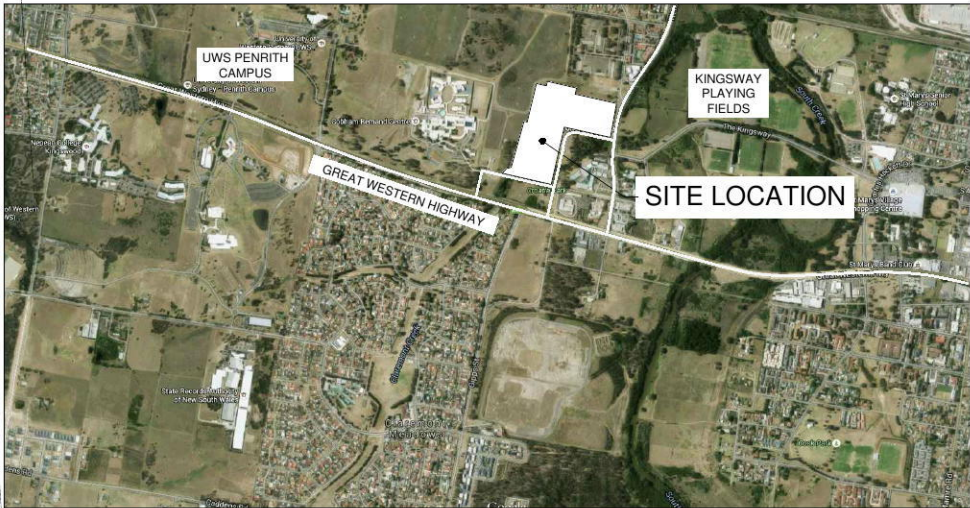


WOLLEMI COLLEGE  
MUSIC ROOMS

- 01 COVER SHEET
- 02 SITE PLAN
- 03 PLAN & LANDSCAPE & PARTIAL  
STORMWATER PLAN
- 04 ELEVATIONS AND COLOUR SCHEDULE
- 05 ELEVATIONS AND COLOUR SCHEDULE
- 06 SECTIONS
- 07 SPECIFICATIONS
- 08 SPECIFICATIONS
- 09 SPECIFICATIONS
- 10 SPECIFICATIONS
- 11 WASTE MANAGEMENT PLAN &  
EROSION & SEDIMENT CONTROL PLAN
- 12 WALL SECTION DETAILS

 PROPOSED MUSIC ROOMS



Site Plan  
1:3000 @ A3

DA SET - COVER

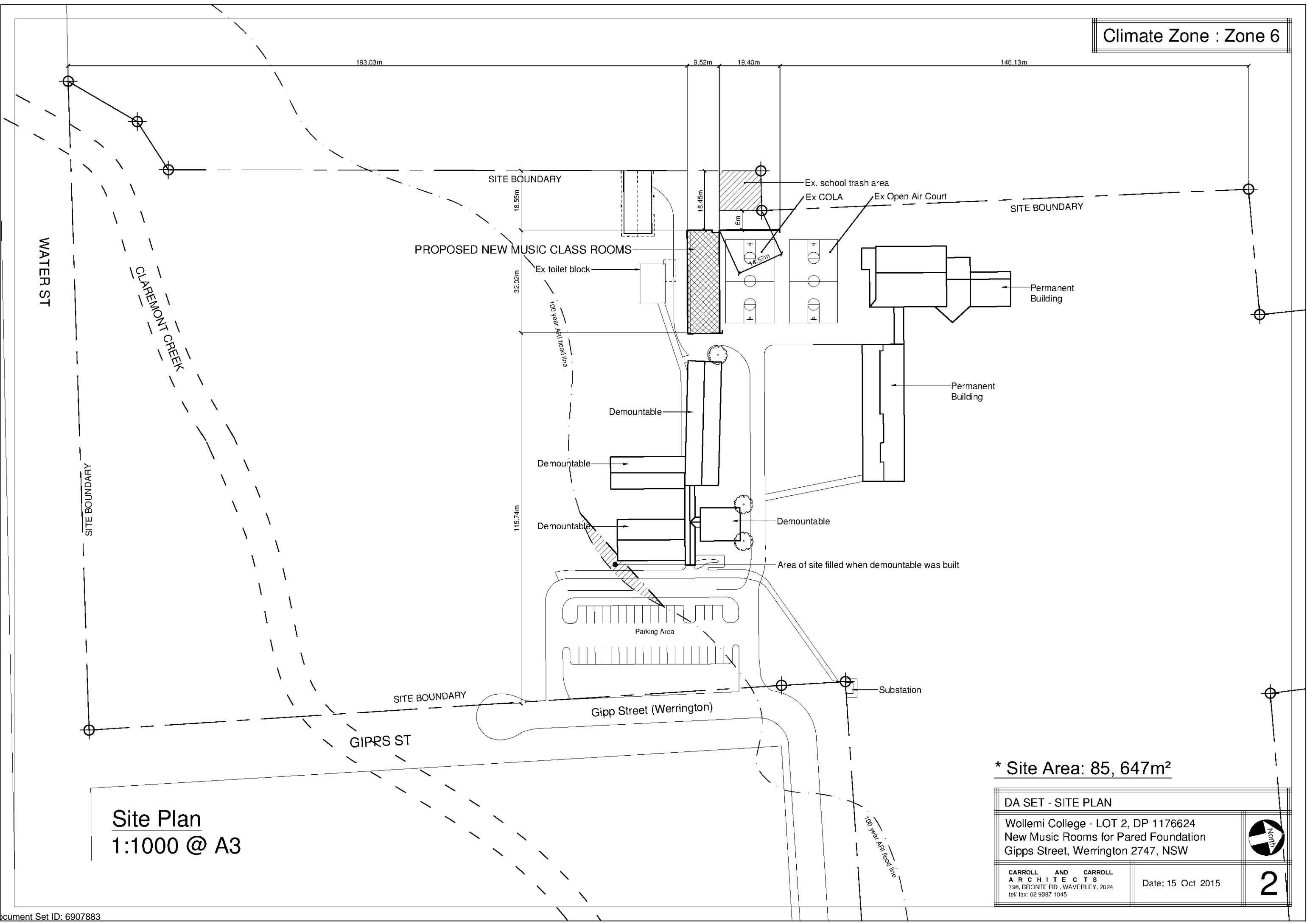
Wollemi College - LOT 2, DP 1176624  
New Music Rooms for Pared Foundation  
Gipps Street, Werrington 2747, NSW

CARROLL AND CARROLL  
ARCHITECTS  
398, BRONTE RD, WAVERLEY, 2024  
tel/ fax: 02 9387 1045

Date: 15 Oct 2015



1



Site Plan  
1:1000 @ A3

\* Site Area: 85, 647m<sup>2</sup>

DA SET - SITE PLAN

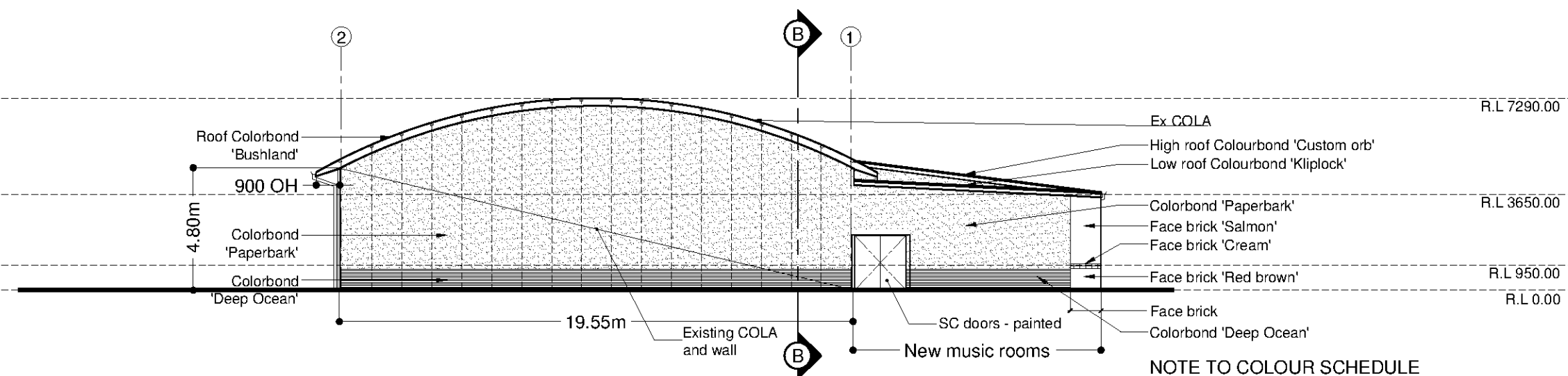
Wollemi College - LOT 2, DP 1176624  
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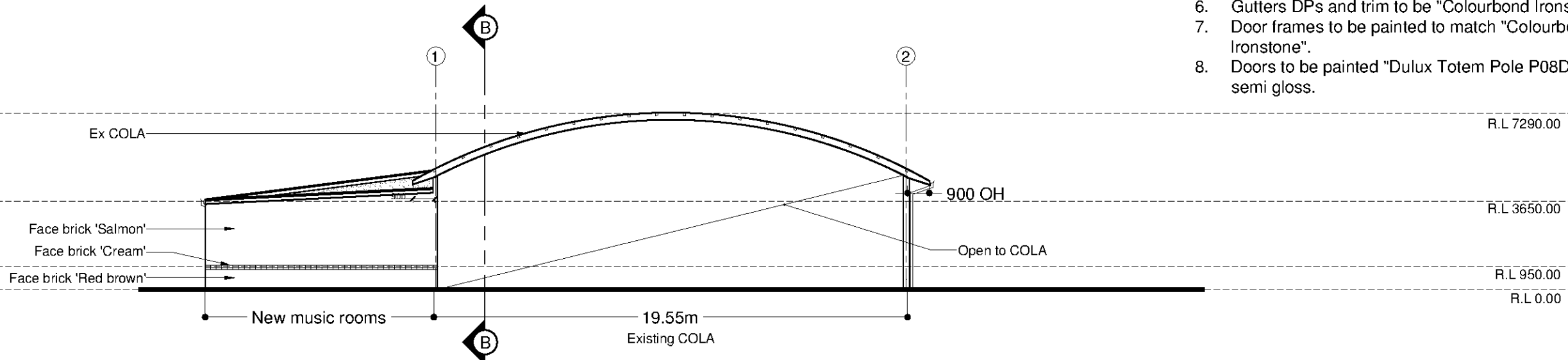


2



**EXISTING NORTH WEST ELEVATION**  
1:200 @ A3

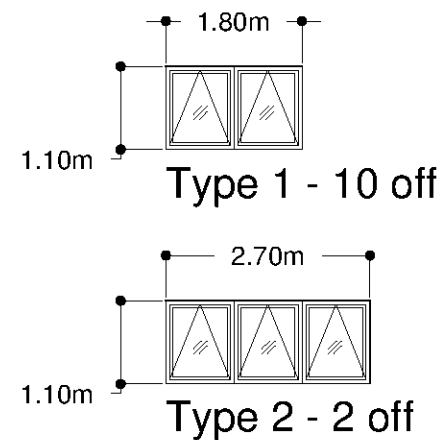
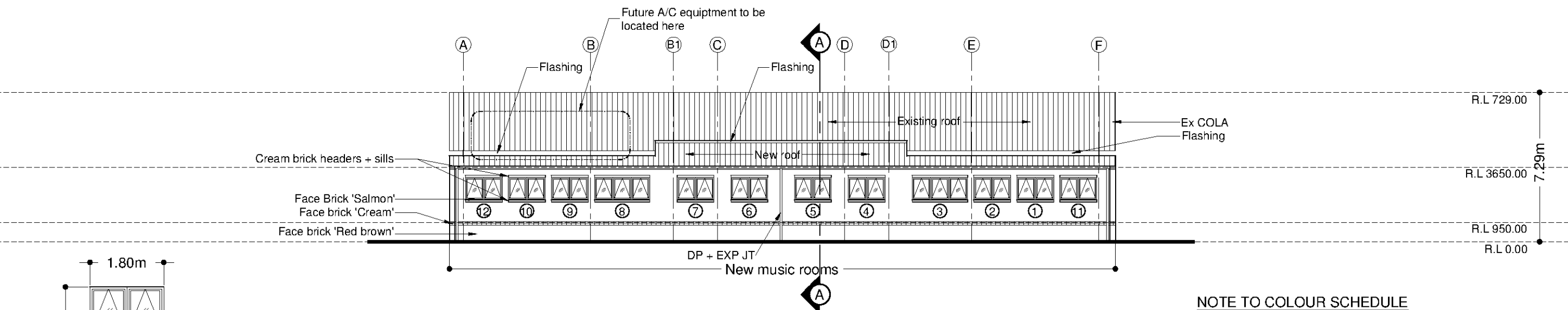
- NOTE TO COLOUR SCHEDULE**
1. All brick work colour to match the existing permanent buildings on campus.
  2. New roof to match colour of existing cola roof ie.: "Colourbond Bushland".
  3. Walls to be "Colourbond Deep Ocean and Paperbark" to match the existing permanent buildings on site.
  4. See color notes on elevations to locate where colors and brickworks apply.
  5. Windows to be powdercoated "Ironstone".
  6. Gutters DPs and trim to be "Colourbond Ironstone".
  7. Door frames to be painted to match "Colourbond Ironstone".
  8. Doors to be painted "Dulux Totem Pole P08D8" semi gloss.



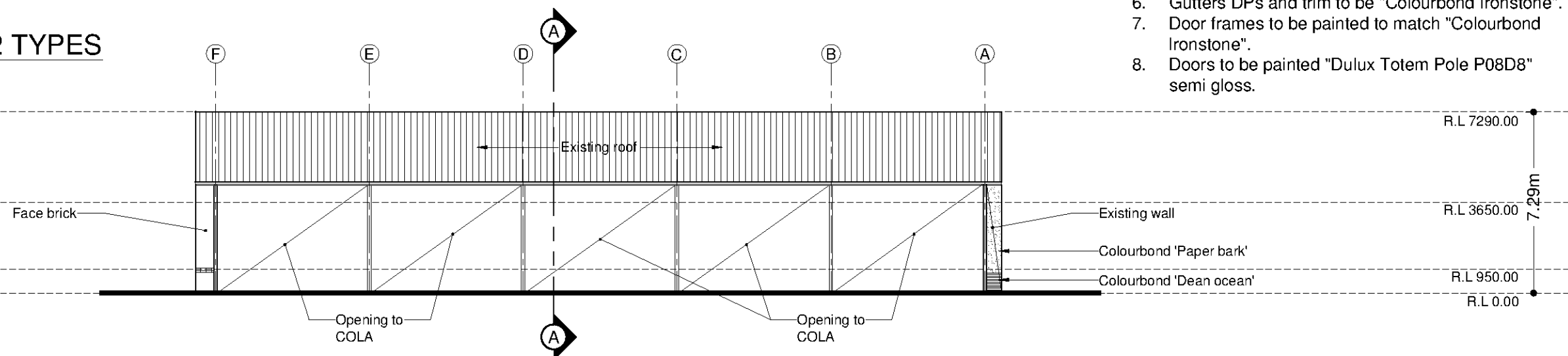
**SOUTH EAST ELEVATION**  
1:200 @ A3

**NEW MUSIC ROOMS**  
**ELEVATIONS AND COLOUR SCHEDULE**

| DA SET - ELEVATIONS AND COLOUR SCHEDULE   |                   |   |
|---|-------------------|---|
| Wollemi College - LOT 2, DP 1176624<br>New Music Rooms for Pared Foundation<br>Gipps Street, Werrington 2747, NSW |                   |   |
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WINDOW SCHEDULE - 2 TYPES  
1:100 @ A3



NORTH EAST ELEVATION (All existing)  
1:200 @ A3

## NEW MUSIC ROOMS ELEVATIONS AND COLOUR SCHEDULE

| DA SET - ELEVATIONS AND COLOUR SCHEDULE   |                   |   |
|---|-------------------|---|
| Wollemi College - LOT 2, DP 1176624<br>New Music Rooms for Pared Foundation<br>Gipps Street, Werrington 2747, NSW |                   |   |
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PRELIMINARIES & GENERAL

- 1. Builder shall check & verify on site, all dimensions before proceeding or ordering any materials.
- 2. Builder to provide & pay for all necessary tools, equipment and temporary services unless agreed otherwise with owner.
- 3. Builder to co-ordinate all of the work and sub-trades and specialist sub-contractors required to complete the job.
- 4. Builder to clean the site regularly and on completion thoroughly clean new works inside & out (windows included) and remove all rubbish from site.
- 5. Builder to be responsible for a structurally sound & watertight job.
- 6. Builder to contact architect should unforeseen circumstances occur & for any required clarifications.
- 7. Building to comply with CDC and Construction Certificate & to comply with the Building Code of Australia (BCA) and all relevant Australian standards.
- 8. Builder to make good at his own expense any damage resulting, from demolition & /or construction, to the existing structure or new work.
- 9. Builder is generally to make good to all new and existing finishes and materials and junctions thereof to match existing.
- 10. Refer to structural and other architect's drawings for additional specification notes.
- 11. Five precaution during construction to comply with BCA E1.9.

STEELWORK & METALWORK

- 1. Refer to structural drawings and structural specifications.
- 2. Builder to supply & install steel structural members: dimensions and construction details as specified by structural engineer.
- 3. Builder to supply & fit all metalwork and fittings required to complete works ie. column shoes, ties, brackets, angles, hinges, locks, straps, screws, bolts, nails etc. All external items to be hot dip galvanised.
- 4. Builder shall install all flashings necessary to ensure a watertight job.  
Flashing not seen to be Alcore.  
Exposed flashings to be 0.7mm zinc minimum or colorbond bent to required shape.  
(Match colour of adj materials or as noted)
- 5. Interlock, lap & silicon seal joints on all flashings.
- 6. Aluminium window joinery to be Dulux Powdercoated 'Ironstone'.
- 7. Block out roller shutters will be supplied and installed by the owners where shown on the drawing - colourbond finish.
- 10.All windows & doors to comply with 'Section J' : Glazing calculation and comply with AS 2047 - requirements for resistance to water penetration and comply with BCA F1.13 - glazed assemblies.

EXCAVATION AND BACKFILLING

- 1. Builder to carry out all necessary excavation and backfilling, as required to complete the works.
- 2. Backfilling to be carried out as per engineer's instructions.
- 3. All retaining walls and drainage behind them to be to engineer's details.
- 4. All new work to be termite protected to AS 3660 via "KORDON" membrane or approved equal under all new conc. slabs  
Use ant caps under flooring where exposed.
- 5. Make good all finishes walls, floors & ceilings where walls, floors or ceilings are demolished, all generally to match the existing details.
- 6. Waterproof the near face of all retaining walls with bitumen based waterproofing.
- 7. Install agriculture lines,etc. as detailed by the civil engineers.

BRICKWORK & MASONRY

- 1. Refer to structural drawings & specifications.
- 2. Lintels. All lintels to be hot dip galvanised and painted before installation - All major lintels + beams to engineers req..

| Maximum Span | Lintel Size          |
|--------------|----------------------|
| 1200         | 75 x 8 flat          |
| 1500         | 75 x 75 x 8 angle    |
| 1880         | 102 x 76 x 8 angle   |
| 2440         | 127 x 76 x 8 angle   |
| 2770         | 152 x 89 x 8 angle   |
| 3050         | 152 x 102 x 10 angle |
- 3. Bricks. Construct new brickwork as shown on architectural drawings - All brickworks to be rendered except garage interior.
- 4. Build in brick joints and control joints as necessary.
- 5. Mortar to be 1:1.6 cement, lime, sand above DPC and 1:1.4 below DPC.
- 6. Install DPC, ties, fixings, lugs, straps, brackets, flashings etc as required to complete the job. Flashings to be 1 mm zinc & all fillings to be hot dip galvanised.
- 7. Rake out joints as required to take cement render.
- 8. All non exposed brickwork or brickwork to be rendered over is to be selected common.

DA SET - SPECIFICATION

Wollemi College - LOT 2, DP 1176624  
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398, BRONTE RD., WAVERLEY, 2024  
tel/ fax: 02 9387 1045

DATE: 15 Oct 2015

SITEWORKS & LANDSCAPING

- 1. Builder to protect all existing plants & to save topsoil from all excavated areas for reuse as required.
- 2. All waste materials are to be removed from site upon completion of the job and the job site is to be suitably cleaned.
- 3. Landscaping of all gardens and planter boxes shall be by owners. All flat areas to be raked clean ready for planting, and topped with 50mm topsoil.
- 4. Remove & properly dispose of all construction debris from site.
- 5. Repair paving as required to match the existing.
- 6. Paver at entry to be reworked as required by the new work.

CARPENTRY & JOINERY

- 1. All timber wall framing shall be in accordance with the light timber framing code / AS 1684 - use termite treated timber throughout. Provide blocking, etc as required to complete works.
- 2. All exterior timberwork to be WRC or pressure treated pine, for paint finished or as directed. Timber beams & cols to be hardwood.
- 3. Doors / Gates:  
exit doors on west wall to be solid core doors(external grade) for paint finish - provide latches to BCA D2.21. All doors to have latches/ handles to comply with BCA D 2.21.
- 4. Windows & External class doors:  
New doors & windows to be 6mm plastic laminated glass, Colorbond Aluminium windows & frames.
- 5. Hardware:  
Hinges for new doors to be 100mm aluminium - stainless satin steel (SSS) finish.  
All doors to have ss & black rubber door stops and/ or cabin hooks as required.  
All external glass & timber doors to have panic hardware and locks of the type required to suite the situation SCP plated.  
Doors to be dead locked at exterior and panic hardware at interior, which will always be open.
- 6. Other Internal Joinery  
Architraves & skirtings are generally to match existing.
- 7. Provide & install 2000 x 1200 white board with alum chalk tray at entry of COLA as shown on the drawings.
- 8. Signage: Braille and tactile signage must identify each door required to have an exit sign & state "Exit" and "Level" in accordance with BCA 2013, D3.6.

FORMWORK & CONCRETE

- 1. Builder to carry out all work shown on architectural & structural drawings. Refer to structural drawings for additional specification items.
- 2. All formwork shall be straight & true to required sizes
- 3. Concrete to be 1:2:4 or as shown on engineer's drawings.
- 4. All concrete exposed to view shall have bevel edges and shall be filled and worked smooth and prepared for painting.
- 5. All slab dimensions and reinforcing to engineer's details.
- 6. Concrete beams, strip & pad footings to engineer's details.
- 7. Rework concrete paving at East Entry Doors to allow exit doors to open and water to drain away from the building. Finish to be powerfloat to trafficable surfaces & roughen entry to provide traction, colour to match existing paths.
- 8. Builder to tank all walls below grade before pouring slabs and backfilling behind retaining walls.

| DA SET - SPECIFICATION  |                   |   |
|---|-------------------|---|
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# ROOFER, ROOF PLUMBING & SKYLIGHTS

- 1. High roof to be Colourbond Custom Orb "Bushland" & Low roof to be Colourbond Kliplock "Bushland".
- 2. Gutters and Box Gutters & capping to canopy upstand to also be Colorbond "Ironstone".
- 3. Insulate roof to FHR shed and COLA and entry canopy using 1.8 foil faced blanket where shown on the drawings.
- 4. All new roofs to interior to be insulated to R 3.2. - (Entry canopy to R 1.8 foil blanket)

# FLOOR FINISHES

- 1. All materials shall be installed to the highest standards, best of workmanship & with the proper preparation.
- 2. Surfaces of concrete slabs should be suitable to take finishes, all to match the existing concrete floors.
- 3. Make good to music room and stage floor surfaces.
- 4. To minimise any damage to the existing gym floor, protect the floor during this construction.
- 5. Install pavers where shown on the drawings to match existing pavers on site.

# HYDRAULICS & MECHANICAL WORK

- 1. All new plumbing pipes, vents etc. to be enclosed in a satisfactory manner. No pipework to be run down external wall.
- 2. Install Ag lines as indicated in drawings.
- 3. Insulate all new hot water pipes.
- 4. All hydraulic work shall be in accordance with the requirements of the MWs & DB. Water supply to be in copper pipe, drainage & sewerage to be in approved UPVC pipe - all to code requirements.
- 5. All new & reworked pipework is to be concealed.
- 6. Allow to take out existing plumbing and drainage fittings no longer required by the new layout.
- 7. Install drainage as required to drain the works. Connect all drains to ex SW system.
- 8. Refer to drawings for "Stormtec strip drain" requirements and a description of the work required.
- 9. All hydraulics work to be in accordance with the consultant engineers drawings and specifications.
- 10. Supply & install "Platform Lift co. - Model - C7 Stairlift" - at stage stair where shown on the plan - in accordance with BCA clause E 3.3 and E 3.6 and AS 1735.12 and 1735.7.

# GLAZIER & BUILDING SEALING

- 1. All glazing shall be in accordance with the appropriate A.S.A. codes, AS 1288, BCA, SAA & Glass Insulation Code.
- 2. All windows to be 6mm clear plastic laminated or toughened glass minimum or as required to comply with section J & all code requirements.
- 3. New glass bricks shall be NEG, "FANTASY" (fire rated) installed to manufacture requirements. Reinforce as required - final jointing to be in white cement.
- 4. Windows and doors to be sealed to comply with BCA J3.1 and AS 2047 seals to be fitted to the edge of external doors. Door closers to be fitted to all external doors.
- 5. Roof, ceiling, walls and floors need to be sealed to minimise air leakage to comply with J3.6.

# GAS

Not Used

|   |                   |   |
|---|-------------------|---|
| DA SET - SPECIFICATION  |                   |   |
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| CARROLL AND CARROLL<br>ARCHITECTS<br>398, BRONTE RD., WAVERLEY, 2024<br>tel/ fax: 02 9387 1045                    | DATE: 15 Oct 2015 | 9 |

ELECTRICAL

- 1. All electrical work shall be in strict and complete compliance with the all authorities requirements.  
Builder to provide all labour & materials to complete the works.
- 2. All wiring to comply with relevant SAA standards and codes.
- 3. All wiring to be concealed.
- 4. Mark all locations of lights, switches and general power outlets for owner's approval of location before proceeding.
- 5. All switches, lighting etc shall be by builder & in accordance with the electrical plan.
- 6. Builder to install new safety switches to all circuits to code/council's requirements.
- 7. Connect power and provide switches / handsets to electric blinds, roller shutters and awning windows.
- 8. Builder to protect all existing security system. Owner shall arrange & pay for any relocation necessary or expansion of the system if they so choose - builder to co-operate & support this sub-trade as required to complete the system.
- 9. Provide & install all necessary exit signs, emergency lighting, smoke alarm etc. as required by the codes.

PAINTER

- 1. All painting to be carried out in accordance with manufacturer's directions for the type of paint being used.  
Allow for good preparation.
- 2. Use drop sheets, masking tape etc. to protect furnishings and finishes. Upon completion clean off all paint splatter.
- 3. Allow four (4) weeks for architect or owner to provide a colour schedule.
- 4. Clean all paint off floor and where spilled and remove all empty containers from site.
- 5. All timber work to be painted with undercoat and two finishing coats in low sheen, wash + wear acrylic paint.
- 6. All exterior walls to be prepared and waterproofed & sealed with one coat and 2 coats of acrylic paint finish.
- 7. All new work to be painted up to a logical cut-off point to produce a first class job internally & externally.
- 8. Match existing colour on the block walls.

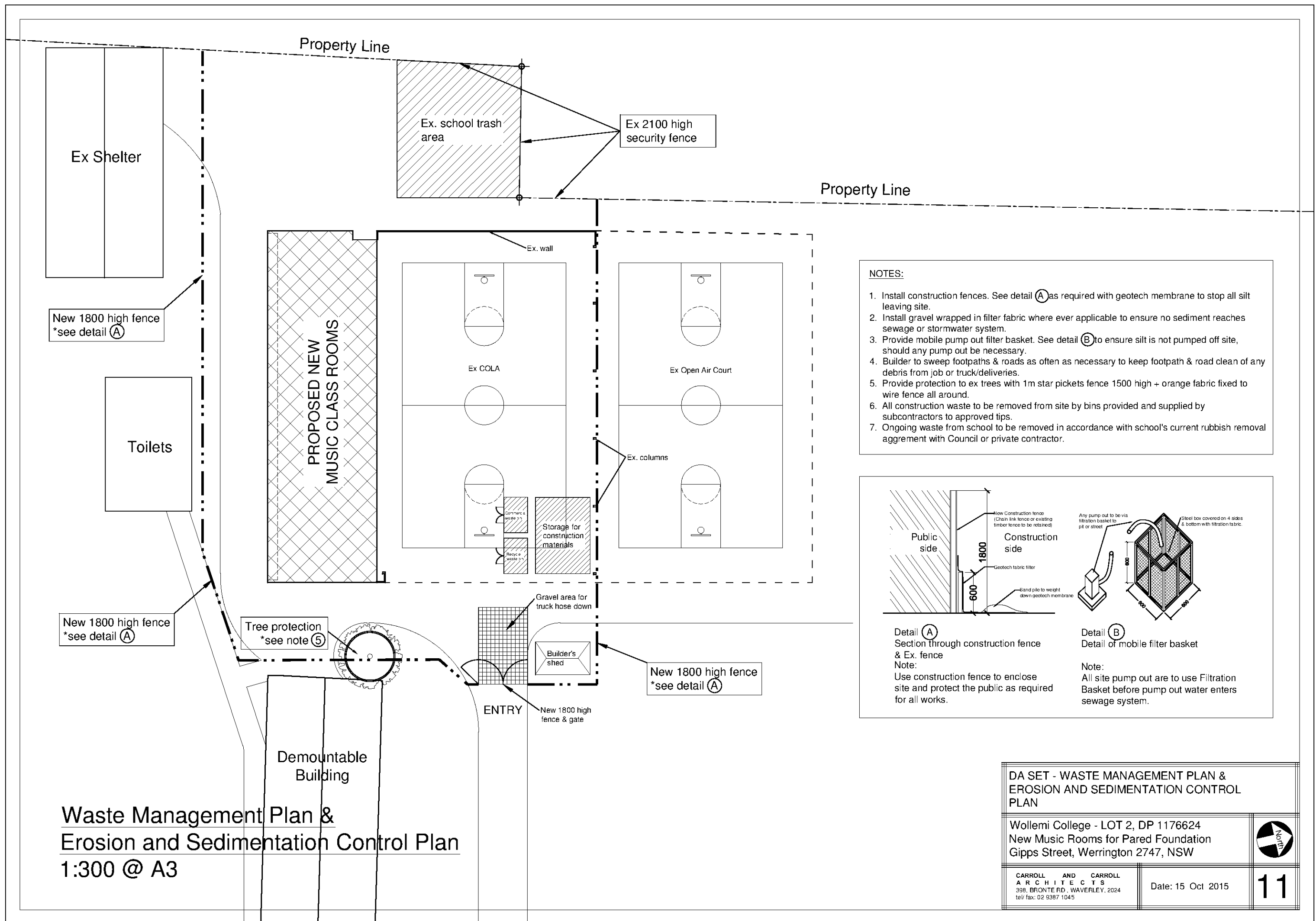
WALL & CEILING FINISHES

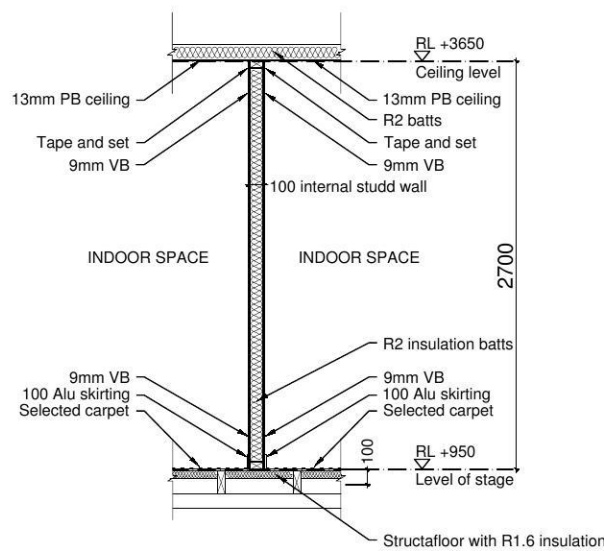
- 1. All materials shall be installed in accordance with the best of workmanship, preparation and materials to the architect's approval.
- 2. North West and North East external wall : The lower section to be Colorbond "Deep Ocean" and the upper wall to be Colorbond "Paperbark".
- 3. South West and South East external wall : The lower section to be face brick " Red Brown, the upper section to be "face brick " Salmon" and the band between the lower section and upper section to be face brick " Cream".
- 4. Make good to brick walls as required to match existing.
- 5. In all areas where making good, match existing surfaces & finishes.
- 6. Make good existing wall finishes where damaged by construction. Match existing finishes.
- 7. Cement render to be 1:4 on block walls where noted on drawings.
- 8. All wall and ceiling linings and floor material and floor cove rings to have fire hanging and properties that comply with C 1.10.
- 9. All walls, ceilings and under floor to be insulated to section 'J' requirements.  
All perimeter walls = R = 2.8 of new work.  
All ceilings = R = 3.2 upwards.  
All enclosed suspended under floor areas = R = 1 downwards.

MISCELLANEOUS, SPECIAL & P.C ITEMS

- 1. Refer to drawings for additional specification notes.
- 2. Builder to allow for all items to complete job.
- 3. Builder to retain certificates of completion, council, etc; all guarantees for work, appliances & equipment; and maintenance instructions and is to handover to owners upon completion.
- 4. Block out blinds to be supplied & installed by the owner.

| DA SET - SPECIFICATION  |                   |    |
|---|-------------------|----|
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| CARROLL AND CARROLL<br>ARCHITECTS<br>398, BRONTE RD , WAVERLEY, 2024<br>tel/ fax: 02 9387 1045                    | DATE: 15 Oct 2015 | 10 |

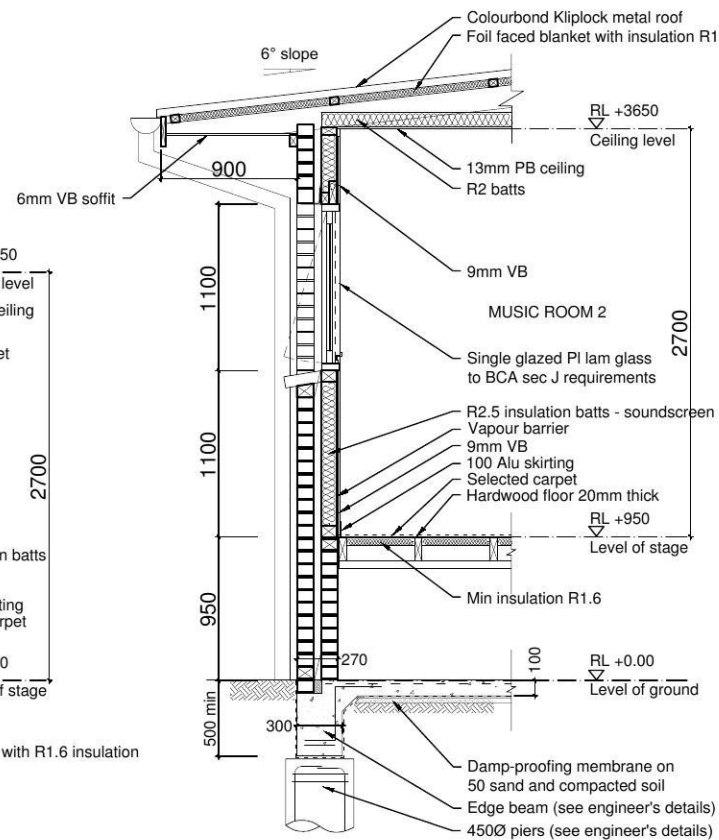




**TYPICAL INTERNAL  
WALL SECTION DETAIL  
1:50 @ A3**

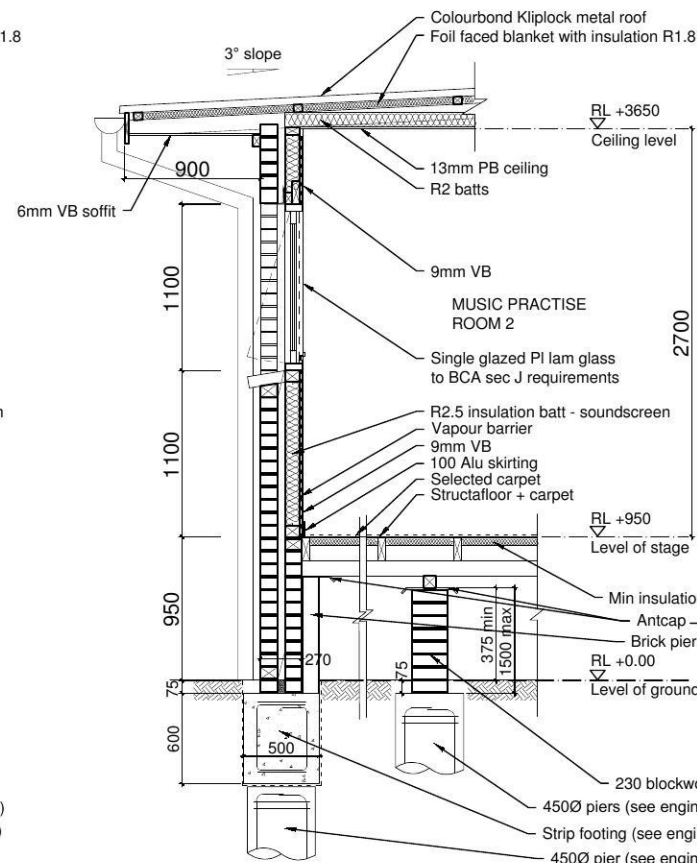
R2 insulation for acoustic  
improvement of walls

## NEW MUSIC ROOMS WALL SECTION DETAILS



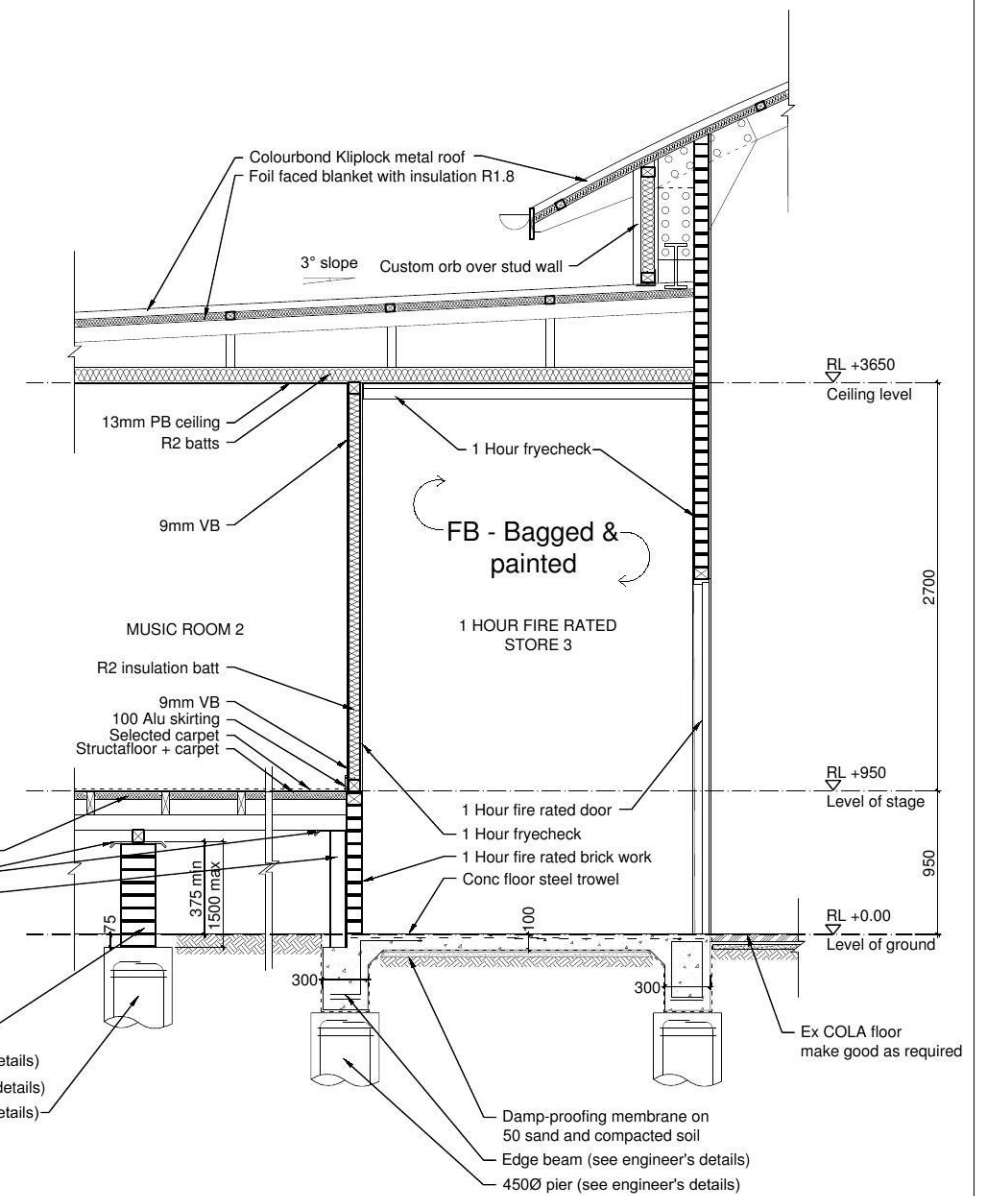
**SECTION C  
WALL SECTION DETAIL  
1:50 @ A3**

R winter = 3.2  
R Summer = 2.9  
See CSR spec #923



**SECTION D  
WALL SECTION DETAIL  
1:50 @ A3**

R winter = 3.2  
R Summer = 2.9  
See CSR spec #923



**SECTION E  
WALL SECTION DETAIL  
1:50 @ A3**

| DA SET - WALL SECTION DETAILS   |                   |    |
|---|-------------------|----|
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| SURVEYING & SPATIAL INFORMATION REGULATION 2006 (CLAUSE 6K2) |            |            |       |       |           |        |
|--|------------|------------|-------|-------|-----------|--------|
| M.G.A. CO ORDINATES (ZONE 56)                                |            |            |       |       |           |        |
| MARK   | EASTING    | NORTHING   | CLASS | ORDER | METHOD    | ORIGIN |
| SSH26077 X   | 292396.002 | 626M20.608 | B     | 2     | CAD. TRAY | SCIMS  |
| SSH26078   | 292398.009 | 626M45.346 | B     | 2     | CAD. TRAY | SCIMS  |
| SSH26079   | 291872.448 | 626M57.000 | B     | 2     | CAD. TRAY | SCIMS  |
| PH4943 Y   | 292423.375 | 626235.733 | B     | 2     | CAD. TRAY | SCIMS  |
| PH19532  | 292446.075 | 626208.479 | B     | 2     | CAD. TRAY | SCIMS  |
| DATE 8-8-2008 SCALE FACTOR 1.00028 ZONE 56                   |            |            |       |       |           |        |

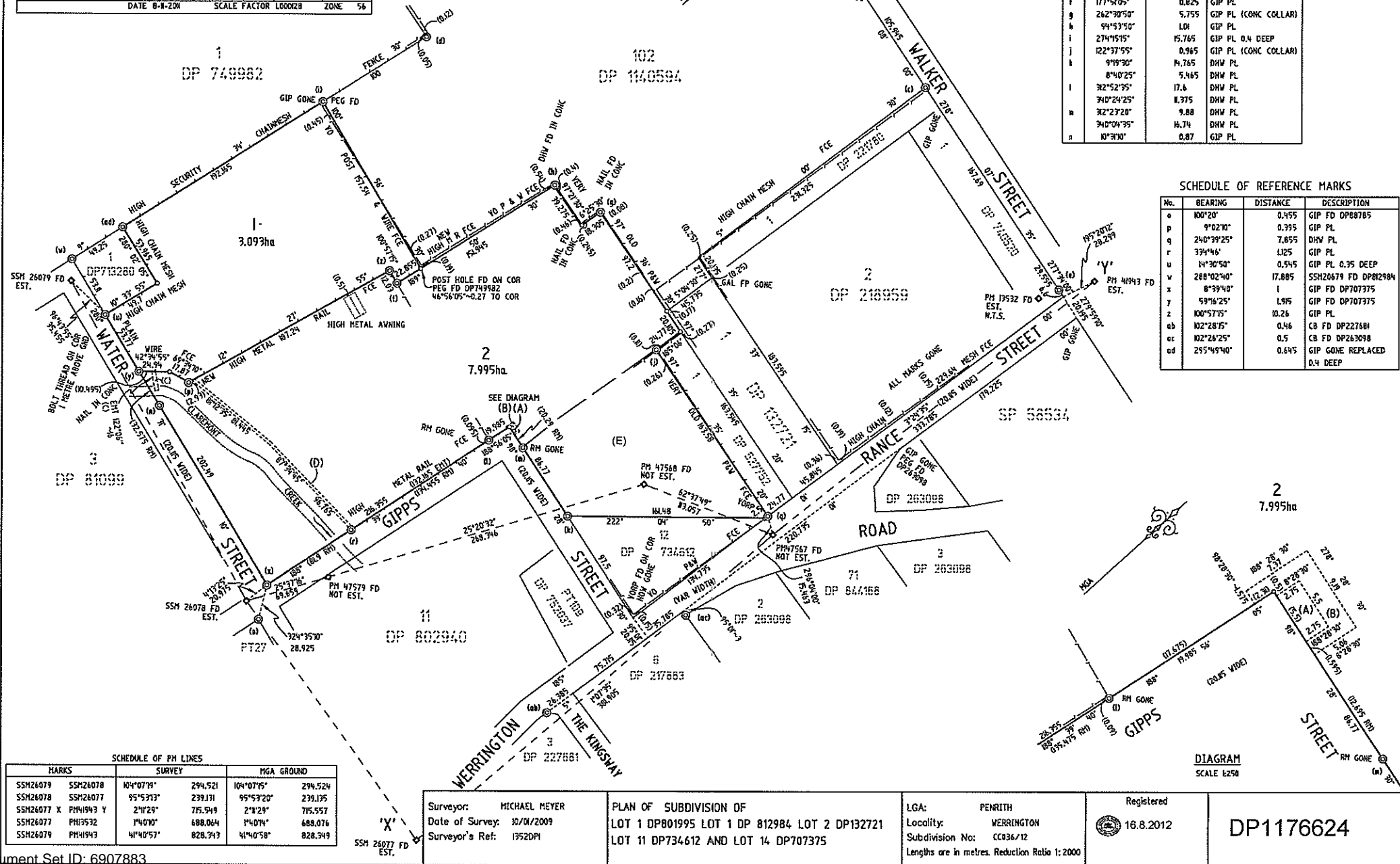
(A) EASEMENT FOR PADMOUNT SUBSTATION 2.75 WIDE  
 (B) RESTRICTION ON THE USE OF LAND  
 (C) EASEMENT TO DRAIN WATER 3 WIDE  
 (D) EASEMENT FOR WATER SUPPLY 2.25 WIDE  
 (E) COVENANT -X745573

SCHEDULE OF REFERENCE MARKS

| No. | BEARING    | DISTANCE | DESCRIPTION          |
|-----|------------|----------|----------------------|
| a   | 225°38'10" | 24.565   | DHW FD DP736179      |
| b   | 280°06'40" | 14.625   | DHW FD DP736179      |
| c   | 185°40'25" | 3.74     | DHW FD DP749982      |
| d   | 283°02'10" | 1.01     | GIP FD DP749982      |
| e   | 277°04'10" | 6.765    | PH19532 FD DP740520  |
| f   | 177°58'05" | 0.825    | GIP PL               |
| g   | 262°30'50" | 5.755    | GIP PL (CONC COLLAR) |
| h   | 94°53'50"  | 1.01     | GIP PL               |
| i   | 274°15'15" | 15.765   | GIP PL 0.4 DEEP      |
| j   | 122°37'55" | 0.965    | GIP PL (CONC COLLAR) |
| k   | 9°19'30"   | 14.765   | DHW PL               |
| l   | 8°40'25"   | 5.165    | DHW PL               |
| m   | 32°52'25"  | 17.6     | DHW PL               |
| n   | 340°24'25" | 18.375   | DHW PL               |
| o   | 32°23'20"  | 9.88     | DHW PL               |
| p   | 340°04'35" | 16.74    | DHW PL               |
| q   | 10°3'10"   | 0.87     | GIP PL               |

SCHEDULE OF REFERENCE MARKS

| No. | BEARING    | DISTANCE | DESCRIPTION                |
|-----|------------|----------|----------------------------|
| o   | 100°20'    | 0.555    | GIP FD DP80785             |
| p   | 9°02'10"   | 0.395    | GIP PL                     |
| q   | 240°39'25" | 7.855    | DHW PL                     |
| r   | 334°46'    | 1.125    | GIP PL                     |
| u   | 14°30'50"  | 0.545    | GIP PL 0.35 DEEP           |
| w   | 288°02'40" | 17.885   | SSH26079 FD DP812984       |
| x   | 8°39'40"   | 1.595    | GIP FD DP707375            |
| y   | 59°16'25"  | 1.595    | GIP FD DP707375            |
| z   | 100°57'15" | 10.26    | GIP PL                     |
| ab  | 102°28'15" | 0.46     | CB FD DP227841             |
| ac  | 102°28'25" | 0.5      | CB FD DP263098             |
| ad  | 295°49'40" | 0.845    | GIP GONE REPLACED 0.4 DEEP |



SCHEDULE OF PH LINES

| MARKS      | SURVEY   | MGA GROUND |
|------------|----------|------------|
| SSH26079   | SSH26078 | 104°07'19" |
| SSH26078   | SSH26077 | 95°53'13"  |
| SSH26077 X | PH4943 Y | 2°12'29"   |
| SSH26077   | PH19532  | 1°40'10"   |
| SSH26079   | PH4943   | 41°40'57"  |

Surveyor: MICHAEL MEYER  
 Date of Survey: 10/08/2009  
 Surveyor's Ref: 1952DPI

PLAN OF SUBDIVISION OF  
 LOT 1 DP801995 LOT 1 DP 812984 LOT 2 DP132721  
 LOT 11 DP734612 AND LOT 14 DP707375

LGA: PENRITH  
 Locality: WERRINGTON  
 Subdivision No: CC836/12  
 Lengths are in metres. Reduction Ratio 1:2000

Registered  
 16.8.2012

DP1176624