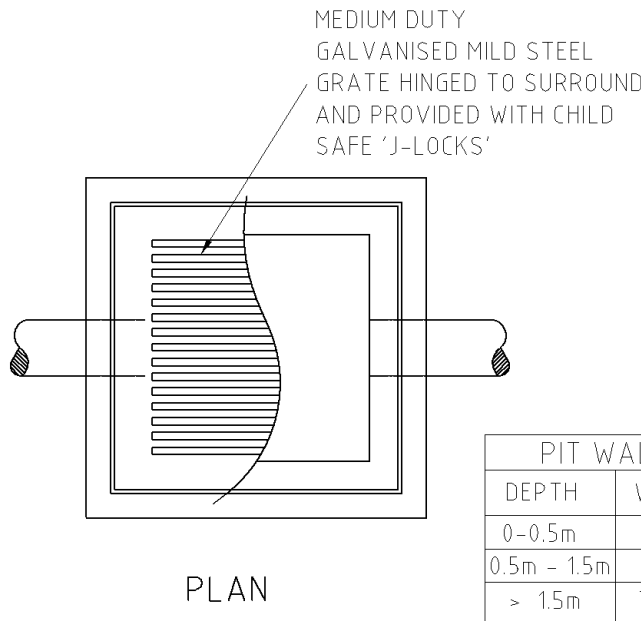


LOT 3
DP 39452
No 46

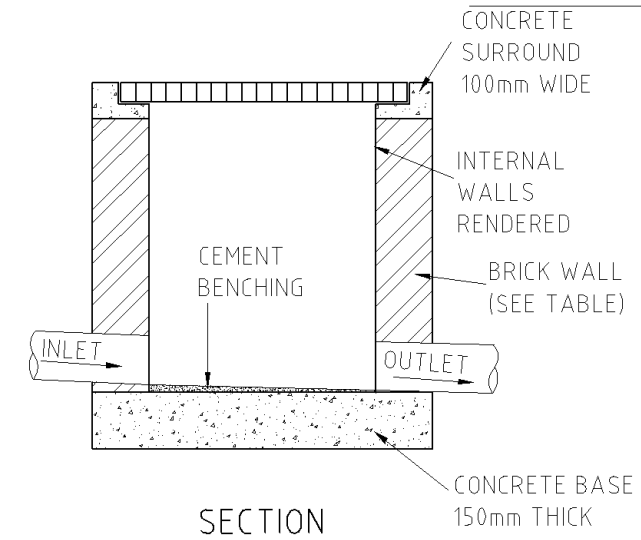


LOT 45
DP 1151660

LOT 2
DP 39452
No 48



PIT WALL DETAILS	
DEPTH	WALL THICKNESS
0-0.5m	SINGLE SKIN BRICK
0.5m - 1.5m	DOUBLE SKIN BRICK
> 1.5m	TO STRUCTURAL DETAILS

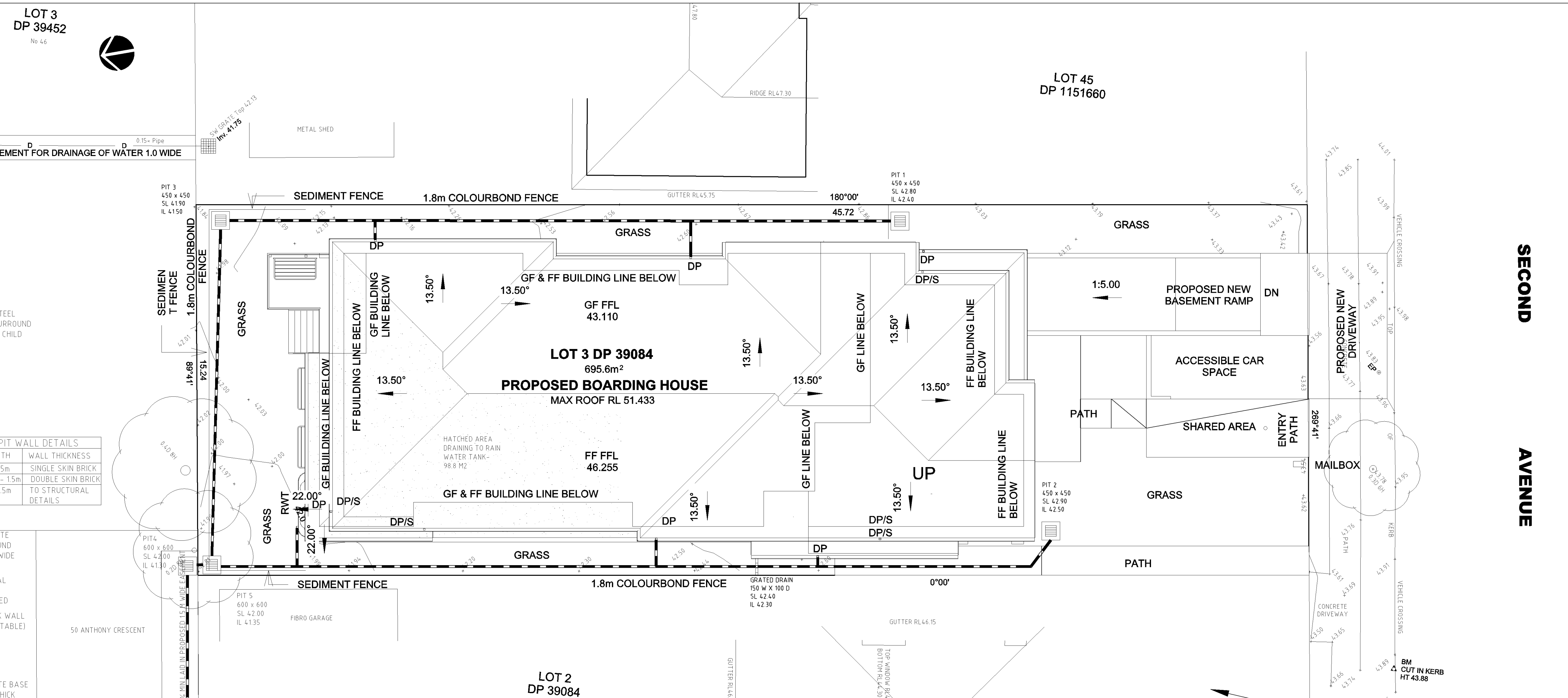


STORMWATER PIT DETAIL

NOT TO SCALE

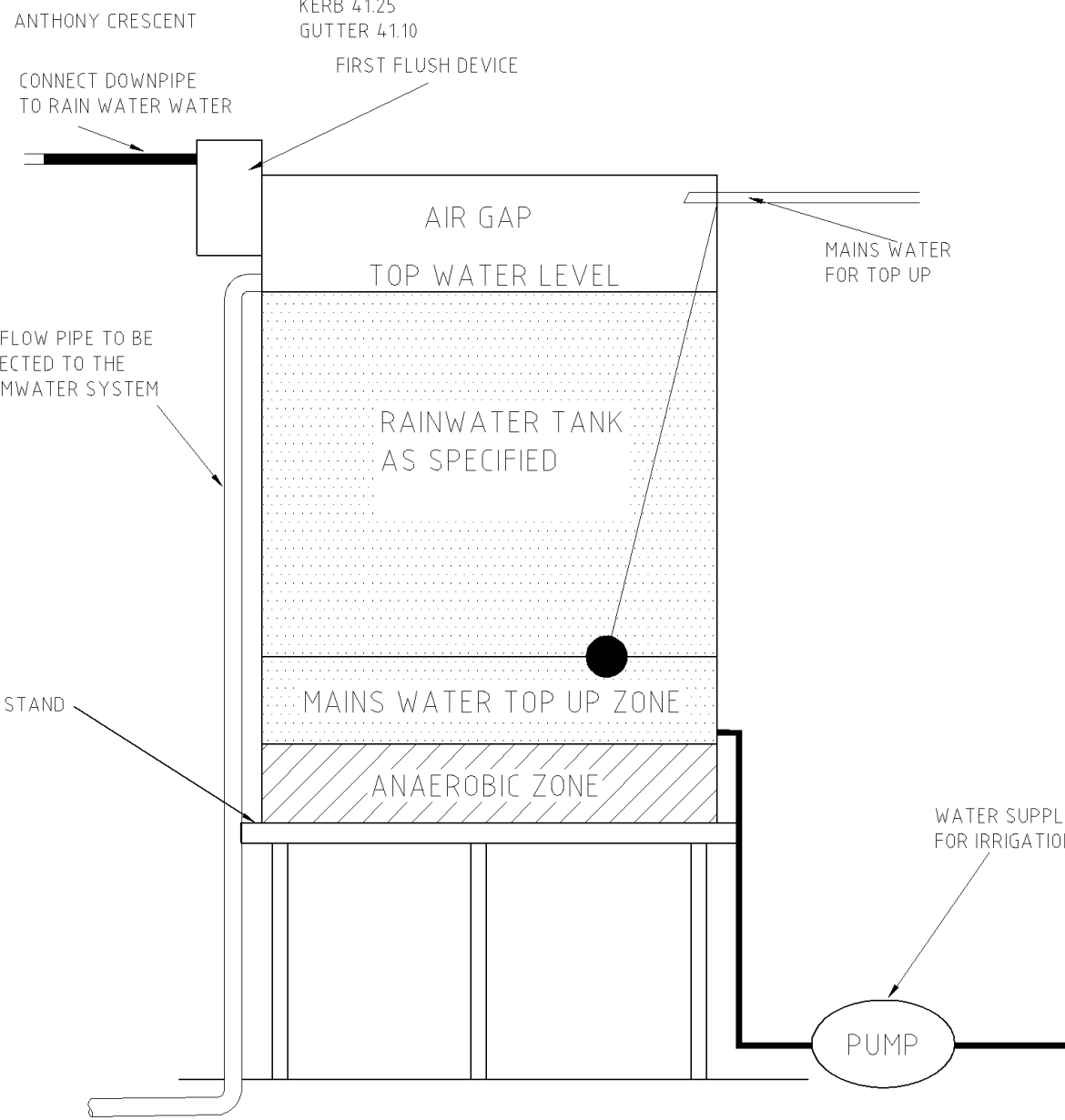
GENERAL NOTES

1. 18.704^+ DENOTES EXISTING LEVEL
2. 18.60^+ DENOTES PROPOSED LEVEL
3. ALL PITS HAVING AN INTERNAL DEPTH THAT EXCEEDS 1.0m SHALL BE PROVIDED WITH GALVANISED STEP IRONS AT 300mm CENTRES PLACED IN A STAGGERED PATTERN AND SHALL BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS.
4. THE BUILDER/CONTRACTOR SHALL LOCATE ALL EXISTING PUBLIC UTILITY SERVICES WITHIN THE SITE, FOOTPATH AREA AND ROAD RESERVE PRIOR TO THE COMMENCEMENT OF ANY WORKS. ALL LOCATIONS AND LEVELS OF SERVICES SHALL BE REPORTED TO THE STORMWATER ENGINEER PRIOR TO THE COMMENCEMENT OF ANY WORKS.
5. ALL LEVELS SHALL RELATE TO THE ESTABLISHED BENCH MARK.
6. THE BASE OF ALL DRAINAGE PITS SHALL BE BENCHMARKED TO THE INVERT OF THE OULET PIPE.
7. ALL GUTTERS SHALL BE MINIMUM 100 x 75mm AND DOWNPIPES SHALL BE MINIMUM 100 x 75mm UNLESS NOTED OTHERWISE.
8. ALL STORMWATER DRAINAGE PIPES SHALL BE A MINIMUM $\phi 100\text{mm}$ PVC LAID AT 1% MINIMUM GRADE UNLESS NOTED OTHERWISE ON THE DRAWING. WHERE GROUND COVER OVER THE PIPES IS LESS THAN 300mm THE STORMWATER PIPES SHALL BE SEWER GRADE uPVC.
9. THE BUILDER SHALL ENSURE THAT THE STORMWATER ENGINEERING DRAWINGS CORRESPOND TO THE ARCHITECTURAL, STRUCTURAL AND LANDSCAPE DRAWINGS. IF THERE EXISTS ANY DISCREPANCIES BETWEEN THE DRAWINGS THE BUILDER SHALL REPORT THE DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCEMENT OF ANY WORKS.
10. ALL MULCHING TO BE USED WITHIN THE AREA DESIGNATED AS ON SITE DETENTION STORAGE SHALL BE OF A NON-FLOATABLE MATERIAL SUCH AS DECORATIVE RIVER GRAVEL. PINE BARK MULCHING SHALL NOT BE USED WITHIN THE DETENTION STORAGE AREA.
11. ALL WORKS WITHIN THE FOOTPATH AREA SHALL BE SUITABLY BARRICADED AND SIGNPOSTED IN ACCORDANCE WITH A TRAFFIC MANAGEMENT PLAN THAT HAS BEEN PREPARED BY A QUALIFIED AND RTA ACCREDITED TRAFFIC ENGINEER AND APPROVED BY COUNCIL. IT IS THE RESPONSIBILITY OF THE BUILDER OR CONTRACTOR CARRYING OUT THE WORKS WITHIN THE FOOTPATH AREA AND ROAD RESERVE TO OBTAIN THE NECESSARY APPROVED DOCUMENTS AS OUTLINED ABOVE.
12. ALL RETAINING WALLS SHALL BE CONSTRUCTED COMPLETELY WITHIN THE PROPERTY BOUNDARY LIMITS TO DETAILS PREPARED BY THE STRUCTURAL ENGINEER. WALLS FORMING THE ON SITE DETENTION SYSTEM SHALL BE OF MASONRY/BRICK CONSTRUCTION AND SHALL BE WATER TIGHT.
13. ALL SUB-SOIL DRAINAGE SHALL BE A MINIMUM OF $\phi 65\text{mm}$ AND SHALL BE PROVIDED WITH A FLITER SOCK. THE SUBSOIL DRAINAGE SHALL BE INSTALLED IN ACCORDANCE WITH DETAILS TO BE PROVIDED BY THE LANDSCAPE ARCHITECT.



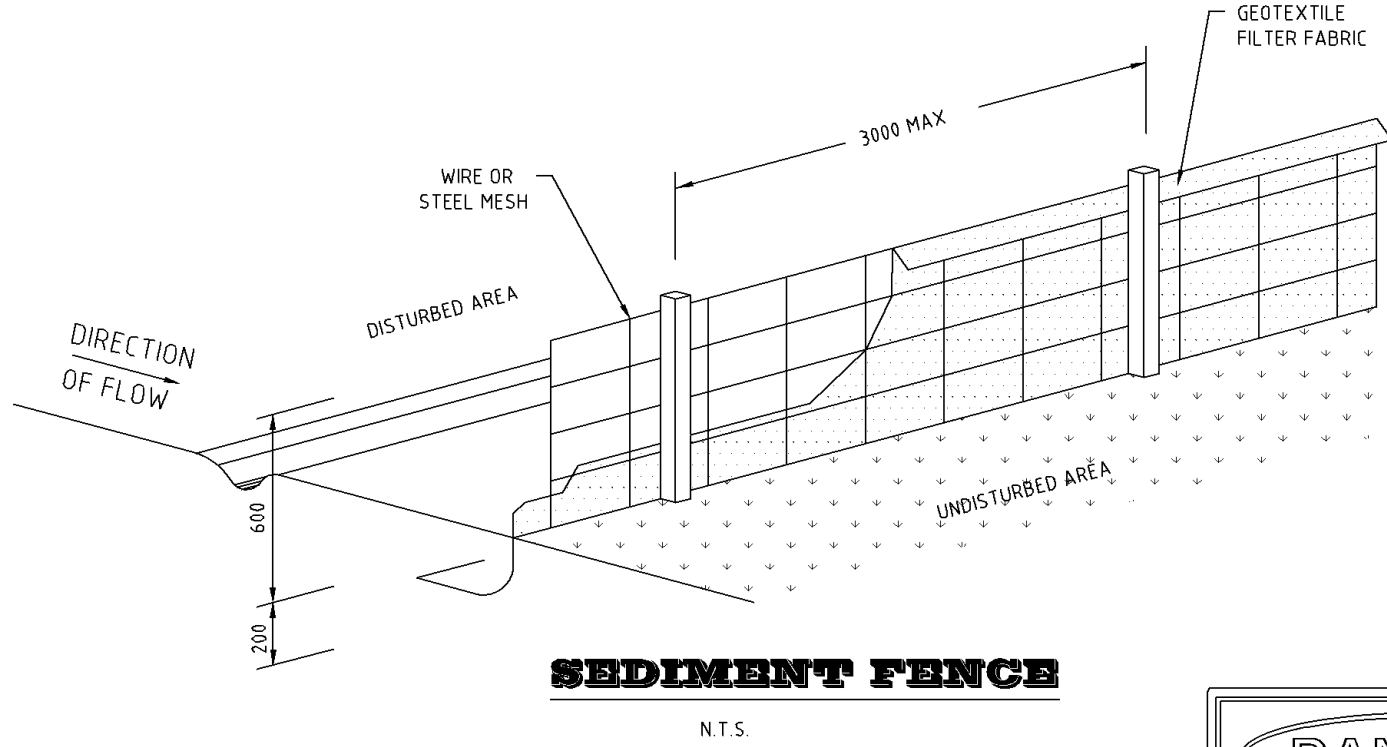
ROOF AND SITE PLAN

PIPES TO BE $\phi 100$ PVC U.O.N.
CONNECT DOWN PIPES TO RAINWATER TANK VIA A FILTRATION DEVICE.
RAINWATER TANK TO BE IN ACCORDANCE WITH BASIX CERTIFICATE.
CONNECT OVERFLOW FROM RAINWATER TANK TO SITE STORM WATER SYSTEM.
THE DESIGN IS SUBJECT TO AN EASEMENT OVER DOWNSTREAM PROPERTIES.
LAYOUT AND LOCATION AND LEVELS OF EASEMENT TO BE CONFIRMED BY BUILDER BEFORE COMMENCING OF ANY WORKS.



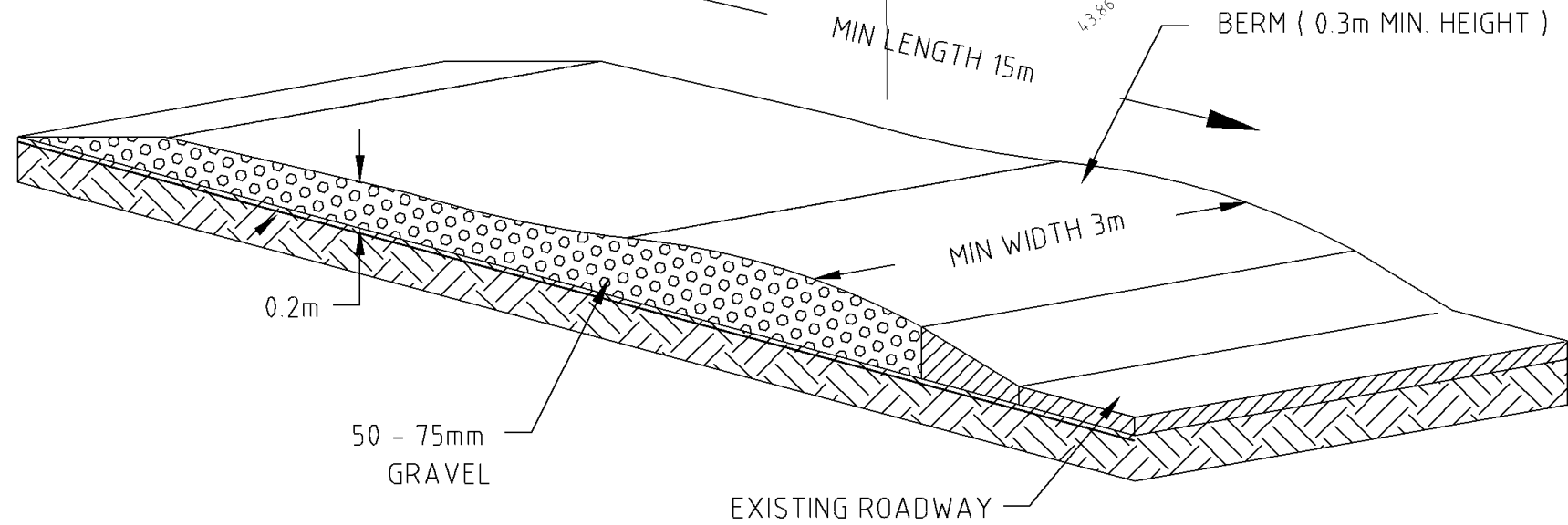
ABOVE GROUND RAINWATER TANK CONFIGURATION

NOT OT SCALE



SEDIMENT FENCE

N.T.S.



RUNOFF FROM PAD
DIRECTED TO SEDIMENT TRAP

TEMPORARY CONSTRUCTION

EXIT / ENTRANCE

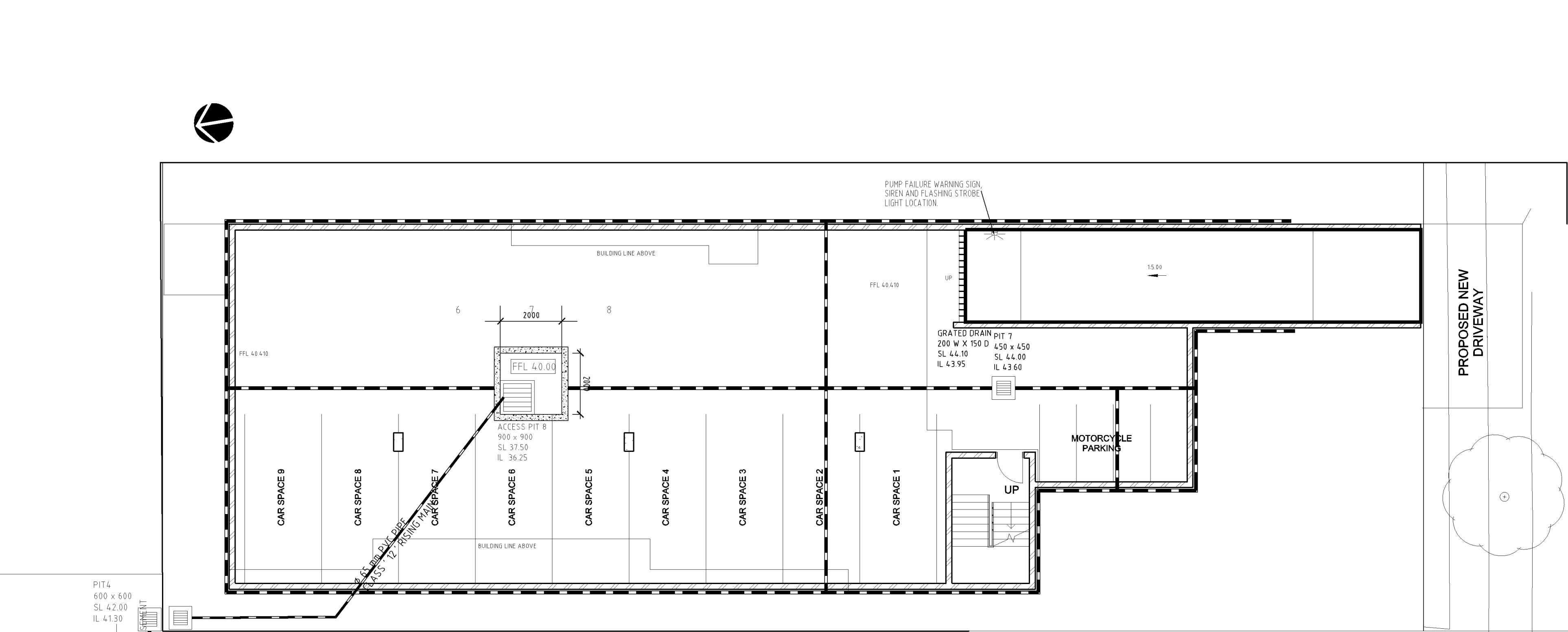
N.T.S.

AMENDMENTS	DATE
AS PER ARCHITECTURAL	06-09-2018
EASEMENT WIDTH CHANGED TO 1.5 M	10-04-2018
M.M.FARAH CIVIL/STRUCTURAL PTY/LTD	DESIGNED
PROPOSED NEW DEVELOPMENT AT NO 31 SECOND AVENUE KINGSWOOD	SCALE
	1:100 @ A1
	1:200 @ A3
	DRAWN
	MMF
	10-11-2017
	JOB #
	SW-31 SECOND

M.M.FARAH CIVIL/STRUCTURAL PTY/LTD
PROPOSED NEW DEVELOPMENT
AT NO 31 SECOND AVENUE
KINGSWOOD

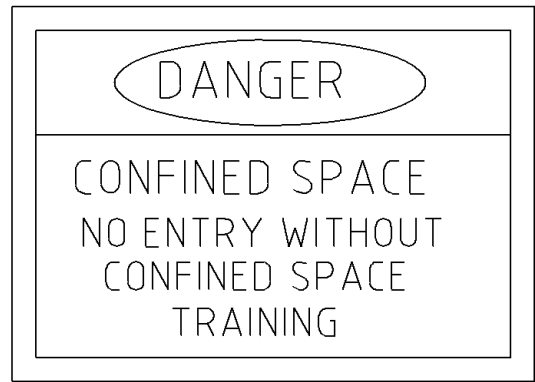
HYDRAULIC AND SEDIMENT CONTROL PLAN

SHEET No. 1 of 2



BASEMENT PLAN

ALL PIPES TO BE Ø100 PVC @ 1% MIN FALL U.O.N.
PROVIDE SUB SOIL DRAIN AROUND PERIMETER OF BASEMENT AND CONNECT TO PUMP OUT TANK

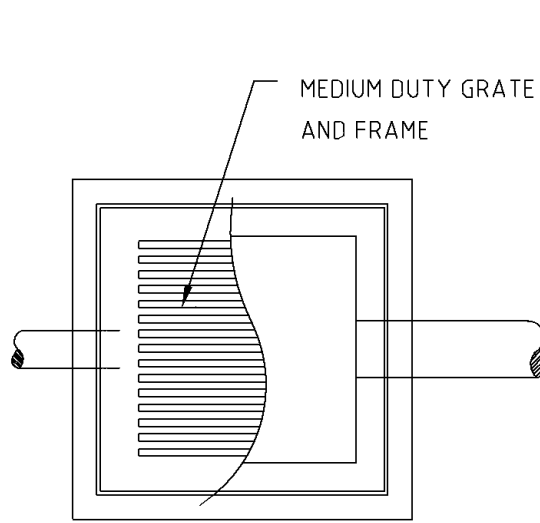


TO BE PLACED AT ALL
TANK ACCESS GRATES

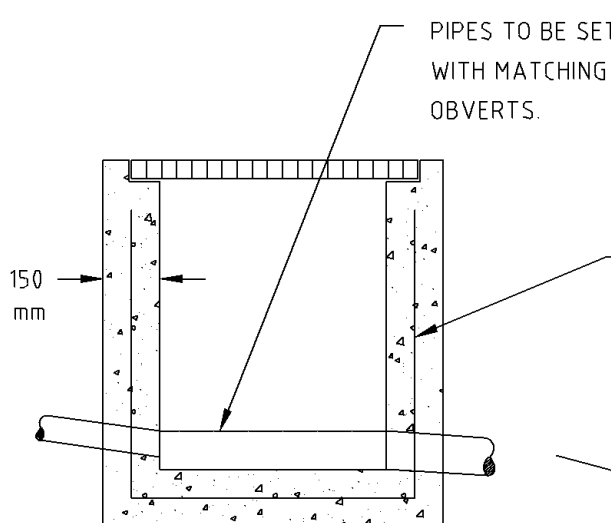
PUMP NOTES

THE PUMP OUT SYSTEM SHALL BE DESIGNED TO OPERATE IN THE FOLLOWING MANNER :-

1. THE PUMPS SHALL BE PROGRAMMED TO OPERATE ALTERNATELY SO AS TO ALLOW BOTH PUMPS TO HAVE AN EQUAL OPERATION LOAD AND PUMP LIFE.
2. A LOW LEVEL FLOAT SHALL BE PROVIDED TO ENSURE THAT A MINIMUM REQUIRED WATER LEVEL IS MAINTAINED WITHIN THE SUMP AREA OF THE BELOW GROUND TANK. THIS FLOAT WILL FUNCTION AS AN OFF SWITCH.
3. THE LOW LEVEL FLOAT SHALL ALSO BE PROGRAMMED TO SWITCH ONE OF THE PUMPS ON WHEN THE DEPTH OF WATER WITHIN THE BELOW GROUND TANK IS APPROXIMATELY 300mm DEEP. THE PUMP SHALL CONTINUE TO OPERATE UNTIL THE MINIMUM WATER LEVEL IN THE TANK IS REACHED.
4. A SECOND FLOAT SHALL BE PROVIDED AT A HIGH LEVEL, WHICH IS APPROXIMATELY THE ROOF LEVEL OF THE BELOW GROUND TANK. THIS FLOAT SHALL START THE OTHER PUMP THAT IS NOT OPERATING AND ACTIVATE THE ALARM.
5. AN ALARM SYSTEM, WITH SIREN, FLASHING STROBE LIGHT AND MUTE BUTTON ON THE CONTROL PANEL SHALL BE PROVIDED. THE FLASHING STROBE LIGHT SHALL BE LOCATED AT THE DRIVEWAY ENTRANCE TO THE BASEMENT ALONG WITH A "PUMP FAILURE" WARNING SIGN. THE ALARM SYSTEM SHALL BE PROVIDED WITH A BATTERY BACK-UP IN CASE OF POWER FAILURE.



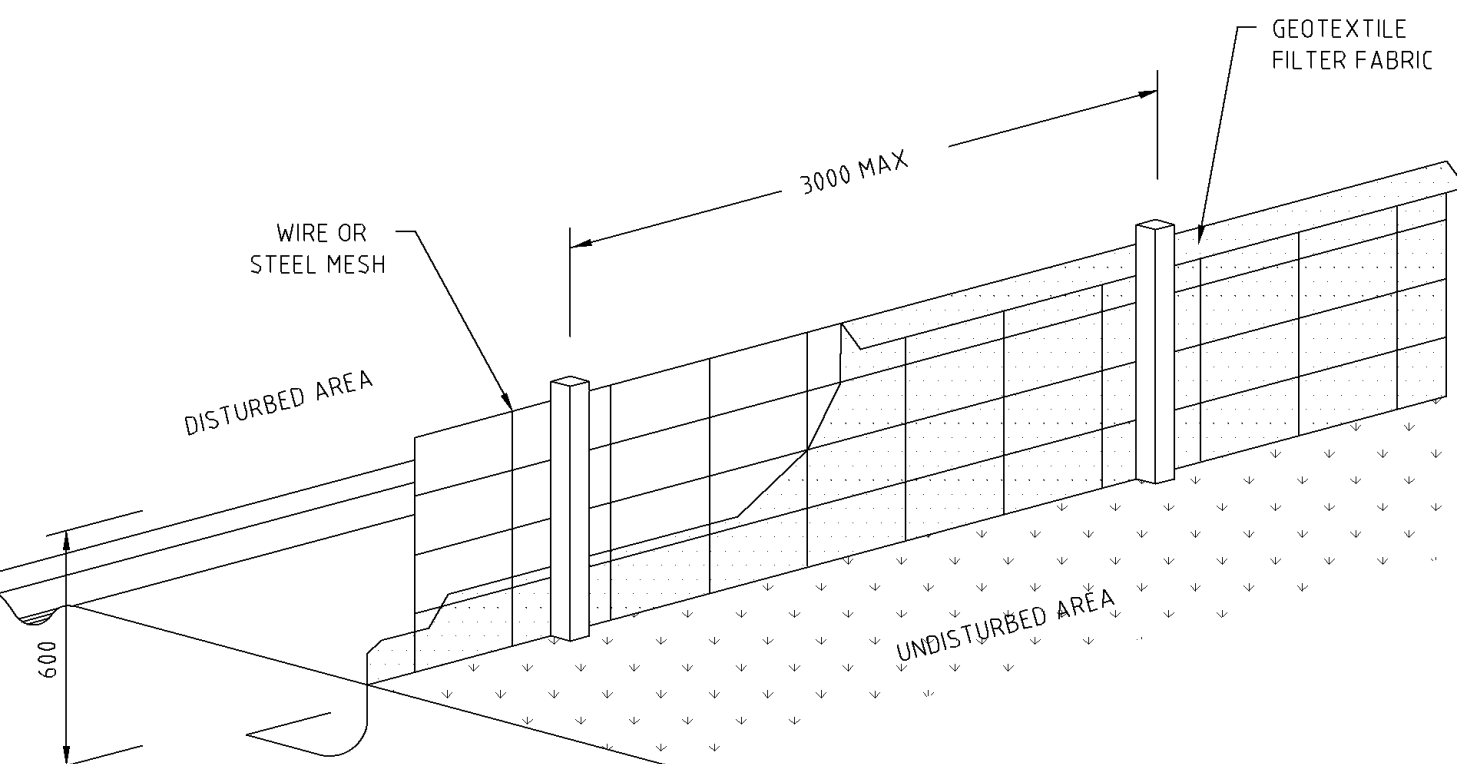
PLAN



SECTION

STORMWATER PIT DETAIL

SCALE 1:20

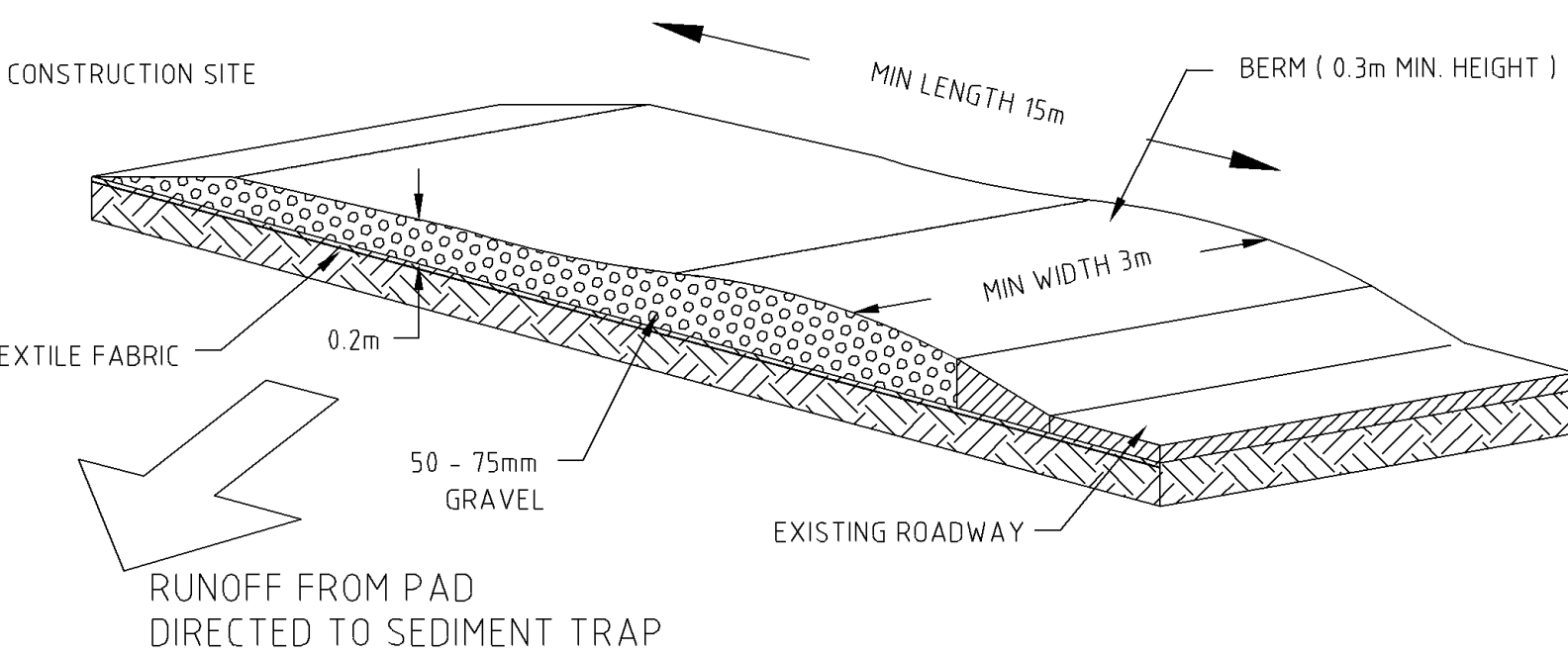


SEDIMENT FENCE

N.T.S.

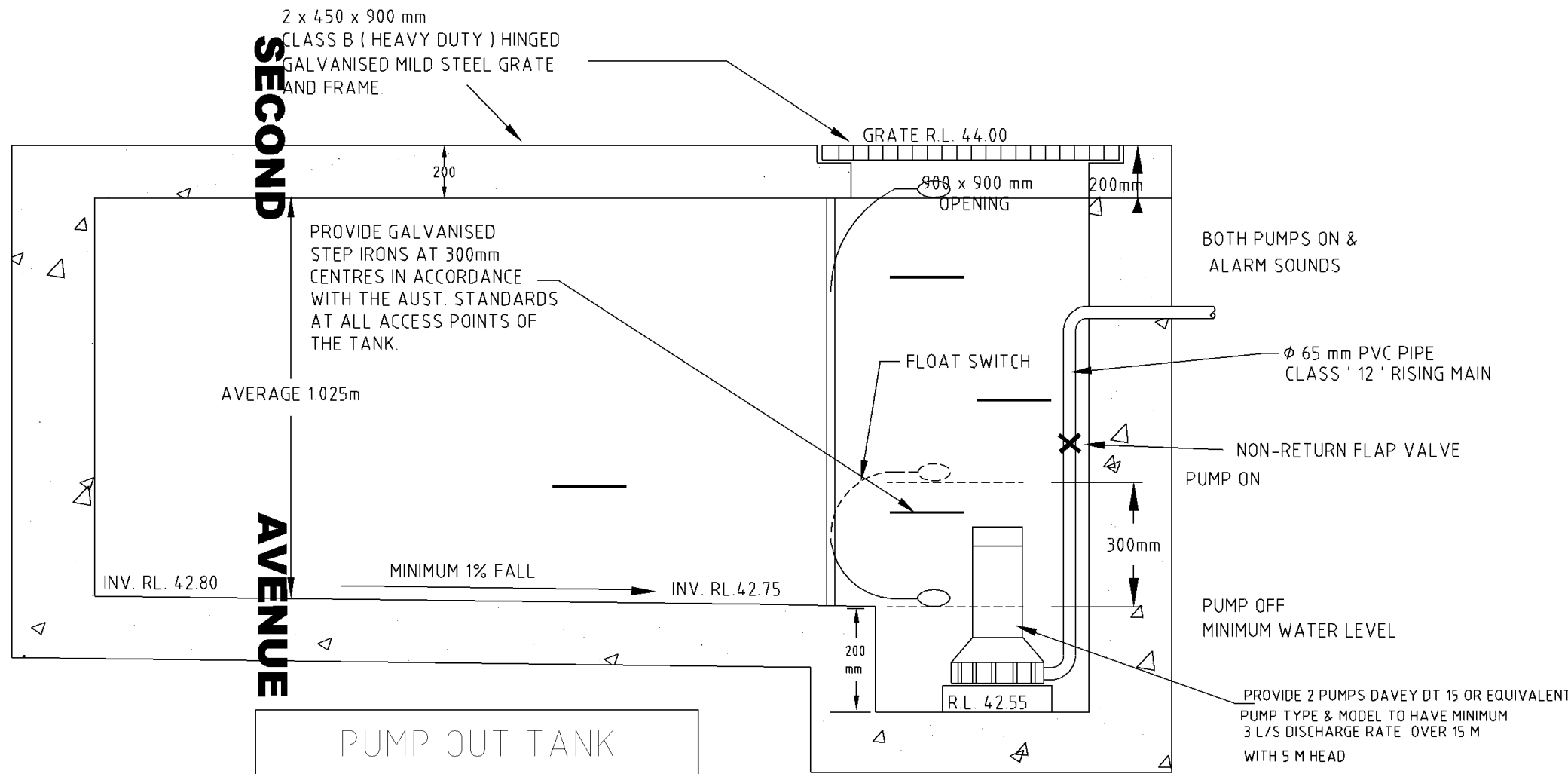
SECOND

AVENUE



EXIT / ENTRANCE

N.T.S.



PUMP OUT TANK

AVERAGE INTERNAL HEIGHT = 1.0m
INTERNAL WIDTH = 2.0m
INTERNAL LENGTH = 2.0m
VOLUME PROVIDED = 4.0 m³
VOLUME REQUIRED = 3.7m³

PUMP STORAGE TANK DETAIL

NOT TO SCALE

PUMP STORAGE TANK SHALL BE CONSTRUCTED TO THE
STRUCTURAL ENGINEERS DETAILS

M.M.FARAH CIVIL/STRUCTURAL PTY/LTD

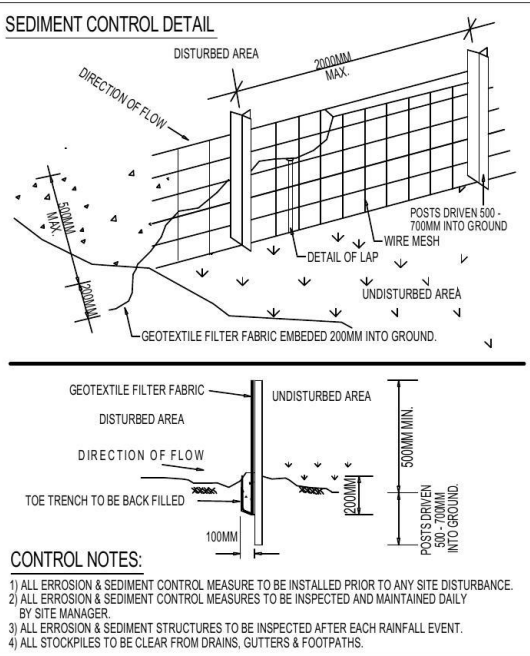
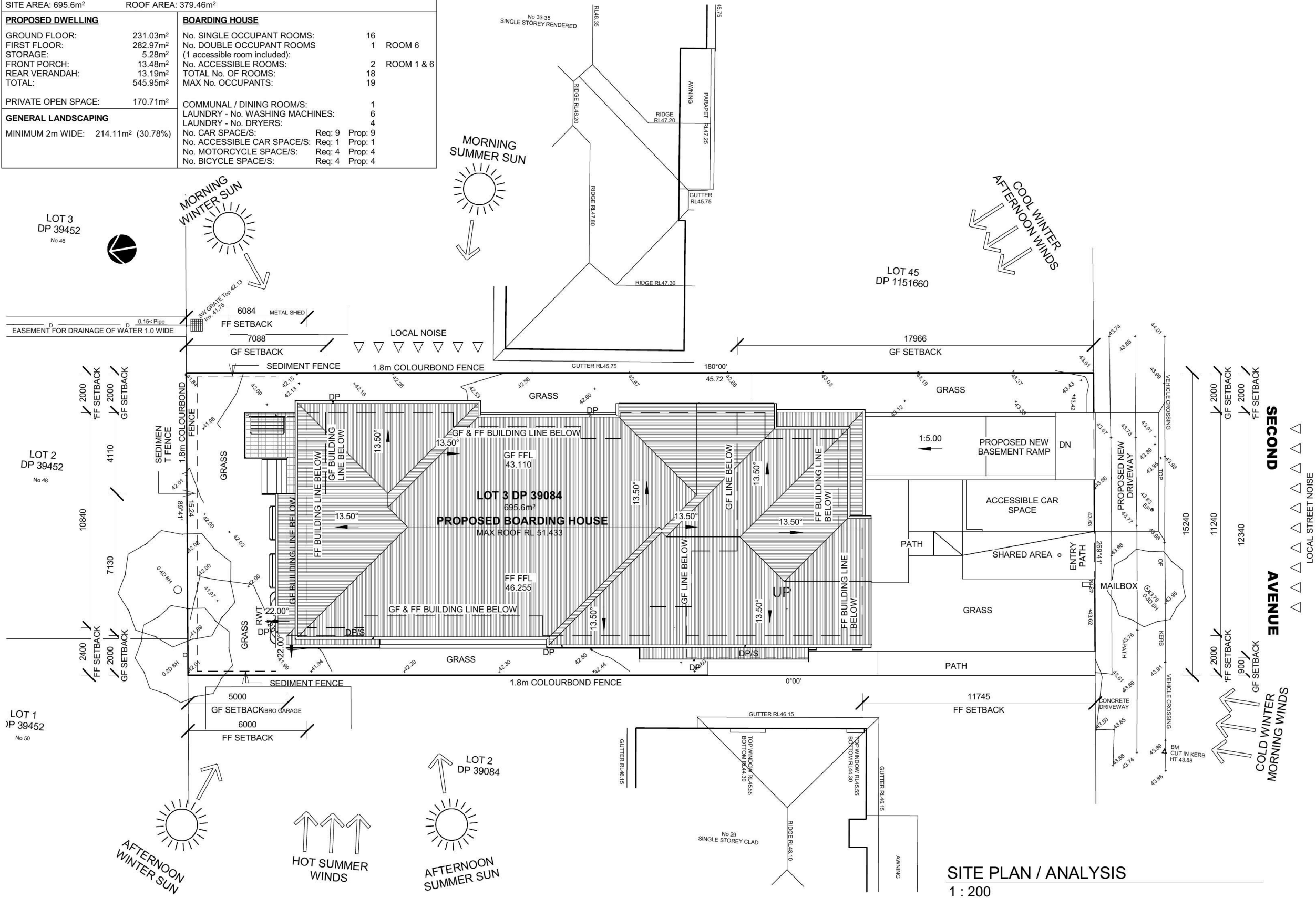
PROPOSED NEW DEVELOPMENT
AT NO 31 SECOND AVENUE
KINGSWOOD

HYDRAULIC AND SEDIMENT CONTROL PLAN

AMENDMENTS	DATE
AS PER ARCHITECTURAL	06-09-2018
EASEMENT WIDTH CHANGED TO 15 M	10-04-2018
DESIGNED	SCALE
M.M.FARAH CIVIL/STRUCTURAL PTY/LTD LEVEL 1, 3/18 MCFARLANE ST MERRYLANDS NSW 2160 0411 780 327	1:100 @ A1 1:200 @ A3
	DRAWN
	MMF
	10-11-2017
	JOB #
	SW-31 SECOND

SHEET No. 2 of 2

SITE INFORMATION				
SITE AREA: 695.6m ²		ROOF AREA: 379.46m ²		
<u>PROPOSED DWELLING</u>		<u>BOARDING HOUSE</u>		
GROUND FLOOR:	231.03m ²	No. SINGLE OCCUPANT ROOMS:	16	
FIRST FLOOR:	282.97m ²	No. DOUBLE OCCUPANT ROOMS	1	ROOM 6
STORAGE:	5.28m ²	(1 accessible room included):		
FRONT PORCH:	13.48m ²	No. ACCESSIBLE ROOMS:	2	ROOM 1 & 6
REAR VERANDAH:	13.19m ²	TOTAL No. OF ROOMS:	18	
TOTAL:	545.95m ²	MAX No. OCCUPANTS:	19	
PRIVATE OPEN SPACE:	170.71m ²			
<u>GENERAL LANDSCAPING</u>		COMMUNAL / DINING ROOM/S:		
		LAUNDRY - No. WASHING MACHINES:		
		LAUNDRY - No. DRYERS:		
MINIMUM 2m WIDE:	214.11m ² (30.78%)	No. CAR SPACE/S:	Req: 9	Prop: 9
		No. ACCESSIBLE CAR SPACE/S:	Req: 1	Prop: 1
		No. MOTORCYCLE SPACE/S:	Req: 4	Prop: 4
		No. BICYCLE SPACE/S:	Req: 4	Prop: 4



SITE PLAN / ANALYSIS
1 : 200

0 2 4 6 8m
1:200

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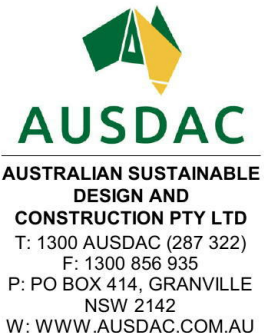
GENERAL NOTES:

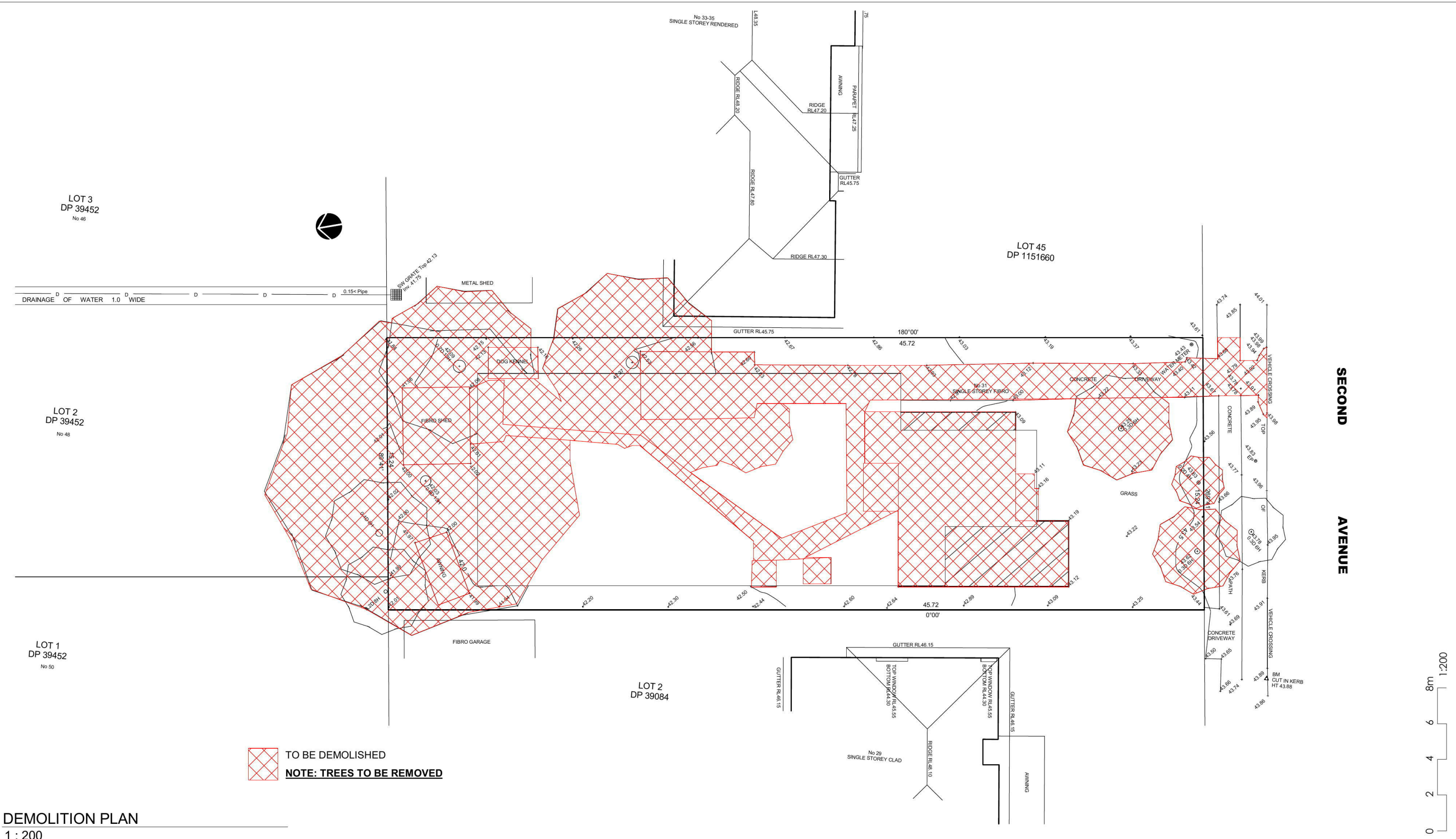
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Client
GMKA PTY LTD
Project
BOARDING HOUSE
Property Description
LOT 3 / DP 39084 - 31 SECOND AVE KINGSWOOD NSW 2747

Sheet Title		
SITE PLAN / ANALYSIS		
Project No.	Sheet No.	Sheet Size
100119	A01	A3
Date	Scale	
17/3/2017	As indicated	
Drawn by	Checked by	
SM	SM	

REV	DESCRIPTION	DATE
01	CONCEPT	12/04/2017
02	DA SUBMISSION	24/10/2017
03	ADDITIONAL INFORMATION	20/06/2018





DEMOLITION PLAN
1 : 200

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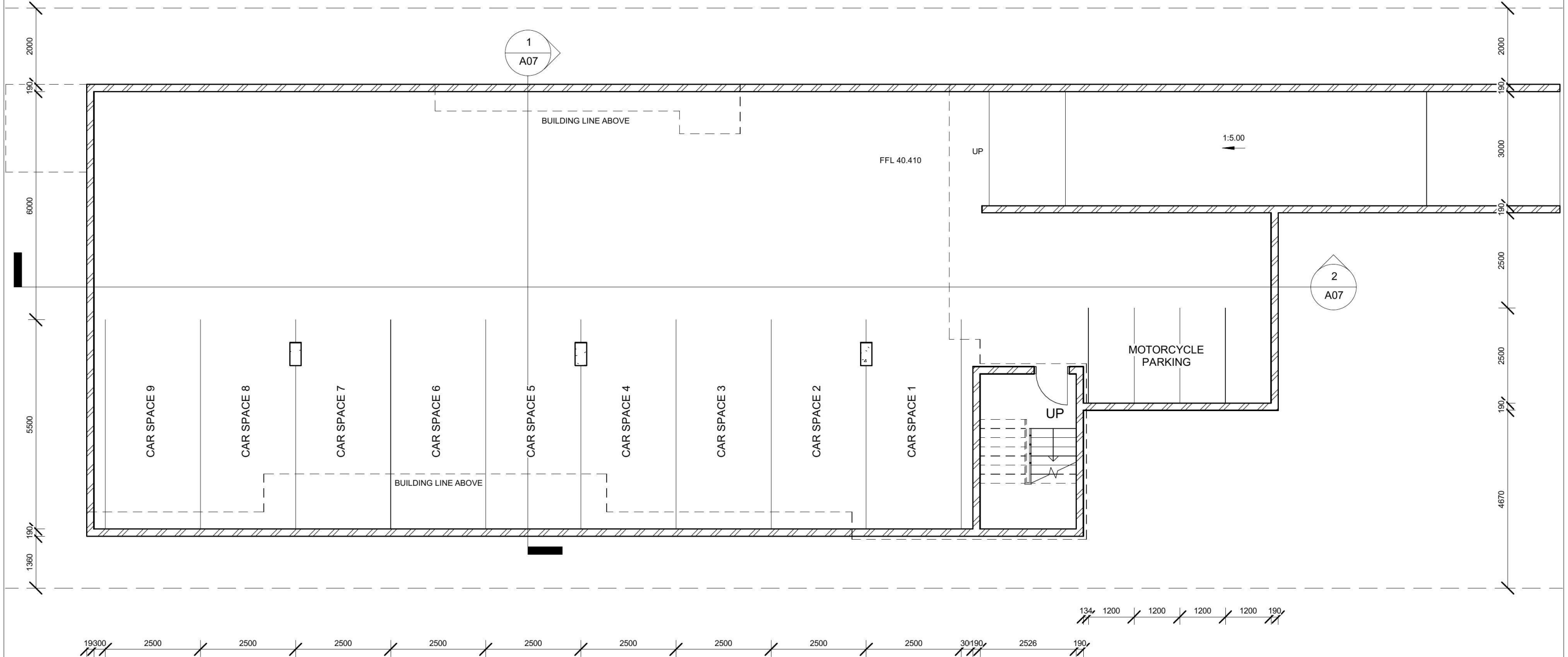
Client
GMKA PTY LTD
Project
BOARDING HOUSE
Property Description
LOT 3 / DP 39084 - 31 SECOND AVE KINGSWOOD NSW 2747

Sheet Title		
DEMOLITION PLAN		
Project No.	Sheet No.	Sheet Size
100119	A02	A3
Date	Scale	
17/3/2017	1 : 200	
Drawn by	Checked by	
SM	SM	

REV	DESCRIPTION	DATE
01	CONCEPT	12/04/2017
02	DA SUBMISSION	24/10/2017
03	ADDITIONAL INFORMATION	20/06/2018



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BASEMENT FFL
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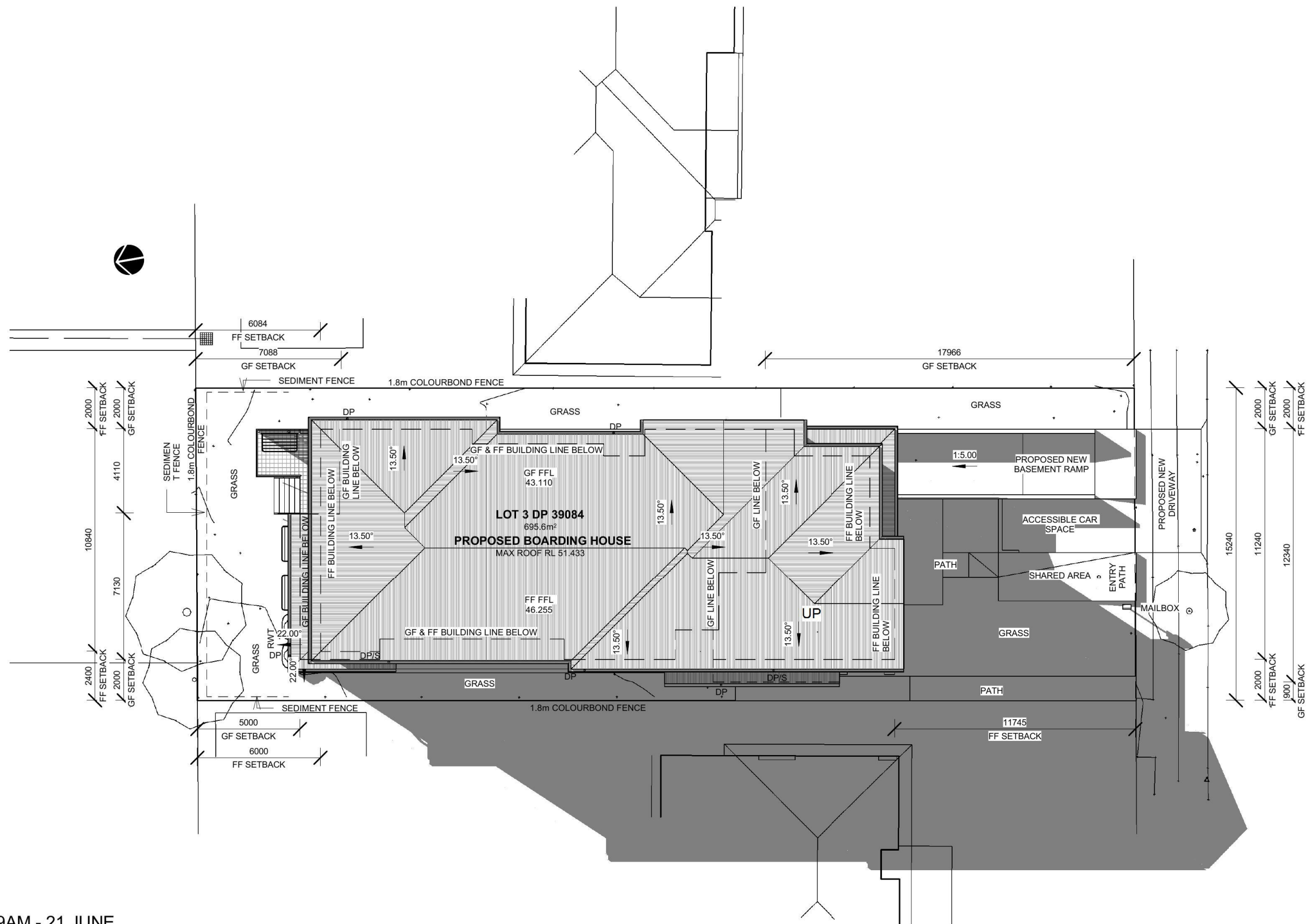
Client GMKA PTY LTD
Project BOARDING HOUSE
Property Description LOT 3 / DP 39084 - 31 SECOND AVE KINGSWOOD NSW 2747

Sheet Title BASEMENT PLAN		
Project No. 100119	Sheet No. A03	Sheet Size A3
Date 17/3/2017	Scale 1 : 100	
Drawn by SM	Checked by SM	

REV	DESCRIPTION	DATE
01	CONCEPT	12/04/2017
02	DA SUBMISSION	24/10/2017
03	ADDITIONAL INFORMATION	20/06/2018



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SHADOW DIAGRAM 9AM - 21 JUNE
1 : 200



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Client
GMKA PTY LTD

Project
BOARDING HOUSE

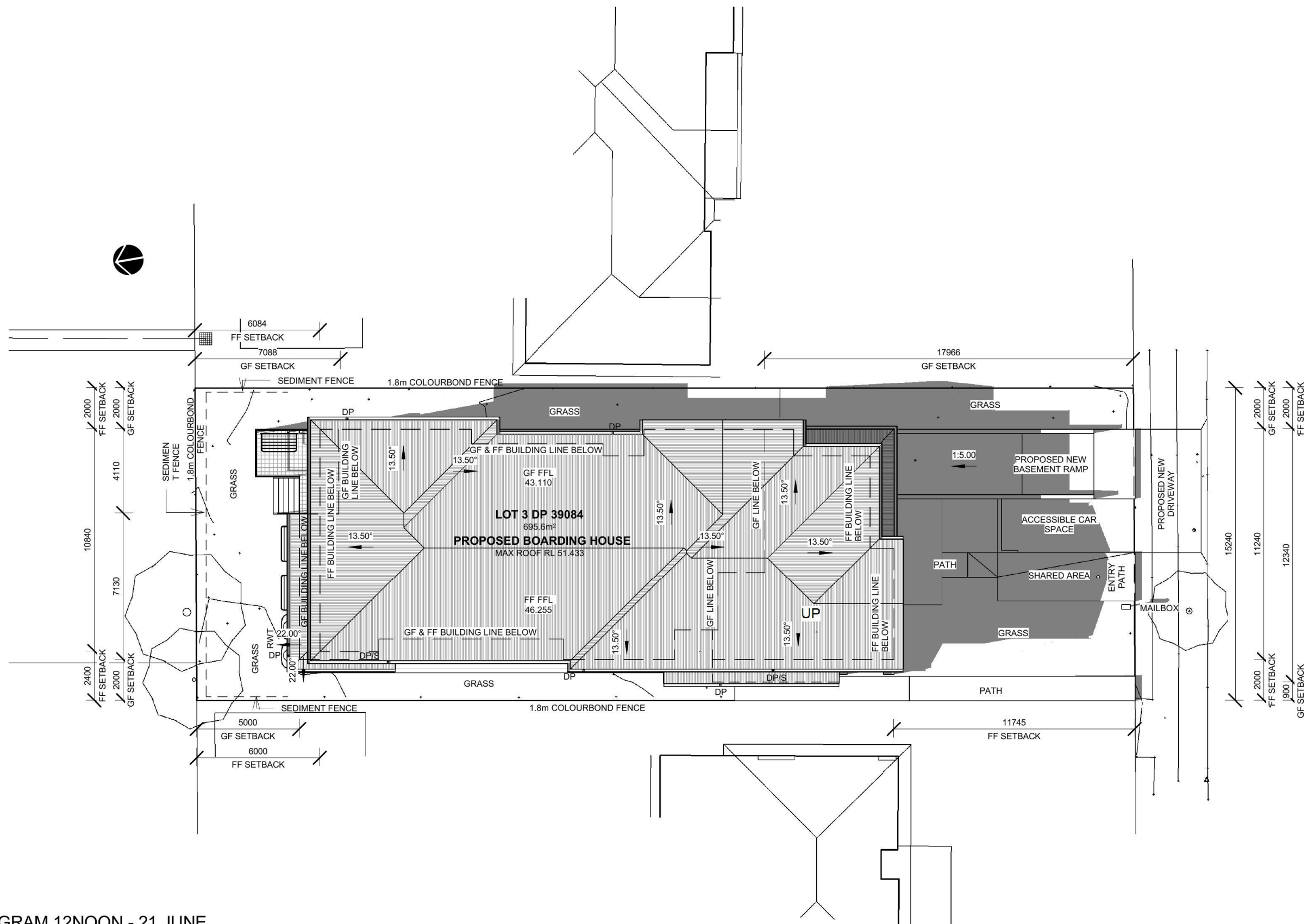
Property Description
LOT 3 / DP 39084 - 31 SECOND AVE KINGSWOOD NSW 2747

Sheet Title
SHADOW DIAGRAM 9AM - 21 JUNE

Project No. 100119	Sheet No. A08	Sheet Size A3
Date 17/3/2017	Scale 1 : 200	
Drawn by SM	Checked by SM	

REV	DESCRIPTION	DATE
01	CONCEPT	12/04/2017
02	DA SUBMISSION	24/10/2017
03	ADDITIONAL INFORMATION	20/06/2018


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SHADOW DIAGRAM 12NOON - 21 JUNE
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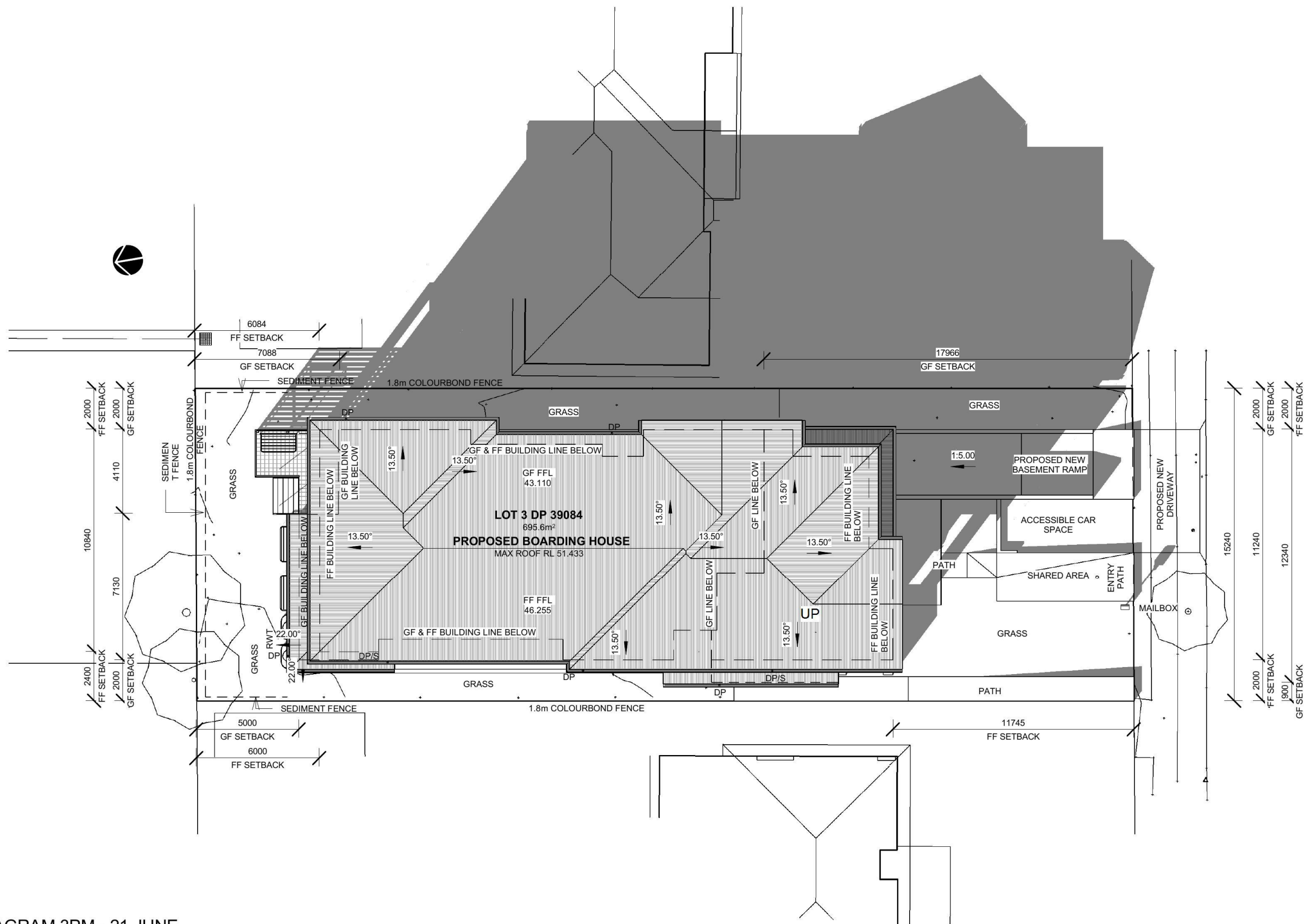
Client
GMKA PTY LTD
Project
BOARDING HOUSE
Property Description
LOT 3 / DP 39084 - 31 SECOND AVE KINGSWOOD NSW 2747

Sheet Title		
SHADOW DIAGRAM 12NOON - 21 JUNE		
Project No.	Sheet No.	Sheet Size
100119	A09	A3
Date	Scale	
17/3/2017	1 : 200	
Drawn by	Checked by	
SM	SM	

REV	DESCRIPTION	DATE
01	CONCEPT	12/04/2017
02	DA SUBMISSION	24/10/2017
03	ADDITIONAL INFORMATION	20/06/2018



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SHADOW DIAGRAM 3PM - 21 JUNE
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Client
GMKA PTY LTD
Project
BOARDING HOUSE
Property Description
LOT 3 / DP 39084 - 31 SECOND AVE KINGSWOOD NSW 2747

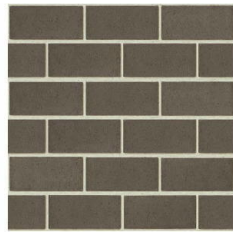
Sheet Title		
SHADOW DIAGRAM 3PM - 21 JUNE		
Project No.	Sheet No.	Sheet Size
100119	A10	A3
Date	Scale	
17/3/2017	1 : 200	
Drawn by	Checked by	
SM	SM	

REV	DESCRIPTION	DATE
01	CONCEPT	12/04/2017
02	DA SUBMISSION	24/10/2017
03	ADDITIONAL INFORMATION	20/06/2018

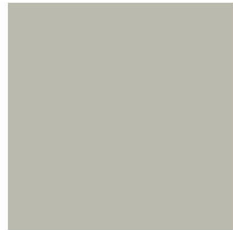

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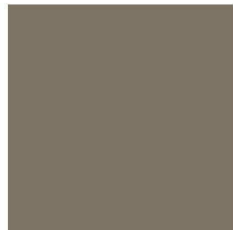
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COUNTRY MOUNTAIN



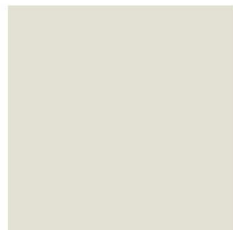
2 COMMON BRICK - RENDERED
COLORBOND DUNE



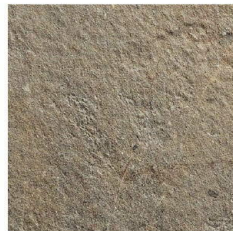
3 COMMON BRICK - RENDERED
COLORBOND JASPER



4 ALUMINIUM WINDOW FRAMES -
COLORBOND SURFMIST



5 TILED FLOOR - FINISH TO COMPLY
WITH CLAUSE 12 OF AS1428.1



6 CONCRETE DRIVEWAY -
SEALED



7 ALUMINIUM SUN SHADES -
COLORBOND DUNE



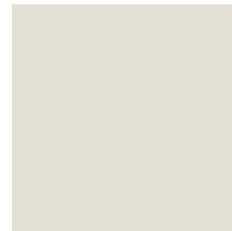
8 GUTTERS, FASCIA & DOWNPIPES
- COLORBOND DUNE



9 METAL ROOF SHEETING -
COLORBOND DUNE



10 ALUMINIUM ENTRY DOOR -
COLORBOND SURFMIST



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Property Description
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Sheet Title		
COLOUR SCHEDULE		
Project No.	Sheet No.	Sheet Size
100119	A11	A3
Date	Scale	
17/3/2017	1 : 1	
Drawn by	Checked by	
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REV	DESCRIPTION	DATE
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Door Schedule					
Level	Mark	Comments	Height	Width	Head Height
GROUND FFL	1	920 TIMBER ENTRY DOOR	2040	820	2040
GROUND FFL	2	920 FIRE DOOR	2040	920	2040
GROUND FFL	3	820 SOLID TIMBER DOOR	2040	820	2040
GROUND FFL	4	820 SOLID TIMBER DOOR	2040	920	2040
GROUND FFL	5	920 INTERNAL DOOR	2040	920	2040
GROUND FFL	6	820 SOLID TIMBER DOOR	2040	820	2040
GROUND FFL	7	720 INTERNAL DOOR	2040	720	2040
GROUND FFL	8	820 SOLID TIMBER DOOR	2040	820	2040
GROUND FFL	9	720 INTERNAL DOOR	2040	720	2040
GROUND FFL	10	920 TIMBER ENTRY DOOR	2040	920	2040
GROUND FFL	11	920 SOLID TIMBER DOOR	2040	920	2040
GROUND FFL	12	920 SOLID TIMBER DOOR	2040	920	2040
GROUND FFL	13	720 INTERNAL DOOR	2040	720	2040
GROUND FFL	14	820 SOLID TIMBER DOOR	2040	820	2040
GROUND FFL	15	720 INTERNAL DOOR	2040	720	2040

Door Schedule					
Level	Mark	Comments	Height	Width	Head Height
GROUND FFL	16	820 SOLID TIMBER DOOR	2040	820	2040
GROUND FFL	17	920 SOLID TIMBER DOOR	2040	920	2040
GROUND FFL	18	920 INTERNAL DOOR	2040	920	2040
FIRST FFL	19	820 SOLID TIMBER DOOR	2040	820	2040
FIRST FFL	20	720 INTERNAL DOOR	2040	720	2040
FIRST FFL	21	820 SOLID TIMBER DOOR	2040	820	2040
FIRST FFL	22	720 INTERNAL DOOR	2040	720	2040
FIRST FFL	23	820 SOLID TIMBER DOOR	2040	820	2040
FIRST FFL	24	720 INTERNAL DOOR	2040	720	2040
FIRST FFL	25	820 SOLID TIMBER DOOR	2040	820	2040
FIRST FFL	26	720 INTERNAL DOOR	2040	720	2040
FIRST FFL	27	820 SOLID TIMBER DOOR	2040	820	2040
FIRST FFL	28	720 INTERNAL DOOR	2040	720	2040
FIRST FFL	29	820 SOLID TIMBER DOOR	2040	820	2040
FIRST FFL	30	720 INTERNAL DOOR	2040	720	2040

Door Schedule					
Level	Mark	Comments	Height	Width	Head Height
FIRST FFL	31	820 SOLID TIMBER DOOR	2040	820	2040
FIRST FFL	32	720 INTERNAL DOOR	2040	720	2040
FIRST FFL	33	820 SOLID TIMBER DOOR	2040	820	2040
FIRST FFL	34	820 SOLID TIMBER DOOR	2040	820	2040
FIRST FFL	35	720 INTERNAL DOOR	2040	720	2040
FIRST FFL	36	820 SOLID TIMBER DOOR	2040	820	2040
FIRST FFL	37	720 INTERNAL DOOR	2040	720	2040
FIRST FFL	38	720 INTERNAL DOOR	2040	720	2040
FIRST FFL	39	820 SOLID TIMBER DOOR	2040	820	2040
FIRST FFL	40	820 SOLID TIMBER DOOR	2040	820	2040
FIRST FFL	41	720 INTERNAL DOOR	2040	720	2040
FIRST FFL	42	820 SOLID TIMBER DOOR	2040	820	2040
FIRST FFL	43	720 INTERNAL DOOR	2040	720	2040
BASEMENT FFL	44	920 FIRE DOOR	2040	920	2040
GROUND FFL	47	920 SOLID TIMBER DOOR	2040	920	2040

Window Schedule						
Level	Mark	Description	Height	Width	Sill Height	Head Height
GROUND FFL	1	ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
GROUND FFL	2	ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
GROUND FFL	3	ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
GROUND FFL	4	ALUMINIUM SLIDING WINDOW	600	610	1600	2200
GROUND FFL	5	ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
GROUND FFL	6	ALUMINIUM SLIDING WINDOW	600	610	1600	2200
GROUND FFL	7	ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
GROUND FFL	8	ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
GROUND FFL	9	ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
GROUND FFL	10	FIRE RATED ALUMINIUM SLIDING WINDOW	600	610	1600	2200
GROUND FFL	11	FIRE RATED ALUMINIUM SLIDING WINDOW	600	610	1600	2200
GROUND FFL	12	ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
GROUND FFL	13	FIRE RATED ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
GROUND FFL	14	ALUMINIUM SLIDING WINDOW	600	610	1600	2200

Window Schedule						
Level	Mark	Description	Height	Width	Sill Height	Head Height
GROUND FFL	15	FR GLASS BLOCKS	1300	700	900	2200
GROUND FFL	16	ALUMINIUM SLIDING WINDOW	1200	1210	1000	2200
GROUND FFL	17	ALUMINIUM SLIDING WINDOW	1200	1210	1000	2200
FIRST FFL	18	ALUMINIUM SLIDING WINDOW (1F,2S)	1200	1810	1000	2200
FIRST FFL	19	FIRE RATED ALUMINIUM SLIDING WINDOW	600	610	1600	2200
FIRST FFL	20	FIRE RATED ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
FIRST FFL	21	ALUMINIUM SLIDING WINDOW	600	610	1600	2200
FIRST FFL	22	FIRE RATED ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
FIRST FFL	23	FIRE RATED ALUMINIUM SLIDING WINDOW	600	610	1600	2200
FIRST FFL	24	ALUMINIUM SLIDING WINDOW	600	610	1600	2200
FIRST FFL	25	ALUMINIUM SLIDING WINDOW (1F,2S)	600	1810	1600	2200
FIRST FFL	26	ALUMINIUM SLIDING WINDOW	600	610	1600	2200
FIRST FFL	27	ALUMINIUM SLIDING WINDOW (1F,2S)	600	1810	1600	2200
FIRST FFL	28	ALUMINIUM SLIDING WINDOW	600	1210	1600	2200

Window Schedule						
Level	Mark	Description	Height	Width	Sill Height	Head Height
FIRST FFL	29	ALUMINIUM SLIDING WINDOW	600	610	1600	2200
FIRST FFL	30	ALUMINIUM SLIDING WINDOW	600	610	1600	2200
FIRST FFL	31	ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
FIRST FFL	32	FIRE RATED ALUMINIUM SLIDING WINDOW	600	610	1600	2200
FIRST FFL	33	FIRE RATED ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
FIRST FFL	34	FIRE RATED ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
FIRST FFL	35	FIRE RATED ALUMINIUM SLIDING WINDOW	600	610	1600	2200
FIRST FFL	36	ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
FIRST FFL	37	FIRE RATED ALUMINIUM SLIDING WINDOW	600	610	1600	2200
FIRST FFL	38	FIRE RATED ALUMINIUM SLIDING WINDOW	600	610	1600	2200
FIRST FFL	39	FIRE RATED ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
FIRST FFL	40	ALUMINIUM SLIDING WINDOW	600	1210	1600	2200
FIRST FFL	41	ALUMINIUM SLIDING WINDOW (1F,2S)	1200	1810	1000	2200
FIRST FFL	42	ALUMINIUM SLIDING WINDOW	600	610	1600	2200



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Client GMKA PTY LTD
Project BOARDING HOUSE
Property Description LOT 3 / DP 39084 - 31 SECOND AVE KINGSWOOD NSW 2747

Sheet Title DOOR / WINDOW SCHEDULES & PERSPECTIVES		
Project No. 100119	Sheet No. A12	Sheet Size A3
Date 17/3/2017	Scale	
Drawn by SM	Checked by SM	

REV	DESCRIPTION	DATE
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1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate: Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard.

Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area

- where the work is being carried out onto persons below.
1. Prevent or restrict access to areas below where the work is being carried out.
 2. Provide toeboards to scaffolding or work platforms.
 3. Provide protective structure below the work area.
 4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted: Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings: Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES - GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power: Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines: Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components

should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990: If this existing building was constructed prior to: 1990 - it therefore may corasbestos 1986 - it therefore is likely to crasbestos either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fibreglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within

excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required: Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

10.OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace.

All work should be carried out in accordancCode of Practice: Managing Noise and Preventing Hearing Loss at Work.

Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT. THIS INCLUDES (but is not excluded to): OWNER, BUILDER, SUB-CONTRACTORS, CONSULTANTS, RENOVATORS, OPERATORS, MAINTENORS, DEMOLISHERS.

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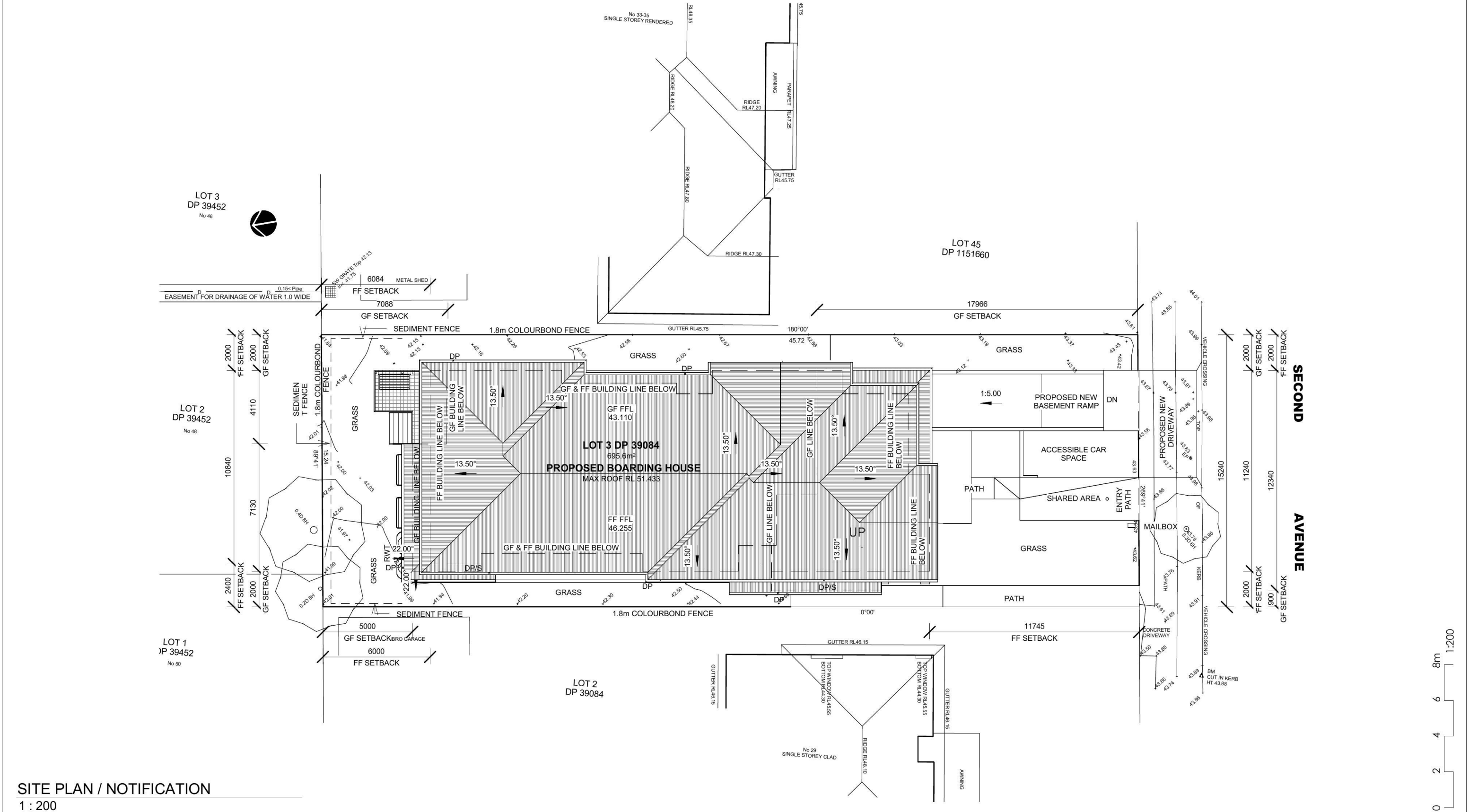
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Project BOARDING HOUSE
Property Description LOT 3 / DP 39084 - 31 SECOND AVE KINGSWOOD NSW 2747

Sheet Title SAFETY NOTES		
Project No. 100119	Sheet No. A13	Sheet Size A3
Date 17/3/2017	Scale 1 : 100	
Drawn by SM	Checked by SM	

REV	DESCRIPTION	DATE
01	CONCEPT	12/04/2017
02	DA SUBMISSION	24/10/2017
03	ADDITIONAL INFORMATION	20/06/2018



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 - 3) FIGURED DIMENSIONS MUST BE TAKEN IN PREFERENCE TO SCALING.
 - 4) ALL BOUNDARY CLEARANCES MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS.
 - 5) WHERE ENGINEERING DRAWINGS ARE REQUIRED SUCH MUST TAKE PREFERENCE TO THIS DRAWING.
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Client
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Project
BOARDING HOUSE

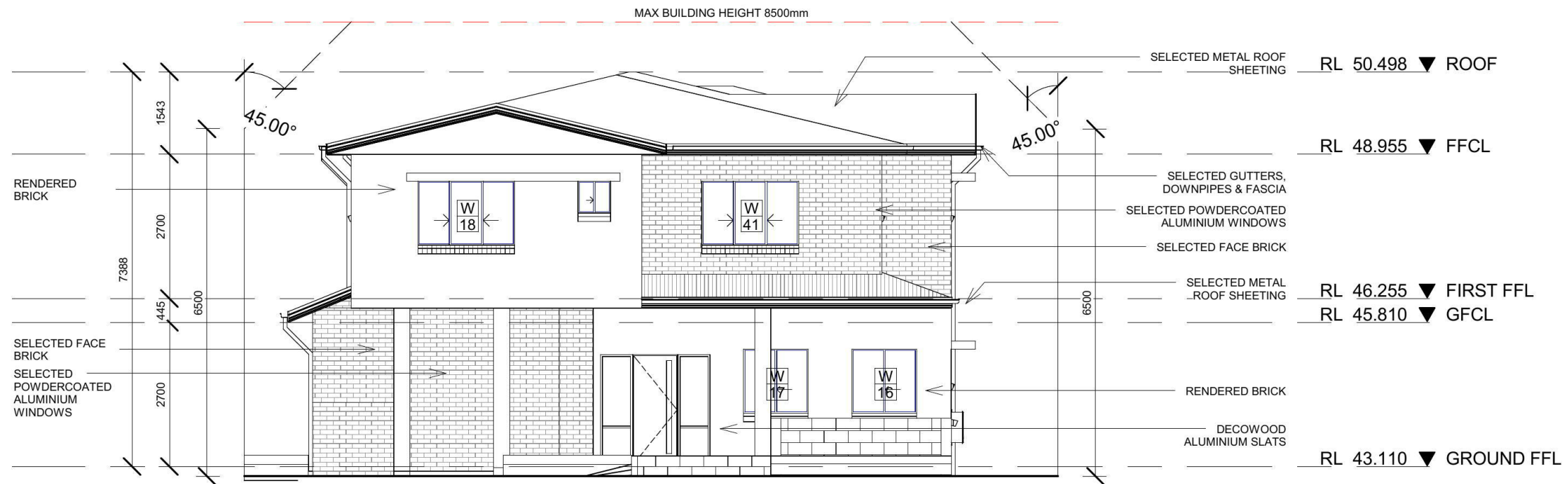
Property Description
LOT 3 / DP 39084 - 31 SECOND AVE KINGSWOOD NSW 2747

Sheet Title
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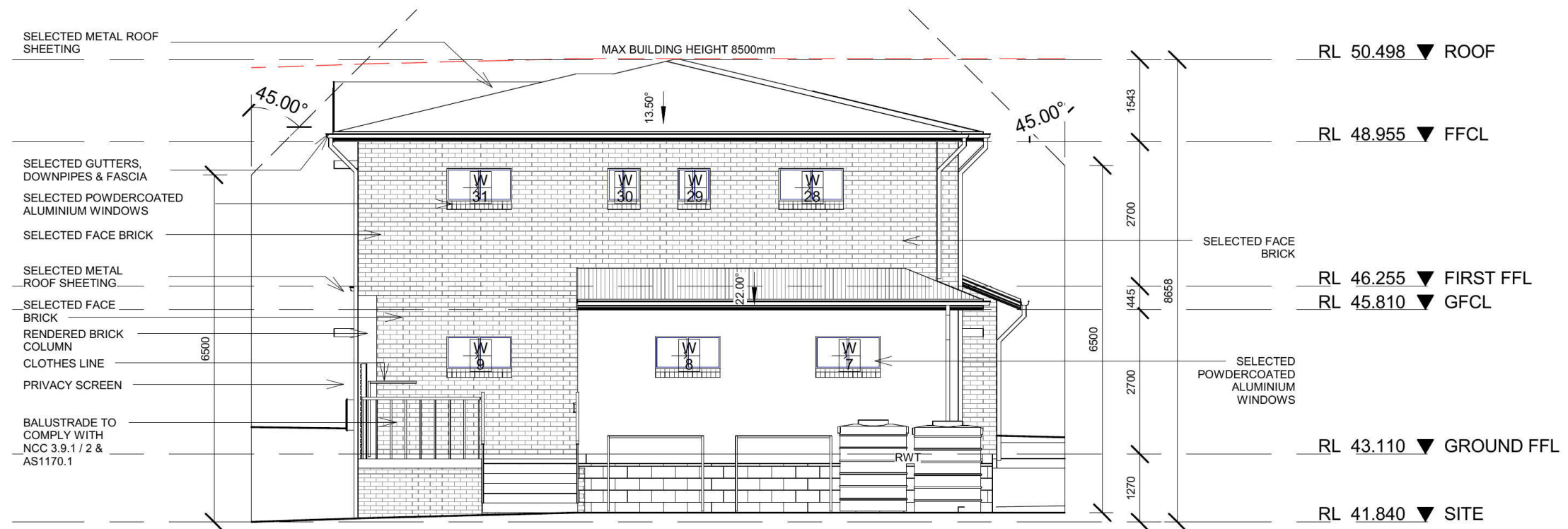
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Date 17/3/2017	Scale 1 : 200	
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01	CONCEPT	12/04/2017
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Project
BOARDING HOUSE
Property Description
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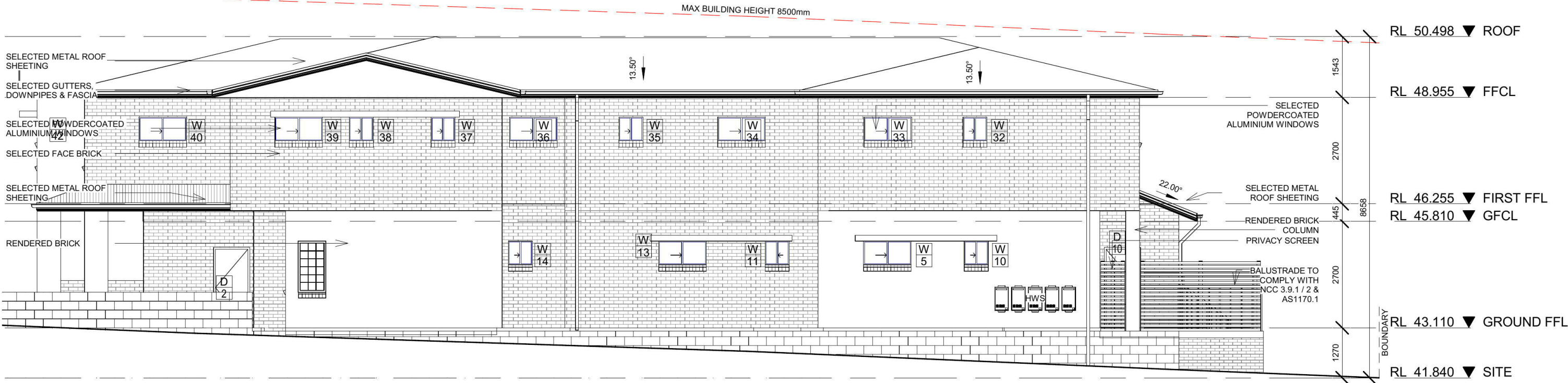
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Date	Scale	
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Drawn by	Checked by	
SM	SM	

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01	CONCEPT	12/04/2017
02	DA SUBMISSION	24/10/2017
03	ADDITIONAL INFORMATION	20/06/2018

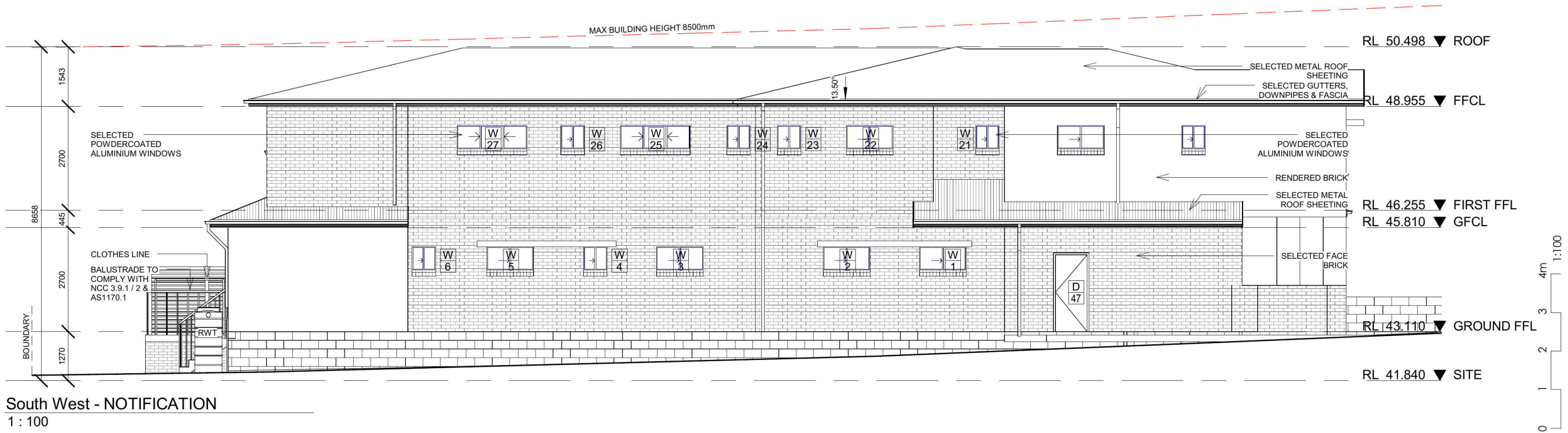


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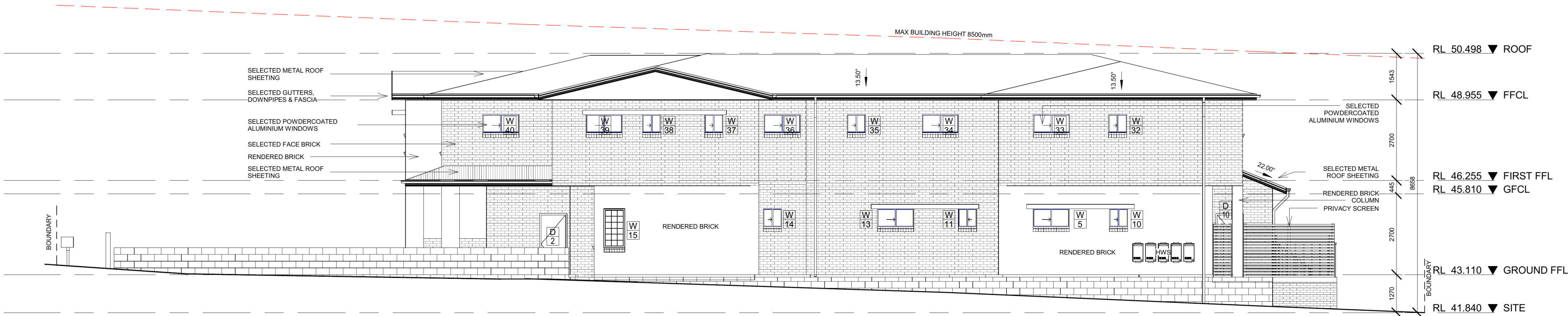
Property Description
LOT 3 / DP 39084 - 31 SECOND AVE KINGSWOOD NSW 2747

Sheet Title
NOTIFICATION PLAN

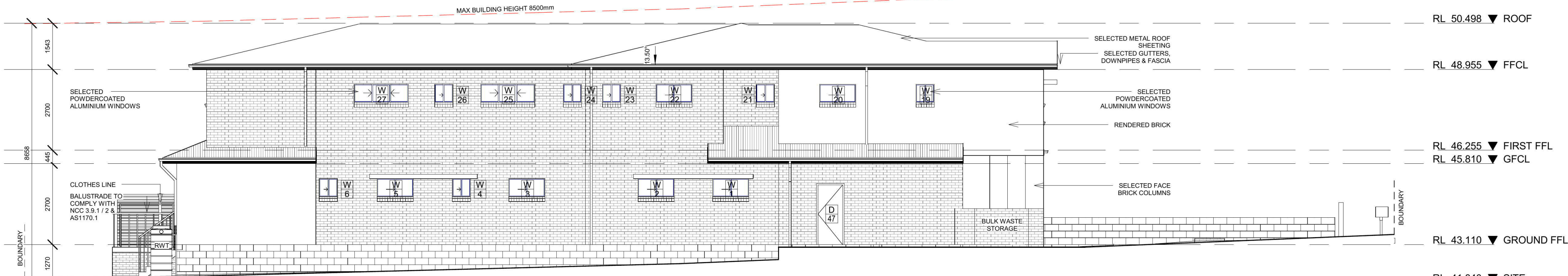
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100119	NN03	A3
Date	Scale	
17/3/2017	1 : 100	
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SM	SM	

REV	DESCRIPTION	DATE
01	CONCEPT	12/04/2017
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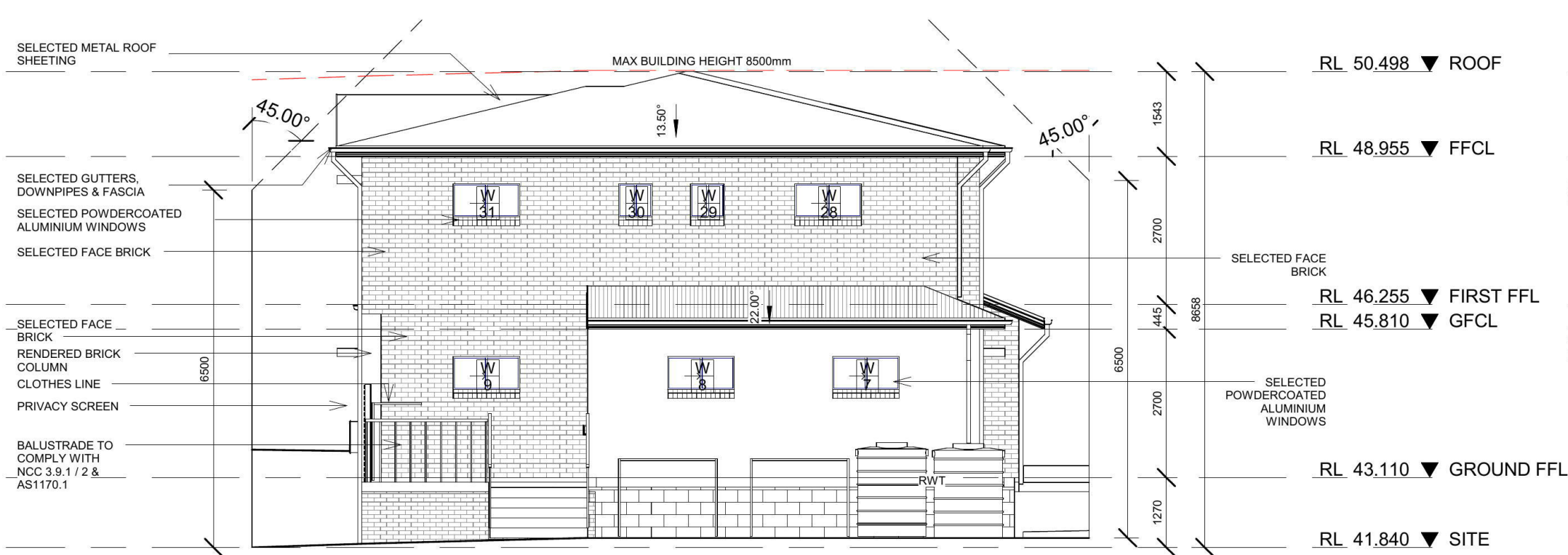




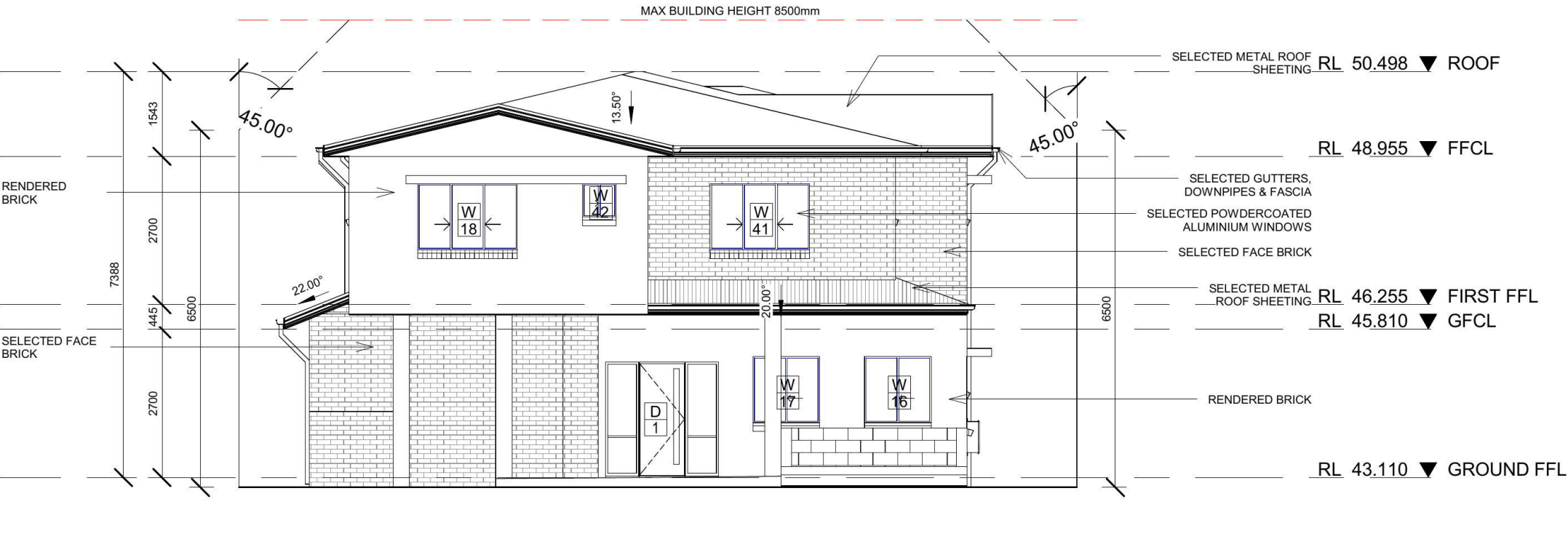
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Property Description
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Sheet Title
ELEVATIONS

Project No.
100119

Date
17/03/2017

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Sheet No.
A06

Scale
1 : 100

Sheet Size
A2

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