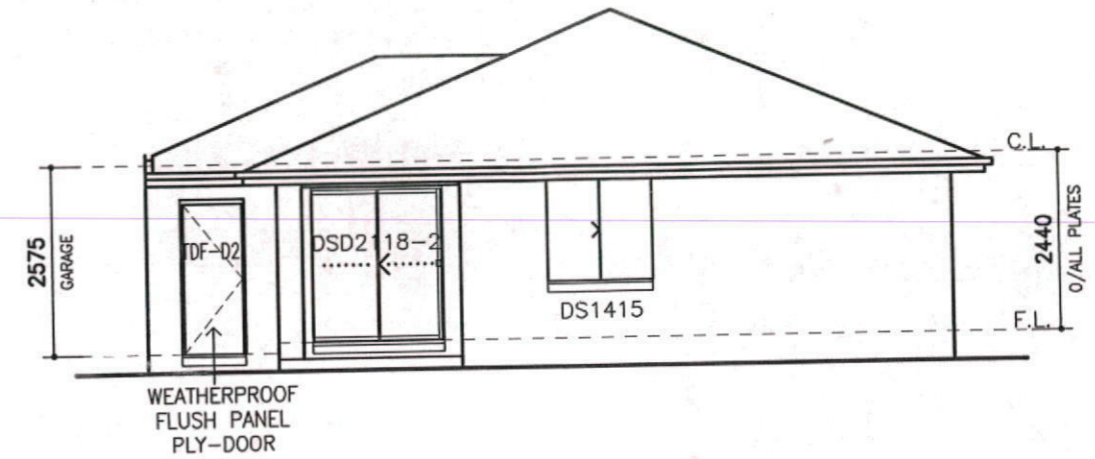
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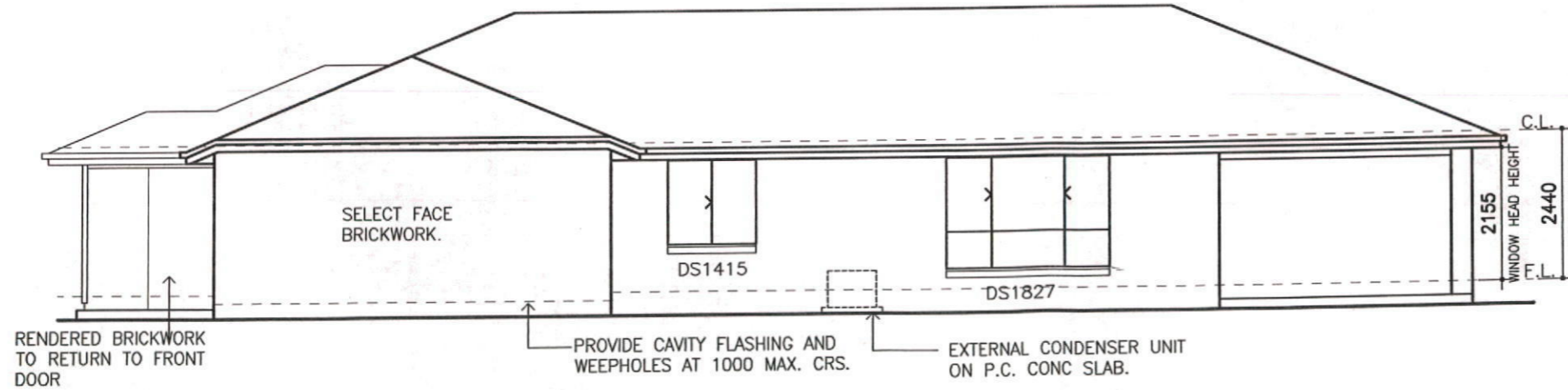
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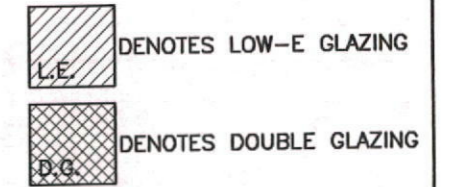
ELEVATION A



ELEVATION C



ELEVATION B



NOTE: ALL WINDOWS TO BE SET AT 2100mm O/A HEAD UNLESS NOMINATED OTHERWISE/IF BRICKWORK OVER, ADJUST HEAD HEIGHT TO WITHIN 5-10mm OF LINTEL

NOTE: PROVIDE BACKFILL TO ALL EXTERNAL OPENINGS TO PROVIDE A 190mm MAX. STEP UP INTO HOUSE AS PER BCA REQUIREMENTS.

NOTE: CONTROL JOINTS TO ENGINEERS RECOMMENDATIONS



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View: ELEVATIONS 1

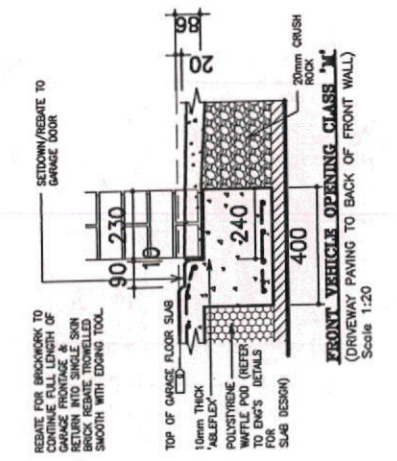
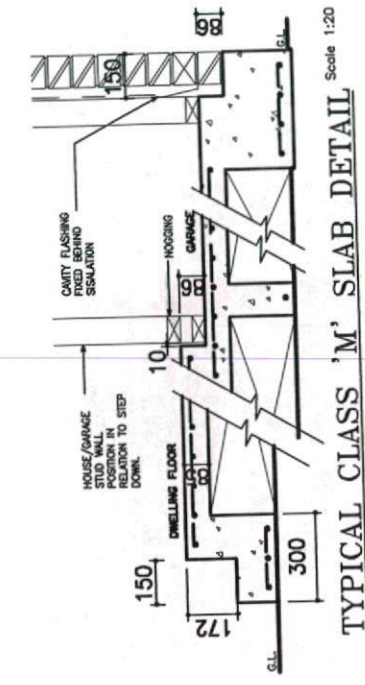
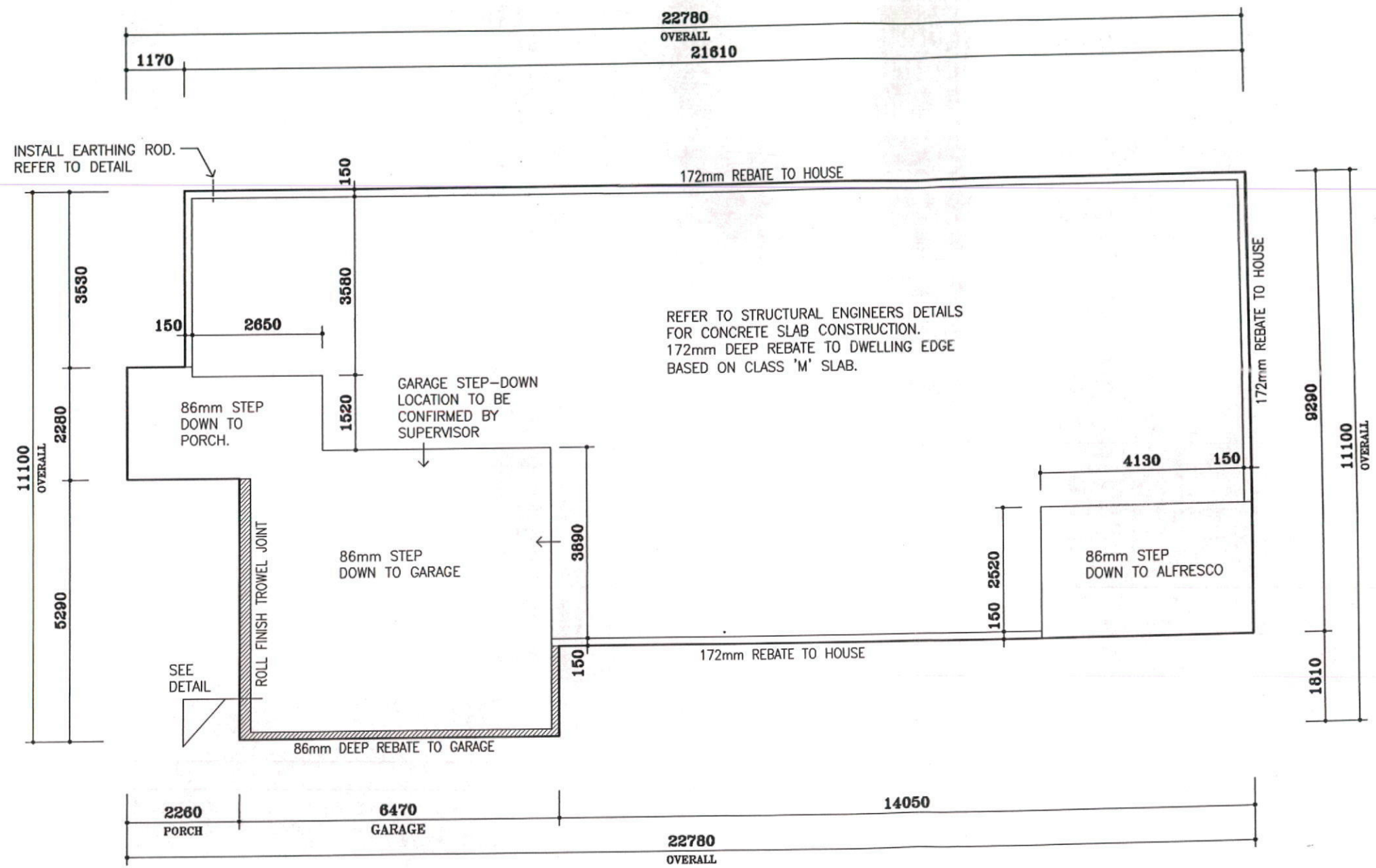
V2

Customer: SCOTT & SIMMONE PRIDEAUX

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View: **SLAB PLAN**

Customer: **SCOTT & SIMMONE PRIDEAUX**

Address: **LOT 2170 CABARITA WAY JORDAN SPRINGS**

V2

Scale: **1:100@A3**

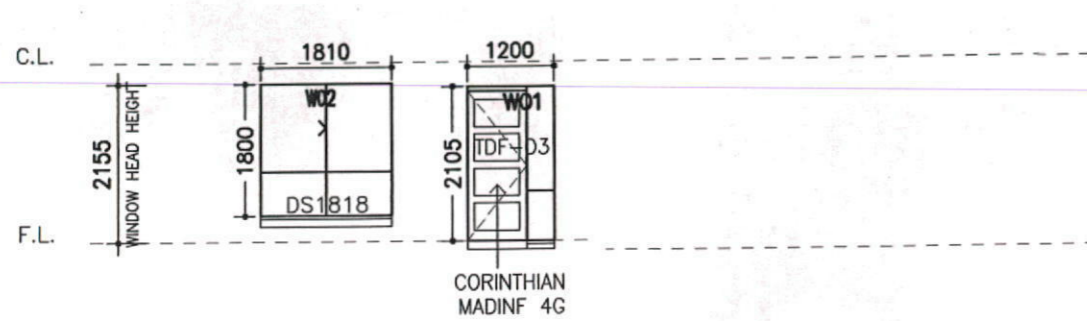
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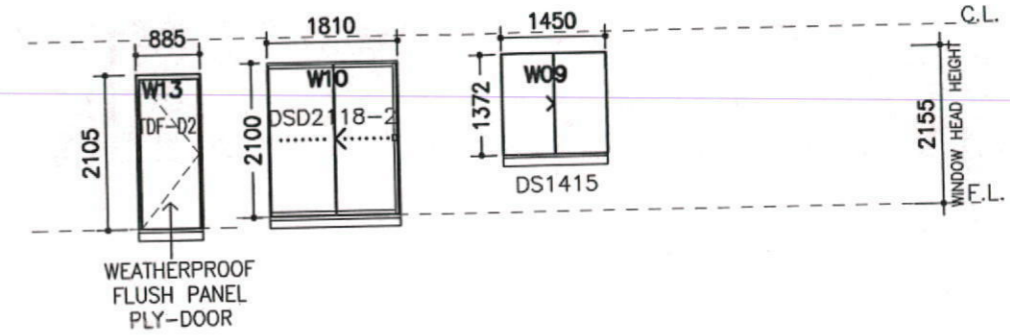
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Drawn: **K.M.** Job No: **N0046**

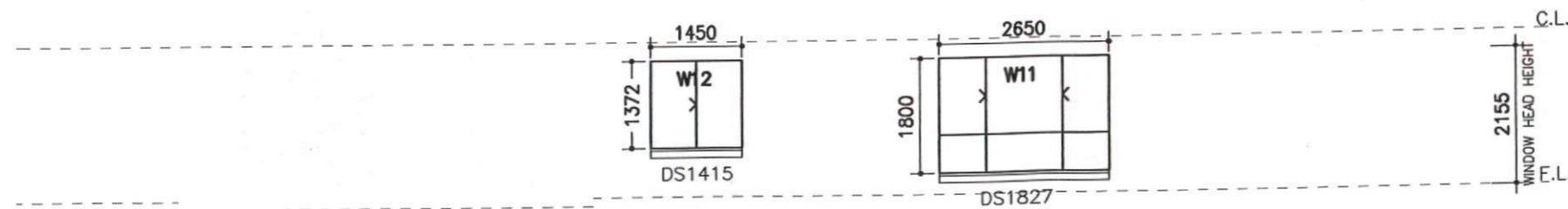
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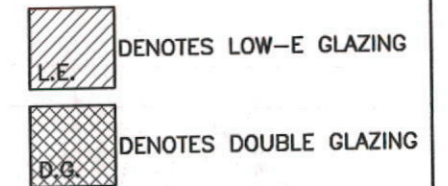
ELEVATION A



ELEVATION C



ELEVATION B



NOTE: ALL WINDOWS TO BE SET AT 2100mm O/A HEAD UNLESS NOMINATED OTHERWISE, IF BRICKWORK OVER, ADJUST HEAD HEIGHT TO WITHIN 5-10mm OF LINTEL

NOTE: PROVIDE BACKFILL TO ALL EXTERNAL OPENINGS TO PROVIDE A 190mm MAX. STEP UP INTO HOUSE AS PER BCA REQUIREMENTS.

NOTE: CONTROL JOINTS TO ENGINEERS RECOMMENDATIONS



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View: WINDOW SCHEDULE 1

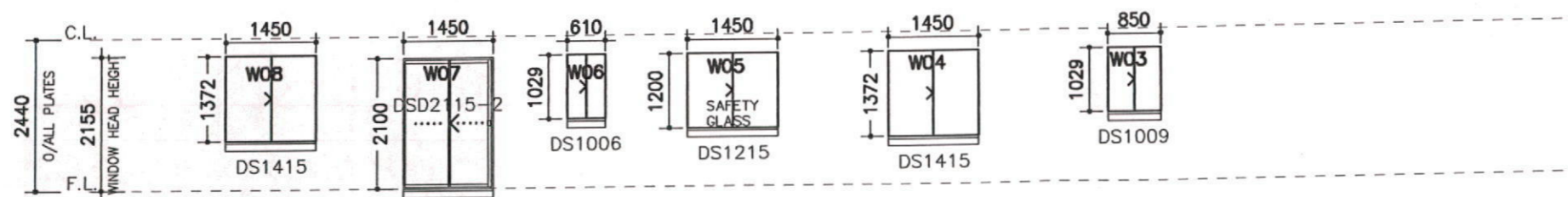
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Customer: SCOTT & SIMMONE PRIDEAUX

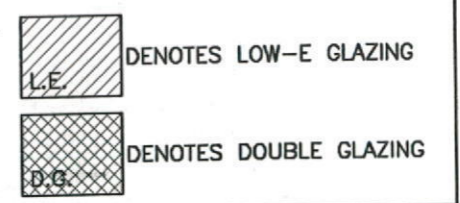
Address: LOT 2170 CABARITA WAY JORDAN SPRINGS

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ELEVATION D



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Spec: **2010 SIMVESTA SPEC. (VIC)**

View: **WINDOW SCHEDULE 2**

Customer: **SCOTT & SIMMONE PRIDEAUX**

Address: **LOT 2170 CABARITA WAY JORDAN SPRINGS**

V2

Scale: 1:100@A3
 Date: 12.07.12

House: **LEXINGTON 2212**

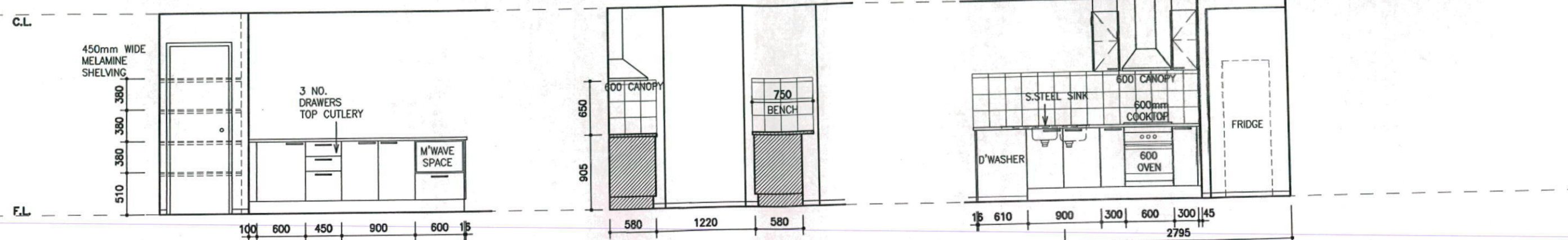
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Drawn: **G.B. K.M.** Job No: **N0046**

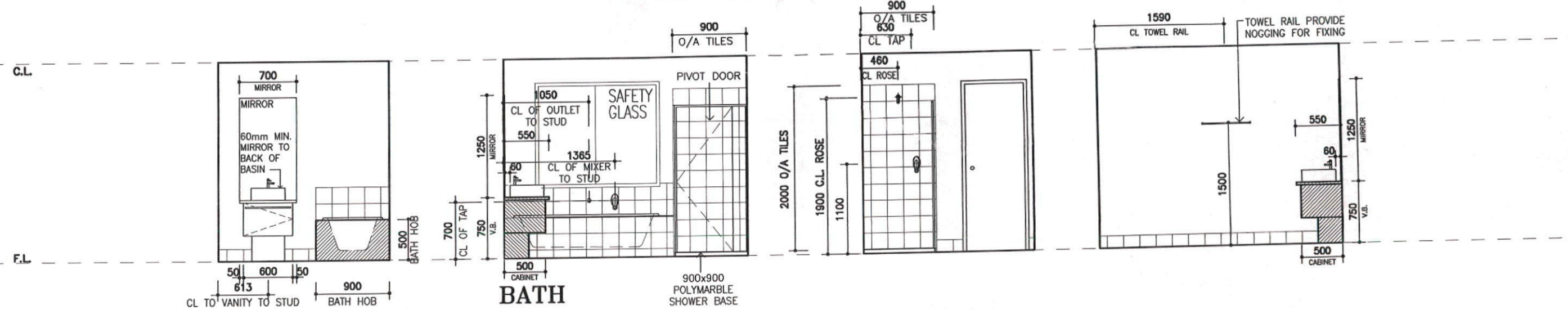
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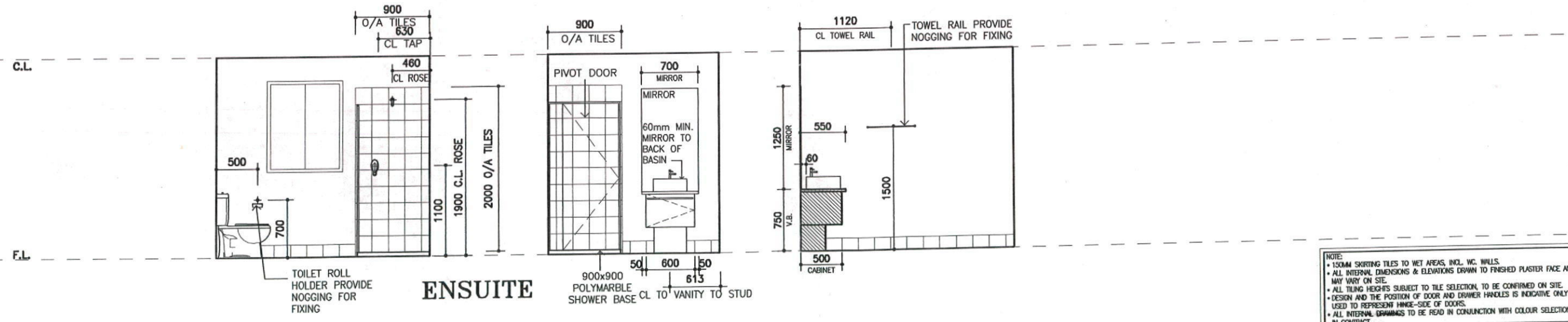
ALL GLASS TO CONFORM WITH AS1288-2006 : GLASS IN BUILDINGS



KITCHEN



BATH



ENSUITE

NOTE:
• 150MM SKirting TILES TO WET AREAS, INCL. WC. WALLS.
• ALL INTERNAL DIMENSIONS & ELEVATIONS DRAWN TO FINISHED PLASTER FACE AND MAY VARY ON SITE.
• ALL TILING HEIGHTS SUBJECT TO TILE SELECTION, TO BE CONFIRMED ON SITE.
• DESIGN AND THE POSITION OF DOOR AND DRAWER HANDLES IS INDICATIVE ONLY & USED TO REPRESENT HINGE-SIDE OF DOORS.
• ALL INTERNAL DRAWINGS TO BE READ IN CONJUNCTION WITH COLOUR SELECTION IN CONTRACT.

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View: **INTERNAL ELEVATIONS 1**

Customer: **SCOTT & SIMMONE PRIDEAUX**

Address: **LOT 2170 CABARITA WAY JORDAN SPRINGS**

V2

Scale: **1:50@A3**

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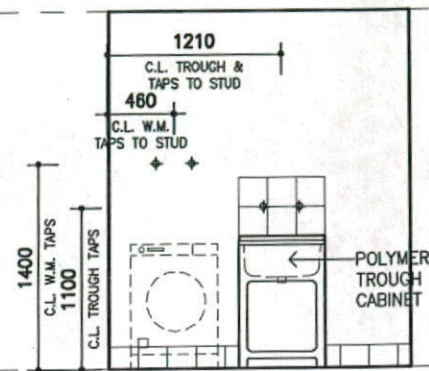
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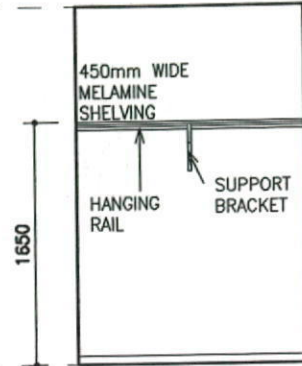
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C.L.

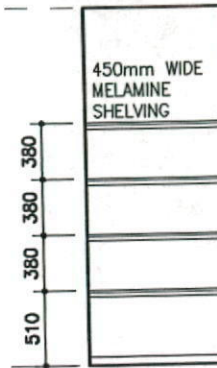
F.L.



L'DRY



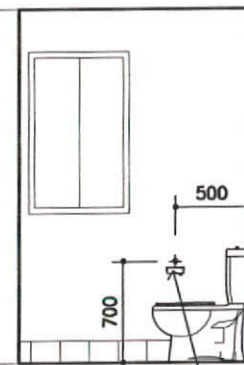
ROBE (TYP.)



LINEN

C.L.

F.L.



WC

C.L.

F.L.

NOTE:
 • 150MM SKIRTING TILES TO WET AREAS, INCL. WC WALLS.
 • ALL INTERNAL DIMENSIONS & ELEVATIONS DRAWN TO FINISHED PLASTER FACE AND MAY VARY ON SITE.
 • ALL TILING HEIGHTS SUBJECT TO TILE SELECTION, TO BE CONFIRMED ON SITE.
 • DESIGN AND THE POSITION OF DOOR AND DRAWER HANDLES IS INDICATIVE ONLY & USED TO REPRESENT HINGE-SIDE OF DOORS.
 • ALL INTERNAL DRAWINGS TO BE READ IN CONJUNCTION WITH COLOUR SELECTION IN CONTRACT.



SIMONDS HOMES MELBOURNE P/L ACN 050 197 610
 HEAD OFFICE 2ND FLOOR 28-32 ALBERT ROAD, SOUTH MELBOURNE VIC 3205
 TELEPHONE (03) 9682 0700
 ENQUIRIES 1300 733 133
 E-MAIL enquiries@simonds.com.au
 INTERNET www.simonds.com.au

Spec: 2010 SIMVESTA SPEC. (VIC)

View: INTERNAL ELEVATIONS 2

V2

Customer: SCOTT & SIMMONE PRIDEAUX

Address: LOT 2170 CABARITA WAY JORDAN SPRINGS

Scale: 1:50@A3

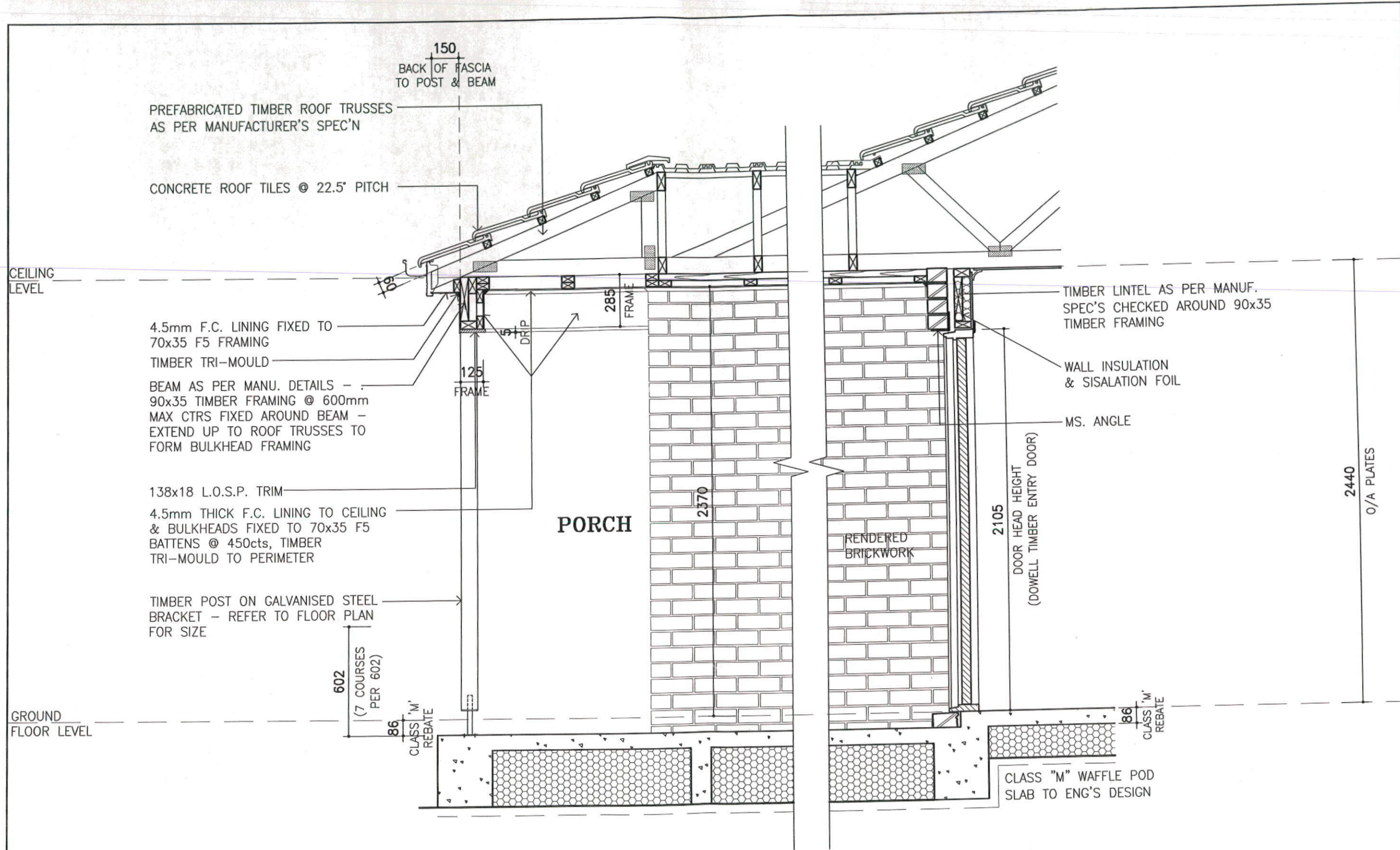
Date: 12.07.12

House: LEXINGTON 2212

Facade: EXECUTIVE

Drawn: G.B. K.M. Job No: N0046

Checked: Sheet No: 8.2



SECTION A.1.3.1.1_SIM
SCALE 1:20



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TELEPHONE (03) 9682 0700
ENQUIRIES 1300 733 133
E-MAIL enquiries@simonds.com.au
INTERNET www.simonds.com.au

Spec: **2010 SIMVESTA SPEC. (VIC)**

View: **SECTION A.1.3.1.1_SIM**

V2

Customer: **SCOTT & SIMMONE PRIDEAUX**

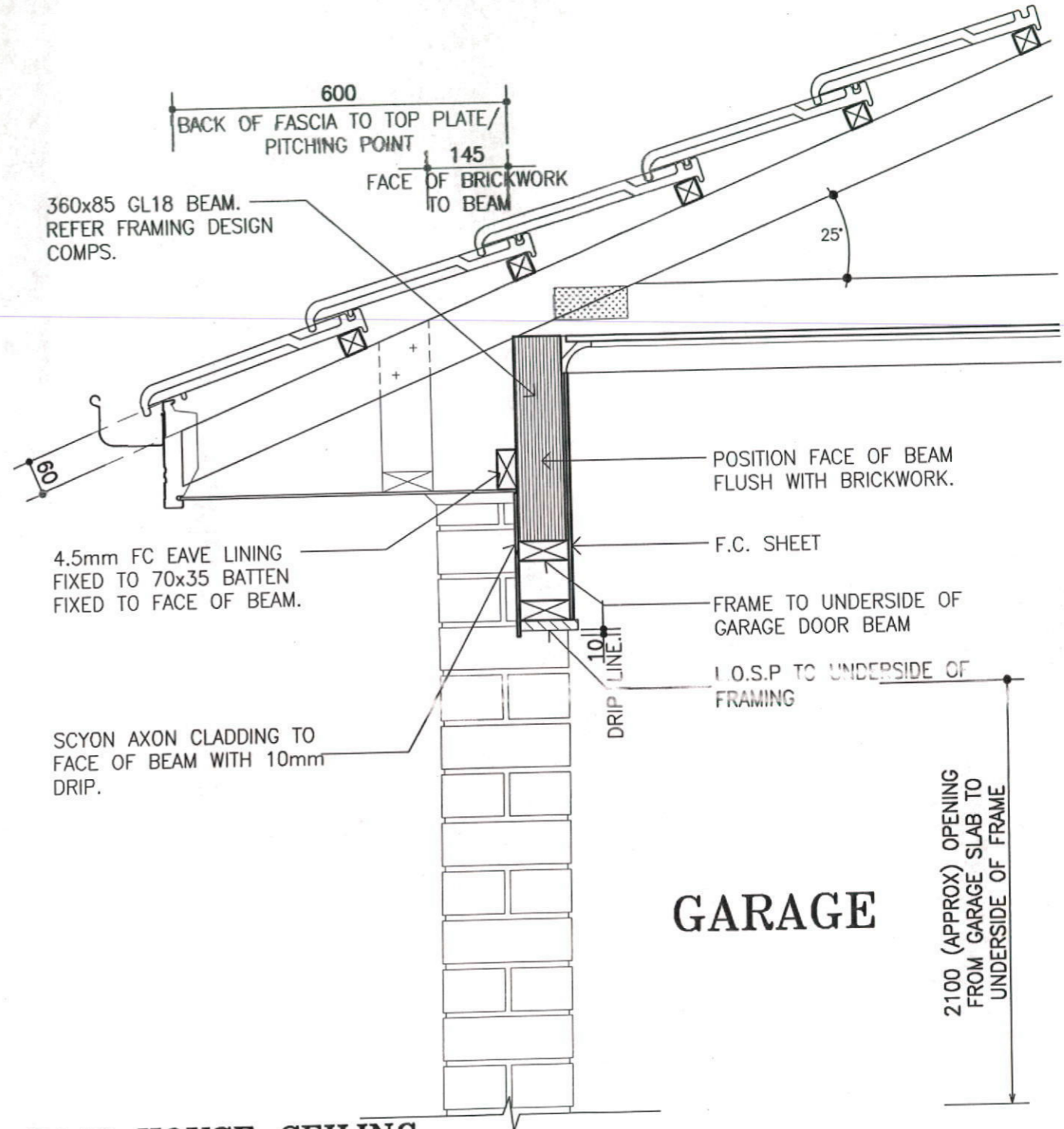
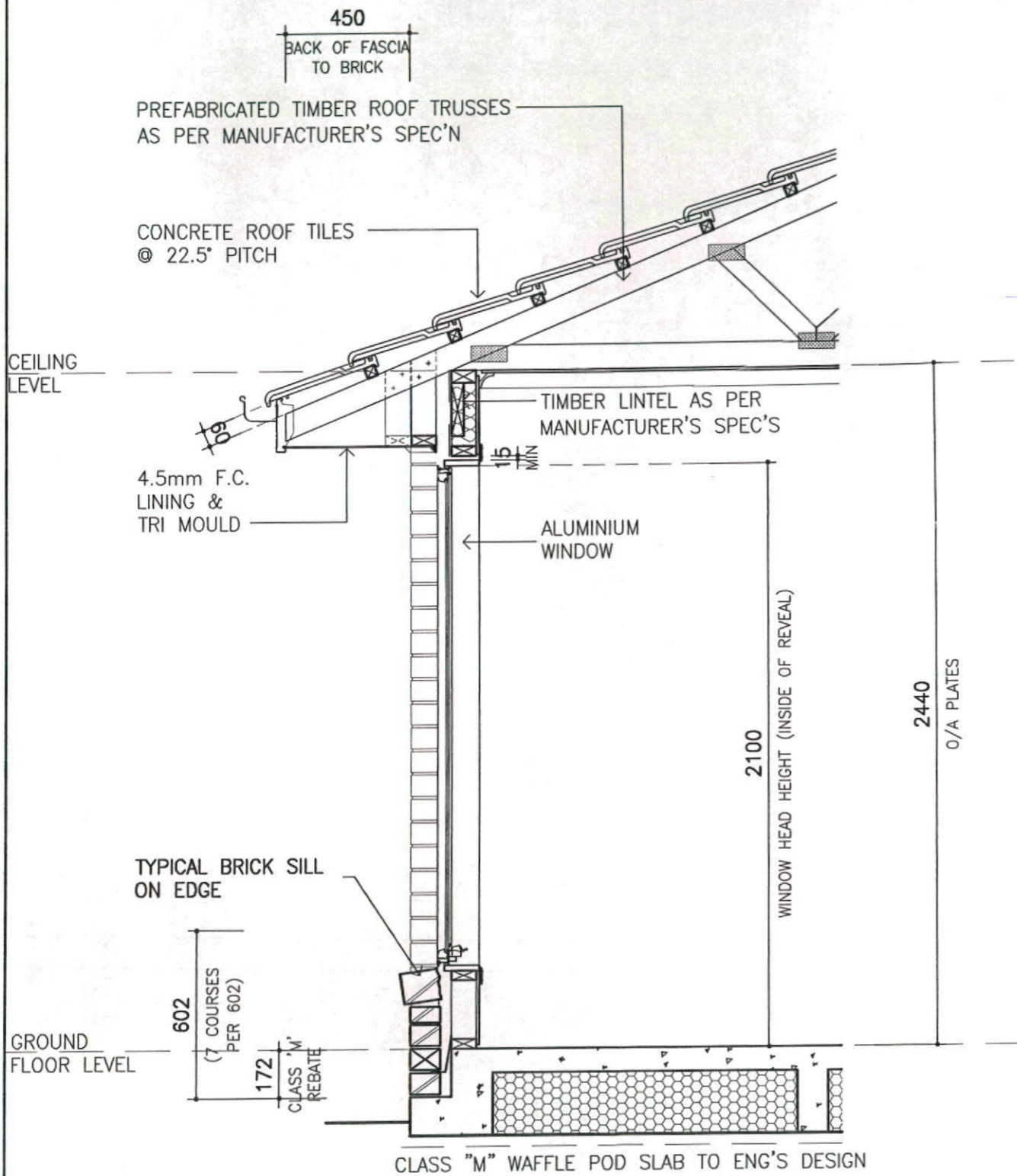
Address: **LOT 2170 CABARITA WAY JORDAN SPRINGS**

Scale: **1:25@A3**
Date: **12.07.12**

House:	LEXINGTON 2212
Facade:	EXECUTIVE
Drawn:	Job No: N0046
G.B. K.M.	Sheet No: 9.1
Checked:	

DOWELL ALUMINIUM WINDOWS

WINDOW SCHEDULE (Nominal Sizes) DOWELL WINDOW SCHEDULE
 FOR STUD (FRAMED) OPENINGS: Window WIDTH PLUS 50mm, Window HEIGHT PLUS 50mm MIN.



2440 HOUSE CEILING HEIGHT
SECTION B.1.-.3.6A : South Australia
 SCALE 1:10

SECTION B.1.-.2.3A
 SCALE 1:20



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 INTERNET www.simonds.com.au

Spec: **2010 SIMVESTA SPEC. (VIC)**

View: **SECTION B.1.-.2.3A & B.1-3.1A**

V2

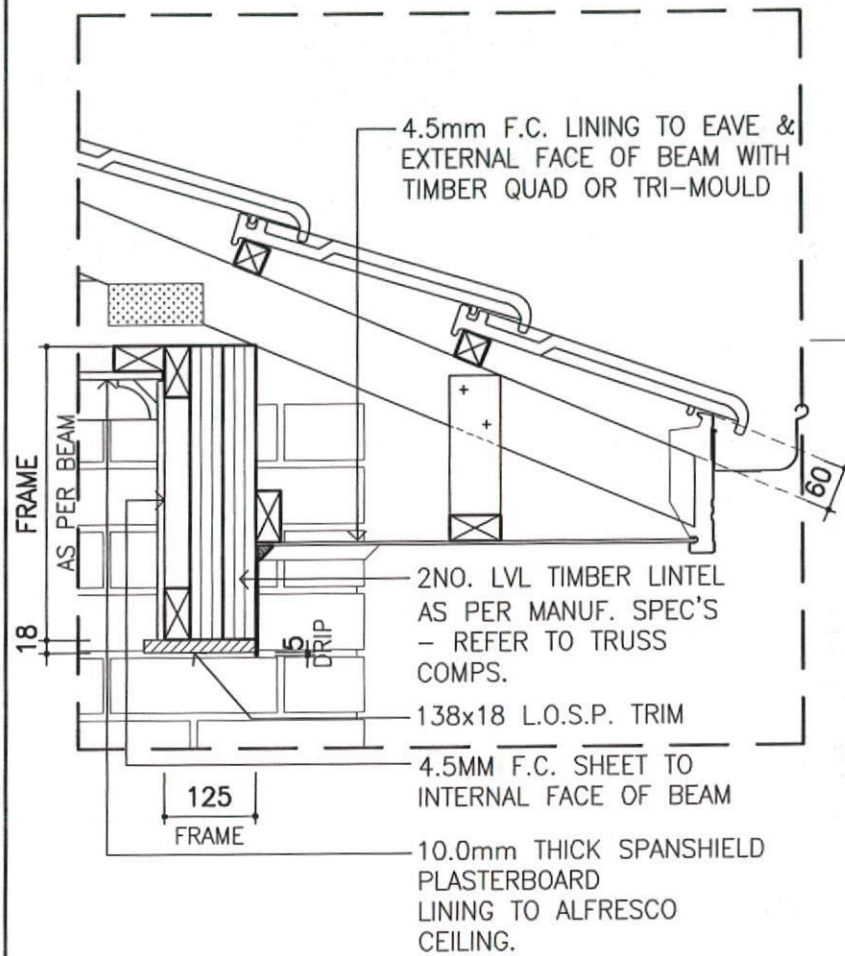
Customer: **SCOTT & SIMMONE PRIDEAUX**

Address: **LOT 2170 CABARITA WAY JORDAN SPRINGS**

Scale: **1:10@A3**
 Date: **12.07.12**

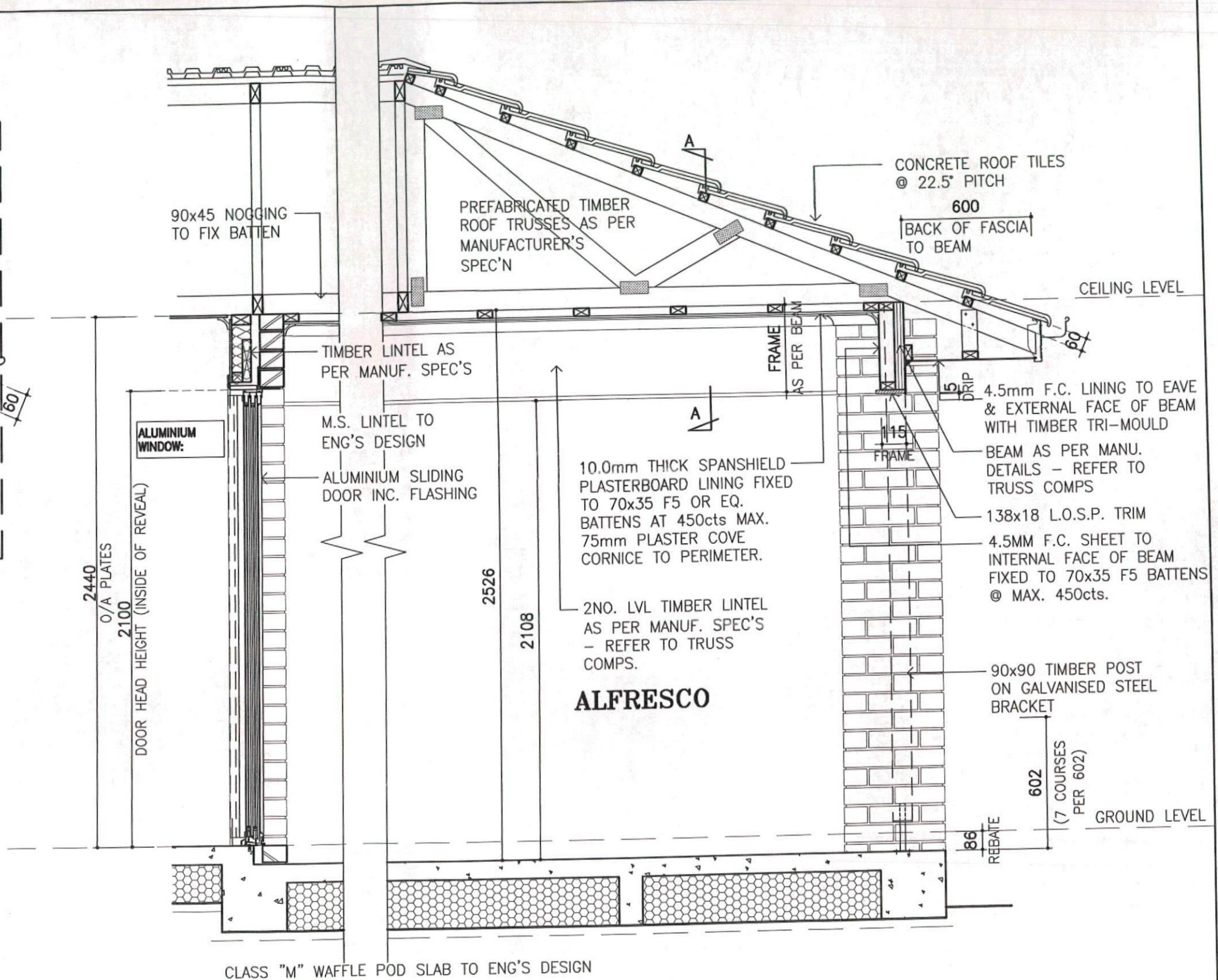
House:	LEXINGTON 2212
Facade:	EXECUTIVE
Drawn:	Job No: N0046
G.B. K.M.	Sheet No: 9.4
Checked:	

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SECTION 'A-A'

SCALE 1:10



SECTION B.1-.4.1A

SCALE 1:20



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Spec: **2010 SIMVESTA SPEC. (VIC)**

View: **SECTION B.1-.4.1A**

V2

Customer: **SCOTT & SIMMONE PRIDEAUX**

Address: **LOT 2170 CABARITA WAY JORDAN SPRINGS**

Scale: 1:50A3
 Date: 12.07.12

House:	LEXINGTON 2212
Facade:	EXECUTIVE
Drawn:	Job No: N0046
G.B. K.M.	Sheet No: 9.5
Checked:	

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