









BUILDING DATA 32 PAMELA PDE. LEONAY Lot 32 DP 226473 ZONE - R2 RESIDENTIAL LOW DENSITY FSR - N/A HERITAGE - N/A BUSHFIRE PRONE LAND - NO FLOOD PLANNING AREA - NO			
CONTROL	EXISTING	PROPOSED	COMPLIANCE
LOT SIZE MIN 550m2	685 m2	SAME	YES
FLOOR AREA FSR - N/A	GND - 183 m2 FST - 126 m2 TOT - 309 m2	GND - 183 m2 FST - 194 m2 TOT - 377 m2	YES
BLDG HEIGHT MAX 8.5m	7.27m	7.66m	YES
FRONT SETBACK AVERAGE NEIGHBOURS	6.97m min	SAME	YES
SIDE SETBACK 900mm MIN	1.38m	SAME	YES
BUILDING ENVELOPE PDGP 2.1.2 Fig. D2.1	REFER EXISTING ELEVATIONS	REFER PROPOSED ELEVATIONS	COUNCIL TO ASSESS
REAR SETBACK (4m MIN)	9.6m	SAME	YES
LANDSCAPED AREA MIN 50% (343m2)	306m2	SAME	AS EXISTING
P.O.S	>24m2	>24m2	YES

SITeworks LEGEND	
	PROPOSED BUILDING WORKS
	SOFT SOIL AREA
	PAVING / CONCRETE - IMPERVIOUS AREA
	EXTENT OF PROPOSED P.O.S 24m2 MINIMUM

WALL LEGEND	
	NEW MASONRY WALL
	NEW TIMBER STUD WALL - 90mm
	EXISTING WALLS
	DEMOLITION



NOTES

BUILDER MUST CHECK DIMENSIONS ON SITE INPRIORITY TO FIGURED DIMENSIONS. IF A MINIMUM TO A BOUNDARY IS CRITICAL AND THE BOUNDARY IS NOT CERTAIN A CHECK SURVEY IS DESIRABLE. LEVELS SHOWN ARE REASONABLY ACCURATE. THE BUILDER SHOULD VISIT THE SITE AND CHECK CONDITIONS. WHERE STORM WATER TRENCHES ARE REQUIRED, SIZE TO BE 600mm X 600mm X 1000mm LONG FOR EACH 15 SQUARE METRES OF ROOF AREA. POSITION FOR MAXIMUM SOAKAGE WHERE POSSIBLE. ALL STORM WATER WORKS TO MEET THE REQUIREMENTS OF PT 3.1.2 OF THE BCA AND AS3500.3.2. INSTALL AGRI PIPE DRAINS WHERE NECESSARY TO PREVENT SEEPAGE WATER INTRUSION.

EXCAVATIONS
EXCAVATIONS FOR ALL FOOTINGS SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2
UNDERFLOOR FILL SHALL BE IN ACCORDANCE WITH THE BCA 3.2.2 OR PERFORMANCE REQUIREMENTS P2.1, P2.2.3 AND CLAUSE 1.0.10.

CONCRETE
REINFORCEMENT SHALL CONFORM AND BE PLACED IN ACCORDANCE WITH THE BCA 3.2.3 OR PERFORMANCE REQUIREMENTS P2.1 AND CLAUSE 1.0.10. SUPPORT TO ALL REINFORCEMENT SHALL BE USED TO CORRECTLY POSITION AND AVOID ANY UNDUE DISPLACEMENT OF REINFORCEMENT DURING THE CONCRETE POUR.
PRE-MIXED CONCRETE SHALL BE MANUFACTURED IN ACCORDANCE WITH AS 1379. CONCRETE SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH GOOD BUILDING PRACTICE.
ALL CONCRETE SLABS SHALL BE CURED IN ACCORDANCE WITH AS3600

STORMWATER
STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA 3.1.2.

EXTERNAL CLADDING
SHEET MATERIALS OR OTHER EXTERNAL CLADDING SHALL BE FIXED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND ANY APPLICABLE SPECIAL DETAILS.

TIMBER FRAMING
ALL TIMBER FRAMEWORK SIZES, SPANS, SPACING, NOTCHING, CHECKING AND FIXINGS SHALL COMPLY WITH BCA 3.4.3 OR AS 1684. ALTERNATIVE STRUCTURAL FRAMING SHALL BE TO STRUCTURAL ENGINEERS DETAILS AND CERTIFICATION. THE WORK SHALL BE CARRIED OUT IN A PROPER TRADESPERSON LIKE MANNER AND SHALL BE IN ACCORDANCE WITH RECOGNISED AND ACCEPTED BUILDING PRACTICES.

MASONRY
ALL CLAY BRICKS AND BRICKWORK SHALL COMPLY WITH AS3700 AND THE BCA 3.3. CLAY BRICKS ARE A NATURAL KILN FIRED PRODUCT AND AS SUCH THEIR INDIVIDUAL SIZE MAY VARY.
MORTAR SHALL COMPLY WITH BCA 3.3.1. JOINT TOLERANCES SHALL BE IN ACCORDANCE WITH AS3700.
MASONRY ACCESSORIES SHALL COMPLY WITH THE BCA 3.3.3 AND ACCEPTED BUILDING PRACTICES. WALL TIES TO MEET CORROSION RESISTANT RATING APPROPRIATE FOR THE EXPOSURE CONDITIONS OF THE SITE. PROVIDE APPROPRIATE TIES TO ARTICULATED JOINTS IN MASONRY.
MASONRY RETAINING WALLS TO COMPLY WITH AS 4678

BUILDER TO CONFIRM THE LOCATION
OF ALL SERVICES PRIOR TO CONSTRUCTION

ALL TERMITE TREATMENT TO BE
CARRIED OUT IN ACCORDANCE
WITH AS 3660

SMOKE DETECTORS TO BE INSTALLED
AND CONNECTED TO AS 3786

ALL ROOF CLADDING TO COMPLY WITH BCA F1.5
ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5
ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5
ALL ROOF GUTTERS AND DOWNPIPES TO COMPLY WITH BCA F1.5

NOTE :

ALL NEW WORK TO BE COMPLIANT WITH THE
BCA AND ALL RELEVANT STANDARDS.

ALL BUILDING AND DEMOLITION WORK TO BE
COMPLIANT WITH AS2436-1981 - GUIDE TO
NOISE CONTROL ON CONSTRUCTION, MAINTENANCE
AND DEMOLITION SITES.



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CLIENT	Andrew Reece
PROJECT	Proposed Alterations and Additions at 32 Pamela Parade LEONAY NSW 2750 Lot 103 DP 226473
DRG TITLE	FLOOR PLANS - PROPOSED

☐ Concept

☐ Quote

☒ Production

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DATE 10.07.20

DRN BY AO'B

SIZE A2

SCALE 1 : 100

B APPROVALS ISSUE
A APPROVALS ISSUE

AMENDMENT DESCRIPTION

DRG NO 32_PL_A.05

ISSUE B

BUILDER MUST CHECK DIMENSIONS ON SITE IN PRIORITY TO FIGURED DIMENSIONS.

Ground Floor
PROPOSED

First Floor
PROPOSED

NOTES

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STORMWATER

STORMWATER DRAINAGE SHALL BE CARRIED OUT IN ACCORDANCE WITH THE BCA 3.1.2.

EXTERNAL CLADDING

SHEET MATERIALS OR OTHER EXTERNAL CLADDING SHALL BE FIXED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND ANY APPLICABLE SPECIAL DETAILS.

TIMBER FRAMING

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MASONRY ACCESSORIES SHALL COMPLY WITH THE BCA 3.3.3 AND ACCEPTED BUILDING PRACTICES. WALL TIES TO MEET CORROSION RESISTANT RATING APPROPRIATE FOR THE EXPOSURE CONDITIONS OF THE SITE. PROVIDE APPROPRIATE TIES TO ARTICULATED JOINTS IN MASONRY.

MASONRY RETAINING WALLS TO COMPLY WITH AS 4678

BUILDER TO CONFIRM THE LOCATION OF ALL SERVICES PRIOR TO CONSTRUCTION

ALL TERMITE TREATMENT TO BE CARRIED OUT IN ACCORDANCE WITH AS 3660

SMOKE DETECTORS TO BE INSTALLED AND CONNECTED TO AS 3786

NOTE :

ALL NEW WORK TO BE COMPLIANT WITH THE BCA AND ALL RELEVANT STANDARDS.

ALL BUILDING AND DEMOLITION WORK TO BE COMPLIANT WITH AS2436-1981 GUIDE TO NOISE CONTROL ON CONSTRUCTION, MAINTENANCE AND DEMOLITION SITES.

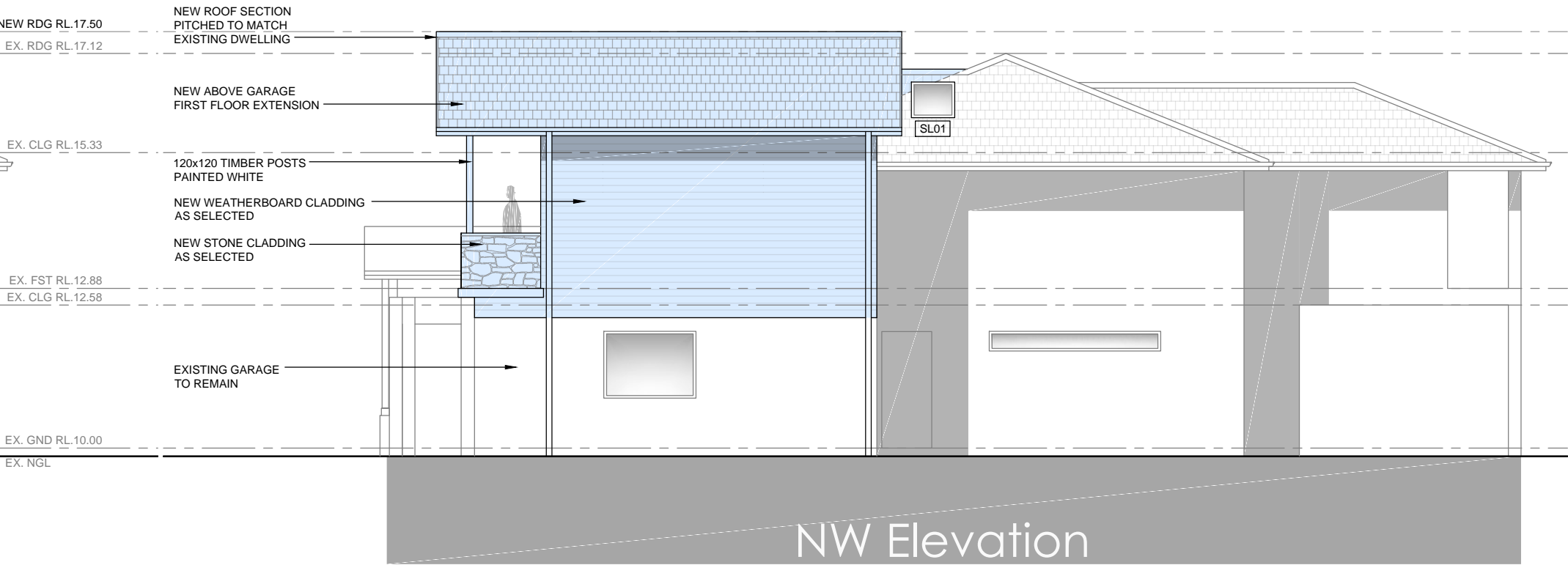
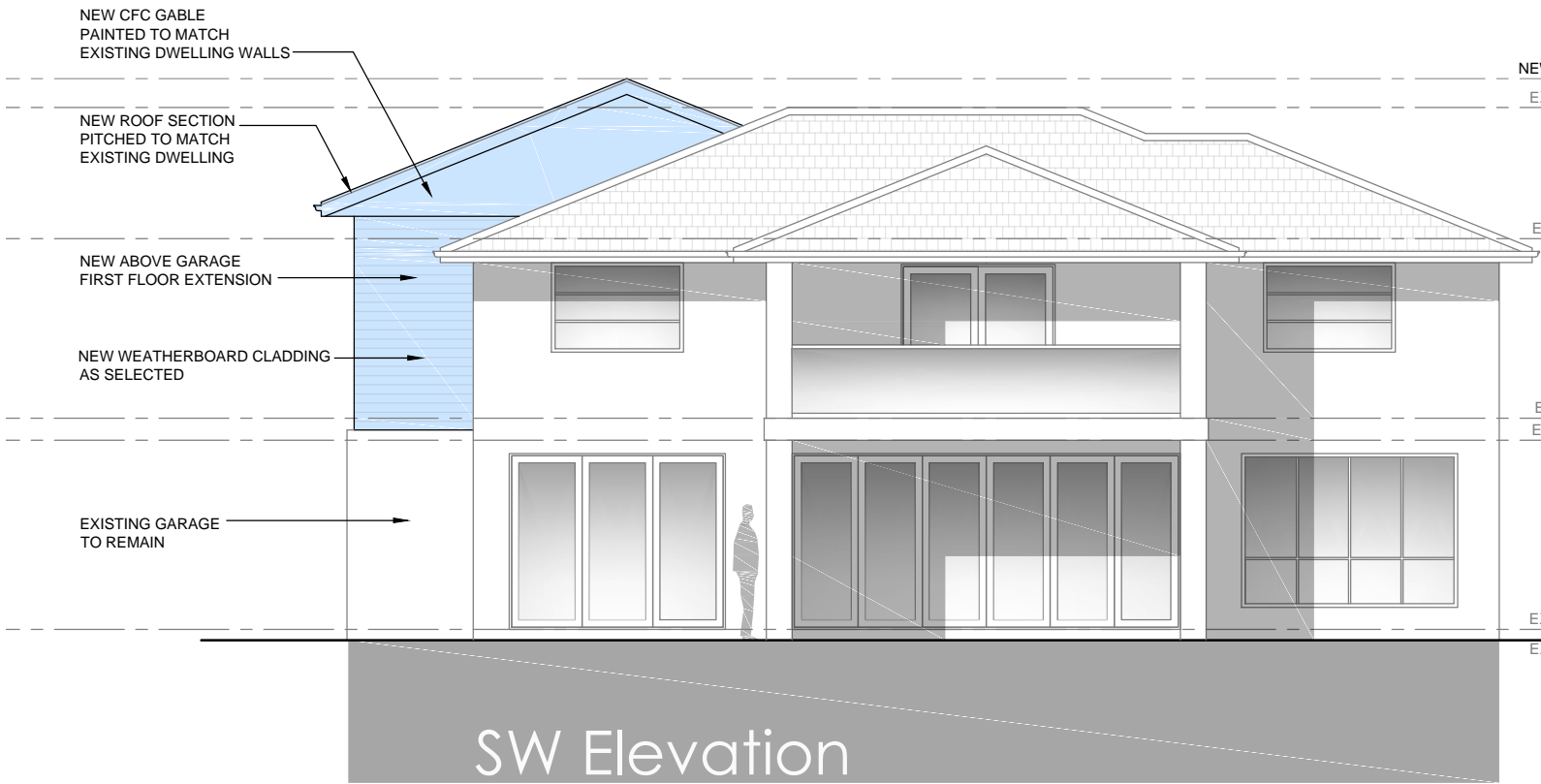
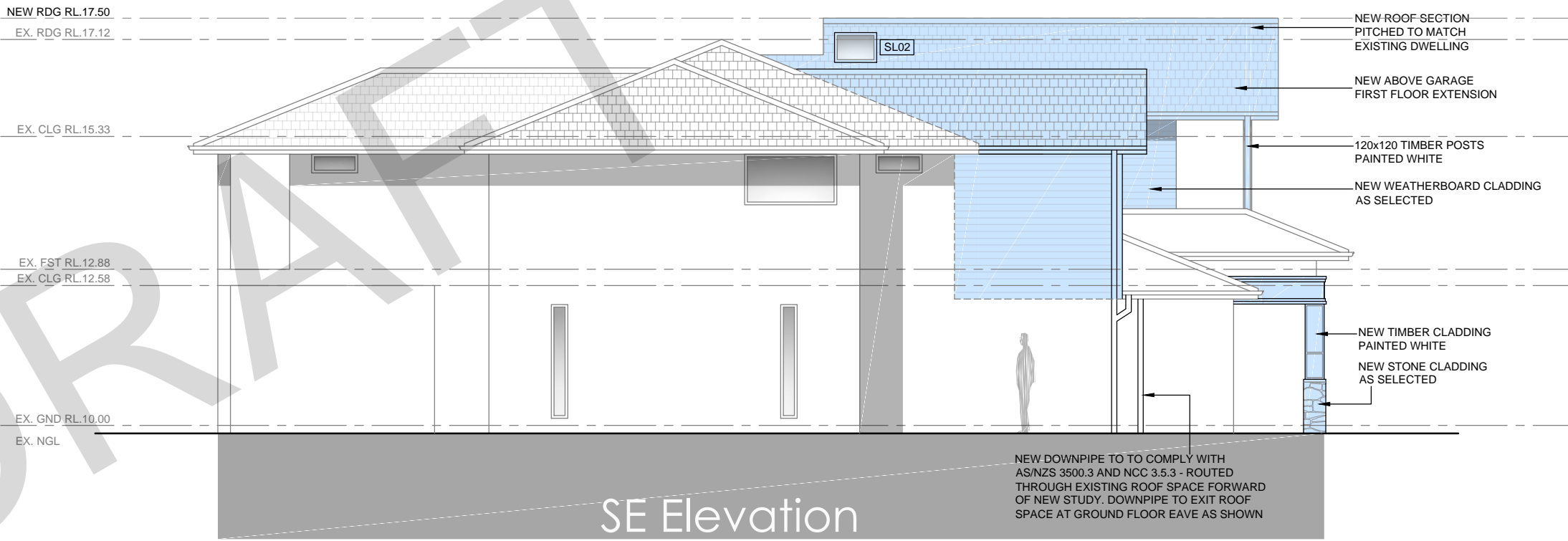
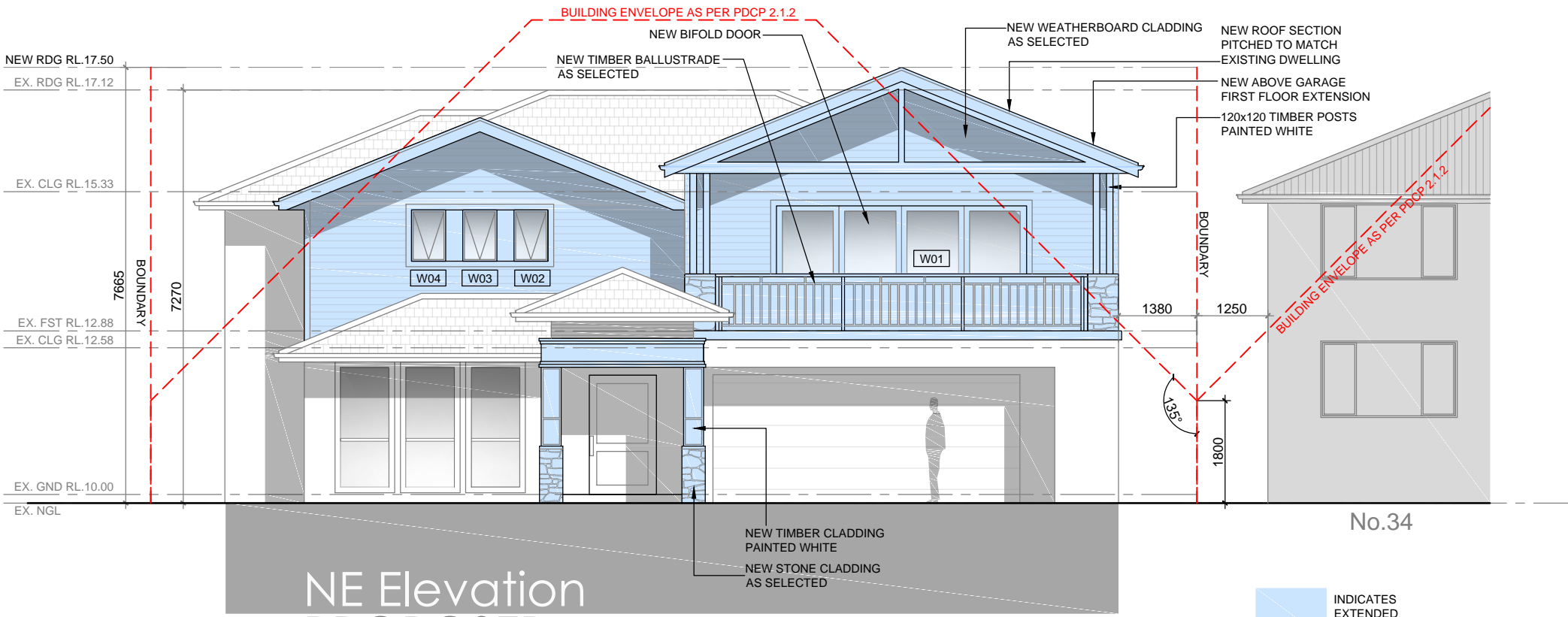
ALL ROOF CLADDING TO COMPLY WITH BCA F1.5

ALL ROOF FLASHING DETAILS TO COMPLY WITH BCA F1.5

ALL ROOF PENETRATION FLASHINGS TO COMPLY WITH BCA F1.5

ALL ROOF GUTTERS AND DOWNPIPES TO COMPLY WITH BCA F1.5

BUILDING DATA			
32 PAMELA PDE, LEONAY Lot 32 DP 226473			
ZONE - R2 RESIDENTIAL LOW DENSITY			
FSR - N/A			
HERITAGE - N/A			
BUSHFIRE PRONE LAND - NO			
FLOOD PLANNING AREA - NO			
CONTROL	EXISTING	PROPOSED	COMPLIANCE
LOT SIZE MIN 550m2	685 m2	SAME	YES
FLOOR AREA FSR - N/A	GND - 183 m2 FST - 126 m2 TOT - 309 m2	GND - 183 m2 FST - 194 m2 TOT - 377 m2	YES
BLDG HEIGHT MAX 8.5m	7.27m	7.66m	YES
FRONT SETBACK AVERAGE NEIGHBOURS	6.97m min	SAME	YES
SIDE SETBACK 900mm MIN	1.38m	SAME	YES
BUILDING ENVELOPE PDOP 2.1.2 Fig. D2.1	REFER EXISTING ELEVATIONS	REFER PROPOSED ELEVATIONS	COUNCIL TO ASSESS
REAR SETBACK (4m MIN)	9.6m	SAME	YES
LANDSCAPED AREA MIN 50% (343m2)	306m2	SAME	AS EXISTING
P.O.S	>24m2	>24m2	YES



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CLIENT Andrew Reece

PROJECT Proposed Alterations and Additions at
32 Pamela Parade LEONAY NSW 2750 Lot 103 DP 226473

DRG TITLE ELEVATIONS - PROPOSED

☐ Concept ☐ Quote ☒ Production

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DATE 10.07.20

DRN BY AOB

SIZE A2

SCALE 1 : 100

AMENDMENT A

DESCRIPTION APPROVALS ISSUE

DATE 10.07.20

DATE 15.04.20

ISSUE B

32_PL_A.07

BUILDING DATA			
32 PAMELA PDE. LEONAY Lot 32 DP 226473			
ZONE - R2 RESIDENTIAL LOW DENSITY			
FSR - N/A			
HERITAGE - N/A			
BUSHFIRE PRONE LAND - NO			
FLOOD PLANNING AREA - NO			
CONTROL	EXISTING	PROPOSED	COMPLIANCE
LOT SIZE MIN 550m2	685 m2	SAME	YES
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P.O.S	>24m2	>24m2	YES

NOTES

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EXCAVATIONS

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STORMWATER

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EXTERNAL CLADDING

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ALL ROOF CLADDING TO COMPLY WITH BCA F1.5
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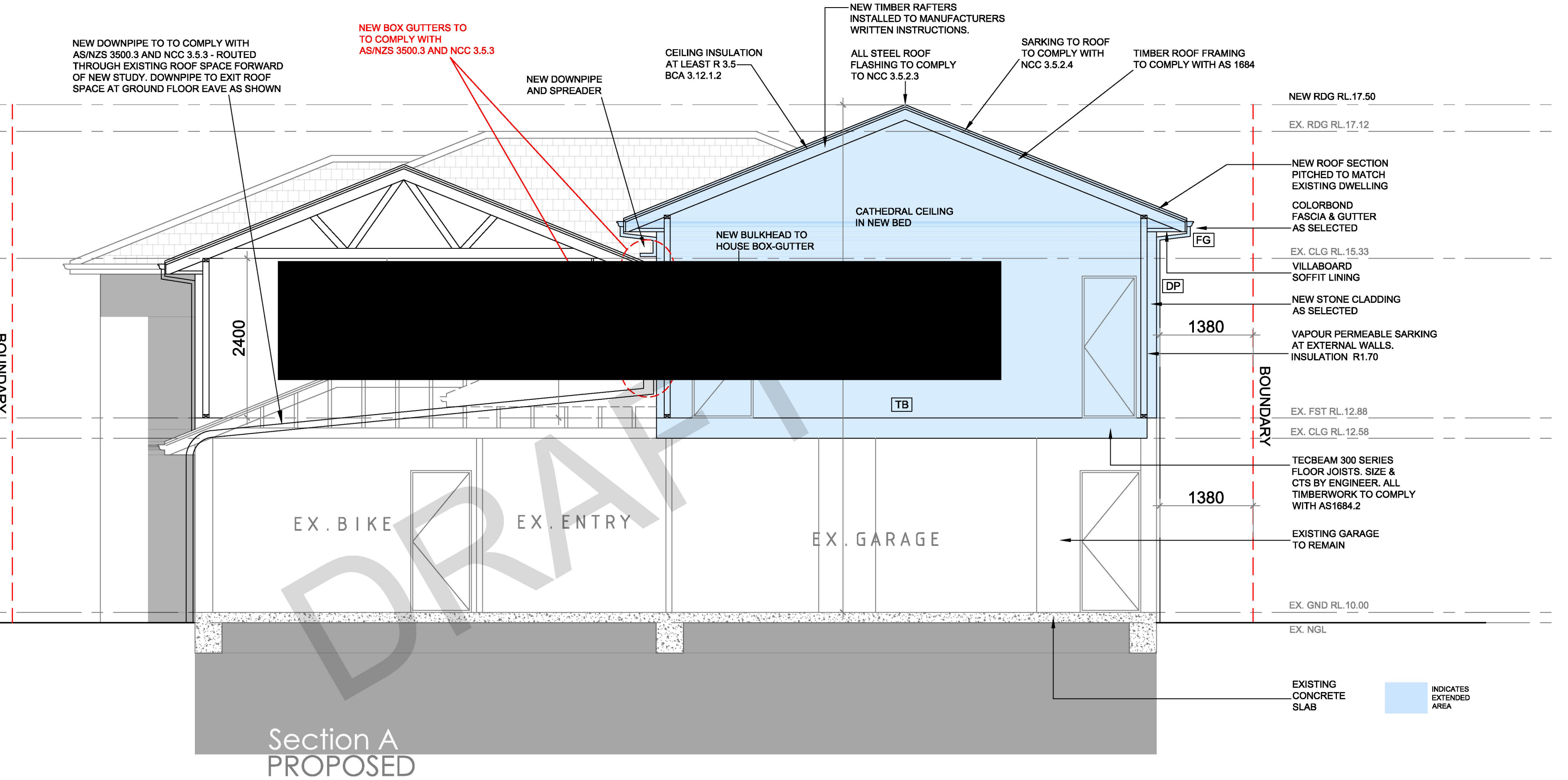
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SECTION NOTES:

PROVIDE SELECTED STEEL ROOF TO MAIN ROOF TO MANUFACTURERS WRITTEN INSTRUCTIONS AND AS DIRECTED.
PROVIDE SELECTED PREFABRICATED TIMBER ROOF RAFTERS AT 600 cts TO MANUFACTURERS WRITTEN INSTRUCTIONS AND AS DIRECTED.
PROVIDE SUITABLE BATTENS AT CENTRES TO SUIT STEEL ROOF.
PROVIDE DOUBLE-SIDED SISALATION AS SARKING TO ROOF AND OUTSIDE FACE OF EXTERNAL WALL FRAMES.
PROVIDE R2.5 INSULATION BLANKET TO ROOF OVER INTERNAL AREAS.
PROVIDE ALUMINIUM EAVES AND GUTTERS AS SELECTED.
LINE UNDERSIDE OF TRUSSES/RAFTERS WITH 10mm PLASTERBOARD AS DIRECTED.
LINE UNDERSIDE OF EAVES AND SOFFITS WITH HAROFLEX (IF REQUIRED)
FRAME UP FOR LOADBearing WALLS WITH 90mm F5 FRAMING AS DIRECTED.
PROVIDE 70x90 F15 TOOP AND BOTTOM PLATES
PROVIDE 90x35 F5 STUDS AT 450cts
PROVIDE 90x35 F5 NOGGINGS AT MAX. 1350cts

NOTE: ALL TIMBER SIZES TO BE VERIFIED WITH ENGINEER BEFORE ORDERING OR COMMENCING WORK
PROVIDE ALL STRUCTURAL STEEL MEMBERS TO ENGINEERS DETAILS
PROVIDE CONCRETE SLAB-ON-GROUND, STRIP AND PAD FOOTINGS TO ENGINEERS DETAILS.
PROVIDE TERMIMESH TERMITE PROTECTION SYSTEM COMPLYING WITH AS3600.1 AND BCA. ALL WORK TO COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BCA REQUIREMENTS.

CONSTRUCTION LEGEND

FG	STEEL FASCIA & GUTTER
DP	STEEL DOWNPIPE
AW	SELECTED ALUMINIUM WINDOW
SD	SELECTED SLIDING DOOR
BB	BLUEBOARD PAINTED AS SELECTED
CC	SELECTED TIMBER COLUMNS
TS	INTERNAL TIMBER STUD WALLS
SL	CFC SOFFIT LINING
TT	TIMBER TRUSSES TO MNFG DETAIL
TB	TIMBER BEAMS TO ENG. DETAIL
CS	REINFORCED CONCRETE SLAB TO ENG. DETAILS
CP	CONCRETE PIERS TO ENG. DETAILS
RW	BESSER BLOCK RETAINING WALL TO ENGINEERS DETAIL

CLIENT	Andrew Reece
PROJECT	Proposed Alterations and Additions at 32 Pamela Parade LEONAY NSW 2750 Lot 103 DP 226473
DWG TITLE	SECTION - PROPOSED

<input type="checkbox"/> Concept	<input type="checkbox"/> Quote	<input checked="" type="checkbox"/> Production
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DATE	10.07.20		
DRN BY	AO'B	B	APPROVALS ISSUE
SIZE	A2	A	APPROVALS ISSUE
SCALE	1 : 100	AMENDMENT	DESCRIPTION
DWG NO			32_PL_A.08
DATE		ISSUE	B