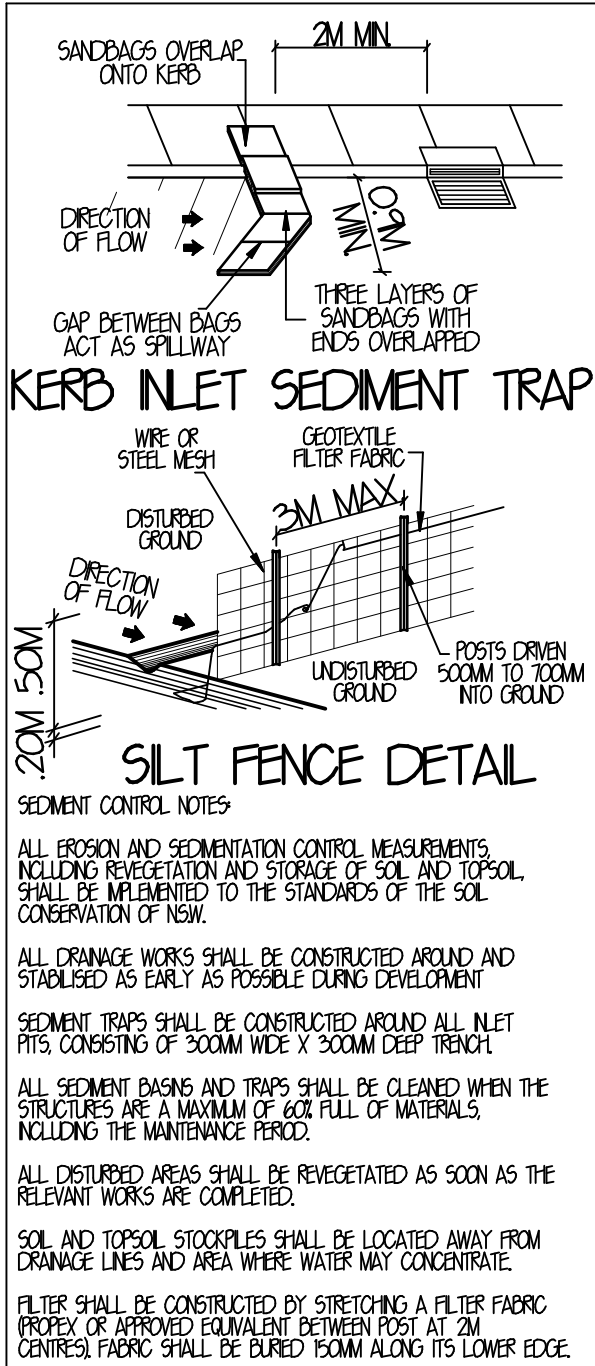
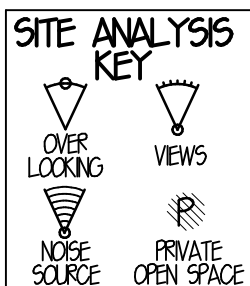
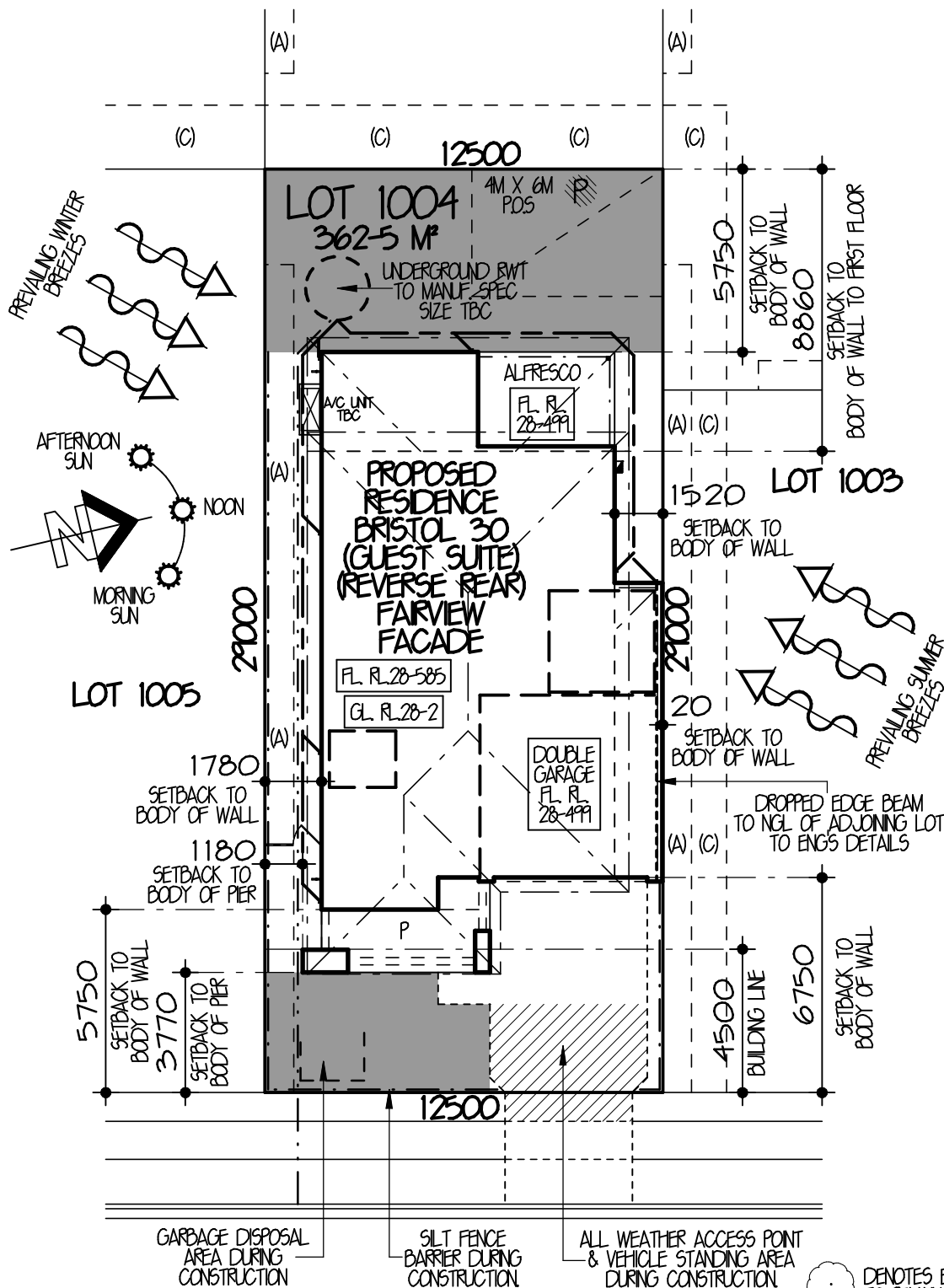




- GENERAL NOTES:**
- STORMWATER TO DISCHARGE INTO DESIGNATED DISCHARGE POINT TO PCA REQUIREMENTS
 - SEWER TO LOCAL AUTHORITIES REQUIREMENTS.
 - ALL GROUND LINES ARE TO BE VERIFIED ON-SITE BY THE BUILDER.
 - FINAL LOCATION OF BUILDINGS TO BE VERIFIED ON-SITE BY A REGISTERED SURVEYOR.
 - WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALING. ANY PLAN DISCREPANCIES TO BE REFERRED BACK TO A&N DESIGN BEFORE PROCEEDING
 - SITE CLASSIFICATION HI
 - CUT AND FILL HOUSE PLATFORM APPROXIMATELY TO RL 28-2 GARAGE TO RL 28-2
 - HOUSE FLOOR LEVEL RL 28-585, 385MM ABOVE PLATFORM LEVEL. GARAGE FLOOR LEVEL APPROX. RL 28-499, 299MM ABOVE PLATFORM LEVEL
 - TOTAL ROOF AREA = 197.8 M²



DENOTES LANDSCAPED AREA PER DCP CONTROL

PROPOSED ROAD

SITE ANALYSIS & SITE PLAN 1:200

(STORMWATER CONCEPT PLAN)

(A) - EASEMENT FOR MAINTENANCES 0.9M WIDE
(C) - EASEMENT TO DRAIN WATER 2M WIDE

PRELIMINARY SITING ONLY

DENOTES EXISTING TREES TO REMAIN

DENOTES EXISTING TREES TO BE REMOVED

DENOTES RETAINING WALL BY OWNER

DENOTES SILT FENCE BARRIER

DENOTES DROPPED EDGE BEAM

DENOTES LINE OF BATTER TO CUT OR FILL

PACKAGE PROVIDED IS BASED ON EBH PRELIMINARY/PREFERRED SITING AND PRELIMINARY DEVELOPER LAND INFORMATION CURRENTLY AVAILABLE. VARIATIONS TO LAND SIZE, LOCATION OF SERVICES - INCLUDING BUT NOT LIMITED TO SEWER/STORMWATER LOCATIONS, DRAINAGE GRATES, TELSTRA PITS, TREES, BUTTERFLY DRAINS, DRIVEWAY CROSSOVER, PRAM RAMPS, ELECTRICAL/OTHER EASEMENTS OR SECTION 88B INSTRUMENT, MAY NECESSITATE FLOOR PLAN OR SITING AMENDMENTS.

DENOTES STORMWATER TO BE DIRECTED INTO RAINWATER TANK FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER

DENOTES STORMWATER TO BE DIRECTED INTO KERB & GUTTER FINAL LOCATION TO BE VERIFIED ON SITE BY THE BUILDER

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F 8860 9233

FOR	LEND LEASE
AT	LOT 1004 PROPOSED ROAD WERRINGTON DOWNS
TYPE	BRISTOL 30 (GUEST SUITE/REVERSE REAR)
FACADE	FARVIEW (ADVANTAGE SERIES)
DATE	OCT 2020
DWG NO.	AND-32964
PAGE NO.	1 OF 11
JOB NO.	0790147
HAND	RH

GROSS FLOOR AREA
(FOR CDC CALCULATIONS ONLY)

INCLUSIONS -
GROUND FLOOR AREA = 144.1 M²
(INCLUDING GARAGE)
(EXCLUDING EXTERNAL WALL THICKNESS)
FIRST FLOOR AREA = 118.6 M²
(EXCLUDING EXTERNAL WALL THICKNESS)

EXCLUSIONS -
FIRST FLOOR VOID AREA = 6.3 M²
ONE CAR SPACE = 12.96 M²
ALLOWED ACCESS = 5.0 M²

TOTAL -
GROSS FLOOR AREA = 238.44 M²

FLOOR AREAS

FLOOR AREA = 123.4 M²
(NOT INCLUDING GARAGE)
GARAGE FLOOR AREA = 33.3 M²
PORCH FLOOR AREA = 12.5 M²
ALFRESCO FLOOR AREA = 12.7 M²
FIRST FLOOR AREA = 128.4 M²
BALCONY FLOOR AREA = 9.9 M²

TOTAL FLOOR AREA = 320.2 M² OR 34.5 S05

BUILDING HEIGHTS

CEILING LEVEL
RL 33.995

RIDGE LEVEL
RL 36.08

MAX BUILDING HEIGHT
PROVIDED = 7880 MM

SITE DATA (DCP CONTROLS)

SITE AREA = 362.5 M²

BUILDING FOOTPRINT SITE COVERAGE
PERMISSIBLE = 50% OR 181.3 M²
PROVIDED = 43.2% OR 156.7 M²

LANDSCAPE AREA SITE COVERAGE
(AS PER DCP CONTROLS)
REQUIRED = 50% OR 181.3 M²
PROVIDED = 26.7% OR 96.9 M²

PRIVATE OPEN SPACE
REQUIRED = 40 M²
PROVIDED = 89.1 M²

SITE DATA (CDC-GREENFIELDS)

SITE AREA = 362.5 M²

FLOOR SPACE RATIO
PERMISSIBLE = 25% + 150 M² OR 240.6 M²
PROVIDED = 238.44 M²

LANDSCAPE AREA (1.5M MINIMUM DIMENSION)
REQUIRED = 15% OR 54.4 M²
PROVIDED = 41% OR 148.5 M²

LANDSCAPE - FRONT SETBACK
AREA OF FRONT SETBACK = 56.3 M²
REQUIRED = 25% OR 14.1 M²
PROVIDED = 44.4% OR 25.0 M²

ARTICULATION
PERMISSIBLE = 4.7 M²
PROVIDED = 4.3 M²

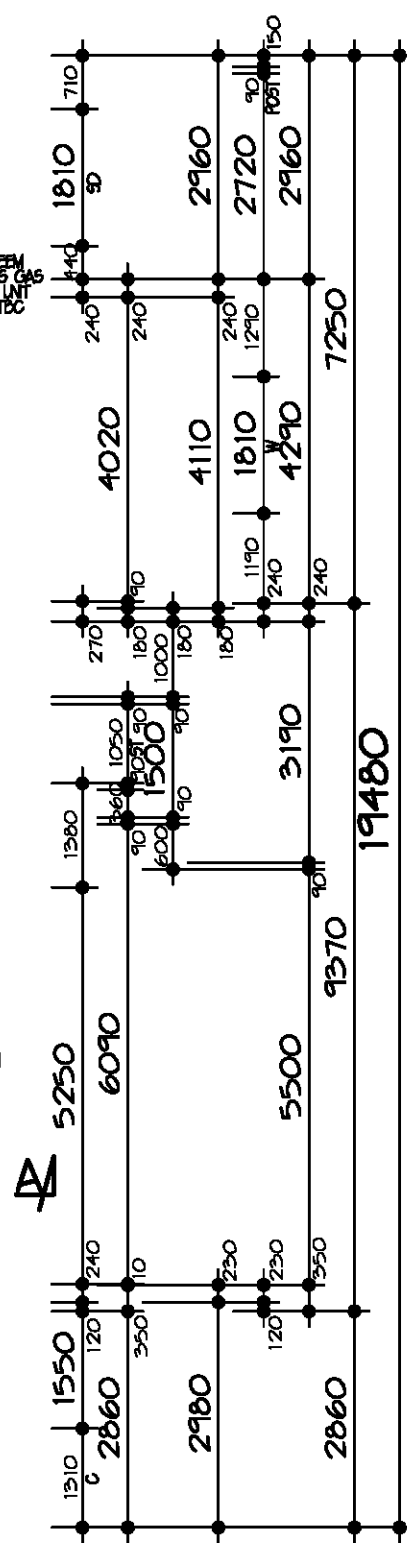
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SYDNEY

LEVEL 2 SUITE 216
MACARTHUR POINT NO. 25-27
SOLENT CIRCUT BULKHAM HILLS
RD BOX 640 BULKHAM HILLS
BUSINESS CENTRE NSW 2153
PHONE (02) 8824 3533
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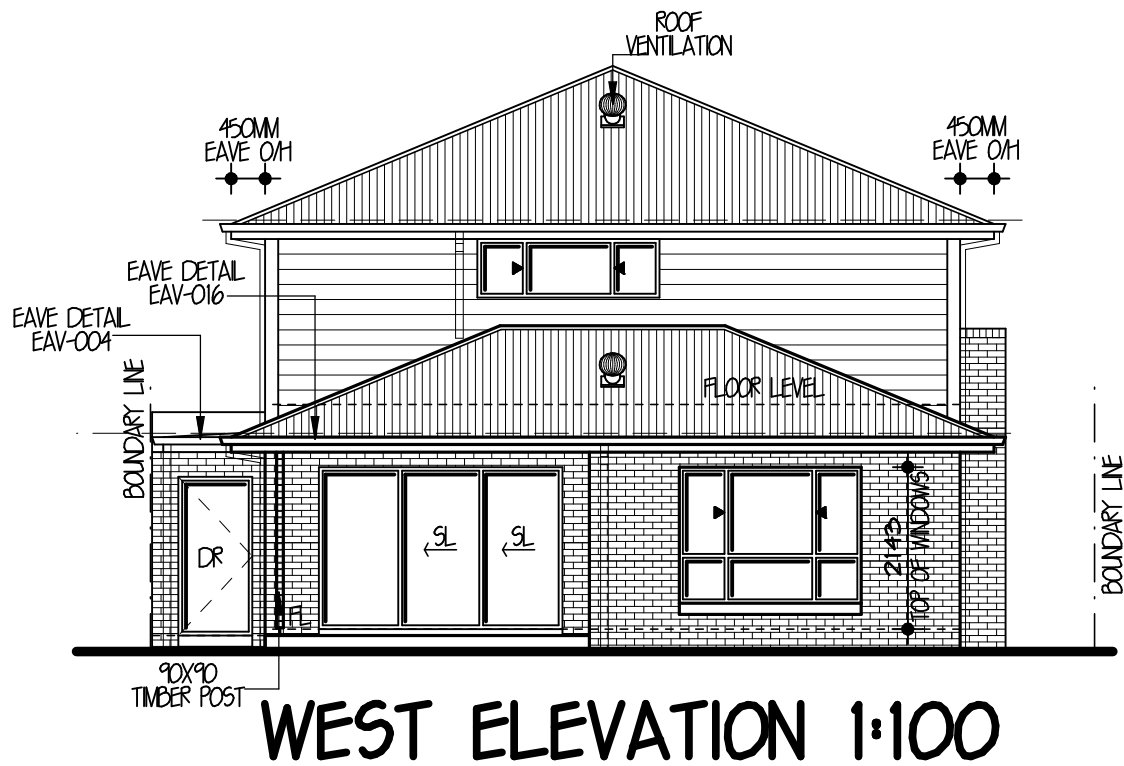
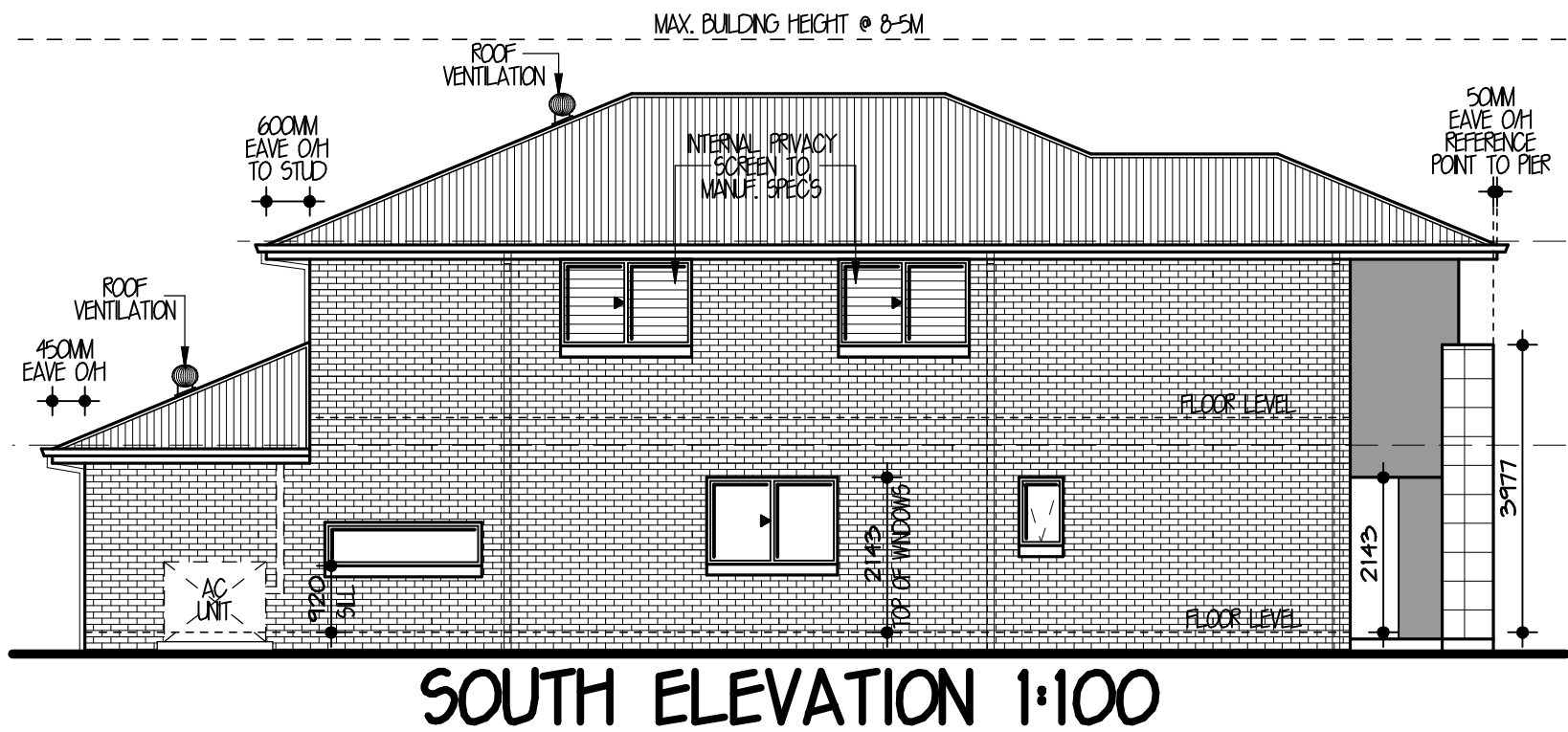
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REFER TO STRUCTURAL ENGINEERS
PLANS FOR POST TYPE & LOCATIONS.



GROUND FLOOR PLAN 1:100

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F 8860 9233

FOR

LEND LEASE

AT

**LOT 1004 PROPOSED ROAD
WERRINGTON DOWNS**

TYPE (GUEST SUITE/REVERSE REAR)

BRISTOL 30

JOB NO.

0790147

FACADE **FARVIEW**
(ADVANTAGE SERIES)

HAND

RH

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50MM EAVE O/H REFERENCE POINT TO PIER

600MM EAVE O/H TO STUD

ROOF VENTILATION

ROOF VENTILATION

600MM EAVE O/H TO STUD

EAVE DETAIL EAV-004

TOW R-3-440

FLOOR LEVEL

3977

2143

2889

LOT BENCH R-20-2

GARAGE LEVEL

TOP OF WINDOWS

2143

GAS METER

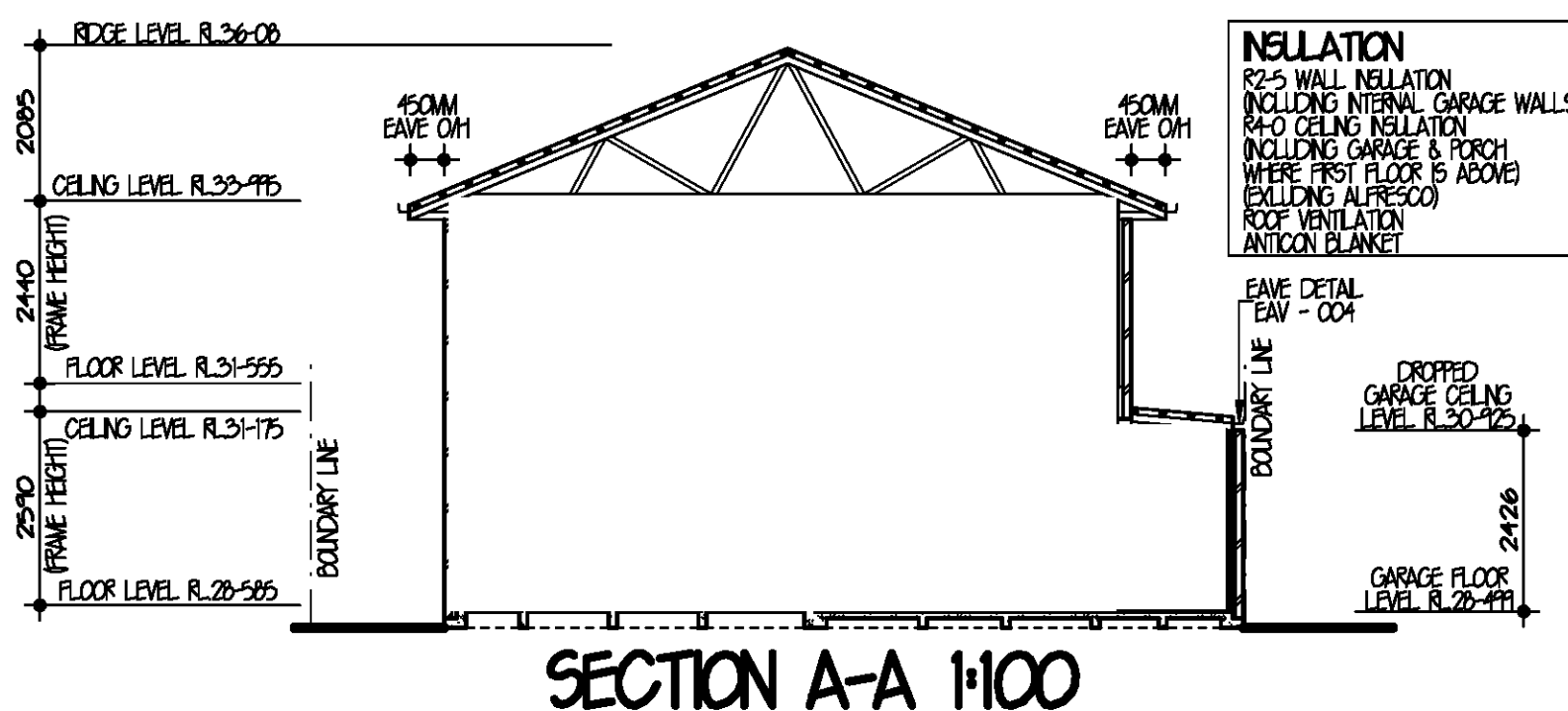
EAVE DETAIL EAV-016

90x90 TIMBER POST

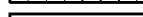
RL-27-86

LINE OF NEIGHBOURING CAR PARK LEVEL

NORTH ELEVATION 1:100



- 22-5° ROOF PITCH COLORBOND ROOF SHEETING TO UPPER ROOF
- 22-5° ROOF PITCH COLORBOND ROOF SHEETING TO LOWER ROOF
- 3° ROOF PITCH COLORBOND ROOF SHEETING TO GARAGE ROOF
- COLORBOND GUTTER & FASCIA
- CHARGED PVC DOWNPIPES TO BE PAINTED
- PRE-FABRICATED TERMITE RESISTANT HYBRID ADVANCED FRAMING SYSTEM.
- STEEL FRAMES & T2 TREATED PINE ROOF TRUSSES TO MANUFACTURE SPECIFICATIONS
- DIMENSIONS ARE TO FRAME SIZES ONLY EXCLUDES GYPROCK & SKIRTINGS
- THEREFORE THEY ARE NOT FINISHED ROOM SIZES

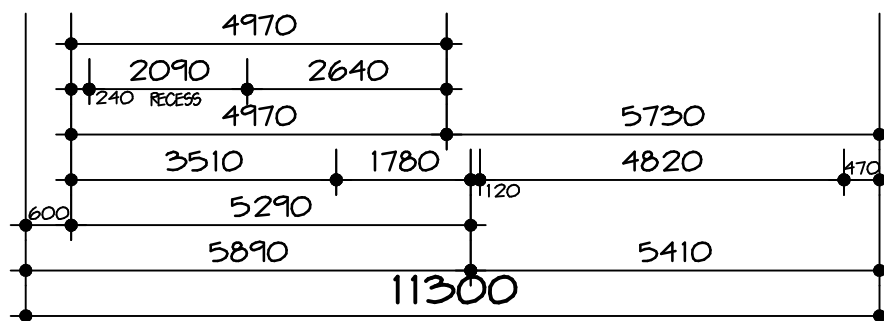
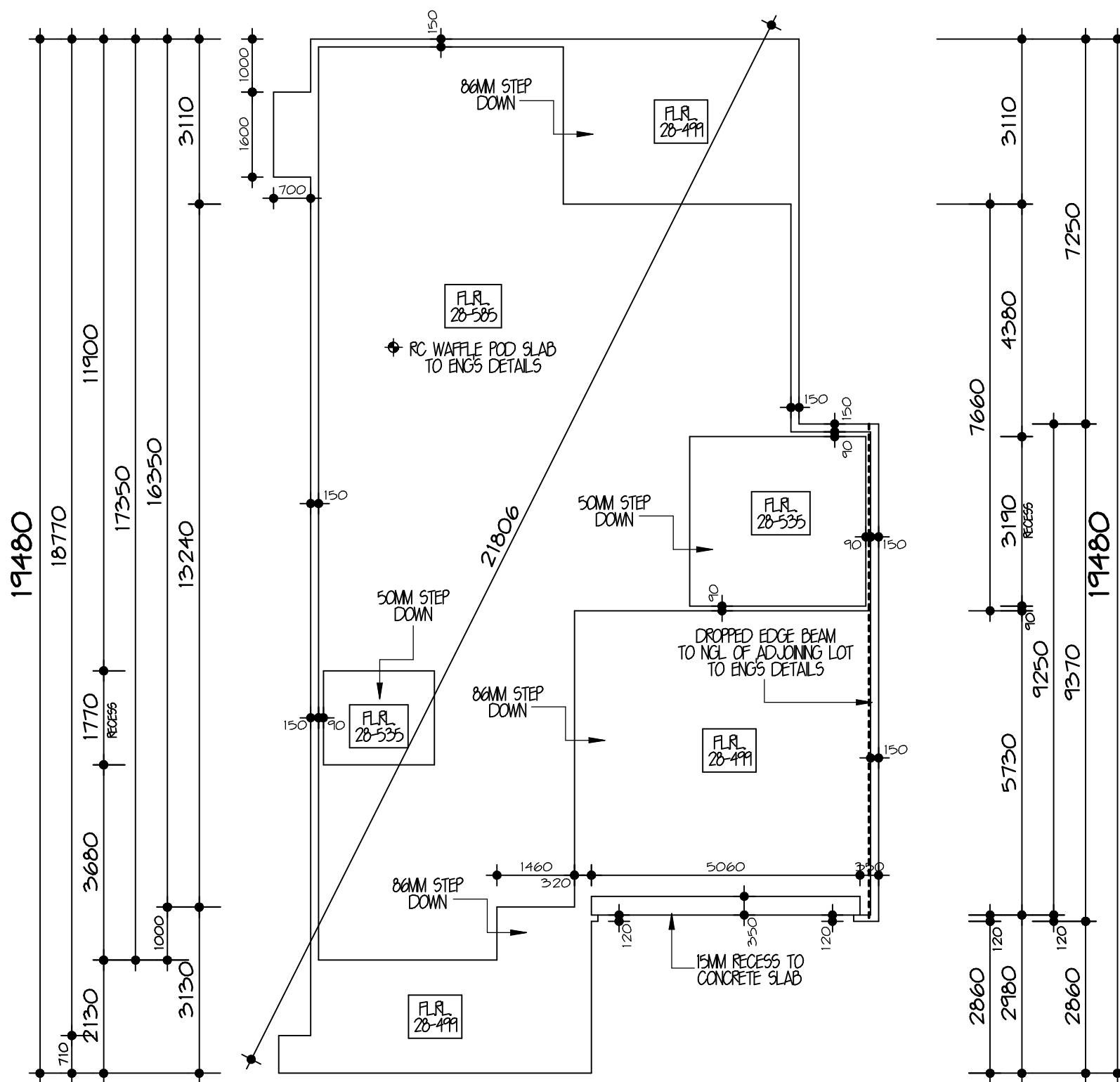
- FACE BRICKWORK 
 - CLADDING FINISH 
 - TILE FINISH 
 - RENDERED/PAINTED FINISH 
- TIMBER POST TO BE PAINT GRADE
- ALUMINIUM WINDOWS & DOORS
- FRONT ENTRY DOOR & FRAME TO BE PAINT GRADE
- SECTIONAL OVERHEAD GARAGE DOOR

 Hedden Brae Homes <i>"It's where you want to live"</i>	LEVEL 3, 22 BROOKHOLLOW AVENUE, NORTHWEST BUSINESS PARK, BAUKHAM HILLS NSW 2153 P 8860 9222 F 8860 9235
FOR	LEND LEASE LOT 1004 PROPOSED ROAD WERRINGTON DOWNS
AT	BRISTOL 30
TYPE (GUEST SUITE/REVERSE REAR)	JOB NO. 0790147
FACADE	HAND RH
DATE OCT 2020	DRAWING NO. AND-32964
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SYDNEY

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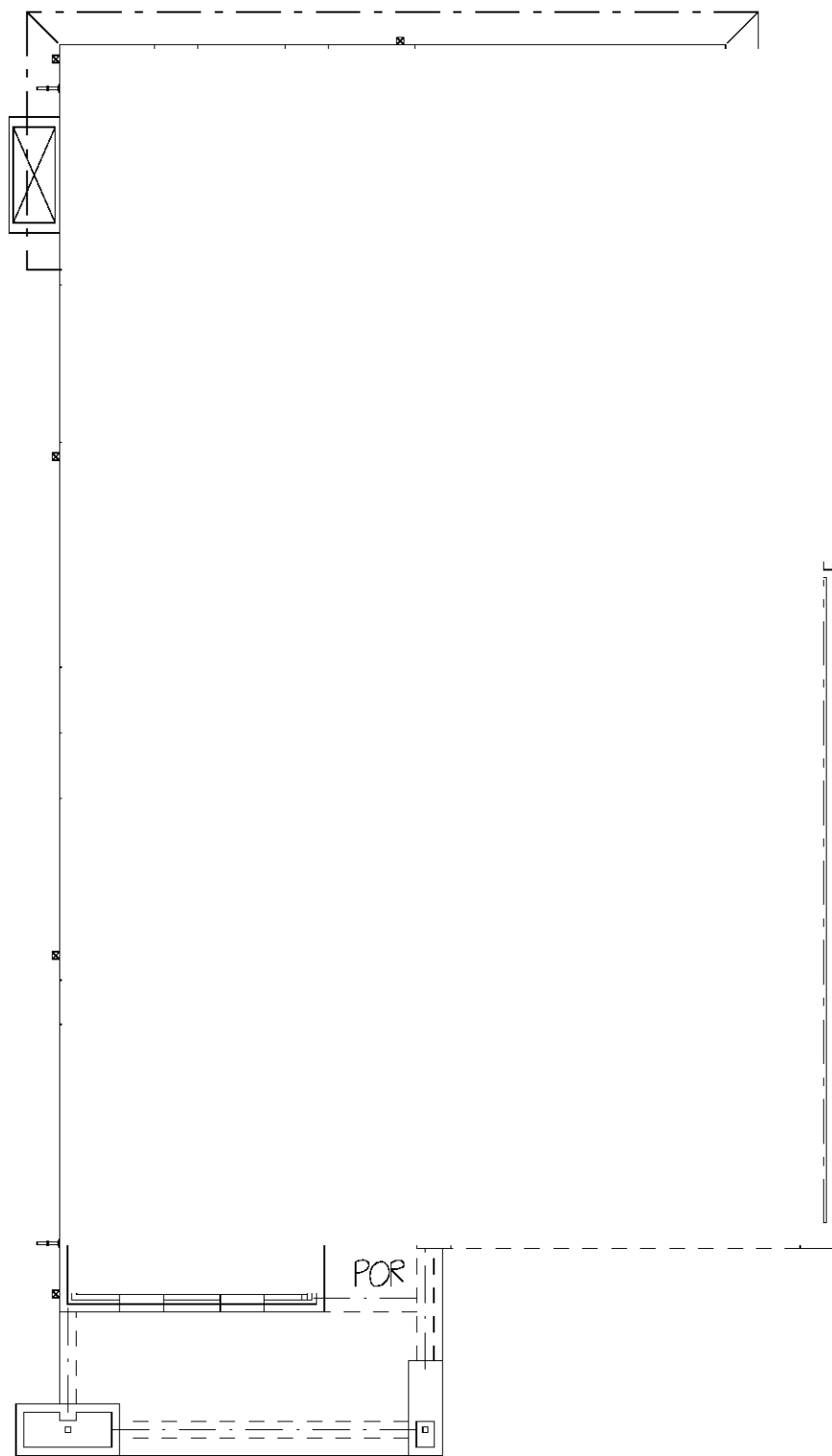
SLAB PLAN TO BE CROSS REFERENCED
WITH FLOOR PLANS, ANY DISCREPANCIES
ARE TO BE VERIFIED BEFORE PROCEEDING

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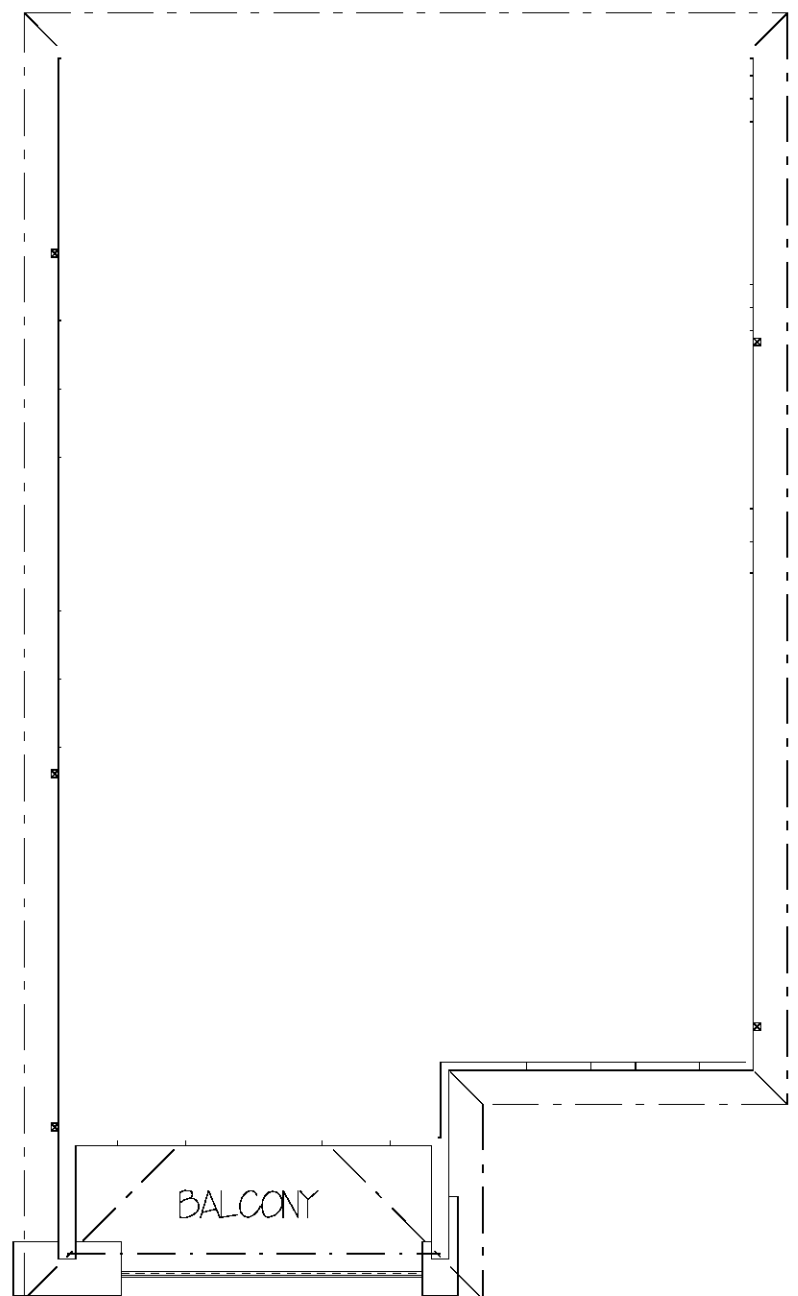
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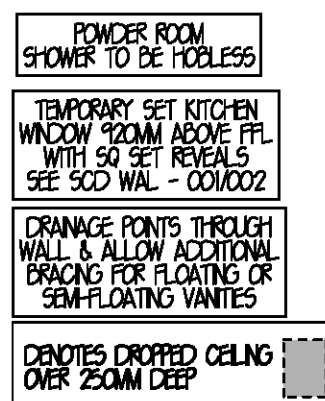
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**GROUND FLOOR
ELECTRICAL PLAN 1:100**

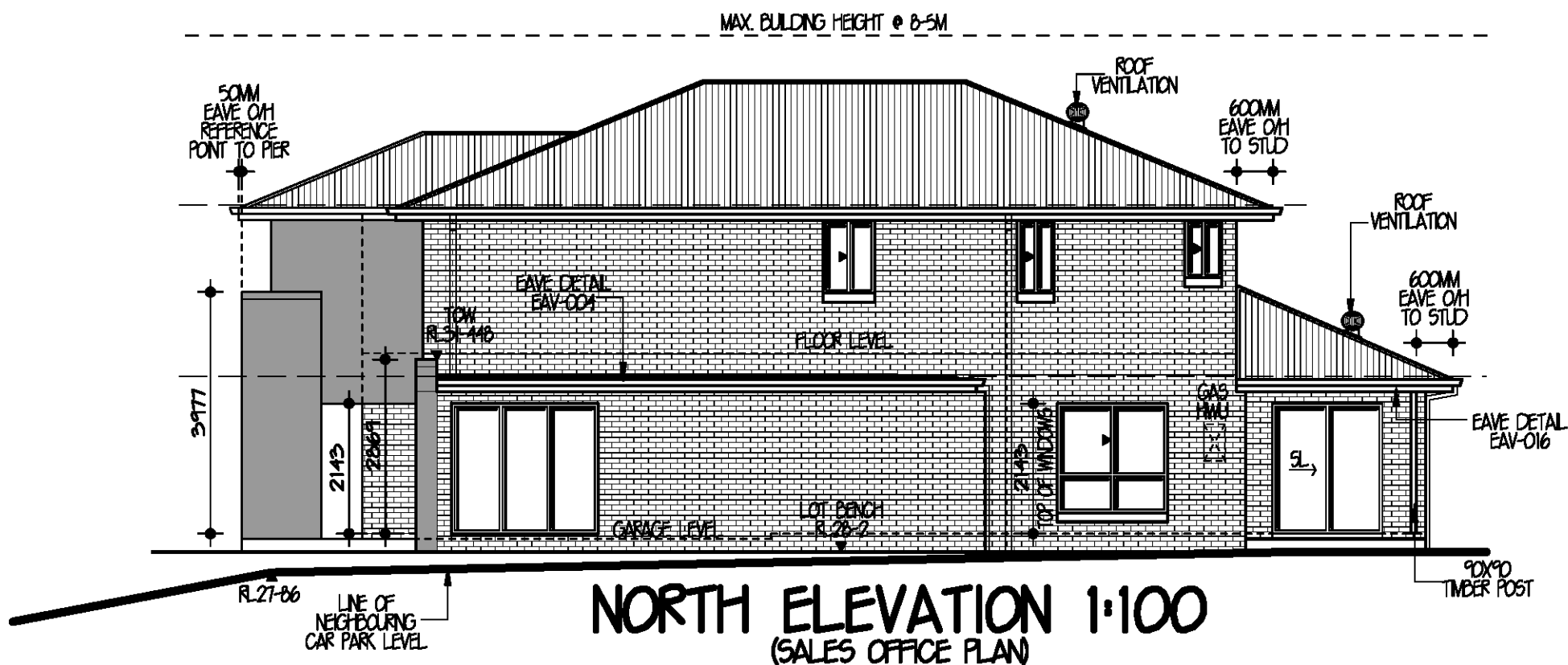


**FIRST FLOOR
ELECTRICAL PLAN 1:100**



		LEVEL 2 SITE 216 MACARTHUR POINT NO. 25-27 SOLENT CROFT BALLUPHAM HILLS PO BOX 6410 BALLUPHAM HILLS BUSINESS CENTRE NSW. 2563 PHONE 02 8624 3568 FAX 02 8624 3541 WWW.ADESIGNGROUP.COM.AU	
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FLOOR PLAN 1:50

ACCESSIBLE TOILET LAYOUT

 To where you want to live		LEVEL 3, 22 BROOKHOLLOW AVENUE, NORWEST BUSINESS PARK, BALUKHAM HILLS NSW 2153 P 8860 9222 F 8860 9233	
FOR LEND LEASE			
AT LOT 1004 PROPOSED ROAD WERRINGTON DOWNS			
TYPE (GUEST SUITE/REVERSE REAR)		JOB NO. 0790147	
FACADE FARVIEW (ADVANTAGE SERIES)		HAND RH	
DATE OCT 2020		PAGE NO. 8 OF 11	

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(BASIX CERTIFICATE NUMBER: 11711645_02)

STORMWATER / WATER

COLLECTION OF RAINWATER & STORMWATER:
THE APPLICANT MUST INSTALL A RAINWATER TANK ON THE SITE. THE RAINWATER TANK MUST MEET, AND BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE REGULATORY AUTHORITIES

RAINWATER TANK:
THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RUNOFF FROM AT LEAST 100 SQM OF THE ROOF AREA OF THE DWELLING

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO ALL THE TOILETS IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR TOILET FLUSHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO THE COLD WATER TAP THAT SUPPLIES EACH CLOTHES WASHING MACHINE IN THE DEVELOPMENT, SO THAT RAINWATER CAN BE USED FOR CLOTHES WASHING.

THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A LEAST ONE OUTDOOR TAP IN THE DEVELOPMENT SO THAT RAINWATER CAN BE USED TO IRRIGATE VEGETATED AREAS OF THE SITE.

THE RAINWATER TANK MUST HAVE A CAPACITY OF AT LEAST 3000 LITRES.

SHOWERHEADS:
THE APPLICANT MUST INSTALL SHOWERHEADS WITH A MINIMUM RATING OF 3 STAR (75 BUT <=9L/MIN) IN ALL SHOWERS IN THE DEVELOPMENT

TOILETS:
THE APPLICANT MUST INSTALL A TOILET FLUSHING SYSTEM WITH A MINIMUM RATING OF 4 STAR IN EACH TOILET IN THE DEVELOPMENT.

TAP FITTINGS:
THE APPLICANT MUST INSTALL TAPS WITH A MINIMUM FLOW RATE OF 4 STAR IN THE KITCHEN IN THE DEVELOPMENT.

THE APPLICANT MUST INSTALL BATHROOM TAPS (OTHER THAN SHOWERHEADS) WITH A MINIMUM FLOW RATE OF 4 STAR IN EACH BATHROOM IN THE DEVELOPMENT

ENERGY

HOT WATER:
THE APPLICANT MUST INSTALL THE FOLLOWING HOT WATER SYSTEM IN THE DEVELOPMENT:
GAS INSTANTANEOUS - 6 STARS. (OR ONE WITH A HIGHER STAR RATING)

ACTIVE COOLING:
THE APPLICANT MUST INSTALL THE FOLLOWING COOLING SYSTEM/S IN THE DEVELOPMENT, OR SYSTEM/S WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 30 - 35, 1 BEDROOM: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 30 - 35

ACTIVE HEATING:
THE APPLICANT MUST INSTALL THE FOLLOWING HEATING SYSTEM/S IN THE DEVELOPMENT, OR SYSTEM/S WITH A HIGHER ENERGY RATING: 1 LIVING AREA: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 35 - 40, 1 BEDROOM: 3 PHASE AIRCONDITIONING: ENERGY RATING: EER 35 - 40

VENTILATION:
THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:
AT LEAST 1 BATHROOM: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF: OPERATION CONTROL: MANUAL SWITCH ON/OFF
KITCHEN: INDIVIDUAL FAN DUCTED TO FACADE OR ROOF: OPERATION CONTROL: MANUAL SWITCH ON/OFF
LAUNDRY: NATURAL VENTILATION ONLY, OR NO LAUNDRY: OPERATION CONTROL: N/A

NATURAL LIGHTING:
THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN 3 BATHROOM(S)/TOILET(S) IN THE DEVELOPMENT FOR NATURAL LIGHTING.

THE APPLICANT MUST INSTALL A WINDOW AND/OR SKYLIGHT IN THE KITCHEN OF THE DWELLING FOR NATURAL LIGHTING

ARTIFICIAL LIGHTING:
THE APPLICANT MUST INSURE THAT THE "PRIMARY TYPE OF ARTIFICIAL LIGHTING" IS FLUORESCENT OR LED LIGHTING IN THE FOLLOWING ROOMS:

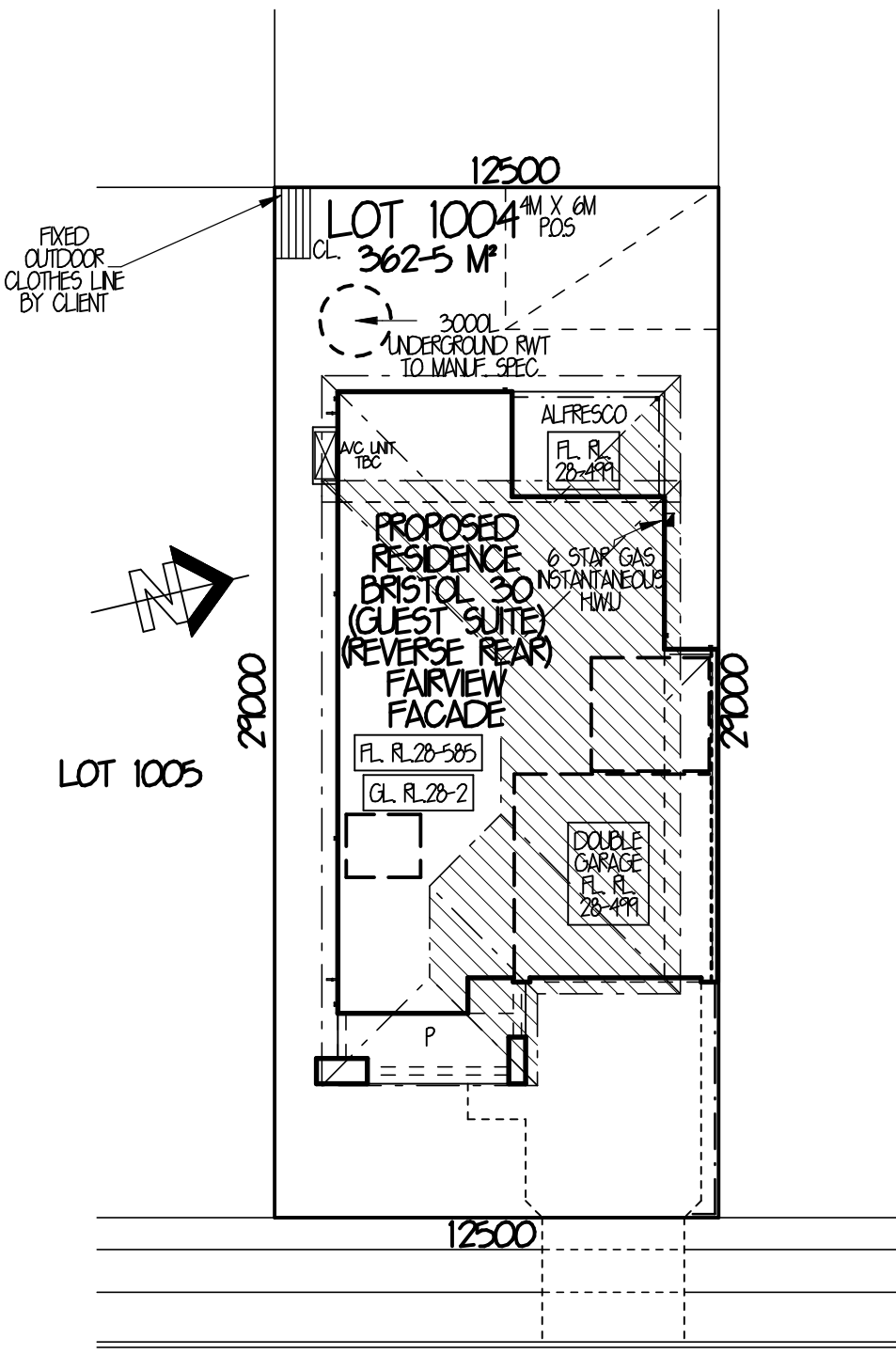
- AT LEAST 5 OF THE BEDROOMS/STUDY
- ALL HALLWAYS
- AT LEAST 4 OF THE LIVING/ DINING AREAS: DEDICATED
- THE LAUNDRY
- THE KITCHEN: DEDICATED
- ALL BATHROOMS/TOILETS

AS WELL AS THESE ROOMS THE APPLICANT MUST ALSO ENSURE THAT THE PRINCIPLES APPLY TO ANYWHERE THE WORD DEDICATED APPEARS.

FITTINGS FOR THESE LIGHTS MUST ONLY BE CAPABLE OF ACCEPTING FLUORESCENT OR LED LAMPS

COOKING:
THE APPLICANT MUST INSTALL A GAS COOKTOP & ELECTRIC OVEN IN THE KITCHEN OF THE DWELLING.

OTHER:
THE APPLICANT MUST INSTALL A FIXED OUTDOOR CLOTHES DRYING LINE AS PART OF THE DEVELOPMENT



PROPOSED ROAD
BASIX PLAN 1:200

THERMAL COMFORT

THE APPLICANT MUST CONSTRUCT THE DEVELOPMENT IN ACCORDANCE WITH THE REQUIREMENTS SET OUT IN THE ASSESSOR CERTIFICATE N° 0005609474-03 AND IN ACCORDANCE WITH THOSE ASPECTS OF THE DEVELOPMENT APPLICATION OR APPLICATION FOR COMPLYING DEVELOPMENT CERTIFICATE WHICH WERE USED TO CALCULATE THE VALUES SHOWN IN THE ASSESSOR CERTIFICATE N° 0005609474-03

INSULATION

R20 WALL INSULATION
(INCLUDING INTERNAL GARAGE WALLS)
R35 CEILING INSULATION
FOIL (SISALATION)
ROOF VENTILATION

BASIX SCORE

WATER - 41% (TARGET 40%)
THERMAL COMFORT - PASS (TARGET PASS)
ENERGY - 50% (TARGET 50%)



DENOTES 100M² OF ROOF TO BE COLLECTED



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BALUKHAM HILLS NSW 2153
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FOR

LEND LEASE

AT

LOT 1004 PROPOSED ROAD
WERRINGTON DOWNS

TYPE (GUEST SUITE/REVERSE REAR)
FACADE

BRISTOL 30
(ADVANTAGE SERIES)

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HAND

R1

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