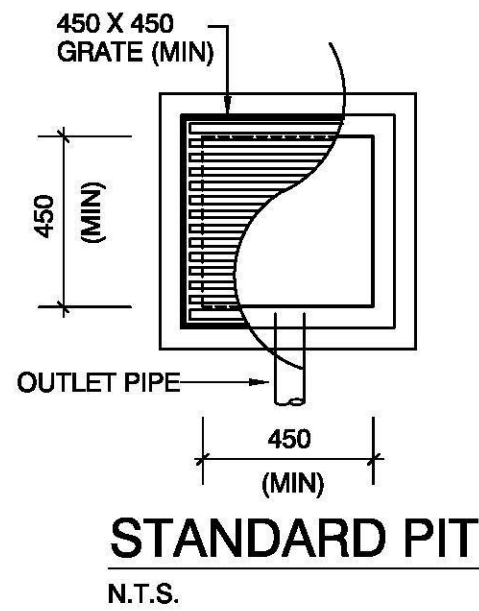


**NOTE RE. SERVICES**  
APPROXIMATE LOCATIONS OF EXISTING SERVICES SHOWN ON LONGITUDINAL SECTION. EXACT LOCATIONS & DEPTHS TO BE ACCURATELY LOCATED BY THE BUILDING CONTRACTOR BY CONTACTING THE RELEVANT AUTHORITIES BEFORE COMMENCEMENT OF ANY WORKS

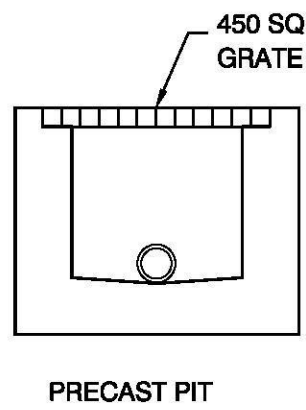
- NOTES**
- ALL LINES ARE TO BE MIN. 100Ø UPVC @ MIN 1.0% GRADE UNLESS NOTED OTHERWISE.
  - IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS. ALL DESIGN LEVELS SHOWN ON PLAN SHALL BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK.
  - ALL PIPES TO HAVE MIN 200mm COVER IF LOCATED WITHIN PROPERTY.
  - ALL PITS IN DRIVEWAYS BE HEAVY DUTY GRATES. DIRECT SURFACE FLOW TO ALL GRATED SURFACE INLET PITS.
  - ALL WORK DO BE DONE IN ACCORDANCE WITH AS/NZ 3500.3.2:2003 AND COUNCIL SPECIFICATIONS.
  - LOCATION OF DOWNPIPES & FLOOR WASTES ARE INDICATIVE ONLY. DOWNPIPE & FLOOR WASTE SIZE, LOCATION & QUANTITY TO BE DETERMINED BY BUILDER & IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
  - THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, LANDSCAPE AND STRUCTURAL PLANS.
  - ANY DISCREPANCIES OR OMISSIONS SHALL BE REFERRED TO THE DESIGN ENGINEER FOR RESOLUTION.
  - ALL PITS OR GRATES IN TRAFFICABLE AREAS TO BE HEAVY DUTY.
  - ALL GUTTERS WILL BE FITTED WITH LEAF GUARDS AND SHOULD BE INSPECTED AND CLEANED TO ENSURE LEAF LITTER CANNOT ENTER THE DOWNPIPES

SYMBOLS	
F.F.L	FINISHED FLOOR LEVEL
T.K	TOP OF KERB
RL	PIT SURFACE LEVEL
IL	INVERT LEVEL
---	STORMWATER DRAINAGE PIPE
-----	DOWNPIPE TO RAINWATER TANK
•DP	100Ø DOWN PIPE (U.N.O.)
↓SP	SPREADER
•IE	INSPECTION EYE
	MASONRY RETAINING WALL
⊗FW	FLOOR WASTE 150Ø
⊠	GRATED INLET PIT
	GRATED DRAIN
←	OVERLAND FLOW PATH
ES	EMERGENCY SPLITTER
VD	VERTICAL DROP
•EDP	EXISTING 100Ø DOWN PIPE (U.N.O.)
---	EXISTING STORMWATER DRAINAGE PIPE

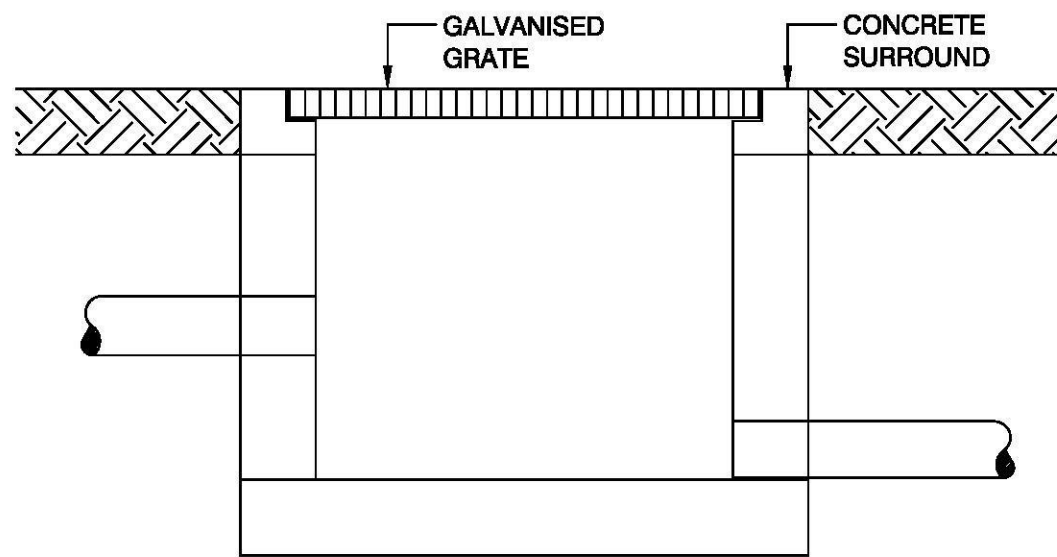
**SITE STORMWATER DRAINAGE PLAN**  
SCALE 1:100



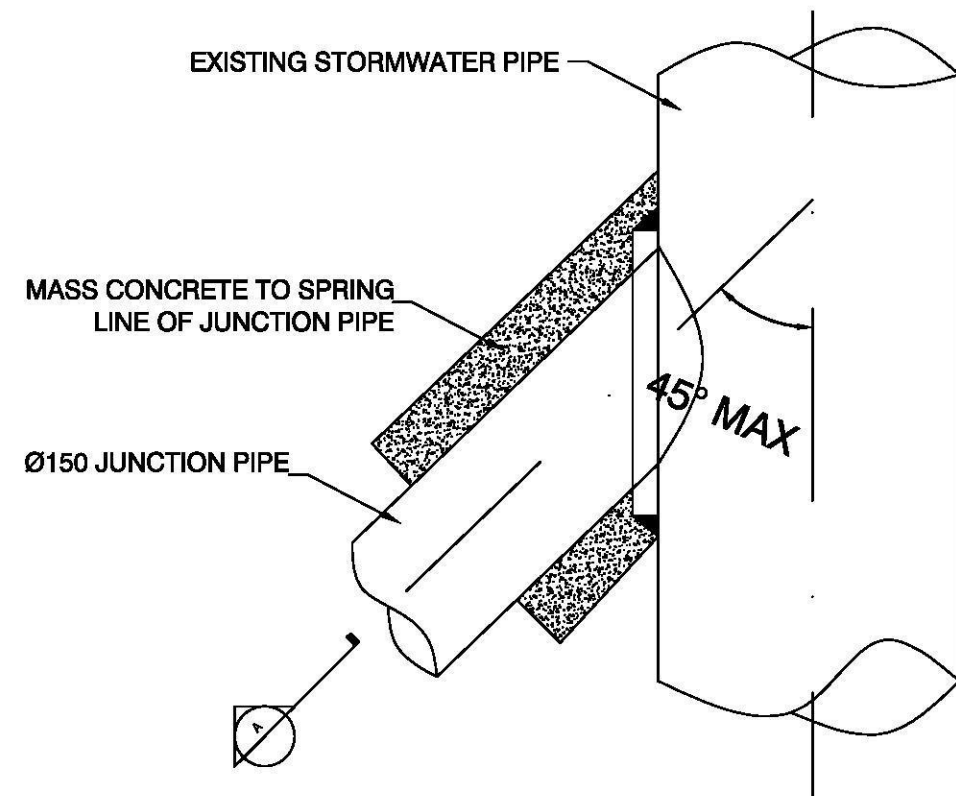
**STANDARD PIT**  
N.T.S.



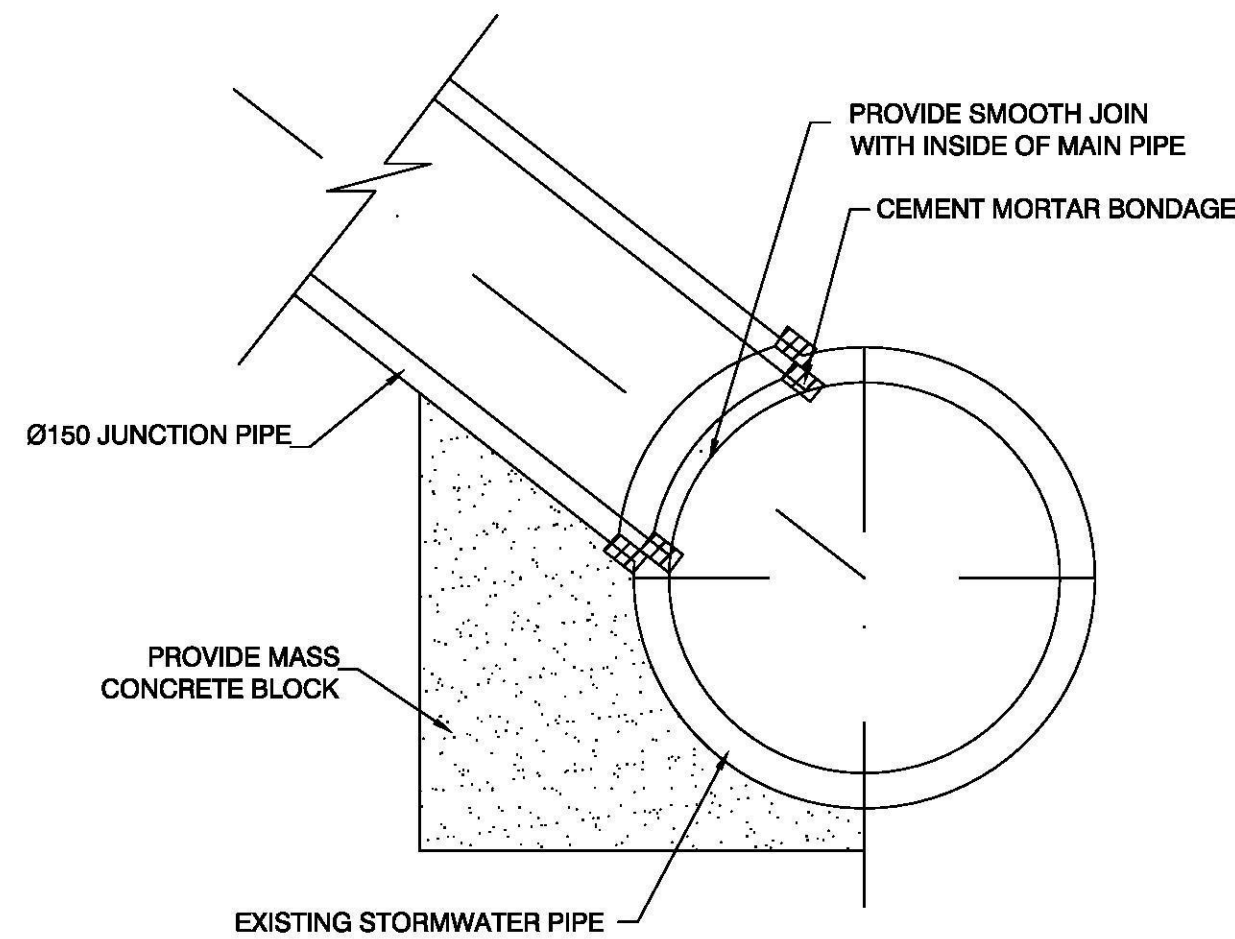
**TYPICAL PIT SECTION**  
N.T.S.



**TYPICAL PIT DETAIL**  
NTS



**CONNECTION TO EXISTING PIPE**  
NTS



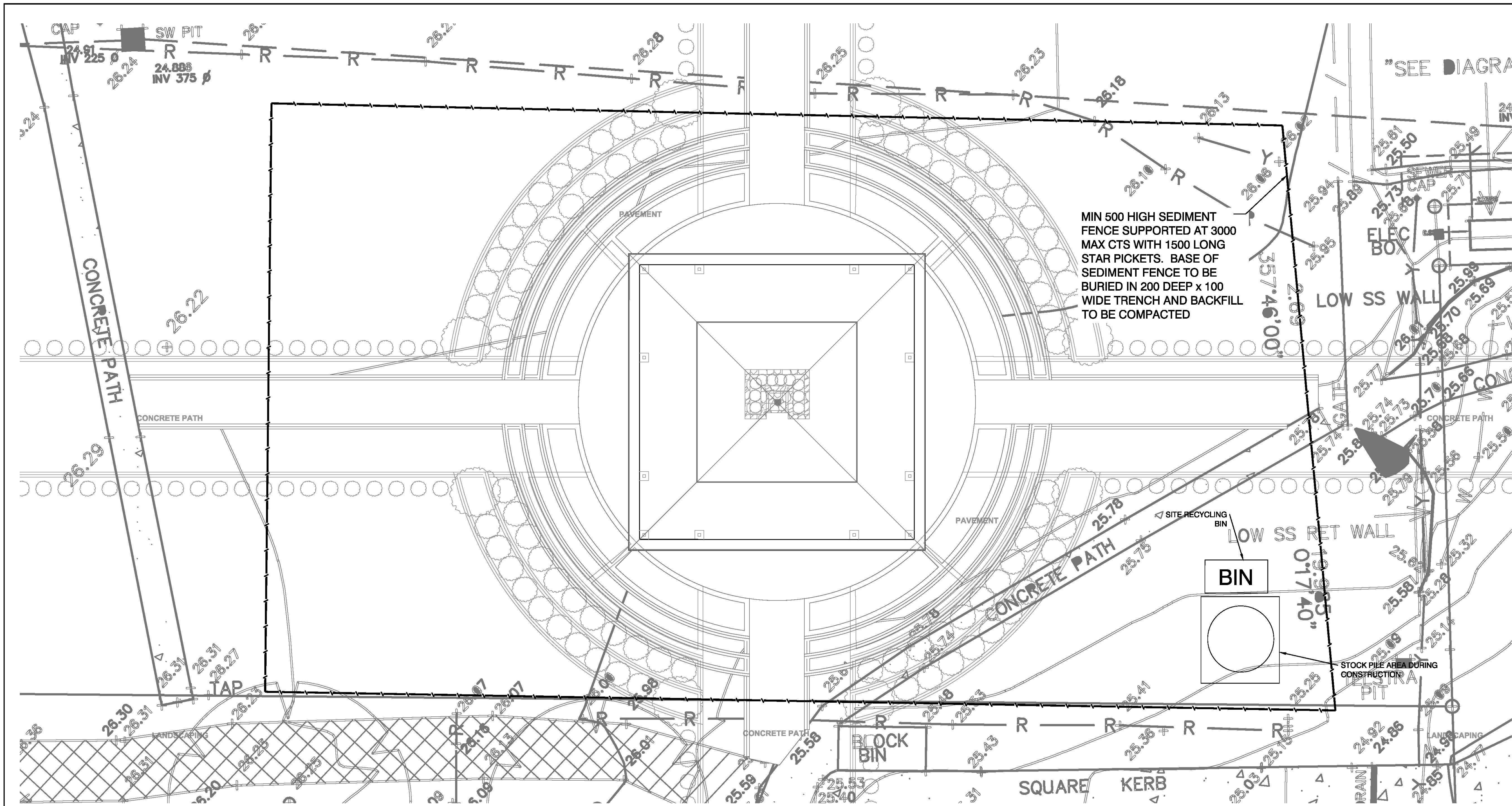
**SECTION A**  
NTS

P/ (02) 9623 0015  
F/ (02) 4744 2479  
E/ info@danmorconsulting.com.au  
A/ L2 Suite 208, 43 Majors Bay Rd, Concord 2137

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AMENDMENTS			DRAWN: Y.C.	DESIGNED: D.M.	PROJECT: <b>PROPOSED SHRINE</b> 11 GIPPS STREET WERRINGTON NSW 2747	CLIENT: <b>WOLLEMI COLLEGE</b>	ALL DIMENSIONS IN 'mm' UNLESS OTHERWISE STATED		
NO.	DESCRIPTION	DATE	APPROVED: DANNY MORCHED B.E CIVIL M.E STRUCTURAL CPEng, MIEAust, NPER MEMB. NO: 2320868				JOB NO.		
A	FOR D.A. APPROVAL	06/04/17	DATE: 30/11/17				D17459		
SCALE AT A1: 1:100 UNO						TITLE: SITE&ROOF STORMWATER DRAINAGE PLAN	DRAWING NO. ST02		



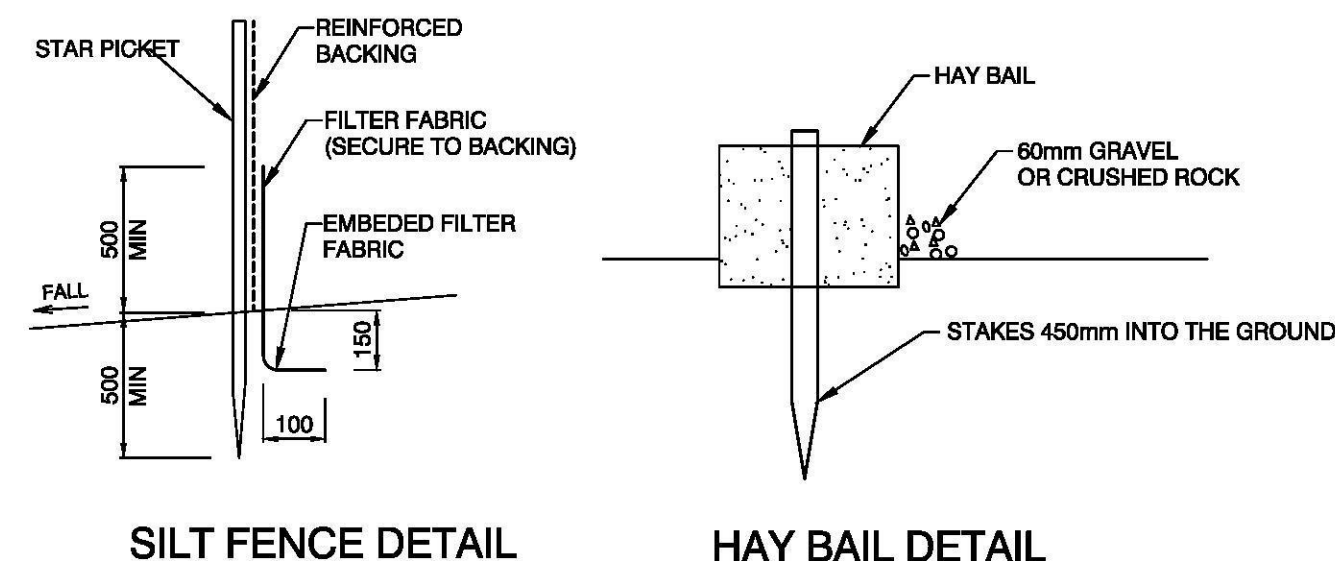
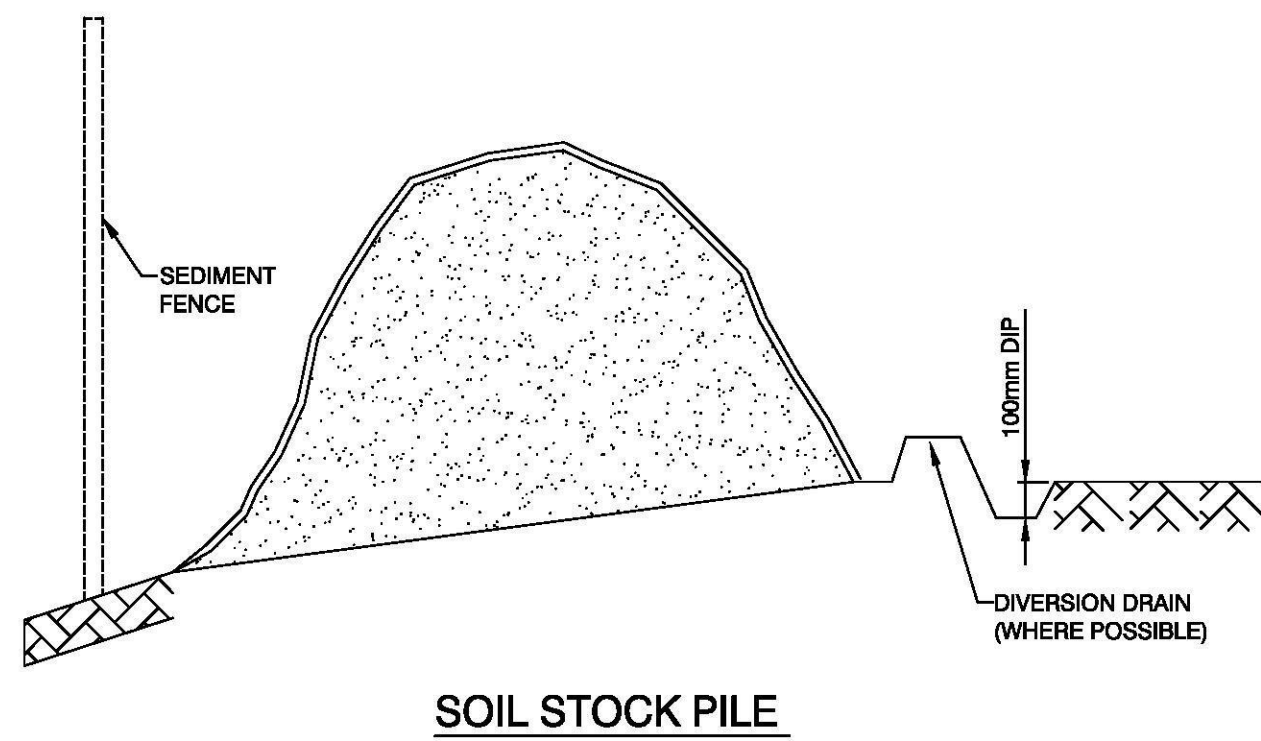
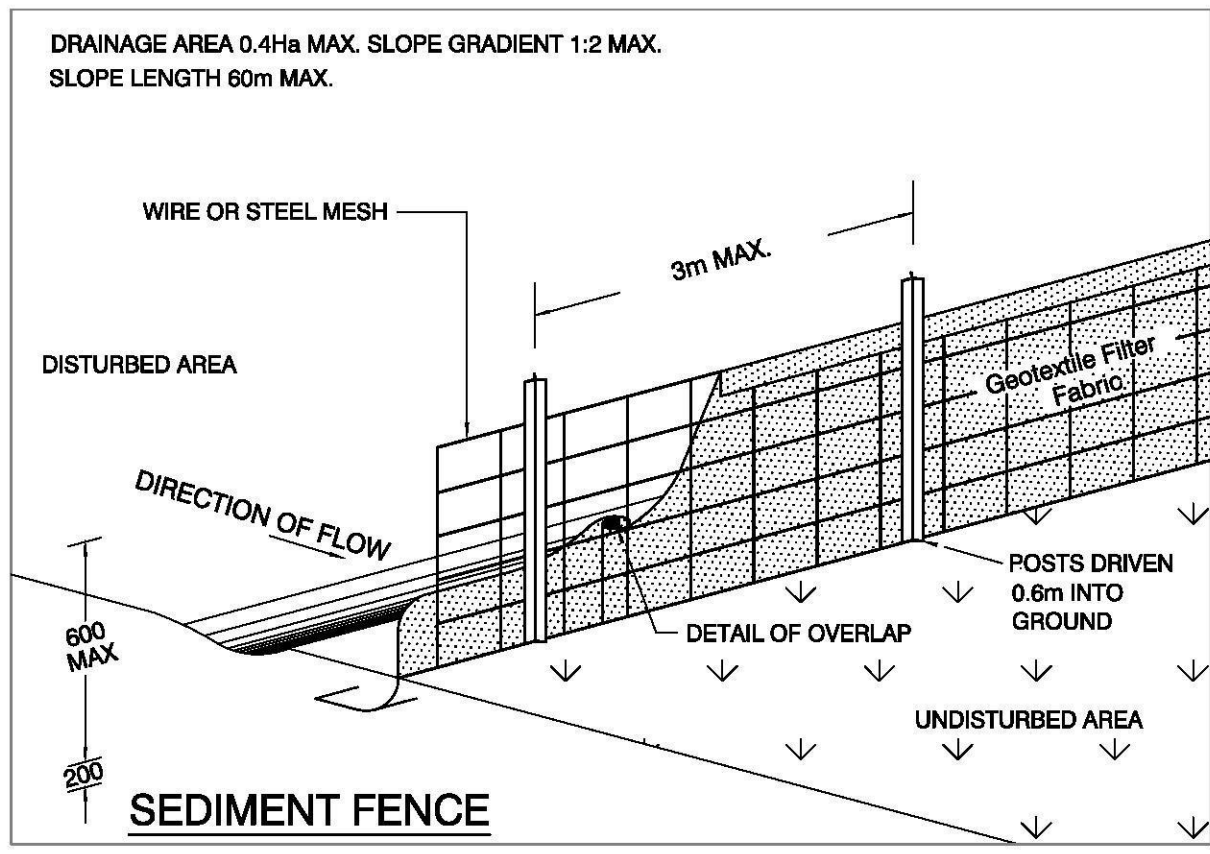


- EROSION CONTROL NOTES**
1. ALL EROSION & SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH 'MANAGING URBAN STORMWATER, 3rd EDITION' PRODUCED BY THE NSW DEPARTMENT OF HOUSING.
  2. ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION
  3. ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON THE ARCHITECT'S OR LANDSCAPE ARCHITECT'S DRAWINGS. EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDINGS, PAVEMENTS ETC.
  4. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADDED WATER
  5. NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERS ACT.


- SYMBOLS**
- EXISTING CONTOURS
  - ===== SILT FENCE
  - ===== WIRE MESH FENCE
  - 950 PUMP LINE

- NOTES: SOIL & WATER MANAGEMENT**
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER.
  2. MINIMISE DISTURBED AREAS.
  3. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
  4. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
  5. ROADS AND FOOTPATH TO BE SWEEPED DAILY.
  6. NO MATERIAL TO BE STORED ON FOOTPATH.
  7. IF YOU DO NOT COMPLY YOU MAY BE LIABLE TO A \$1500 FINE.

**EROSION AND SEDIMENT CONTROL PLAN**  
SCALE 1:100

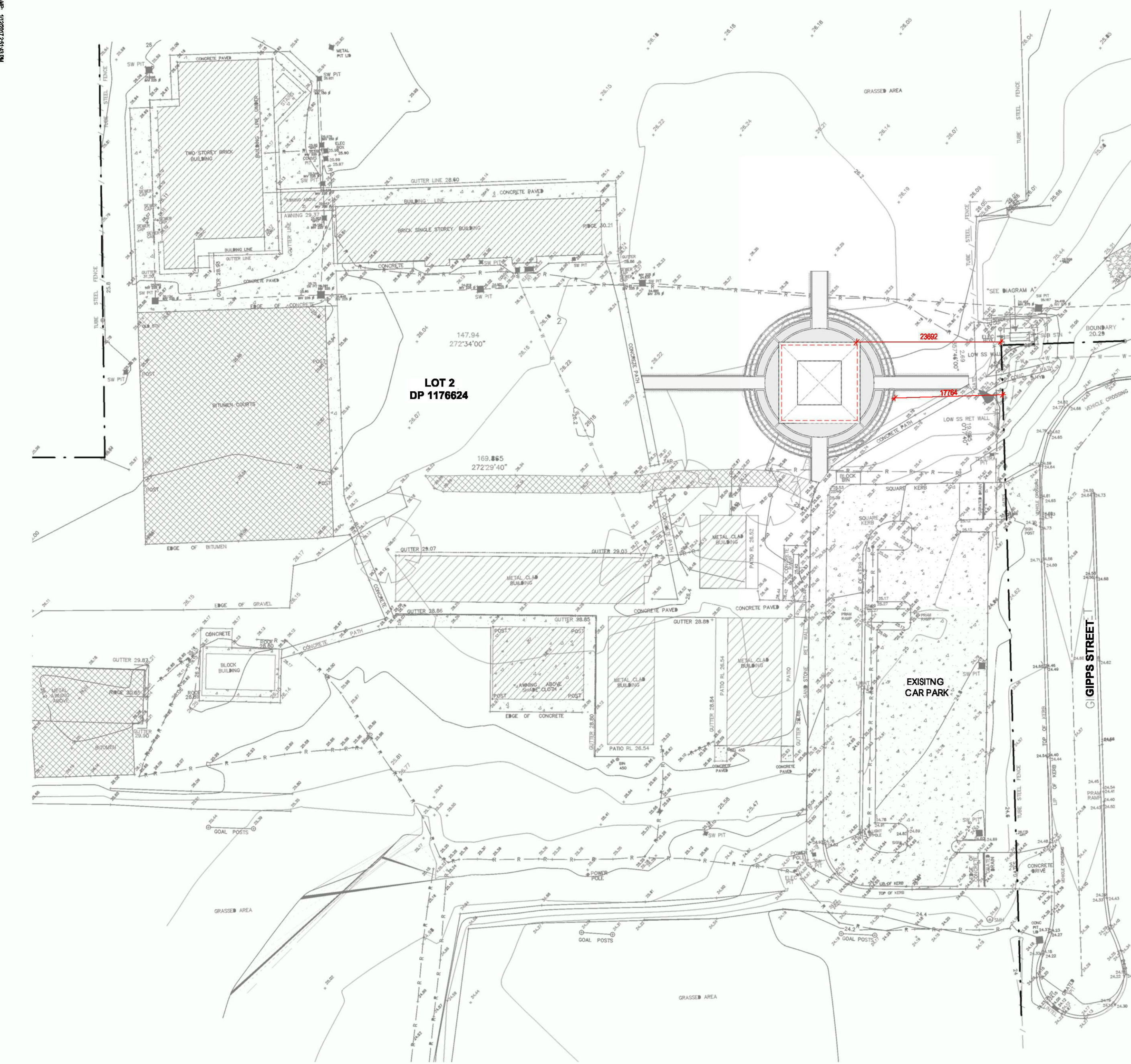


TO BE USED AS REQUIRED

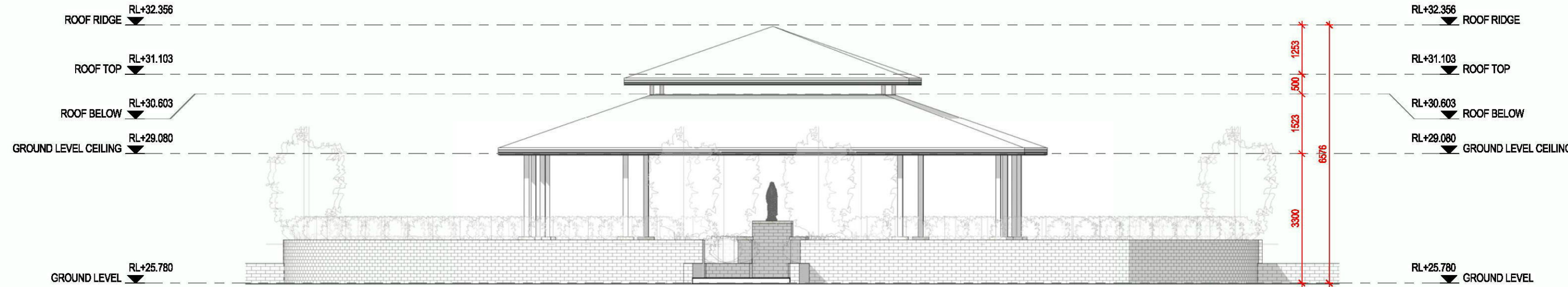
	P/ (02) 9623 0015 F/ (02) 4744 2479 E/ info@danmorconsulting.com.au A/ L2 Suite 208, 43 Majors Bay Rd, Concord 2137  COPYRIGHT THIS DRAWING AND THE INFORMATION SHOWN HEREON IS THE PROPERTY OF DANMOR CONSULTING ENGINEERS P/L AND MAY NOT BE USED FOR ANY OTHER PURPOSE THAN FOR WHICH SUPPLIED.		AMENDMENTS		DRAWN: D.M.	DESIGNED: D.M.	PROJECT:  PROPOSED SHRINE  11 GIPPS STREET  WERRINGTON NSW 2747	CLIENT:  WOLLEMI COLLEGE	TITLE:  EROSION AND SEDIMENT CONTROL PLAN AND DETAILS	ALL DIMENSIONS IN 'mm' UNLESS OTHERWISE STATED	
			NO.	DESCRIPTION	DATE	APPROVED:                      DATE: 30/11/17 DANNY MORCHED B.E CIVIL M.E STRUCTURAL CPEng,MIEAust,NPER MEMB. NO: 2320868				JOB NO.  D17459	
			A	FOR D.A. APPROVAL	30/11/17	SCALE AT A1:    AS SHOWN				DRAWING NO.  ST03	



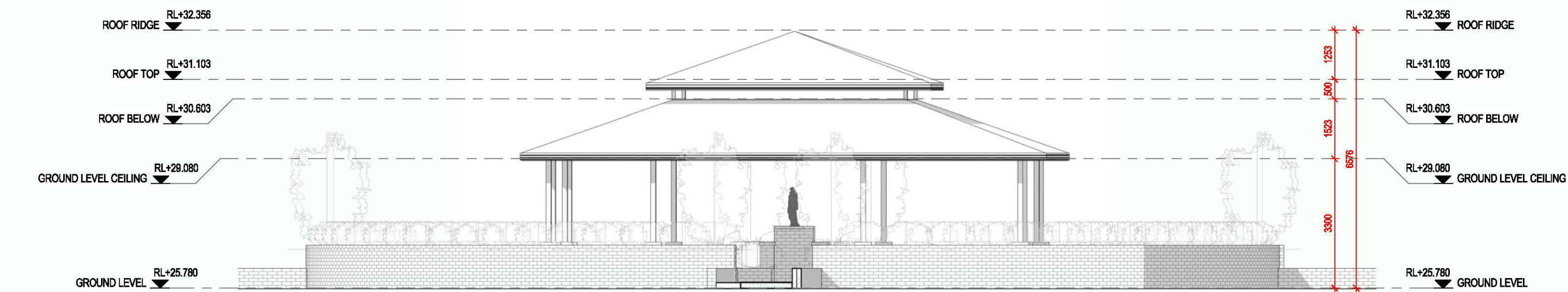
NOTES/REVISIONS



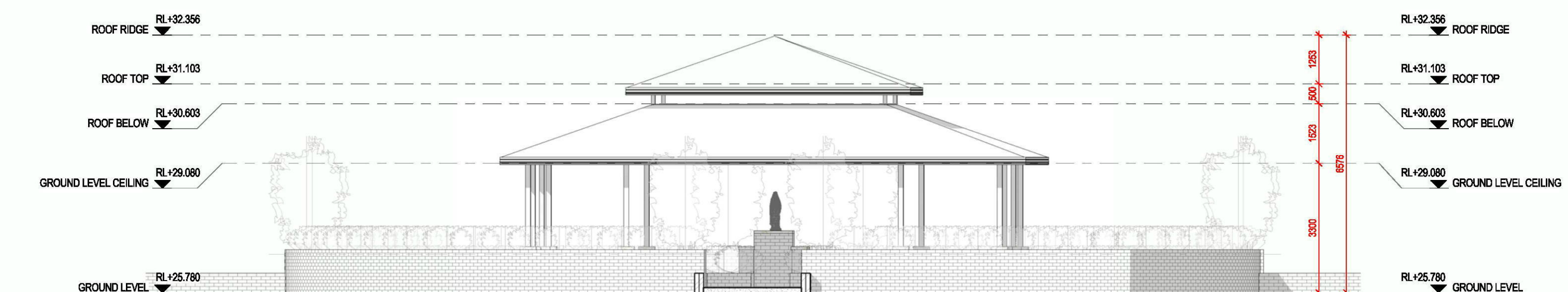
1 SITE PLAN / ROOF PLAN NOTIFICATION  
1:500



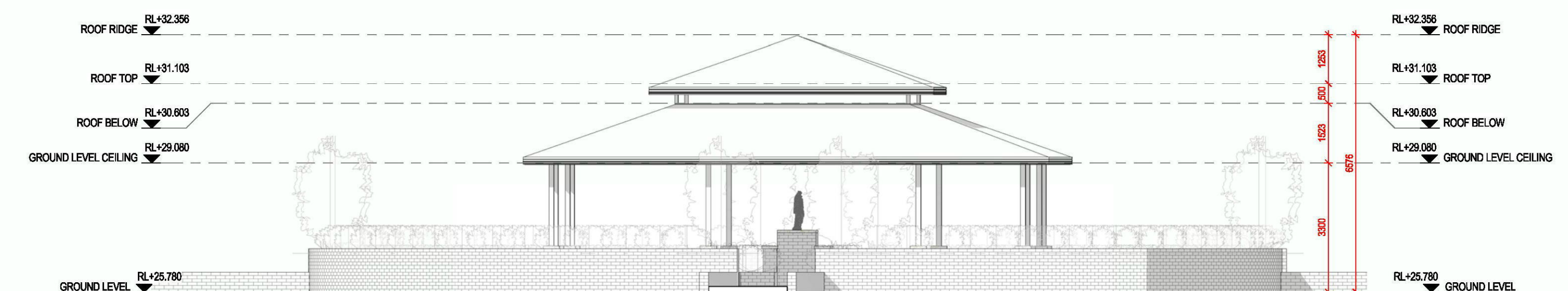
2 NORTH ELEVATION NOTIFICATION  
1:100



3 EAST ELEVATION NOTIFICATION  
1:100




4 SOUTH ELEVATION NOTIFICATION  
1:100



5 04 WEST ELEVATION NOTIFICATION  
1:100

STATUS  
PRELIMINARY

REV	DESCRIPTION	DATE	BY
A	PRELIM ISSUE	21.11.2017	KG
B	DA ISSUE	01.12.2017	KG

<div>NORTH</div> <div></div>	CLIENT	WOLLEMI COLLEGE		DRAWING TITLE	NOTIFICATION PLAN	
	ADDRESS	11 GIPPS ST WERRINGTON NSW 2747				
PROJECT No.	PROJECT	SHRINE		SCALE (@A1)	As indicated	DATE ISSUED 01.12.2017
17025	THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.			DRAWING No.	DA- 102	REV B



**DA- 001**

DRAWING No.

SHEETS IN SET	
001	COVER SHEET
100	SITE PLAN
200	GROUND FLOOR PLAN
300	ELEVATIONS
400	SECTIONS
401	FINISHES SCHEDULE



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**FIVE CANONS**  
ARCHITECTURE

**Evmr Pty Ltd T/as Five Canons ABN:86 609 861 761**

STATUS

## PRELIMINARY

REV	DESCRIPTION	DATE	BY
A	PRELIM ISSUE	21.11.2017	KG
B	DA ISSUE	01.12.2017	KG

	CLIENT	WOLLEMI COLLEGE		DRAWING TITLE	COVER SHEET	
	ADDRESS	11 GIPPS ST WERRINGTON NSW 2747				
PROJECT No.	PROJECT	SHRINE		SCALE (@A1)		DATE ISSUED 01.12.2017
17025	<small>THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.</small>			DRAWING No.	DA- 001	REV B

FILE REF: Z:\01\_Projects\02\_ODD\2017\17025\_Wollami College (Danny)\02\_DESIGN\CAD\_Drawings\17025\_Wollami College\_REV B.rvt

Document Set ID: 7972739  
Version: 1, Version Date: 13/12/2017



BCA REQUIREMENTS: ARCHITECTURAL REQ. FOR CONSTRUCTION CERTIFICATE

C1.1 FIRE RESISTING CONSTRUCTION: ALL ELEMENTS OF CONSTRUCTION TO COMPLY WITH SPECIFICATION C1.1  
C1.16 FIRE HAZARD PROPERTIES: MATERIALS UTILISED TO COMPLY WITH SPECIFICATION C1.16 FOR FIRE HAZARD  
PROPERTIES OF FINISHES  
FLOOR MATERIALS: NON-SPRINKLER PROTECTED AREAS: A CRITICAL RADIANT HEAT FLUX  $\geq 2.2$  SPRINKLER PROTECTED AREAS: A CRITICAL HEAT FLUX  $\geq 1.2$   
WALLS AND CEILING: NON-SPRINKLER PROTECTED AREAS: MUST BE A GROUP 1, 2 OR 3 USED IN ACCORDANCE WITH  
TABLE 2 OF SPEC. C1.16 AND HAVE A SMOKE GROWTH RATE INDEX OF  $> 100$  OR AN AVERAGE SPECIFIC EXTINCTION AREA OF  $< 0.007 \text{ m}^2/\text{kg}$   
C2.4 VERTICAL SEPARATION OF OPENINGS IN EXTERNAL WALLS: SPANDREL SEPARATION TO BE PROVIDED IN ACCORDANCE WITH CL 2.4 OF THE BCA. SPANDREL WITH FRL OF  $\geq 60 \text{ MIN}$  PROJECTING 150mm HORIZONTALLY & 450mm ALONG WALL BEYOND THE OPENING OR VERTICALLY 800mm.  
C3.4 ACCEPTABLE METHODS OF PROTECTION OPENINGS LOCATED WITHIN 3m OF A FIRE SOURCE  
FEATURES ARE TO BE PROTECTED IN ACCORDANCE WITH C3.4  
C3.15 OPENINGS FOR SERVICE INSTALLATIONS: SERVICE PENETRATIONS THROUGH FIRE RATED FLOOR STRUCTURES  
TO COMPLY WITH CL 3.15  
D.1.2 NUMBER OF EXITS REQUIRED:  
(a) ALL BUILDINGS MUST HAVE AT LEAST ONE EXIT FROM EACH STOREY  
(b) BASEMENTS SHALL HAVE NO LESS THAN TWO EXITS IF ACCESS FROM THAT STOREY INVOLVES A VERTICAL RISE WITHIN THE BUILDING OF MORE THAN 1.5m, UNLESS:  
(i) THE FLOOR AREA OF TEN STOREY IS NOT MORE THAN 600m<sup>2</sup> AND  
(ii) THE DISTANCE OF TRAVEL FROM ANY POINT ON TEN FLOOR TO A SINGLE EXIT IS NOT MORE THAN 20m  
D.1.3 WHEN FIRE ISOLATED STAIRWAYS AND RAMP ARE REQUIRED:  
(a) EVERY FIRE ISOLATED STAIR OR RAMP SERVING AS A REQUIRED EXIT MUST BE FIRE ISOLATED  
(b) DISCHARGE FROM EXITS: IF AN EXIT DISCHARGES TO AN OPEN SPACE THAT IS AT A DIFFERENT LEVEL THAN THE PUBLIC ROAD TO WHICH IT IS CONNECTED, THE PATH OF TRAVEL TO THE ROAD MUST BE BY  
(i) A RAMP OR OTHER MEANS HAVING A GRADIENT NOT STEEPER THAN 1:14 AS REQUIRED BY THE DEEMED TO SATISFY PROVISIONS OF PART D3  
(ii) INSTALLATION IN EXITS AND PATHS OF TRAVEL: DISTRIBUTION OR SWITCHBOARDS LOCATED WITHIN A PATH OF TRAVEL  
TO BE ENCLOSED WITHIN NON-COMBUSTIBLE CONSTRUCTION OR A FIRE PROTECTIVE COVERING AND THE ACCESS DOOR IS TO BE SEALED AGAINST SMOKE SPREAD  
(c) STAIRS AND RISERS: STAIRS AND LANDINGS TO BE CONSTRUCTED IN ACCORDANCE WITH CL D2.15 AND D2.14  
(d) TREAD AND RISER CONFIGURATION, LANDING DIM. AND SLOPE, NON-SLIP FINISH OR NON-SKID SURF NEAR EDGE  
(e) HOISING: NOTE ADDITIONAL PROVISIONS SET UNDER CL D3.3  
(f) STAIRS: STAIRS DOOR THRESHOLDS TO BE CONSTRUCTED IN ACCORDANCE WITH CL D.15  
(g) BALUSTRADES AND OTHER BARRIERS: BALUSTRADES BARRIERS TO BE PROVIDED IN ACCORDANCE WITH CL D  
2.18- INC. MIN HEIGHT, OPENING DIMENSIONS, HORIZONTAL ELEMENT RESTRICTIONS, WIRE BALUSTRADE RAIL  
PERMANENT FIXTURES ADJACENT TO BALCONY BALUSTRADES TO COMPLY WITH INTENT OF AS 1684.1 WITH REGARD TO CLIMABLE ZONES.

GENERAL NOTES

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE PRINCIPAL DETERMINING AUTHORITY (PCA) AND THE BUILDING CODE OF AUSTRALIA (BCA) - AS AMENDED.

REMOVAL OF ASBESTOS CEMENT SHEETING MUST BE CARRIED OUT BY A LICENSED CONTRACTOR IN COMPLIANCE WITH THE REQUIREMENTS OF THE NSW WORKCOVER AUTHORITY IN RELATION TO THE REMOVAL, HANDLING AND DISPOSAL OF ALL MATERIAL CONTAINING ASBESTOS. AND THE WORK SAFE AUSTRALIA ASBESTOS CODE OF PRACTICE AND GUIDANCE NOTES

ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2991 - AS CURRENTLY AMENDED.

BUILDER SHALL MAKE GOOD ALL DISTURBED AREAS ADJACENT TO THE WORKS ON COUNCIL'S ROADS. FOOTPATHS ARE TO BE RESTORED TO THE SATISFACTION OF THE BCA.

ALL CONCRETE FOOTINGS, FLOOR SLABS, COLUMNS AND TIMBER ROOF FRAMING TO STRUCTURAL ENGINEER'S DETAILS.

ALL STORMWATER REQUIREMENTS, EXTERNAL AND DRIVEWAY LEVELS TO HYDRAULIC ENGINEER'S DETAILS.

ALL LANDSCAPED AREAS, EXISTING TREES, DRIVEWAY, DRYING YARDS AND FENCING TO LANDSCAPE ARCHITECT'S DETAILS.

DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.

ALL MATERIALS AND COMPONENTS SHALL COMPLY WITH THE EARLY HAZARD INDEX REQUIREMENTS OF BCA SPEC. CLAUSE 1.15.

ALL ASPECTS OF THE BUILDING WORK SHALL COMPLY WITH THE RELEVANT CURRENT PROVISIONS OF THE LOCAL GOVERNMENT REGULATIONS AND THE BUILDING CODE OF AUSTRALIA.

SETTLEMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EXCAVATION OR CONSTRUCTION WORK.

SAFETY GLASS SHALL BE USED IN EVERY GLASS DOOR OR PANEL ENCLOSING OR PARTLY ENCLOSING A SHOWER OR BATH.

ALL BATHROOMS AND WC WINDOWS TO BE INSTALLED WITH OBSCURE GLASS.

UNLESS THE DOOR IN A SANITARY COMPARTMENT SWINGS OUTWARD OR IS GREATER THAN 1.5M AWAY FROM THE TOILET BATE, THE DOOR MUST BE INSTALLED WITH REMOVABLE LIFT-OFF HINGES.

THE REFLECTIVITY INDEX OF ALL EXTERNAL GLASS MATERIALS IS NOT TO EXCEED 20%.

PROTECTIVE MEASURES ARE REQUIRED FOR EACH TREE BEING RETAINED ON SITE AND SHALL BE ESTABLISHED BEFORE BUILDING WORKS COMMENCE, AND SHALL BE CONSTRUCTED AND MAINTAINED AS PER COUNCIL REQUIREMENTS.

PEDESTRIAN TRAFFIC AND USE OF BOUNDING PUBLIC FOOTPATHING SPACE TO REMAIN UNOBTSTRUCTED (UNLESS SUBJECT TO SEPARATE COUNCIL APPROVAL) INCLUDING PRAM ACCESS - TO BE MAINTAINED IN ACCORDANCE WITH AS1424.3 PART 3 - TRAFFIC CONTROL DEVICES FOR WORKS ON ROADS.

AUSTRALIAN STANDARDS COMPLIANCE

THE BUILDING WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH, BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:

AS/NZS 1600	ALUMINIUM STRUCTURES
AS/NZS 1600	COMPONENTS FOR THE PROTECTION OF OPENINGS IN FIRE RESISTANT WALLS
AS 2047	WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION
AS 2327	COMPOSITE STRUCTURES
AS 2870	RESIDENTIAL SLAB AND FOOTING CONSTRUCTION
AS 3700	MASONRY STRUCTURES
AS 3013	ELECTRICAL INSTALLATIONS
AS 1668	THE USE OF MECHANICAL VENTILATION AND AIR-CONDITIONING IN BUILDINGS
AS 2441	INSTALLATION OF HOSE REELS
AS 3644	PORTABLE FIRE EXTINGUISHERS AND FIRE BLANKETS - SELECTION AND
LOCATION	
AS 3786	SMOKE ALARMS
AS 1288	GLASS IN BUILDINGS - SELECTION AND INSTALLATION
AS 2107	ACOUSTICS - RECOMMENDED DESIGN LEVELS AND REVERBERATION TIMES FOR BUILDINGS
AS 2960.1-2006	INTERIORS TERMITE MANAGEMENT - NEW BUILDING WORK
AS/NZS 2890.1-2004	OFF-STREET PARKING

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEPT DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

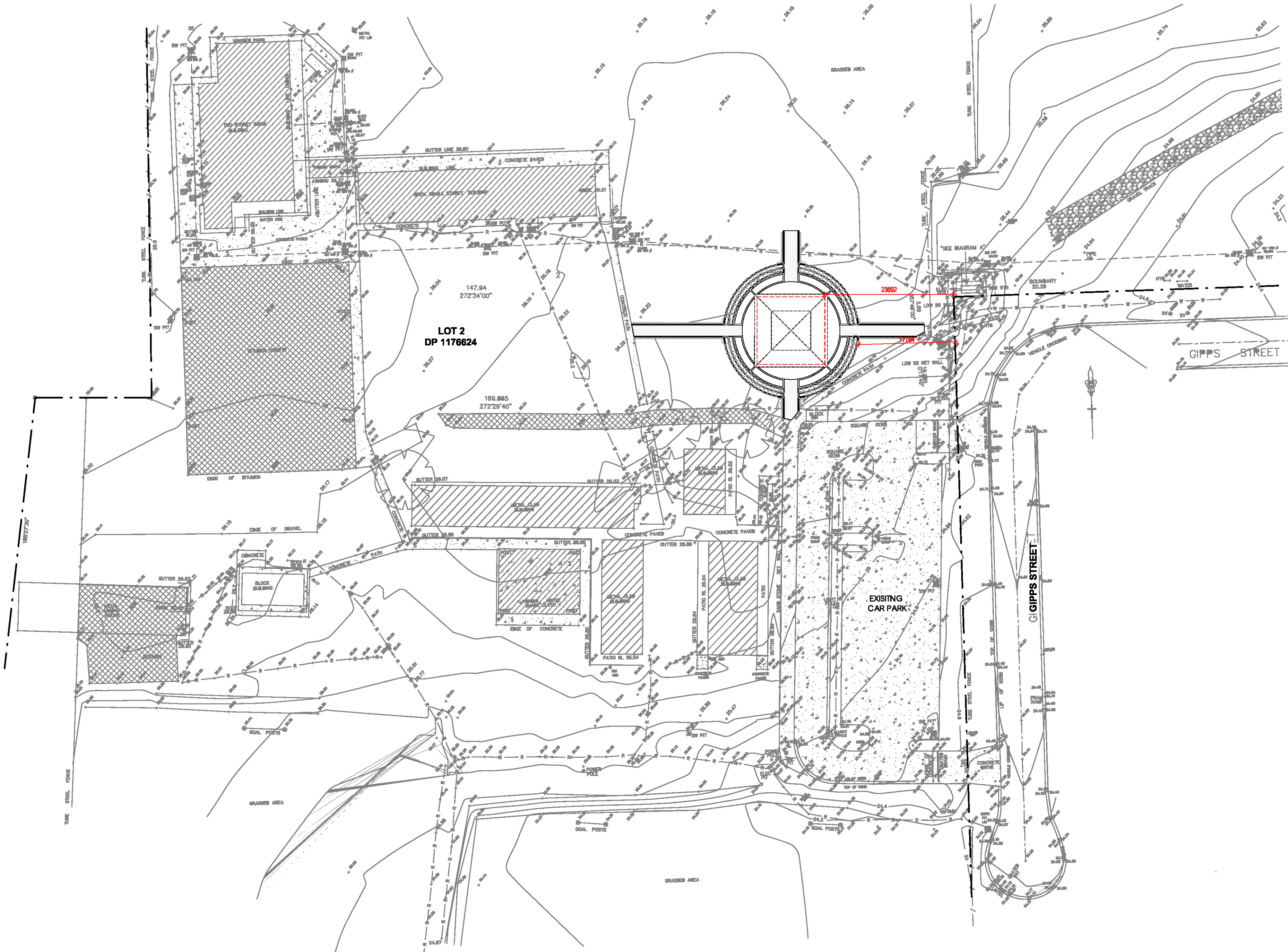
AREA CALCULATIONS

SITE DETAILS	
LOT NUMBER :	2
DP NUMBER :	DP 1176624
SITE AREA :	79,458.576 m <sup>2</sup>

COVERED SHRINE AREA (MEASURED TO INTERNAL SQUARE BOUNDARY)	
SHRINE	155.25 m <sup>2</sup>
TOTAL COVERED AREA	155.25 m <sup>2</sup>

DEVELOPMENT SUMMARY

BUILDING HEIGHT	
PROPOSED :	6.6 m




1 SITE PLAN / ROOF PLAN  
1 : 500

STATUS

PRELIMINARY

REV	DESCRIPTION	DATE	BY
A	PRELIM ISSUE	21.11.2017	KG
B	DA ISSUE	01.12.2017	KG

<div>NORTH</div> <div></div>	CLIENT	WOLLEMI COLLEGE		DRAWING TITLE	SITE PLAN	
	ADDRESS	11 GIPPS ST WERRINGTON NSW 2747				
PROJECT No.	PROJECT	SHRINE		SCALE (@A1)	As indicated	DATE ISSUED 01.12.2017
17025	THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.			DRAWING No.	DA- 100	REV B

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EXTERNAL FINISHES LEGEND			
C	OFF-FORM CONCRETE	RW	RENDERED WALL
BW	BLOCK WALL	SB	STEEL BALUSTRADE
CF	CONCRETE FLOOR	SG	STEEL GATE
FB	FACE BLOCK	SC	STEEL CAGE
FG	FIXED GLASS	SE	STEEL FENCE
FS	FIXED SCREEN	SL	SLIDING GLASS
GB	GLASS BALUSTRADE	SK	SKYLIGHT
GL	GLASS LOUVRE	TA	TIMBER AWNING
GR	GRAVEL / GREEN ROOF	TD	TIMBER DECK
L	LEIGHTWEIGHT	TF	TIMBER FENCE
MC	CLADDING	TI	TILED FLOOR
MD	WOOD CLADDING	TR	TIMBER SCREEN
ML	METAL DOOR	TW	TILED WALL
MR	METAL LOUVRES	TG	TRANSLUCENT GLASS
MT	METAL ROOF		

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Smithfield, NSW 2164

**FIVE CANONS**  
ARCHITECTURE

**Evmr Pty Ltd T/as Five Canons ABN:86 609 861 761**

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## PRELIMINARY

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A	PRELIM ISSUE	21.11.2017	KG
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CLIENT	<b>WOLLEMI COLLEGE</b>
ADDRESS	<b>11 GIPPS ST WERRINGTON NSW 2747</b>

DRAWING  
TITLE

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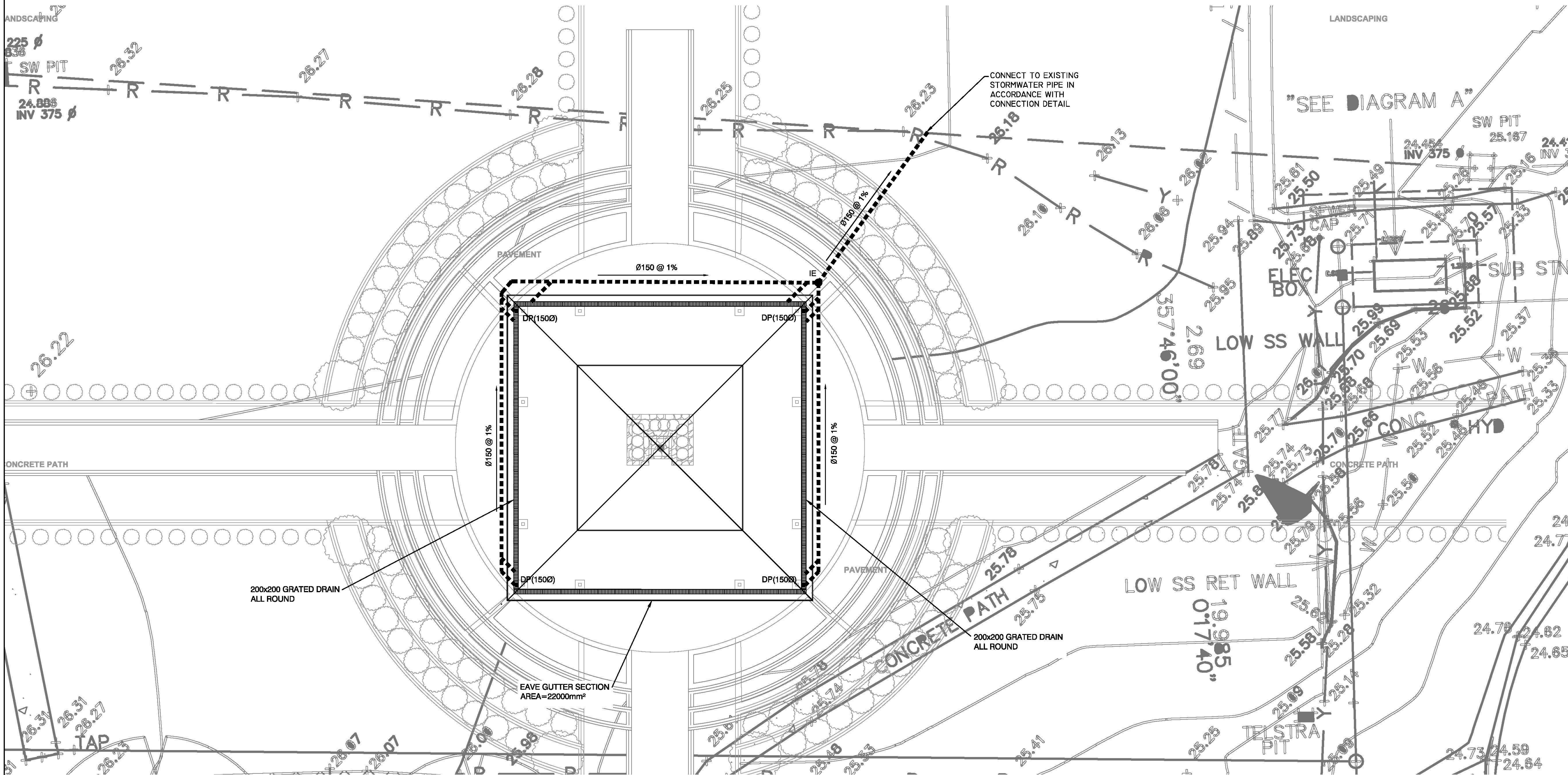
ELEVATIONS

PROJECT	<b>SHRINE</b>
<p>THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.</p>	

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Version: 1, Version Date: 13/12/2017

FILE REF: Z:\01\_Projects\02\_ODD\2017\17025\_Wollmeri College (Danny)\02\_DESIGN\CAD\_Drawings\17025\_Wollmeri College\_REV B\_.rvt





NOTE RE. SERVICES

APPROXIMATE LOCATIONS OF EXISTING SERVICES SHOWN ON LONGITUDINAL SECTION. EXACT LOCATIONS & DEPTHS TO BE ACCURATELY LOCATED BY THE BUILDING CONTRACTOR BY CONTACTING THE RELEVANT AUTHORITIES BEFORE COMMENCEMENT OF ANY WORKS



NOTES

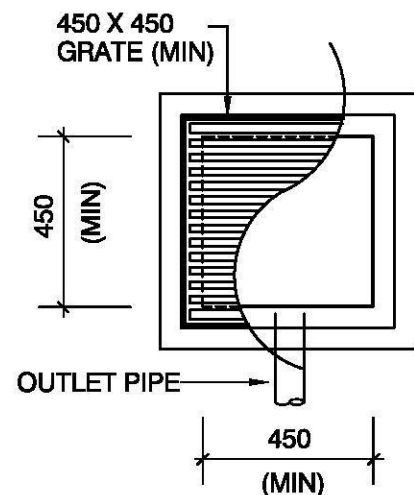
- ALL LINES ARE TO BE MIN. 100Ø UPVC @ MIN 1.0% GRADE UNLESS NOTED OTHERWISE.
- IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS. ALL DESIGN LEVELS SHOWN ON PLAN SHALL BE VERIFIED ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORK.
- ALL PIPES TO HAVE MIN 200mm COVER IF LOCATED WITHIN PROPERTY.
- ALL PITS IN DRIVEWAYS BE HEAVY DUTY GRATES. DIRECT SURFACE FLOW TO ALL GRATED SURFACE INLET PITS.
- ALL WORK DO BE DONE IN ACCORDANCE WITH AS/NZ 3500.3.2:2003 AND COUNCIL SPECIFICATIONS.
- LOCATION OF DOWNPIPES & FLOOR WASTES ARE INDICATIVE ONLY. DOWNPIPE & FLOOR WASTE SIZE, LOCATION & QUANTITY TO BE DETERMINED BY BUILDER & IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
- THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ARCHITECTURAL, LANDSCAPE AND STRUCTURAL PLANS.
- ANY DISCREPANCIES OR OMISSIONS SHALL BE REFERRED TO THE DESIGN ENGINEER FOR RESOLUTION.
- ALL PITS OR GRATES IN TRAFFICABLE AREAS TO BE HEAVY DUTY.
- ALL GUTTERS WILL BE FITTED WITH LEAF GUARDS AND SHOULD BE INSPECTED AND CLEANED TO ENSURE LEAF LITTER CANNOT ENTER THE DOWNPIPES

SYMBOLS

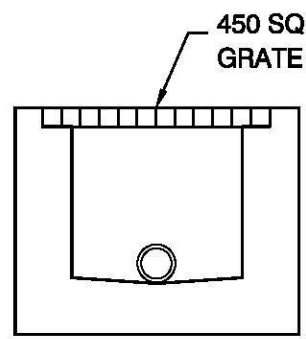
F.F.L	FINISHED FLOOR LEVEL
T.K	TOP OF KERB
RL	PIT SURFACE LEVEL
IL	INVERT LEVEL
---	STORMWATER DRAINAGE PIPE
-----	DOWNPIPE TO RAINWATER TANK
•DP	100Ø DOWN PIPE (U.N.O.)
↓SP	SPREADER
•IE	INSPECTION EYE
	MASONRY RETAINING WALL
⊗FW	FLOOR WASTE 150Ø
⊠	GRATED INLET PIT
	GRATED DRAIN
←	OVERLAND FLOW PATH
ES	EMERGENCY SPLITTER
VD	VERTICAL DROP
•EDP	EXISTING 100Ø DOWN PIPE (U.N.O.)
---	EXISTING STORMWATER DRAINAGE PIPE

SITE STORMWATER DRAINAGE PLAN

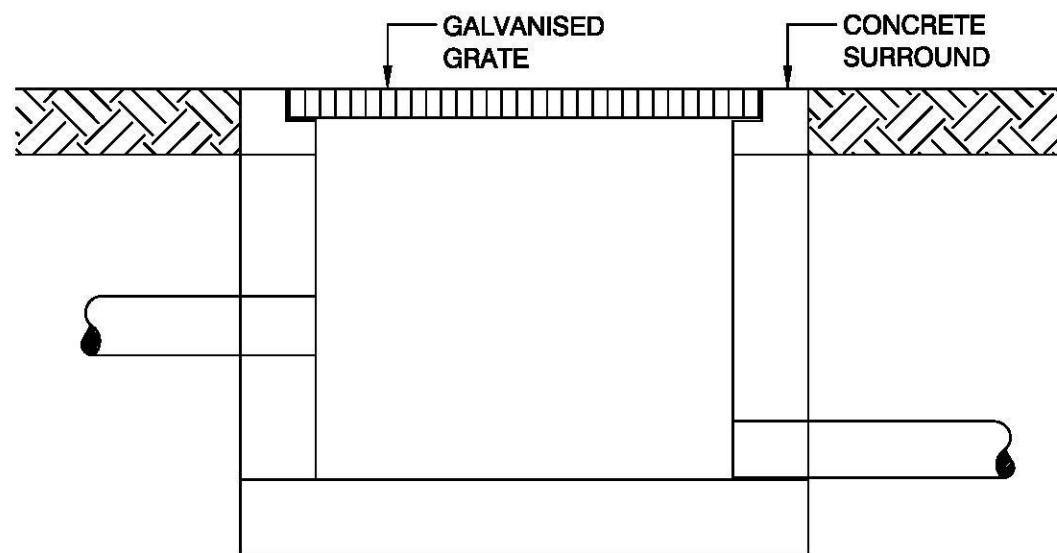
SCALE 1:100



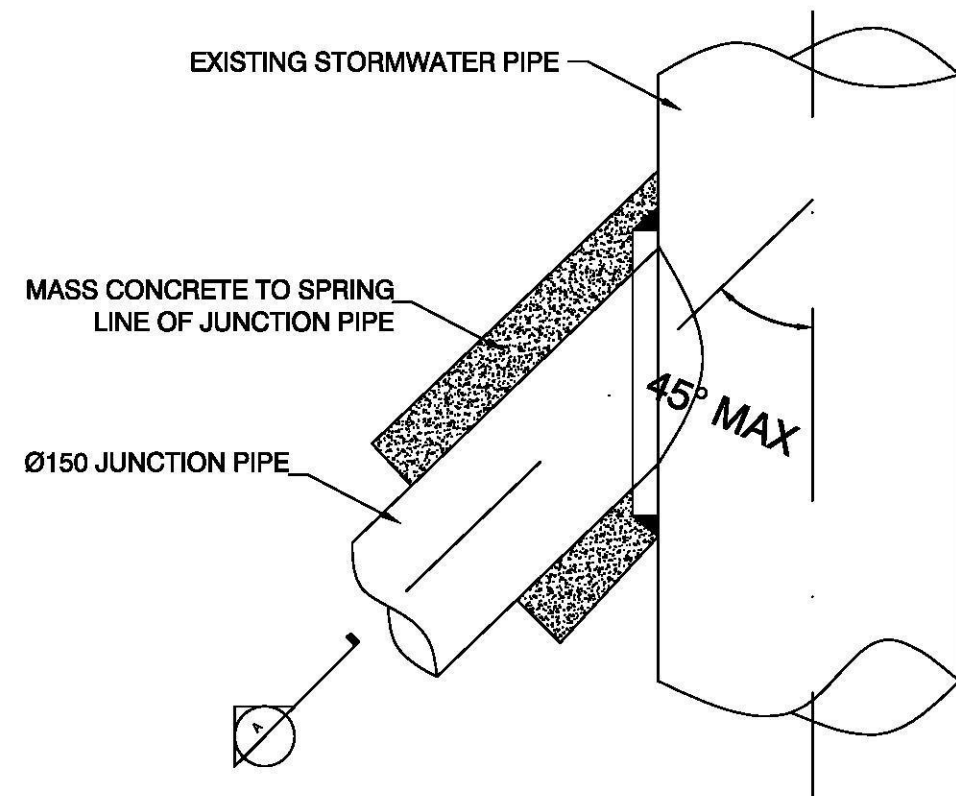
STANDARD PIT  
N.T.S.



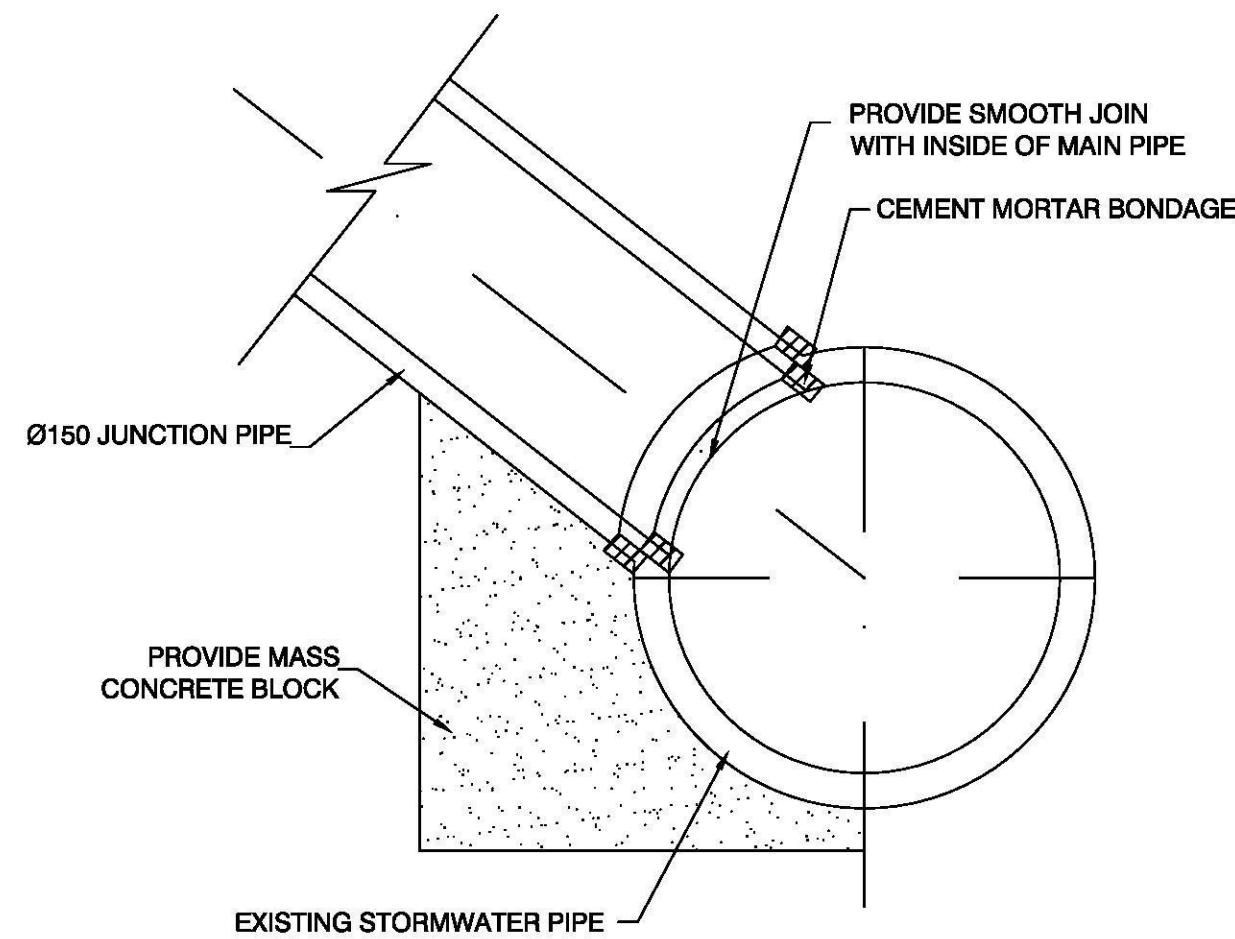
TYPICAL PIT SECTION  
N.T.S.



TYPICAL PIT DETAIL  
NTS



CONNECTION TO EXISTING PIPE  
NTS



SECTION A  
NTS

AMENDMENTS		
NO.	DESCRIPTION	DATE
A	FOR D.A. APPROVAL	06/04/17

DRAWN: Y.C.	DESIGNED: D.M.
APPROVED: DANNY MORCHED B.E CIVIL M.E STRUCTURAL CPEng, MIEAust, NPER MEMB. NO: 2320868	DATE: 30/11/17
SCALE AT A1: 1:100 UNO	

PROJECT:  
**PROPOSED SHRINE**  
11 GIPPS STREET  
WERRINGTON NSW 2747

CLIENT:  
**WOLLEMI COLLEGE**

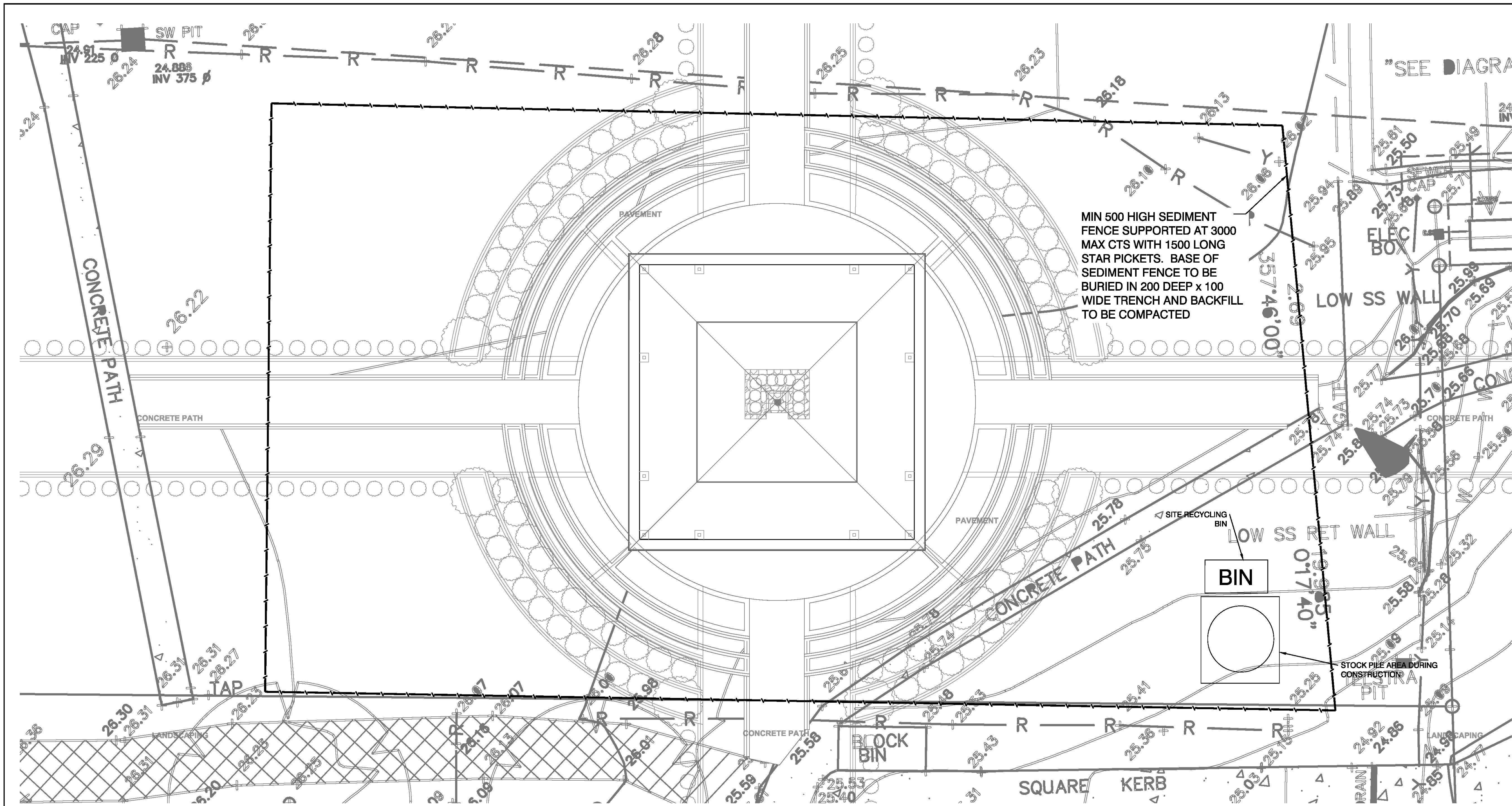
TITLE:  
**SITE&ROOF STORMWATER DRAINAGE PLAN**

ALL DIMENSIONS IN 'mm'  
UNLESS OTHERWISE STATED

JOB NO.  
**D17459**

DRAWING NO.  
**ST02**



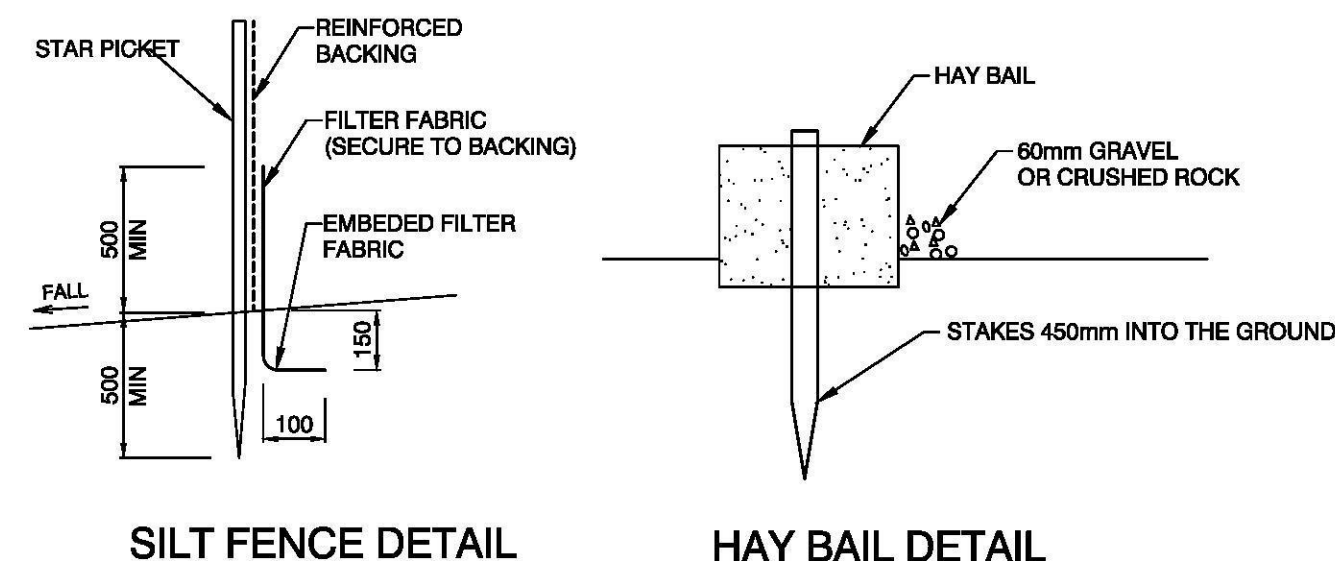
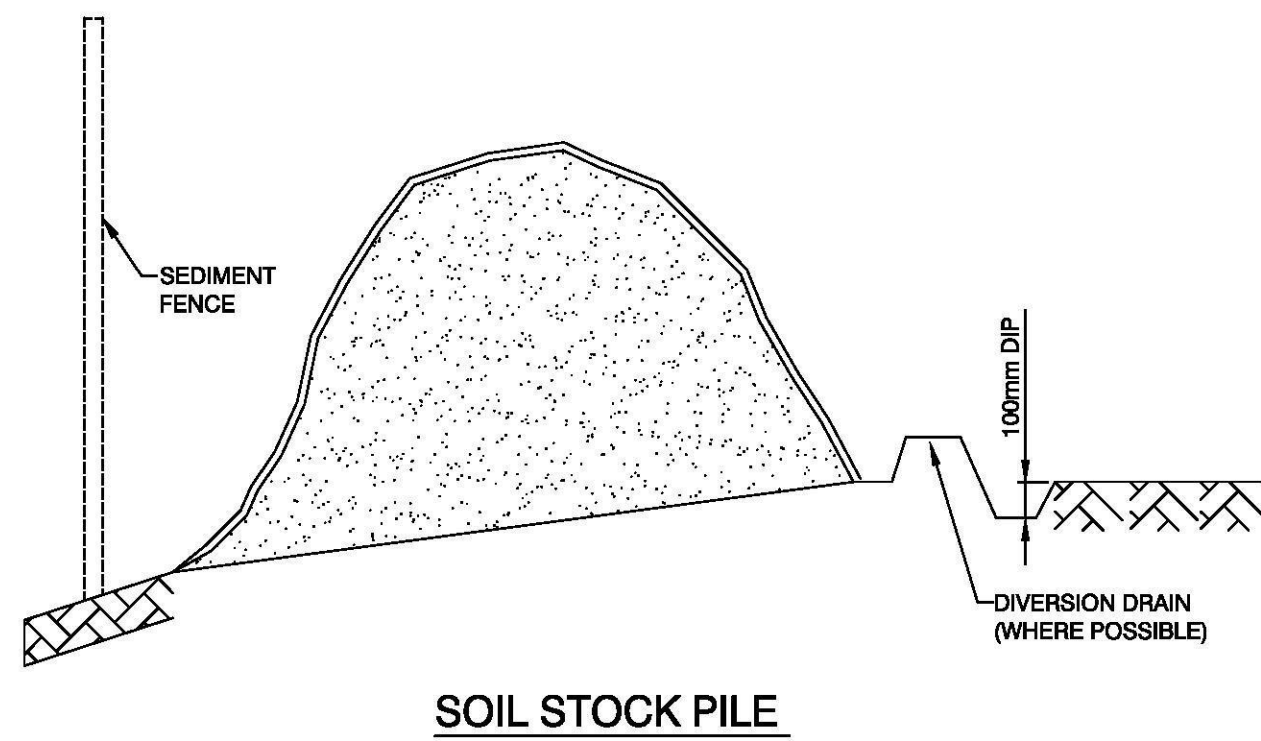
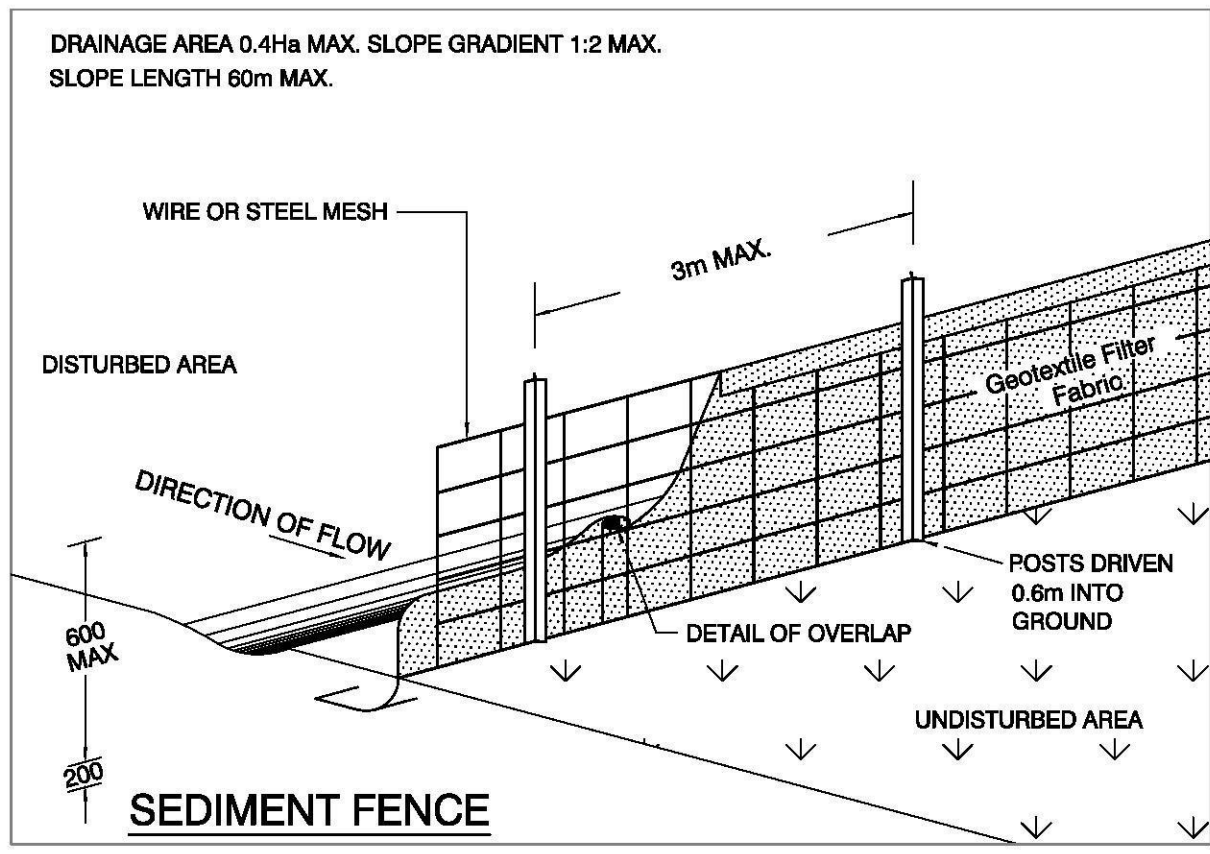


- EROSION CONTROL NOTES**
1. ALL EROSION & SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH 'MANAGING URBAN STORMWATER, 3rd EDITION' PRODUCED BY THE NSW DEPARTMENT OF HOUSING.
  2. ALL EROSION AND SILTATION CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS, AND ALL SILT TRAPS ARE TO HAVE DEPOSITED SILT REMOVED REGULARLY DURING CONSTRUCTION
  3. ALL TREES ARE TO BE PRESERVED UNLESS INDICATED OTHERWISE ON THE ARCHITECT'S OR LANDSCAPE ARCHITECT'S DRAWINGS. EXISTING GRASS COVER SHALL BE MAINTAINED EXCEPT IN AREAS CLEARED FOR BUILDINGS, PAVEMENTS ETC.
  4. INSTALL TEMPORARY SEDIMENT BARRIERS TO ALL INLET PITS LIKELY TO COLLECT SILT LADDED WATER
  5. NOT WITHSTANDING DETAILS SHOWN IT IS THE CONTRACTORS SOLE RESPONSIBILITY TO ENSURE THAT ALL SITE ACTIVITIES COMPLY WITH THE REQUIREMENTS OF THE CLEAN WATERS ACT.


- SYMBOLS**
- EXISTING CONTOURS
  - ===== SILT FENCE
  - ===== WIRE MESH FENCE
  - 950 PUMP LINE

- NOTES: SOIL & WATER MANAGEMENT**
1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER.
  2. MINIMISE DISTURBED AREAS.
  3. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATHS.
  4. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
  5. ROADS AND FOOTPATH TO BE SWEEPED DAILY.
  6. NO MATERIAL TO BE STORED ON FOOTPATH.
  7. IF YOU DO NOT COMPLY YOU MAY BE LIABLE TO A \$1500 FINE.

**EROSION AND SEDIMENT CONTROL PLAN**  
SCALE 1:100

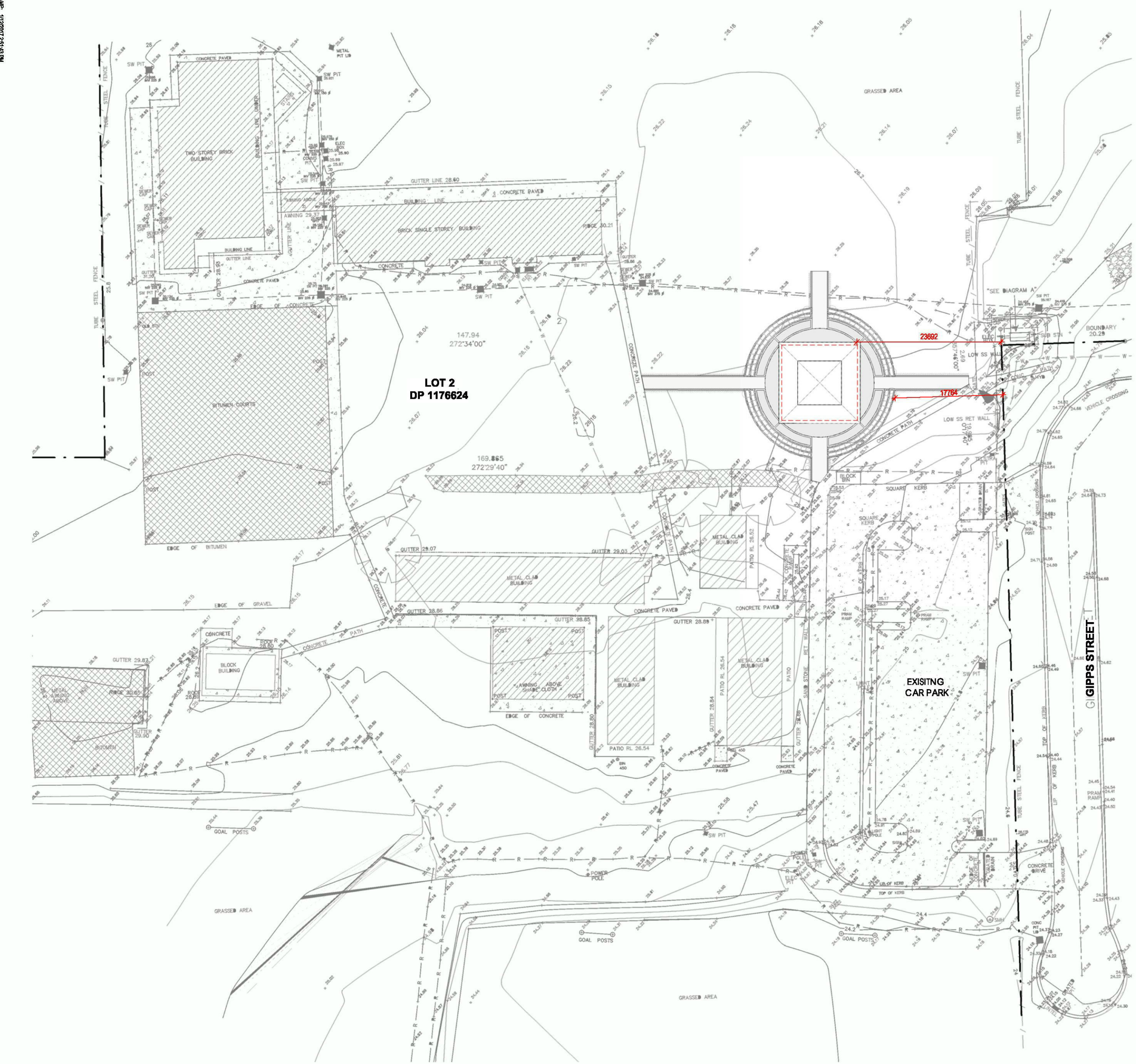


TO BE USED AS REQUIRED

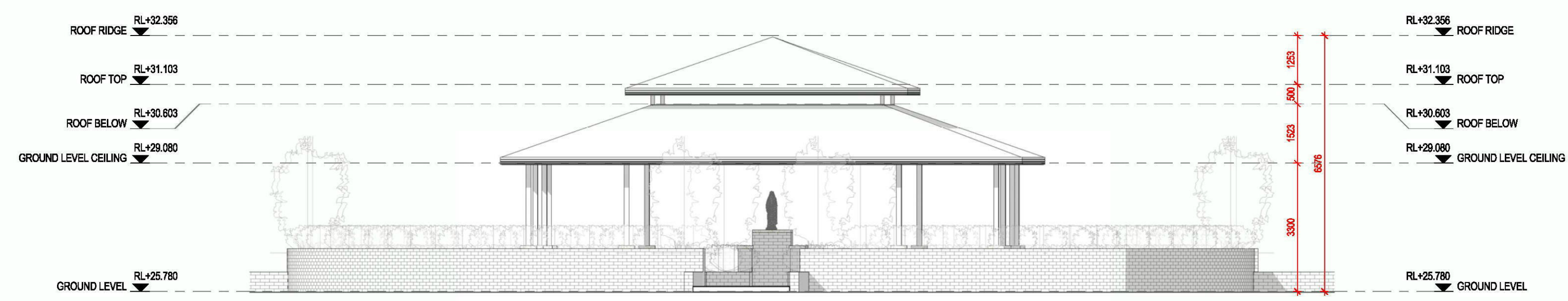
	P/ (02) 9623 0015 F/ (02) 4744 2479 E/ info@danmorconsulting.com.au A/ L2 Suite 208, 43 Majors Bay Rd, Concord 2137		AMENDMENTS			DRAWN: D.M.	DESIGNED: D.M.	PROJECT:  PROPOSED SHRINE 11 GIPPS STREET WERRINGTON NSW 2747	CLIENT:  WOLLEMI COLLEGE	ALL DIMENSIONS IN 'mm' UNLESS OTHERWISE STATED	
			NO.	DESCRIPTION	DATE	APPROVED:                      DATE: 30/11/17 DANNY MORCHED B.E CIVIL M.E STRUCTURAL CPEng,MIEAust,NPER MEMB. NO: 2320868				JOB NO.  D17459	
			A	FOR D.A. APPROVAL	30/11/17	SCALE AT A1:    AS SHOWN					DRAWING NO.  ST03
			THIS DRAWING AND THE INFORMATION SHOWN HEREON IS THE PROPERTY OF DANMOR CONSULTING ENGINEERS P/L AND MAY NOT BE USED FOR ANY OTHER PURPOSE THAN FOR WHICH SUPPLIED.								



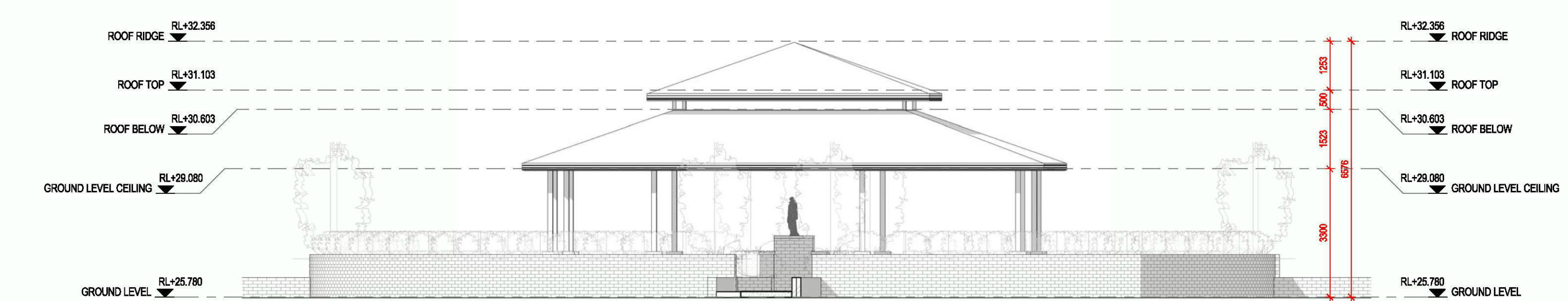
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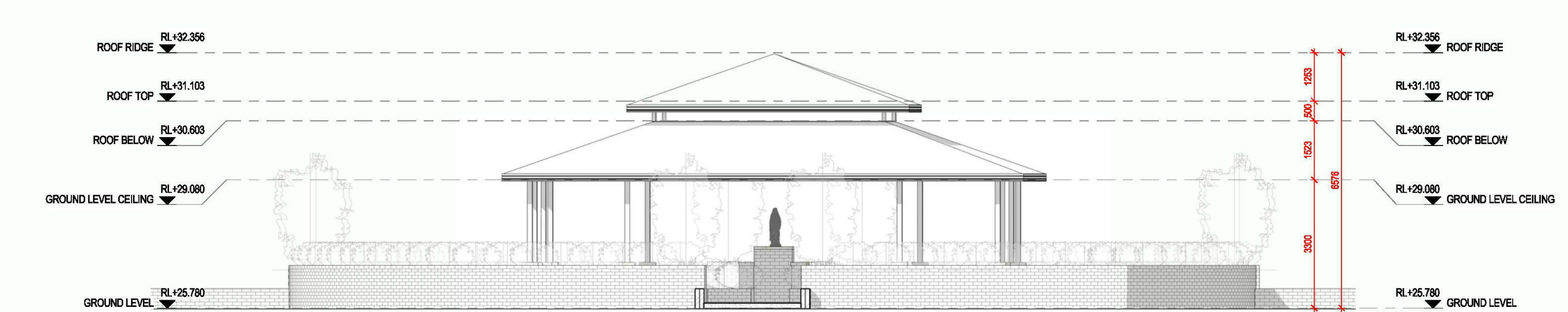
1 SITE PLAN / ROOF PLAN NOTIFICATION  
1:500



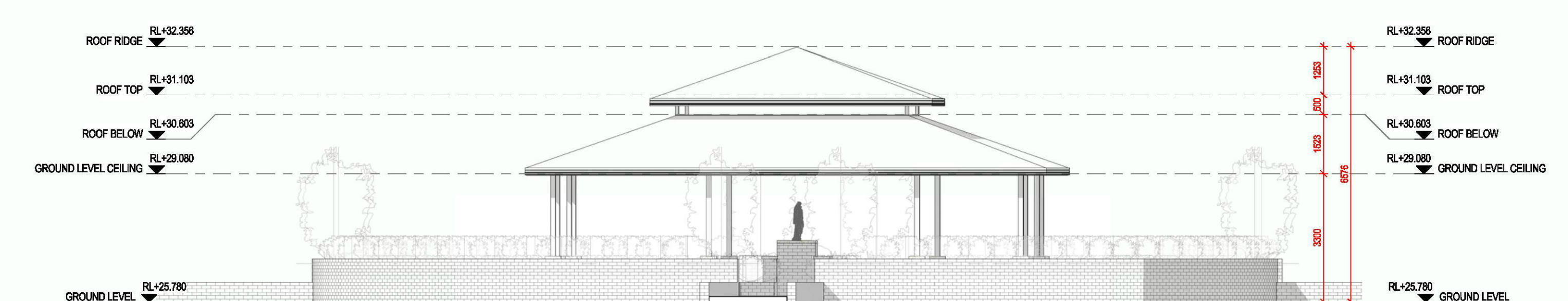
2 NORTH ELEVATION NOTIFICATION  
1:100



3 EAST ELEVATION NOTIFICATION  
1:100



4 SOUTH ELEVATION NOTIFICATION  
1:100




5 04 WEST ELEVATION NOTIFICATION  
1:100

STATUS

PRELIMINARY

REV	DESCRIPTION	DATE	BY
A	PRELIM ISSUE	21.11.2017	KG
B	DA ISSUE	01.12.2017	KG

<div>NORTH</div> <div></div>	CLIENT	WOLLEMI COLLEGE		DRAWING TITLE	NOTIFICATION PLAN		
	ADDRESS	11 GIPPS ST WERRINGTON NSW 2747					
PROJECT No.	PROJECT	SHRINE		SCALE (@A1)	As indicated	DATE ISSUED 01.12.2017	
17025	THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.			DRAWING No.	DA- 102		REV B



**DA- 001**

DRAWING No.

SHEETS IN SET	
001	COVER SHEET
100	SITE PLAN
200	GROUND FLOOR PLAN
300	ELEVATIONS
400	SECTIONS
401	FINISHES SCHEDULE



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Artarmon, NSW 2064


**FIVE CANONS**  
ARCHITECTURE

**Evmr Pty Ltd T/as Five Canons ABN:86 609 861 761**

STATUS

## PRELIMINARY

REV	DESCRIPTION	DATE	BY
A	PRELIM ISSUE	21.11.2017	KG
B	DA ISSUE	01.12.2017	KG

	CLIENT	WOLLEMI COLLEGE		DRAWING TITLE	COVER SHEET	
	ADDRESS	11 GIPPS ST WERRINGTON NSW 2747				
PROJECT No.	PROJECT	SHRINE		SCALE (@A1)		DATE ISSUED 01.12.2017
17025	<small>THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.</small>			DRAWING No.	DA- 001	REV B

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Document Set ID: 7972739  
Version: 1, Version Date: 13/12/2017



BCA REQUIREMENTS: ARCHITECTURAL REQ. FOR  
CONSTRUCTION  
CERTIFICATE

C1.1 FIRE RESISTING CONSTRUCTION: ALL ELEMENTS OF CONSTRUCTION TO COMPLY WITH SPECIFICATION C1.1  
C1.16 FIRE HAZARD PROPERTIES: MATERIALS UTILISED TO COMPLY WITH SPECIFICATION C1.10 FOR FIRE HAZARD  
PROPERTIES OF FINISHES  
FLOOR MATERIALS: NON-SPRINKLER PROTECTED AREAS: A CRITICAL RADIANT HEAT FLUX  $\geq 2.2$  SPRINKLER PROTECTED AREAS: A CRITICAL HEAT FLUX  $\geq 1.2$   
WALLS AND CEILING: NON-SPRINKLER PROTECTED AREAS: MUST BE A GROUP 1, 2 OR 3 USED IN ACCORDANCE WITH  
TABLE 2.2 OF SPEC. C1.10a AND HAVE: A SMOKE GROWTH RATE INDEX OF  $> 100$  OR AN AVERAGE SPECIFIC EXTINCTION AREA OF  $< 0.007 \text{ m}^2/\text{kg}$   
C2.4 VERTICAL SEPARATION OF OPENINGS IN EXTERNAL WALLS: SPANDREL SEPARATION TO BE PROVIDED IN ACCORDANCE WITH CL 2.2 OF THE BCA. SPANDREL WITH FRL OF  $\geq 60 \text{ MIN}$  PROJECTING 150mm HORIZONTALLY & 450mm ALONG WALL BEYOND THE OPENING, OR VERTICALLY 800mm.  
C3.4 ACCEPTABLE METHODS OF PROTECTION OPENINGS LOCATED WITHIN 3m OF A FIRE SOURCE  
FEATURES ARE TO BE PROTECTED IN ACCORDANCE WITH C3.4.  
C3.15 OPENINGS FOR SERVICE INSTALLATIONS: SERVICE PENETRATIONS THROUGH FIRE RATED FLOOR STRUCTURES TO COMPLY WITH CL 3.15  
D.1.2 NUMBER OF EXITS REQUIRED:  
(a) ALL BUILDINGS MUST HAVE AT LEAST ONE EXIT FROM EACH STOREY  
(b) BASEMENTS SHALL HAVE NO LESS THAN EXITS IF ACCESS FROM THAT STOREY INVOLVES A VERTICAL RISE WITHIN THE BUILDING OF MORE THAN 1.5m, UNLESS:  
(i) THE FLOOR AREA OF TEN STOREY IS NOT MORE THAN 600m<sup>2</sup> AND  
(ii) THE DISTANCE OF TRAVEL FROM ANY POINT ON TEN FLOOR TO A SINGLE EXIT IS NOT MORE THAN 20m  
D.1.3 WHEN FIRE ISOLATED STAIRWAYS AND RAMP ARE REQUIRED:  
(a) EVERY FIRE ISOLATED STAIR OR RAMP SERVING AS A REQUIRED EXIT MUST BE FIRE ISOLATED  
(i) TO DISCHARGE FROM EXITS IF AN EXIT DISCHARGES TO AN OPEN SPACE THAT IS AT A DIFFERENT LEVEL THAN THE PUBLIC ROAD TO WHICH IT IS CONNECTED, THE PATH OF TRAVEL TO THE ROAD MUST BE BY  
(i) A RAMP OR OTHER ROUTE HAVING A GRADIENT NOT STEEPER THAN 1:14 AS REQUIRED BY TEN DESIGNED TO SATISFY PROVISIONS OF PART D3  
D.2.7 INSTALLATION IN EXITS AND PATHS OF TRAVEL: DISTRIBUTION OR SWITCHBOARDS LOCATED WITHIN A PATH OF TRAVEL TO BE ENCLOSED WITHIN NON-COMBUSTIBLE CONSTRUCTION OR A FIRE PROTECTIVE COVERING AND THE ACCESS DOOR IS TO BE SEALED AGAINST SMOKE SPREAD  
D2.15 CORNICES AND RISERS: STAIRS AND LANDINGS TO BE CONSTRUCTED IN ACCORDANCE WITH CL D2.15 AND D2.14  
INC. TREAD AND RISER CONFIGURATION, LANDING DIM. AND SLOPE, NON-SLIP FINISH OR NON-SKID SURF NEAR EDGE  
D.2.15 RISERS: RISERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CL D.15  
D.2.15 BALUSTRADES AND OTHER BARRIERS: BALUSTRADES TO BE PROVIDED IN ACCORDANCE WITH CL D.2.15  
D.2.15 BALUSTRADES: MIN. HEIGHT, OPENING DIMENSIONS, HORIZONTAL ELEMENT RESTRICTIONS, WIRE BALUSTRADES REQ.  
PERMANENT FIXTURES ADJACENT TO BALCONY BALUSTRADES TO COMPLY WITH INTENT OF AS 1684.1 WITH REGARD TO CLIMABLE ZONES.

GENERAL NOTES

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE PRINCIPAL EXERCISING AUTHORITY (PCA) AND THE BUILDING CODE OF AUSTRALIA (BCA) - AS AMENDED.

REMOVAL OF ASBESTOS CEMENT SHEETING MUST BE CARRIED OUT BY A LICENSED CONTRACTOR IN COMPLIANCE WITH THE REQUIREMENTS OF THE NSW WORKCOVER AUTHORITY IN RELATION TO THE REMOVAL, HANDLING AND DISPOSAL OF ALL MATERIAL CONTAINING ASBESTOS, AND THE WORK SAFE AUSTRALIA ASBESTOS CODE OF PRACTICE AND GUIDANCE NOTES

ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2991 - AS CURRENTLY AMENDED.

BUILDER SHALL MAKE GOOD ALL DISTURBED AREAS ADJACENT TO THE WORKS ON COUNCIL'S ROADS. FOOTPATHS ARE TO BE RESTORED TO THE SATISFACTION OF THE BCA.

ALL CONCRETE FOOTINGS, FLOOR SLABS, COLUMNS AND TIMBER ROOF FRAMING TO STRUCTURAL ENGINEER'S DETAILS.

ALL STORMWATER REQUIREMENTS, EXTERNAL AND DRIVEWAY LEVELS TO HYDRAULIC ENGINEER'S DETAILS.

ALL LANDSCAPED AREAS, EXISTING TREES, DRIVEWAY, DRYING YARDS AND FENCING TO LANDSCAPE ARCHITECT'S DETAILS.

DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.

ALL MATERIALS AND COMPONENTS SHALL COMPLY WITH THE EARLY HAZARD INDEX REQUIREMENTS OF BCA SPEC. CLAUSE 1.15.

ALL ASPECTS OF THE BUILDING WORK SHALL COMPLY WITH THE RELEVANT CURRENT PROVISIONS OF THE LOCAL GOVERNMENT REGULATIONS AND THE BUILDING CODE OF AUSTRALIA.

SETTLEMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EXCAVATION OR CONSTRUCTION WORK.

SAFETY GLASS SHALL BE USED IN EVERY GLASS DOOR OR PANEL ENCLOSING OR PARTLY ENCLOSING A SHOWER OR BATH.

ALL BATHROOMS AND WC WINDOWS TO BE INSTALLED WITH OBSCURE GLASS.

UNLESS THE DOOR IN A SANITARY COMPARTMENT SWINGS OUTWARD OR IS GREATER THAN 1.5M AWAY FROM THE TOILET BATE, THE DOOR MUST BE INSTALLED WITH REMOVABLE LIFT-OFF HINGES.

THE REFLECTIVITY INDEX OF ALL EXTERNAL GLASS MATERIALS IS NOT TO EXCEED 20%.

PROTECTIVE MEASURES ARE REQUIRED FOR EACH TREE BEING RETAINED ON SITE AND SHALL BE ESTABLISHED BEFORE BUILDING WORKS COMMENCE, AND SHALL BE CONSTRUCTED AND MAINTAINED AS PER COUNCIL REQUIREMENTS.

PEDESTRIAN TRAFFIC AND USE OF BOUNDING PUBLIC FOOTPATHS: SPACE TO REMAIN UNOBTAINED (UNLESS SUBJECT TO SEPARATE COUNCIL APPROVAL) INCLUDING PRAM ACCESS - TO BE MAINTAINED IN ACCORDANCE WITH AS1424.3 PART 3 - TRAFFIC CONTROL DEVICES FOR WORKS ON ROADS.

AUSTRALIAN STANDARDS COMPLIANCE

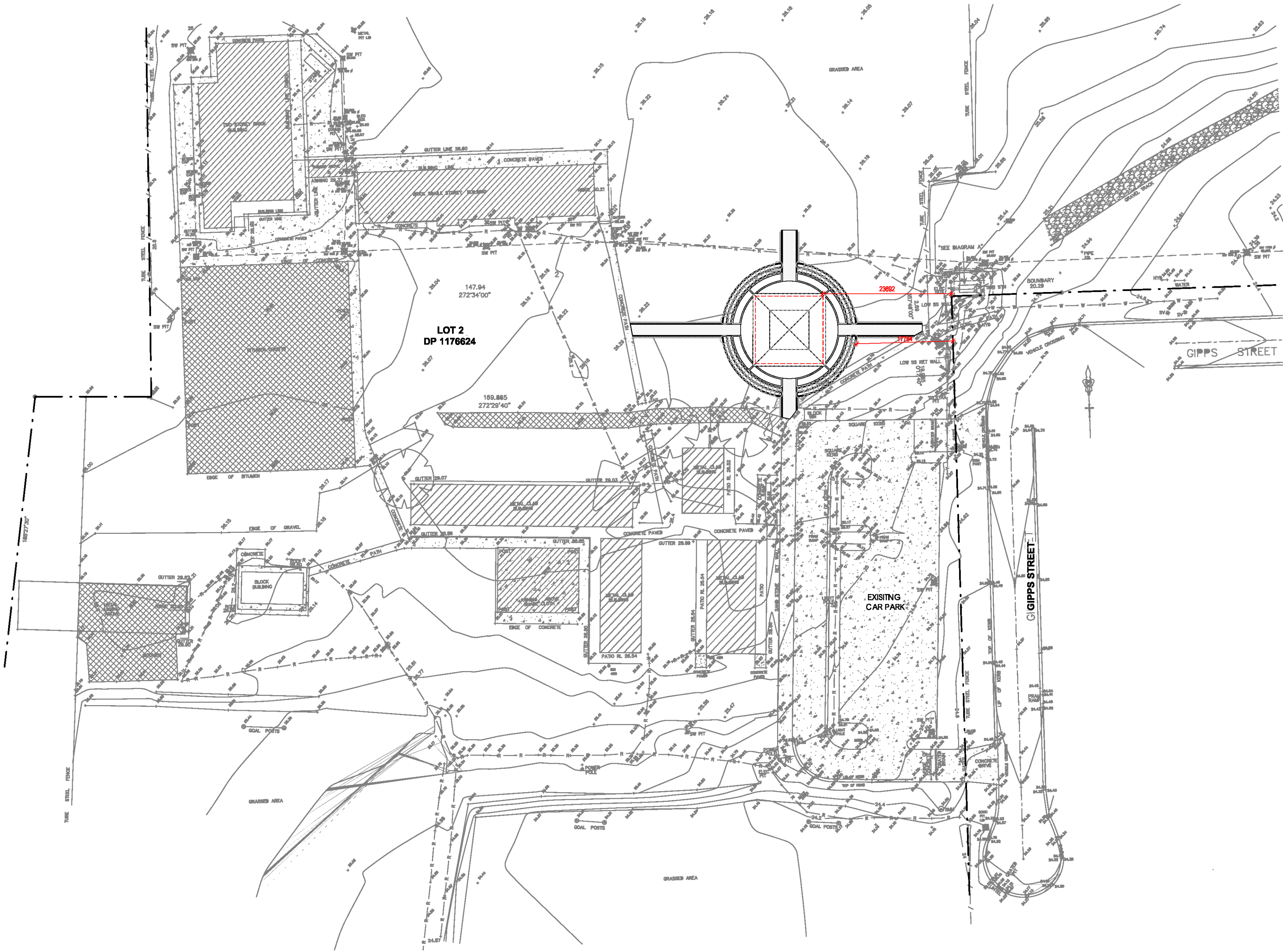
THE BUILDING WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH, BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:

AS/NZS 1600	ALUMINIUM STRUCTURES
AS/NZS 1605	COMPONENTS FOR THE PROTECTION OF OPENINGS IN FIRE RESISTANT WALLS
AS 2047	WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION
AS 2327	COMPOSITE STRUCTURES
AS 2870	RESIDENTIAL SLABS AND FOOTING CONSTRUCTION
AS 3700	MASONRY STRUCTURES
AS 3013	ELECTRICAL INSTALLATIONS
AS 1668	THE USE OF MECHANICAL VENTILATION AND AIR-CONDITIONING IN BUILDINGS
AS 2441	INSTALLATION OF HOSE REELS
AS 3644	PORTABLE FIRE EXTINGUISHERS AND FIRE BLANKETS - SELECTION AND
LOCATION	
AS 3786	SMOKE ALARMS
AS 1288	GLASS IN BUILDINGS - SELECTION AND INSTALLATION
AS 2107	ACOUSTICS - RECOMMENDED DESIGN LEVELS AND REVERBERATION TIMES FOR BUILDINGS
AS 2960.1-2006	INTERIORS TERMITE MANAGEMENT - NEW BUILDING WORK
AS/NZS 2890.1-2004	OFF-STREET PARKING

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEANED WHEN THE STRUCTURES ARE A MAXIMUM OF 80% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEPT DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0m CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

AREA CALCULATIONS			
SITE DETAILS			
LOT NUMBER	:	2	
DP NUMBER	:	DP 1176624	
SITE AREA	:	79,458.576 m <sup>2</sup>	
COVERED SHRINE AREA (MEASURED TO INTERNAL SQUARE BOUNDARY)			
SHRINE	:	155.25 m <sup>2</sup>	
TOTAL COVERED AREA	:	155.25 m <sup>2</sup>	
DEVELOPMENT SUMMARY			
BUILDING HEIGHT			
PROPOSED	:	6.6 m	




1 SITE PLAN / ROOF PLAN  
1:500

STATUS

PRELIMINARY

REV	DESCRIPTION	DATE	BY
A	PRELIM ISSUE	21.11.2017	KG
B	DA ISSUE	01.12.2017	KG

<div>NORTH</div> <div></div>	CLIENT	WOLLEMI COLLEGE		DRAWING TITLE	SITE PLAN	
	ADDRESS	11 GIPPS ST WERRINGTON NSW 2747				
PROJECT No.	PROJECT	SHRINE		SCALE (@A1)	As indicated	DATE ISSUED
17025	THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. ALL DIMENSIONS MUST BE TO KING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.			DRAWING No.	DA- 100	REV B

FILE REF: Z:\01\_Projects\02\_00032017\17025\_Wollemi College (Denny)\02\_DESIGN\CAD\_Drawing\17025\_Wollemi College\_REV B\_1.rvt



BCA REQUIREMENTS: ARCHITECTURAL REQ. FOR CONSTRUCTION CERTIFICATE

C1.1 FIRE RESISTING CONSTRUCTION: ALL ELEMENTS OF CONSTRUCTION TO COMPLY WITH SPECIFICATION C1.1.  
C1.10 FIRE HAZARD PROPERTIES: MATERIALS UTILISED TO COMPLY WITH SPECIFICATION C1.10 FOR FIRE HAZARD.  
PROPERTIES OF FINISHES  
FLOOR MATERIALS: NON-SPRINKLER PROTECTED AREAS: A CRITICAL RADIANT HEAT FLUX > 2.2.  
SPRINKLER PROTECTED AREAS: A CRITICAL HEAT FLUX > 1.2.  
WALLS AND CEILINGS: NON-SPRINKLER PROTECTED AREAS MUST BE A GROUP 1, 2 OR 3 USED IN ACCORDANCE WITH  
TABLE 1 OF SPEC. C1.10 AND HAVE A SMOKE GROWTH RATE INDEX OF < 100 OR AN AVERAGE SPECIFIC EXTINCTION AREA OF < 0.05 m<sup>2</sup>/m.  
C2.4 VERTICAL SEPARATION OF OPENINGS IN EXTERNAL WALLS: SPANDREL SEPARATION TO BE PROVIDED IN ACCORDANCE WITH CL. 2.2 OF THE BCA. SPANDRELS WITH FRL OF 2 ROMINS PROTECTING 150mm HORIZONTALLY & 450mm ALONG WALL BEYOND THE OPENING. ON VERTICALLY 900mm.  
CL.4 ACCEPTABLE METHODS OF PROTECTION: OPENINGS LOCATED WITHIN 2m OF A FIRE SOURCE FEATURE ARE TO  
BE PROTECTED IN ACCORDANCE WITH CL.4.  
CL.10 OPENINGS FOR SERVICE INSTALLATIONS: SERVICE PENETRATIONS THROUGH FIRE RATED FLOOR STRUCTURES TO COMPLY WITH CL.3.15.  
D.1.2 NUMBER OF EXITS REQUIRED:  
(a) ALL BUILDINGS MUST HAVE AT LEAST ONE EXIT FROM EACH STOREY.  
(b) BASEMENTS SHALL HAVE NO LESS THAN 2 EXITS IF EGRESS FROM THAT STOREY INVOLVES A VERTICAL RISE WITHIN THE BUILDING OF MORE THAN 1.5m, UNLESS:  
(i) THE FLOOR AREA OF TEN STOREY IS NOT MORE THAN 500m<sup>2</sup> AND  
(ii) THE DISTANCE OF TRAVEL FROM ANY POINT ON TEN FLOOR TO A SINGLE EXIT IS NOT MORE THAN 22m.  
D.1.3 WHEN FIRE ISOLATED STAIRWAYS AND RAMPS ARE REQUIRED:  
(a) EVERY FIRE ISOLATED STAIR OR RAMP SERVING AS A REQUIRED EXIT MUST BE FIRE ISOLATED.  
(b) DISCHARGE FROM EXITS IF AN EXIT DISCHARGES TO AN OPEN SPACE THAT IS AT A DIFFERENT LEVEL THAN THE PUBLIC ROAD TO WHICH IT IS CONNECTED, THE PATH OF TRAVEL TO THE ROAD MUST BE BY:  
(i) A RAMP OR OTHER INCLINE HAVING A GRADIENT NOT STEEPER THAN 1:14 AS REQUIRED BY THE DEEMED TO SATISFY PROVISIONS OF PART D.  
(c) D.2.7 INSTALLATION IN EXITS AND PATHS OF TRAVEL: DISTRIBUTION OR SWITCHBOARDS LOCATED WITHIN A PATH OF TRAVEL TO BE ENCLOSED WITHIN NON-COMBUSTIBLE CONSTRUCTION OR A FIRE PROTECTIVE COVERING AND THE ACCESS DOOR IS TO BE SEALED AGAINST SMOKE SPREAD.  
(d) IS BARRIERS AND RISERS: STAIRS AND LANDINGS TO BE CONSTRUCTED IN ACCORDANCE WITH CL. D.2.15 AND D.2.14.  
(e) INC. TREAD AND RISER CONFIGURATION, LANDING DIM. AND SLOPE, NON-SLIP FINISH OR NON-SKID SPR. NEAR EDGE OF WALKING. NOTE: ADDITIONAL PROVISIONS REQ. UNDER CL. D.3.5.  
(f) FIRE RESISTING DOOR THRESHOLDS TO BE CONSTRUCTED IN ACCORDANCE WITH CL. D.15.  
(g) D.2.16 BALUSTRADES AND OTHER BARRIERS: BALUSTRADE BARRIERS TO BE PROVIDED IN ACCORDANCE WITH CL. D.  
(h) 2.16: INC. MIN HEIGHT, OPENING DIMENSIONS, HORIZONTAL ELEMENT RESTRICTIONS, WIRE BALUSTRADE REQ.  
PERMANENT FIXTURES ADJACENT TO BALCONY BALUSTRADES TO COMPLY WITH INTENT OF AS 1684.1 WITH REGARD TO CLIMBABLE ZONES.

GENERAL NOTES

ALL WORK TO BE CARRIED OUT IN ACCORDANCE WITH THE REQUIREMENTS OF THE PRINCIPAL CERTIFYING AUTHORITY (PCA) AND THE BUILDING CODE OF AUSTRALIA (BCA) - AS AMENDED.

REMOVAL OF ASBESTOS CEMENT SHEETING MUST BE CARRIED OUT BY A LICENSED CONTRACTOR IN COMPLIANCE WITH THE REQUIREMENTS OF THE NSW WORKCOVER AUTHORITY IN RELATION TO THE REMOVAL, HANDLING AND DISPOSAL OF ALL MATERIAL CONTAINING ASBESTOS AND THE WORK SAFE AUSTRALIAN ASBESTOS CODE OF PRACTICE AND GUIDANCE NOTES.

ALL DEMOLITION WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS2601 - AS CURRENTLY AMENDED.

BUILDER SHALL MAKE GOOD ALL DISTURBED AREAS ADJACENT TO THE WORKS ON COUNCIL'S ROADS. FOOTPATHS ARE TO BE RESTORED TO THE SATISFACTION OF THE BCA.

ALL CONCRETE FOOTINGS, FLOOR SLABS, COLUMNS AND TIMBER ROOF FRAMING TO STRUCTURAL ENGINEER'S DETAILS.

ALL STORMWATER REQUIREMENTS, EXTERNAL AND DRIVEWAY LEVELS TO HYDRAULIC ENGINEER'S DETAILS.

ALL LANDSCAPED AREAS, EXISTING TREES, DRIVEWAY, DRYING YARDS AND FENCING TO LANDSCAPE ARCHITECT'S DETAILS.

DRAWINGS ARE TO BE READ IN CONJUNCTION WITH SPECIFICATIONS.

ALL MATERIALS AND COMPONENTS SHALL COMPLY WITH THE EARLY HAZARD INDEXES REQUIREMENTS OF BCA SPEC. CLAUSE 1.10.

ALL ASPECTS OF THE BUILDING WORK SHALL COMPLY WITH THE RELEVANT CURRENT PROVISIONS OF THE LOCAL GOVERNMENT REGULATIONS AND THE BUILDING CODE OF AUSTRALIA.

SETTLEMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EXCAVATION OR CONSTRUCTION WORK.

SAFETY GLASS SHALL BE USED IN EVERY GLASS DOOR OR PANEL ENCLOSED OR PARTLY ENCLOSED A SHOWER OR BATH.

ALL BATHROOMS AND WC WINDOWS TO BE INSTALLED WITH OBSCURE GLASS.

UNLESS THE DOOR IN A SANITARY COMPARTMENT SWINGS OUTWARD OR IS GREATER THAN 200MM FROM THE TOLLS SUITE, THE DOOR MUST BE INSTALLED WITH REMOVABLE LIFT-OFF HINGES.

THE REFLECTIVITY INDEX OF ALL EXTERNAL GLASS MATERIALS IS NOT TO EXCEED 20%.

PROTECTIVE MEASURES ARE REQUIRED FOR EACH TREE BEING RETAINED ON SITE AND SHALL BE ESTABLISHED BEFORE BUILDING WORKS COMMENCE, AND SHALL BE CONSTRUCTED AND MAINTAINED AS PER COUNCIL REQUIREMENTS.

PEDESTRIAN TRAFFIC AND USE OF BOUNDING PUBLIC FOOTPATHS, SPACE TO REMAIN UNOCCUPIED UNLESS SUBJECT TO SEPARATE COUNCIL APPROVAL, INCLUDING PRAM ACCESS - TO BE MAINTAINED IN ACCORDANCE WITH AS1742.3 PART 3 - TRAFFIC CONTROL DEVICES FOR WORKS ON ROADS.

AUSTRALIAN STANDARDS COMPLIANCE

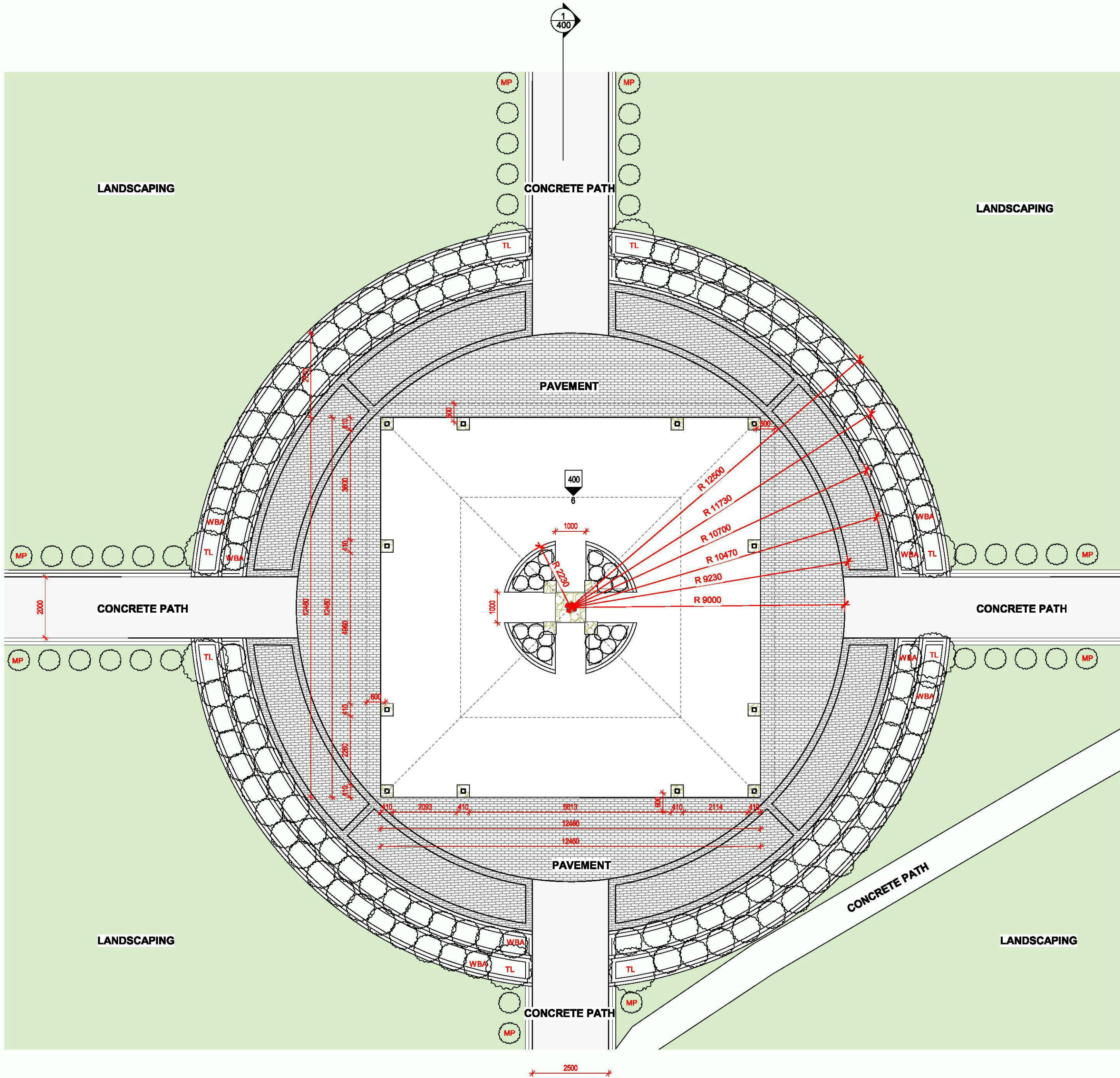
THE BUILDING WORKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS:

STANDARDS	ALUMINIUM STRUCTURES
AS/NZS 1564	COMPONENTS FOR THE PROTECTION OF OPENINGS IN FIRE RESISTANT WALLS
AS 2047	WINDOWS IN BUILDINGS - SELECTION AND INSTALLATION
AS 2327	COMPOSITE STRUCTURES
AS 2870	RESIDENTIAL SLABS AND FOOTING CONSTRUCTION
AS 3700	MASONRY STRUCTURES
AS 3013	ELECTRICAL INSTALLATIONS
AS 1688	THE USE OF MECHANICAL VENTILATION AND AIR-CONDITIONING IN BUILDINGS
AS 2441	INSTALLATION OF HOSE REELS
AS 2444	PORTABLE FIRE EXTINGUISHERS AND FIRE BLANKETS - SELECTION AND
LOCATION	SMOKE ALARMS
AS 3786	GLASS IN BUILDINGS - SELECTION AND INSTALLATION
AS 2107	ACOUSTICS - RECOMMENDED DESIGN LEVELS AND REVERBERATION TIMES
SOUND FOR	ROADS
AS 3885.1-2000	INTERIORS TENANT MANAGEMENT - NEW BUILDING WORK
AS/NZS 2885.1-2004	OFF-STREET PARKING

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILIZED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP FRENCH.
4. ALL SEDIMENT BAGS AND TRAPS SHALL BE CLEARED WHEN THE STRUCTURES ARE A MAXIMUM OF 50% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SHEET DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPERLY OR APPROVED EQUIVALENT) BETWEEN POST AT 30m CENTRES. FABRIC SHALL BE BURIED 100mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

AREA CALCULATIONS	
SITE DETAILS	
LOT NUMBER	2
DP NUMBER	DP 1176624
SITE AREA	79,459.576 m <sup>2</sup>
COVERED SHRINE AREA (MEASURED TO INTERNAL SQUARE BOUNDARY)	
SHRINE	155.25 m <sup>2</sup>
TOTAL COVERED AREA	155.25 m <sup>2</sup>
DEVELOPMENT SUMMARY	
BUILDING HEIGHT	8.6 m
PROPOSED	8.6 m



1 GROUND FLOOR / CONCEPT LANDSCAPE PLAN  
1 : 100



MURRAYA PANICULATA



WESTRINGIA 'AUSSIE BOX'



TRISTIANIOPSIS LAURINA


PROPOSED PLANTING LEGEND

CODE	BOTANIC NAME	COMMON NAME	HEIGHT
MP	MURRAYA PANICULATA	ORANGE JESSAMINE	200mm
WAB	WESTRINGIA 'AUSSIE BOX'	COASTAL ROSEMARY	850mm
TL	TRISTIANIOPSIS LAURINA	WATER GUM	2.5M

STATUS

PRELIMINARY

REV	DESCRIPTION	DATE	BY
A	PRELIM ISSUE	21.11.2017	KG
B	DA ISSUE	01.12.2017	KG

<div>NORTH</div> <div></div>	CLIENT	WOLLEMI COLLEGE		DRAWING TITLE	GROUND FLOOR PLAN	
	ADDRESS	11 GIPPS ST WERRINGTON NSW 2747				
PROJECT No.	PROJECT	SHRINE		SCALE (@A1)	As indicated	DATE ISSUED 01.12.2017
17025	THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.			DRAWING No.	DA- 200	REV


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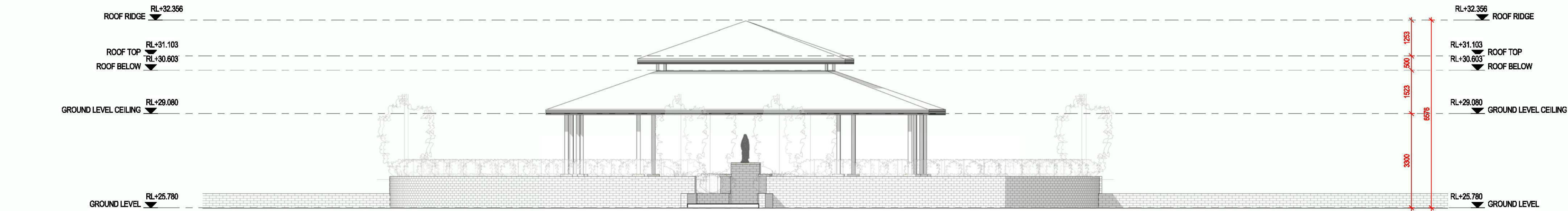
STATUS

PRELIMINARY

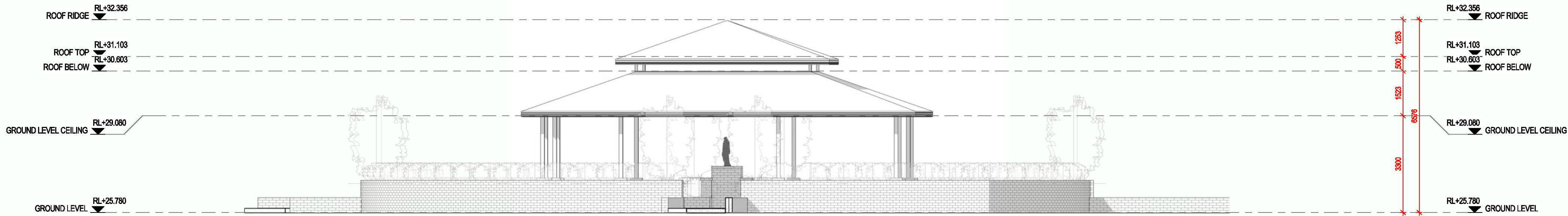
REV	DESCRIPTION	DATE	BY
A	PRELIM ISSUE	21.11.2017	KG
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NORTH 	CLIENT	WOLLEMI COLLEGE
	ADDRESS	11 GIPPS ST WERRINGTON NSW 2747
PROJECT No.	PROJECT	SHRINE
17025	<p>THE CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORK OR MAKING OF ANY SHOP DRAWINGS. FIGURED DIMENSIONS MUST BE USED IN PREFERENCE TO SCALING. SCALED DIMENSIONS MUST BE VERIFIED ON SITE. THIS DRAWING IS COPYRIGHT AND REMAINS THE PROPERTY OF THE ARCHITECT.</p>	

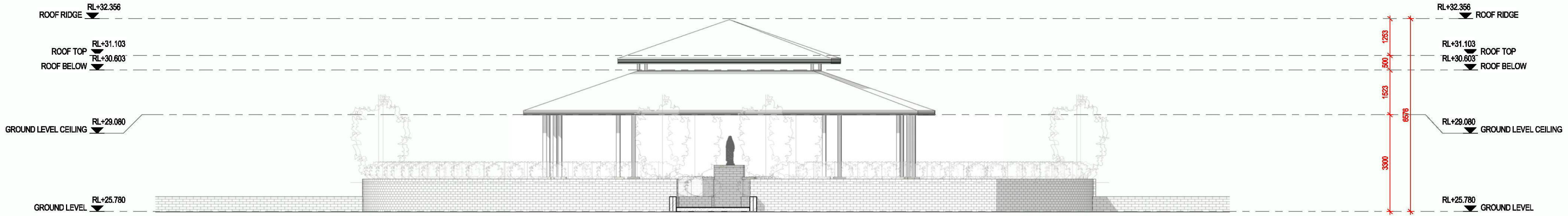
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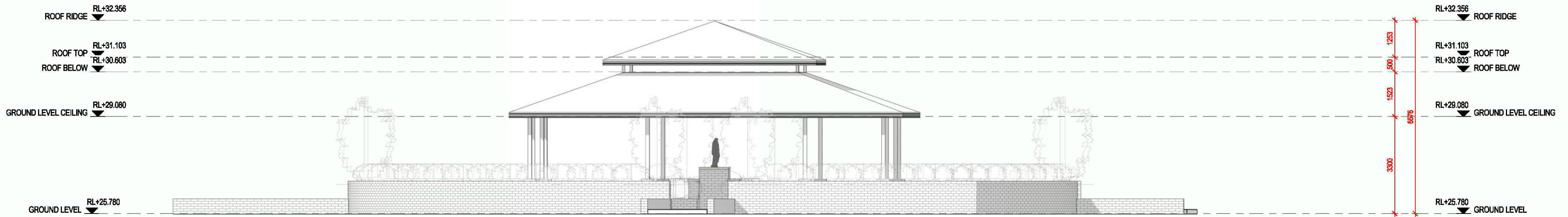
1 NORTH ELEVATION  
1 : 100



2 EAST ELEVATION  
1 : 100



3 SOUTH ELEVATION  
1 : 100



4 04 WEST ELEVATION  
1 : 100

EXTERNAL FINISHES LEGEND			
C	OFF-FORM CONCRETE	RW	RENDERED WALL
BW	BLOCK WALL	SB	STEEL BALUSTRADE
CF	CONCRETE FLOOR	SG	STEEL GATE
FB	FACE BRICK	SC	STONE CLADDING
FG	FIXED GLASS	SF	STEEL FENCE
FS	FIXED SCREEN	SG	SLIDING GLASS
GB	GLASS BALUSTRADE	SK	SKYLIGHT
GL	GLASS LOUVRE	TA	TIMBER AWNING
GR	GRAVEL / GREEN ROOF	TD	TIMBER DECK
LC	LEIGHTWEIGHT	TF	TIMBER FENCE
MC	CLADDING	TI	TILED FLOOR
MD	METAL CLADDING	TS	TIMBER SCREEN
ML	METAL DOOR	TW	TILED WALL
MR	METAL LOUVRES	TG	TRANSLUSCENT GLASS
	METAL ROOF		