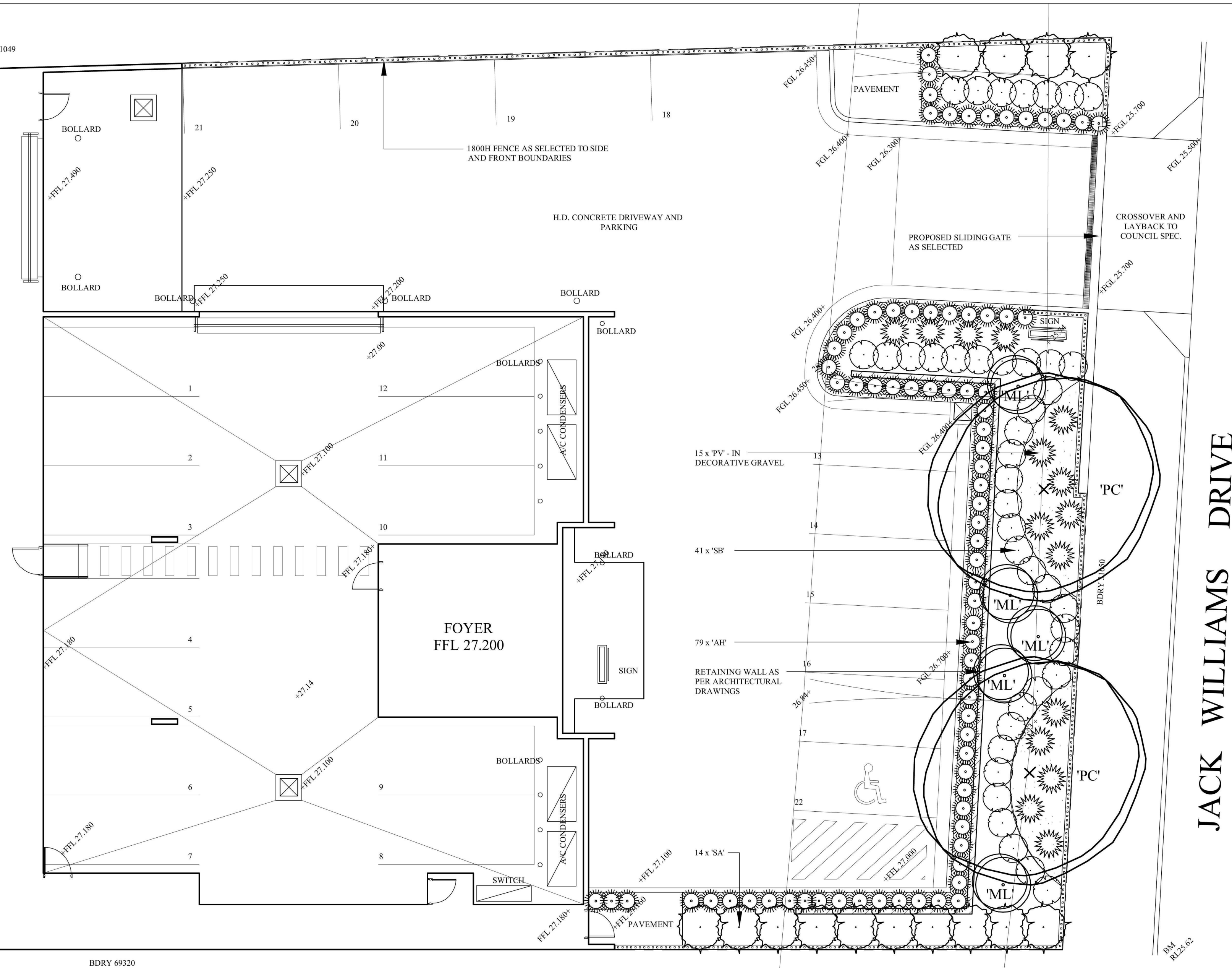


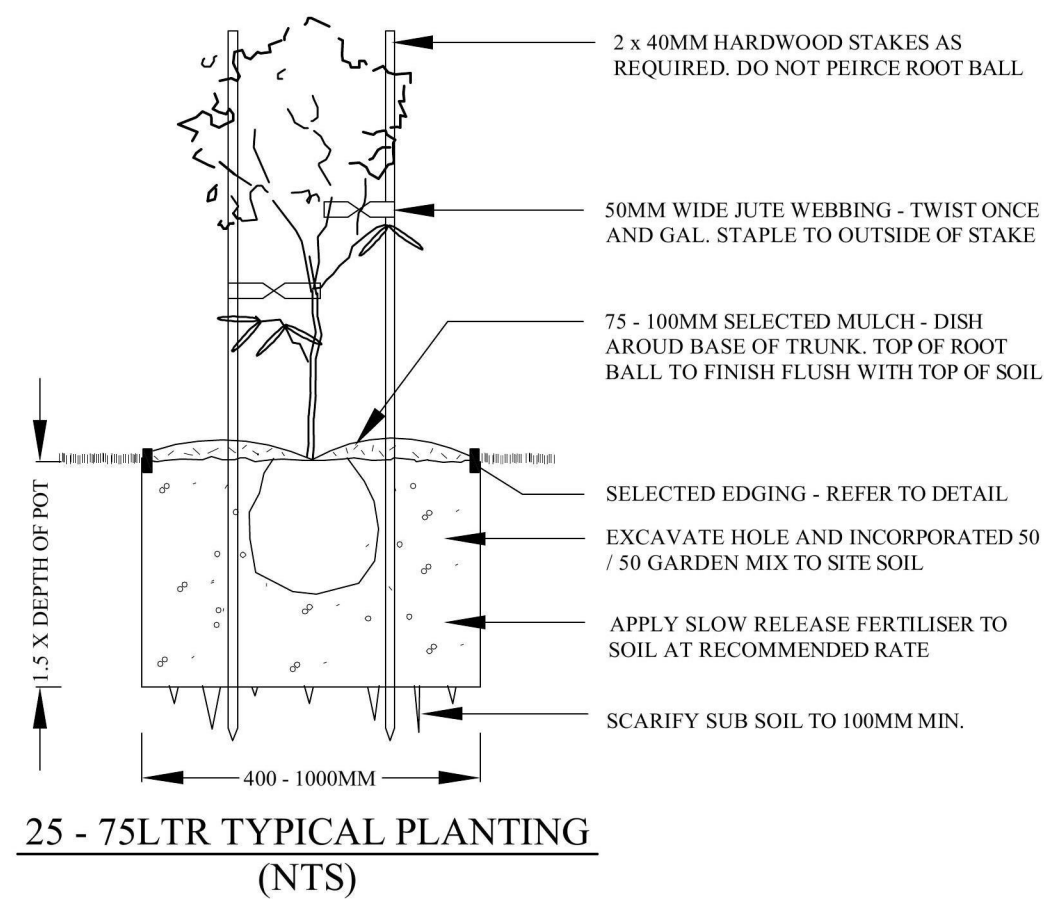
FFL 27.500



STREET TREES AND TURF TO BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE TO TURF AND STREET TREE TO BE RECTIFIED AS PART OF THE LANDSCAPE WORKS

- * GLAZED OR POLISHED PLANTING HOLES, PARTICULARLY IN CLAY SHOULD BE AVOIDED.
- * PLANTS SHOULD BE PLANTED STRAIGHT, WITH THE TOP OF THE ROOT BALL LEVEL WITH OR SLIGHTLY LOWER THAN THE SURFACE OF THE SOIL.
- * PLANTS SHOULD BE WATERED AS SOON AS POSSIBLE AFTER PLANTING.
- * PLANTING SHOULD BE AVOIDED AT THE HEIGHT OF SUMMER (DECEMBER - JANUARY)
- * PLANTS SHOULD BE WATERED AT LEAST WEEKLY FOR SIX WEEKS TO AID ESTABLISHMENT. WATER SHOULD BE REDUCED AFTER SIX WEEKS.
- * IF A FERTILISER IS TO BE APPLIED, A SLOW RELEASE 8 - 9 MONTH PLANT FOOD WOULD BE APPROPRIATE, AT A RATE OF 5 - 10 GRAMS PER PLANT.
- * ONLY SPECIES WITHIN THE LANDSCAPE PLAN SHOULD BE PLANTED. PERMISSION SHOULD BE SOUGHT BEFORE ALTERING THE PLANT SPECIES LIST.
- * STOCK SHOULD BE FREE OF PESTS, DISEASE AND WEEDS. PLANTS SHOULD BE ACTIVELY GROWING.
- * ONLY SPECIES WITHIN THE LANDSCAPE PLAN SHOULD BE USED.
- * REPLACEMENT PLANTS SHOULD BE MADE AVAILABLE FOR ANY LOSSES OF PLANT STOCK THAT MAY OCCUR FOR A MINIMUM 12 MONTH PERIOD.
- * WEEDS SHOULD BE REMOVED ON A FORTNIGHTLY BASIS.
- * PEST OR DISEASE SAMPLES TO THE LOCAL NURSERY FOR IDENTIFICATION AND APPROPRIATE REMEDY.

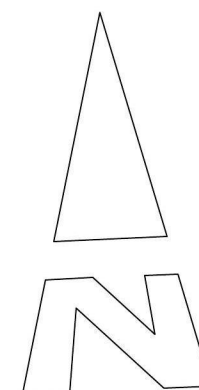
* - NATIVE SPECIES

ALL LEVELS AS
DETERMINED BY OTHERS

- * LANDSCAPE CONTRACTOR TO CHECK CERTIFICATION LETTER AND STAMPED LANDSCAPE PLAN BEFORE COMMENCING WORKS TO ENSURE NO ADDITIONS / AMENDMENTS TO PLAN
- * MINIMUM OF 10% GARDEN MIX TO BE USED
- * MULCH PLANTED BEDS TO BE A MINIMUM DEPTH OF 70MM AS SELECTED
- * CONTRACTORS RESPONSIBILITY TO CHECK AND ADJUST SOIL PH TO REQUIRE
- * PROVIDE TIMBER EDGING AS A MINIMUM BENEATH FENCING / GATES TO DEFINE TURF AND GARDEN BEDS / PATHWAYS. EDGING TO BE PROVIDED TO ALL AREAS WHERE DIFFERING MATERIALS MEET, IE TURF / GARDEN BEDS, DRIVE / DRIVEWAY
- * WIEDMATT BENEATH GRAVEL PATHWAYS SUGGESTED
- * ALL PLANTS TO BE HEALTHY AND VIGOROUS
- * BUFFALO TURF SUGGESTED
- * GARDEN BEDS IN ODS BASIN TO CONSIST OF NON PERISHABLE DRY TOAST LEVEL
- * CONTRACTORS RESPONSIBILITY TO MAKE GOOD TURF ON NATURE STRIP AFTER CONSTRUCTION
- * REFER TO HYDRAULICS PLAN FOR ODS DETAILS
- * DO NOT SCALE ARCHITECTURALS OFF DRAWING
- * FENCING TO BE APPROXIMATELY 1.8M ONLY
- * SITE SURVEY PROVIDED BY OTHERS

*ALL PATHWAYS, LANDSCAPING, FENCING TO BE COMPLETED BY OWNERS UNLESS NOTED OTHERWISE WITHIN TENDER. ALL ITEMS NOTED WITHIN ARE TO BE COMPLETED IN ACCORDANCE WITH THE ESTATE AND / OR COUNCIL GUIDELINES TO THE SATISFACTION OF THE PRINCIPLE CERTIFYING AUTHORITY. MONACO DESIGNS PL RESERVES THE RIGHT NOT TO UNDERTAKE NOR SUPPLY LANDSCAPE CERTIFICATION FOR OCCUPATION CERTIFICATE OR 12 MONTH LANDSCAPE CERTIFICATION FOR RELEASE OF BOND HELD BY COUNCIL WHEN APPLICABLE

NOTE: TO AID COMPLIANCE WITH BASIC LEGISLATION - PLANTS (WHERE APPLICABLE) HAVE BEEN SELECTED FROM THE LOCAL CITY COUNCIL / SHIRE PLANT LIST.
NOTE: LOCATION OF SEWER MAINS / LINES, WATER PIPES, UNDERGROUND ELECTRICITY AND OTHER SERVICES MUST BE OBTAINED PRIOR TO COMMENCEMENT OF ANY WORK ON SITE. DIAL BEFORE YOU DIG 1100.
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CONTRACTORS NOTE: CALCULATED AREAS DETERMINED BY CAD AND HAVE BEEN ROUNDED UP FOR USE AS A GUIDE ONLY. ALLOW FOR STANDARD PERCENTAGE FOR CUTTING AND WASTAGE. CONTRACTOR TO CONFIRM DIMENSIONS PRIOR TO QUOTING / ORDERING.



17 JULY 13 - AMEND PLANT SPECIES



MONACO
DESIGNS PL

14 York Street, Glenbrook NSW, 2773
ph & fax: 0247395136 mb: 0409123200
email: paul@monaco.net.au

PROJECT:
PROPOSED DEVELOPMENT

ADDRESS:
LOT 34 JACK WILLIAMS DRIVE
PENRITH

CLIENT:
CREST OFFICE INTERIORS

TITLE:
LANDSCAPE CONCEPT

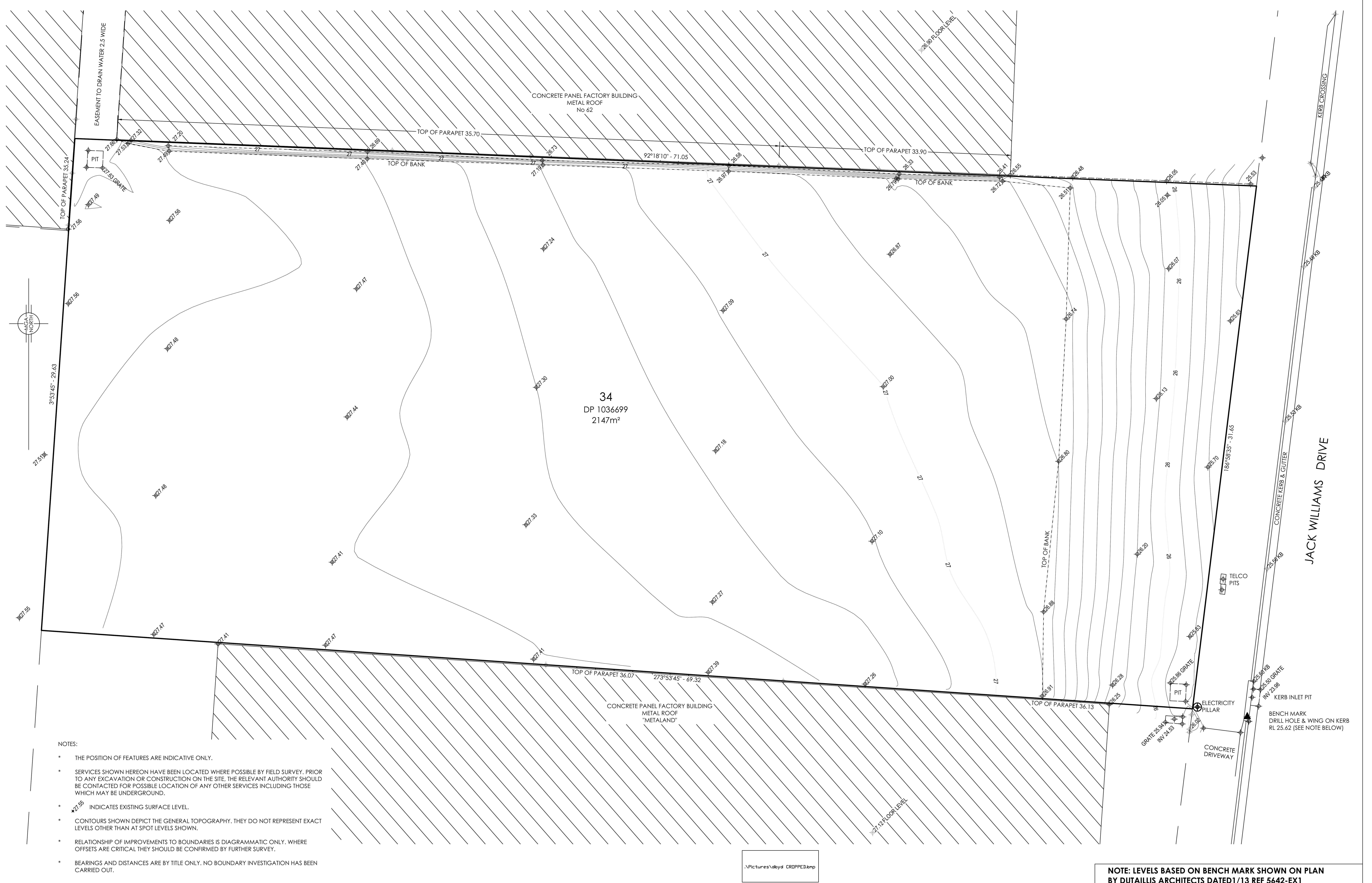
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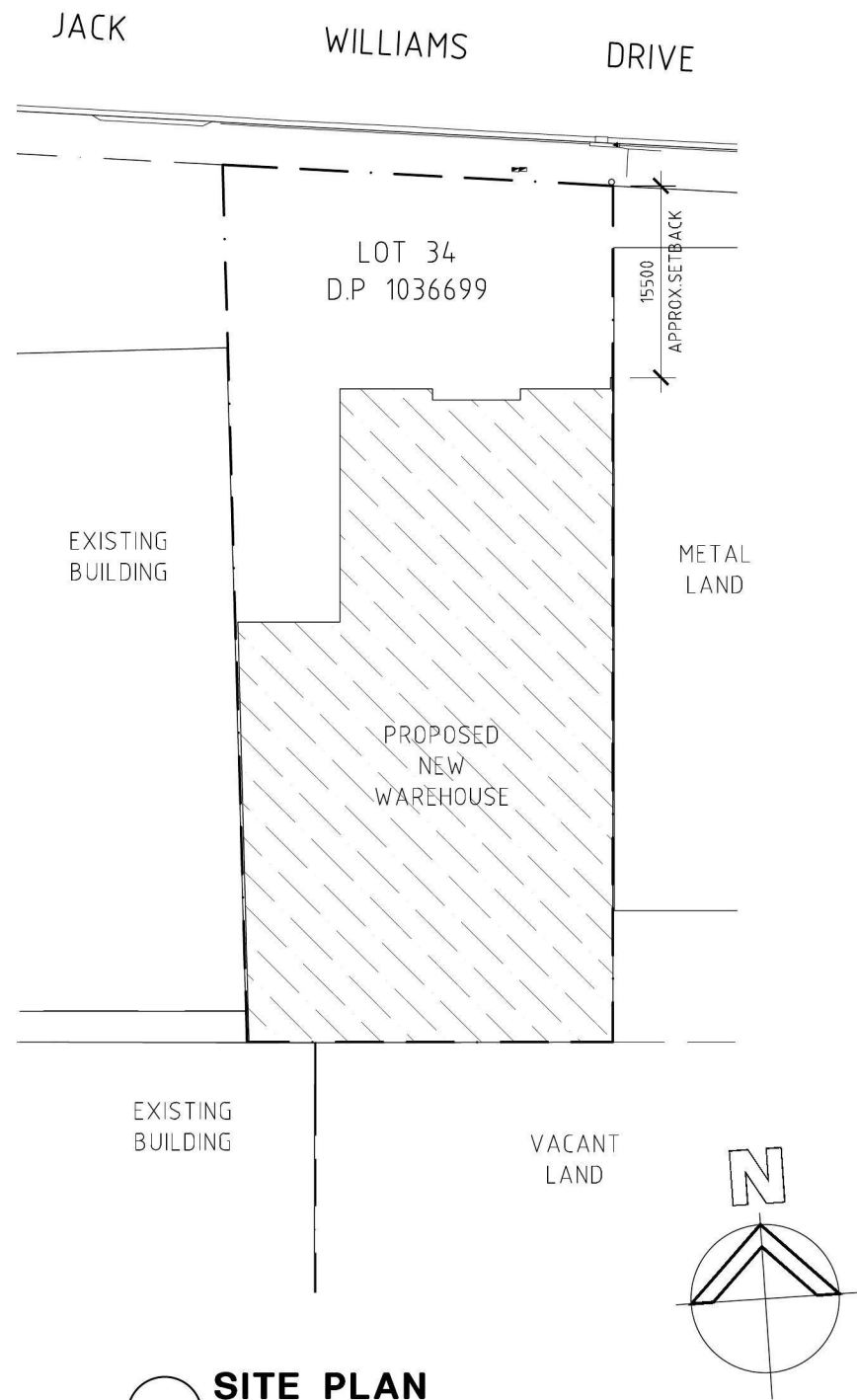


MEMBER AUSTRALIAN INSTITUTE
LANDSCAPE DESIGNERS
AND MANAGERS LTD
Bachelor of Horticultural Science (Landscape)
Bushland Regeneration
Arboriculture



- NOTES:
- * THE POSITION OF FEATURES ARE INDICATIVE ONLY.
 - * SERVICES SHOWN HEREON HAVE BEEN LOCATED WHERE POSSIBLE BY FIELD SURVEY. PRIOR TO ANY EXCAVATION OR CONSTRUCTION ON THE SITE, THE RELEVANT AUTHORITY SHOULD BE CONTACTED FOR POSSIBLE LOCATION OF ANY OTHER SERVICES INCLUDING THOSE WHICH MAY BE UNDERGROUND.
 - * $\times 27.55$ INDICATES EXISTING SURFACE LEVEL.
 - * CONTOURS SHOWN DEPICT THE GENERAL TOPOGRAPHY. THEY DO NOT REPRESENT EXACT LEVELS OTHER THAN AT SPOT LEVELS SHOWN.
 - * RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES IS DIAGRAMMATIC ONLY. WHERE OFFSETS ARE CRITICAL THEY SHOULD BE CONFIRMED BY FURTHER SURVEY.
 - * BEARINGS AND DISTANCES ARE BY TITLE ONLY. NO BOUNDARY INVESTIGATION HAS BEEN CARRIED OUT.

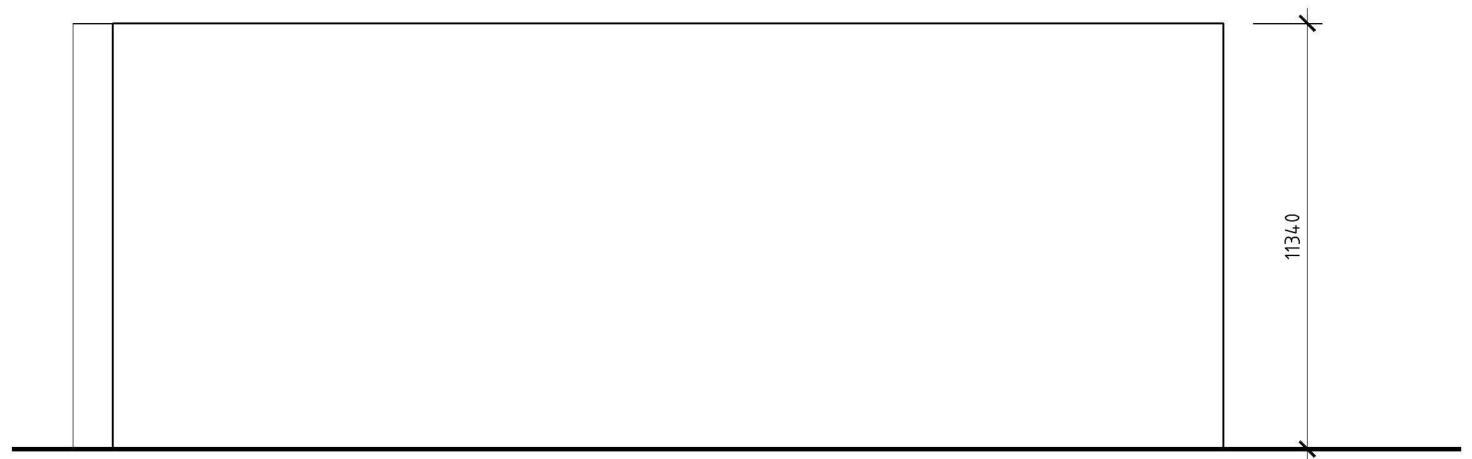
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SITE PLAN
NOT TO SCALE



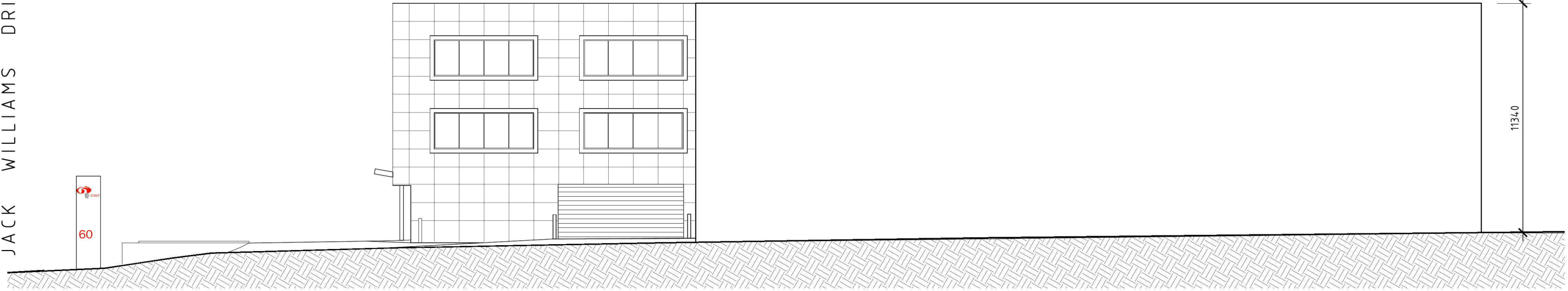
EAST (JACK WILLIAMS DRIVE) ELEVATION
SCALE 1:200



WEST ELEVATION
SCALE 1:200

			NOTIFICATION PLAN	LOT 34 D.P 1036699 JACK WILLIAMS DRIVE PENRITH NSW 2750	CREST OFFICE INTERIORS	
A/MR	ISSUE FOR DEVELOPMENT APPLICATION	05/07/13	NEW WAREHOUSE OFFICE & SHOWROOM			SHEET SIZE: A3
Rev # Drawn	Revision Description	Date			5642-NOTIFICATION-1/2	

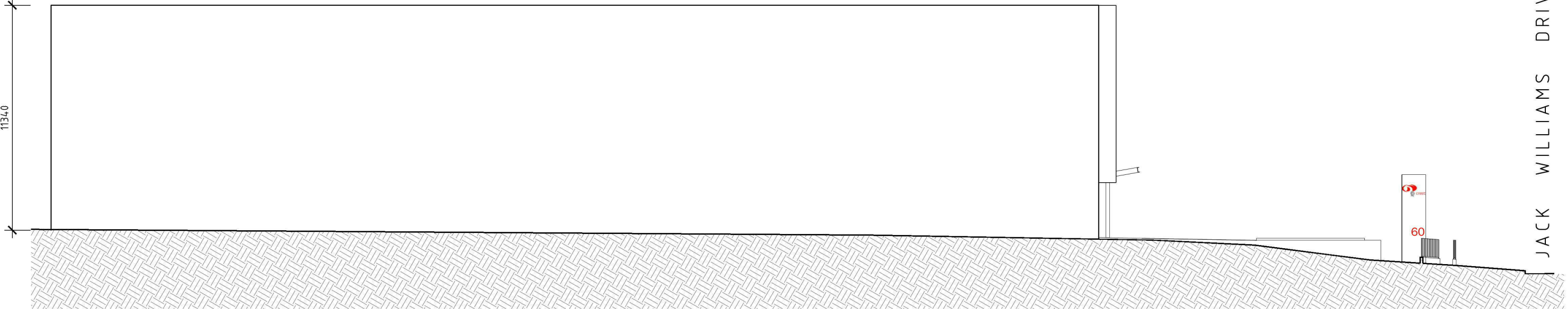
JACK WILLIAMS DRIVE



NORTH ELEVATION

SCALE 1:200

11340



SOUTH ELEVATION

SCALE 1:200

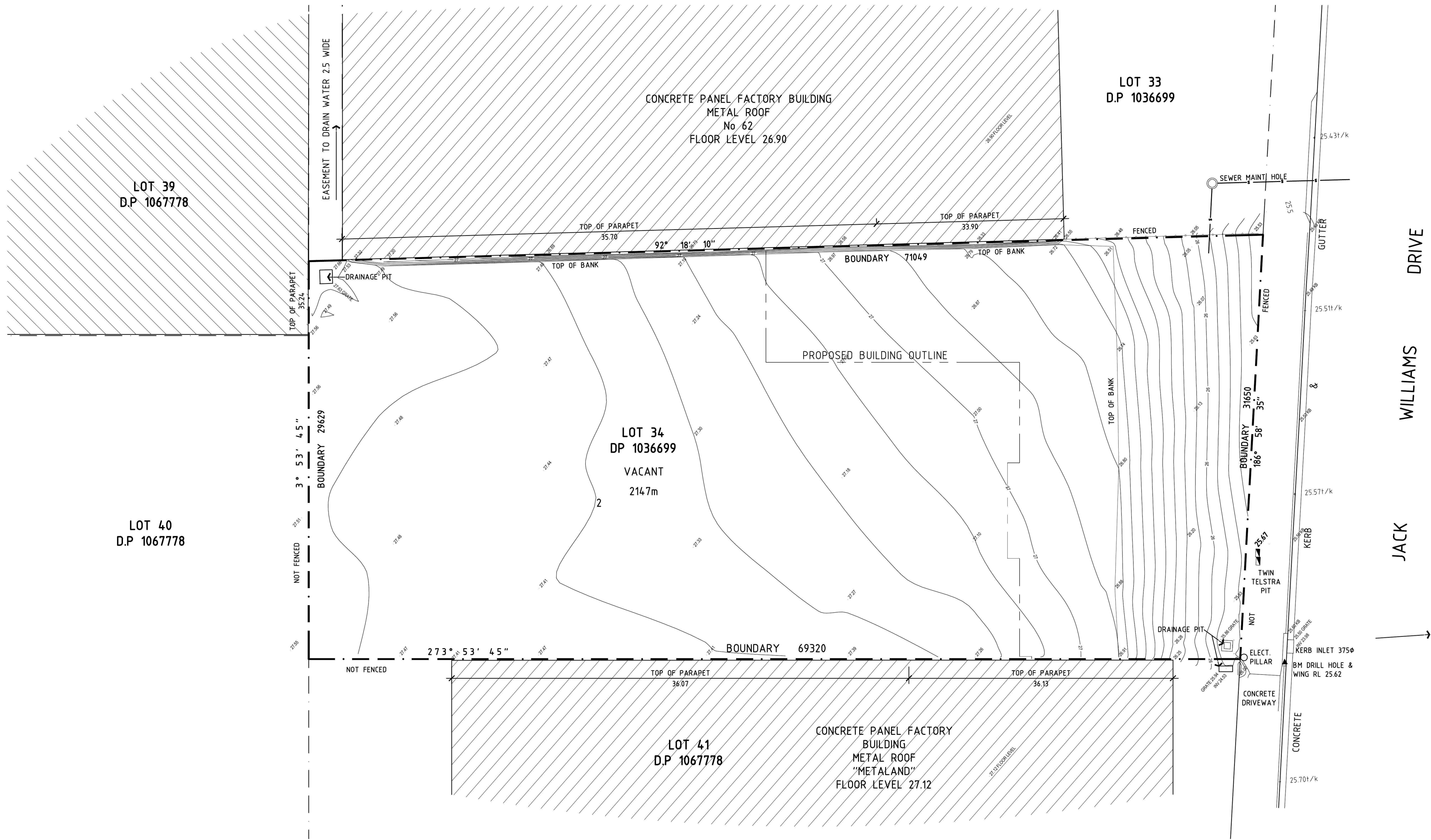
JACK WILLIAMS DRIVE

			NOTIFICATION PLAN	LOT 34 D.P 1036699 JACK WILLIAMS DRIVE PENRITH NSW 2750	CREST OFFICE INTERIORS		
					NEW WAREHOUSE OFFICE & SHOWROOM	SHEET SIZE: A3	
A/MR	ISSUE FOR DEVELOPMENT APPLICATION	05/07/13				5642-NOTIFICATION-2/2	
Rev # Drawn	Revision Description	Date					

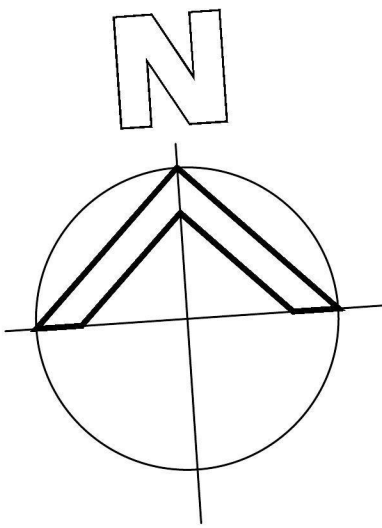
SURVEY DETAILS FROM

MATTHEW FREEBURN
LAND, ENGINEERING & MINING SURVEYOR
SUITE 2, FIRST FLOOR, "SURVEYOR HOUSE"
2 CASTLEREAGH STREET
PENRITH 2750

Telephone 02 4721 2289
Fax 02 4721 5646
email a.dean@freeburnsurveyors.com
or matthew@freeburnsurveyors.com



1 SITE PLAN
SCALE 1:200



Rev #	Revision Description	Date	Rev #	Revision Description	Date
B/MR	ISSUE FOR DEVELOPMENT APPLICATION	05/07/13			
A/MR	ISSUE FOR DEVELOPMENT APPLICATION	20/05/13			

SITE PLAN
EXISTING

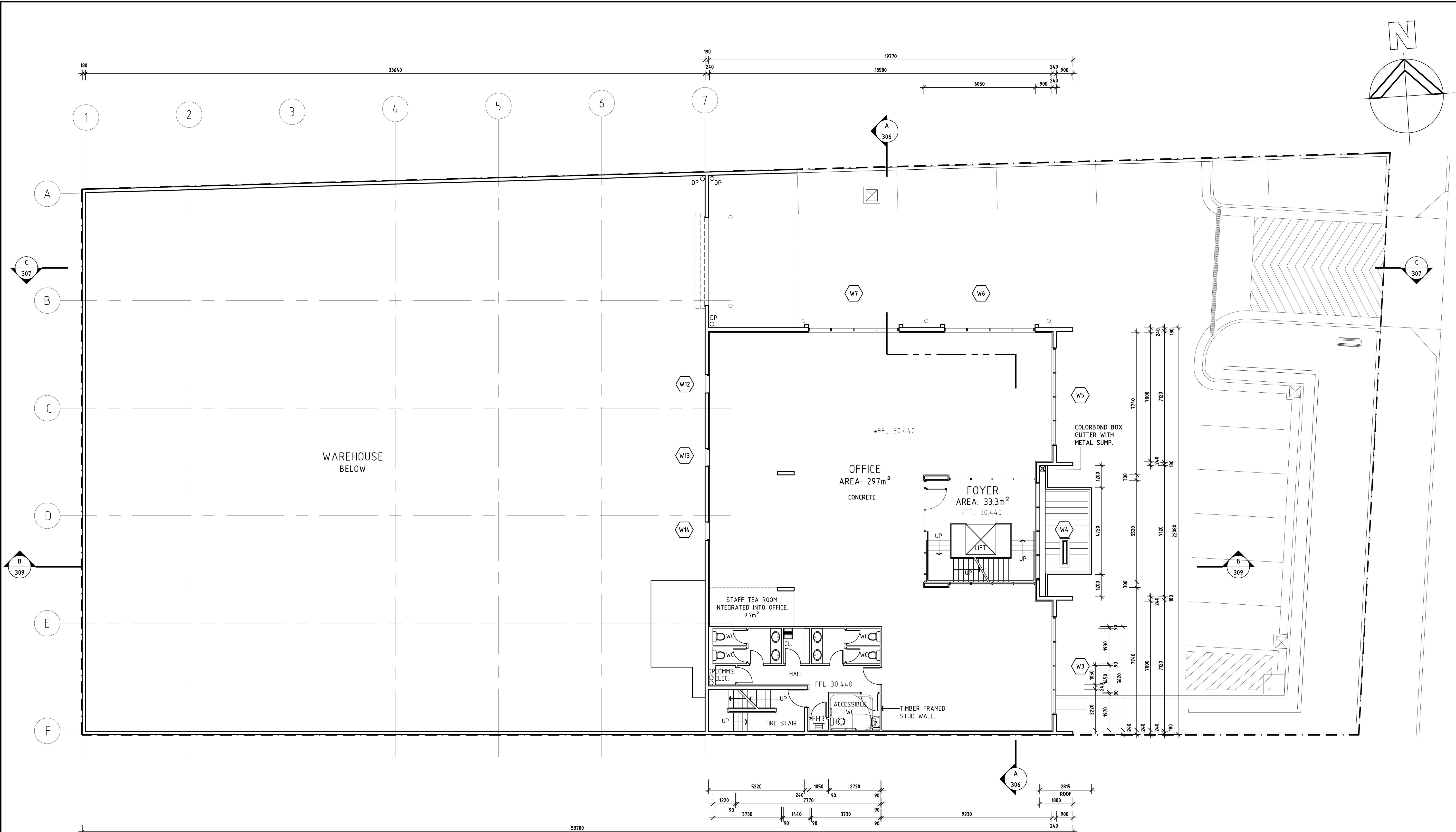
NEW WAREHOUSE
OFFICE & SHOWROOM

LOT 34 D.P. 1036699
JACK WILLIAMS DRIVE
PENRITH NSW 2750



Figured dimensions shall be used in preference to scaling of drawings.
Builder to check and verify all levels datum and dimensions on the job.
Conflicting information shall be brought to the Architects notice before
proceeding with any work. All materials and workmanship to be in strict
accordance with current manufacturers printed instructions, local
regulations and SAA Codes. Drawings subject to copyright and may not be
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LIMITED PO BOX 1009 95 CLIFFORD STREET GOULBURN NSW 2580 588 180 185 16 437 16 438 16 439 16 440 16 441 16 442 16 443 16 444 16 445 16 446 16 447 16 448 16 449 16 450 16 451 16 452 16 453 16 454 16 455 16 456 16 457 16 458 16 459 16 460 16 461 16 462 16 463 16 464 16 465 16 466 16 467 16 468 16 469 16 470 16 471 16 472 16 473 16 474 16 475 16 476 16 477 16 478 16 479 16 480 16 481 16 482 16 483 16 484 16 485 16 486 16 487 16 488 16 489 16 490 16 491 16 492 16 493 16 494 16 495 16 496 16 497 16 498 16 499 16 500 16 501 16 502 16 503 16 504 16 505 16 506 16 507 16 508 16 509 16 510 16 511 16 512 16 513 16 514 16 515 16 516 16 517 16 518 16 519 16 520 16 521 16 522 16 523 16 524 16 525 16 526 16 527 16 528 16 529 16 530 16 531 16 532 16 533 16 534 16 535 16 536 16 537 16 538 16 539 16 540 16 541 16 542 16 543 16 544 16 545 16 546 16 547 16 548 16 549 16 550 16 551 16 552 16 553 16 554 16 555 16 556 16 557 16 558 16 559 16 560 16 561 16 562 16 563 16 564 16 565 16 566 16 567 16 568 16 569 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1 PROPOSED FIRST FLOOR PLAN
SCALE 1:100

NOTES:

THE CONTRACTOR IS TO ENSURE THAT ALL WORKS FULLY COMPLY WITH ALL RELEVANT BUILDING CODE OF AUSTRALIA REQUIREMENTS, AUSTRALIAN STANDARDS AND REGULATORY AUTHORITY REQUIREMENTS

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E/MR	ISSUE FOR DEVELOPMENT APP	05/07/13			
D/MR	ISSUE FOR DISCUSSION	17/06/13			
C/MR	ISSUE FOR DISCUSSION	11/06/13			
B/MR	ISSUE FOR DISCUSSION	23/05/13			
A/AMR	ISSUE FOR DISCUSSION	17/05/10			
Rev #	Revision Description	Date	Rev #	Revision Description	Date
Drawn			Drawn		

FIRST FLOOR PLAN
PROPOSED

NEW WAREHOUSE
OFFICE & SHOWROOM

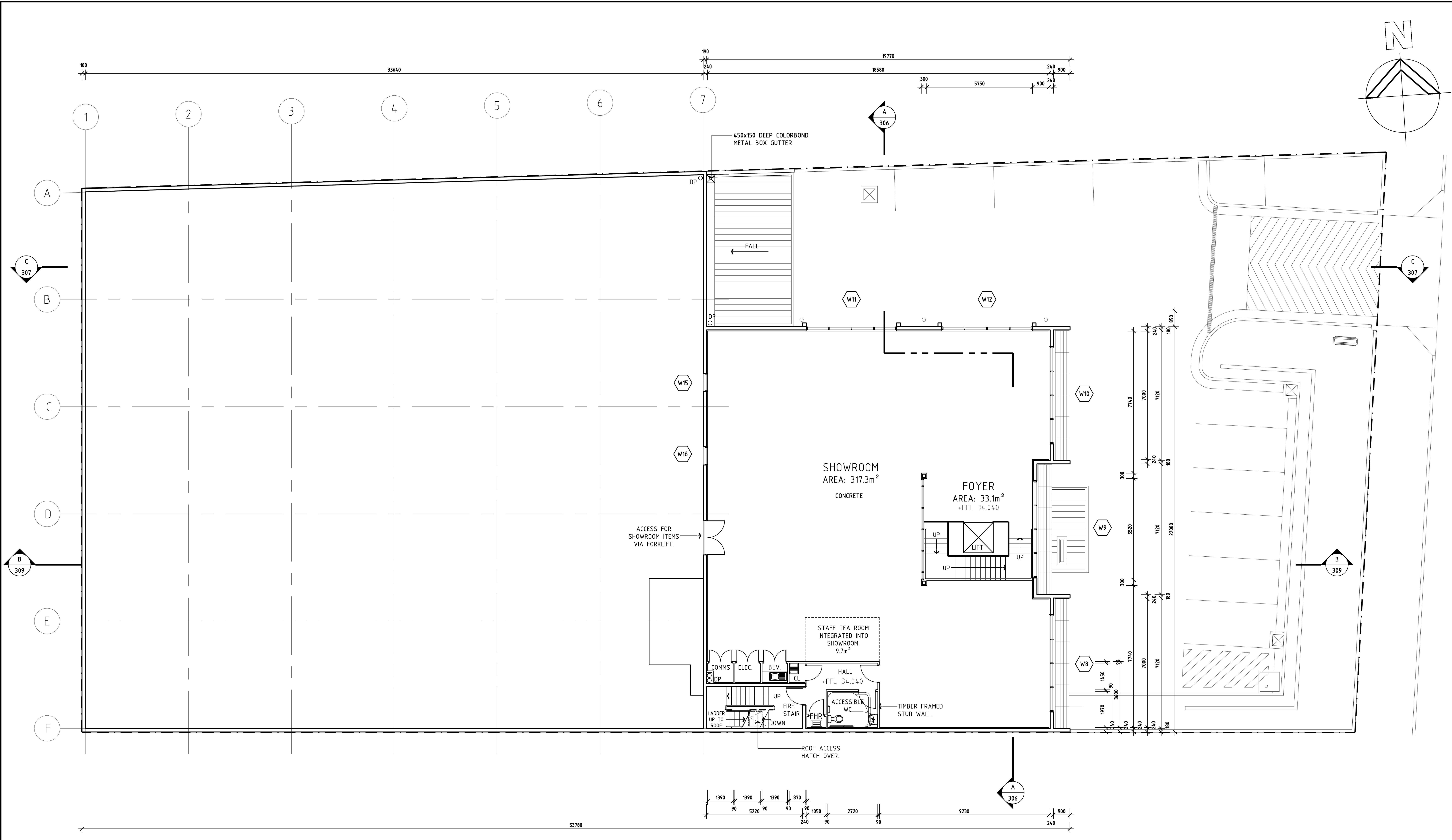
LOT 34 D.P. 1036699
JACK WILLIAMS DRIVE
PENRITH NSW 2750



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ABN: 32 116 014 567
SIR JAMES W. GIBSON, ARCHITECT, NO. 2334 Q3-MQV-REG. NO. 4485

CM ON ORIGINAL	DRAWING SHEET SIZE = A1
Drawn AMR	Checked
Scale SAS	Drawing Number 5642-303
Date 01/13	Rev No E



1 PROPOSED SECOND FLOOR PLAN
SCALE 1:100

NOTES:

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E/MR	ISSUE FOR DISCUSSION	17/06/13			
D/MR	ISSUE FOR DISCUSSION	11/06/13			
C/MR	ISSUE FOR DISCUSSION	28/05/13			
B/AMR	ISSUE FOR DISCUSSION	23/05/13			
A/AMR	ISSUE FOR DISCUSSION	17/05/10	F/MR	ISSUE FOR DEVELOPMENT APP	05/07/13
Rev #	Revision Description	Date	Rev #	Revision Description	Date
Drawn			Drawn		

SECOND FLOOR PLAN
PROPOSED

NEW WAREHOUSE
OFFICE & SHOWROOM

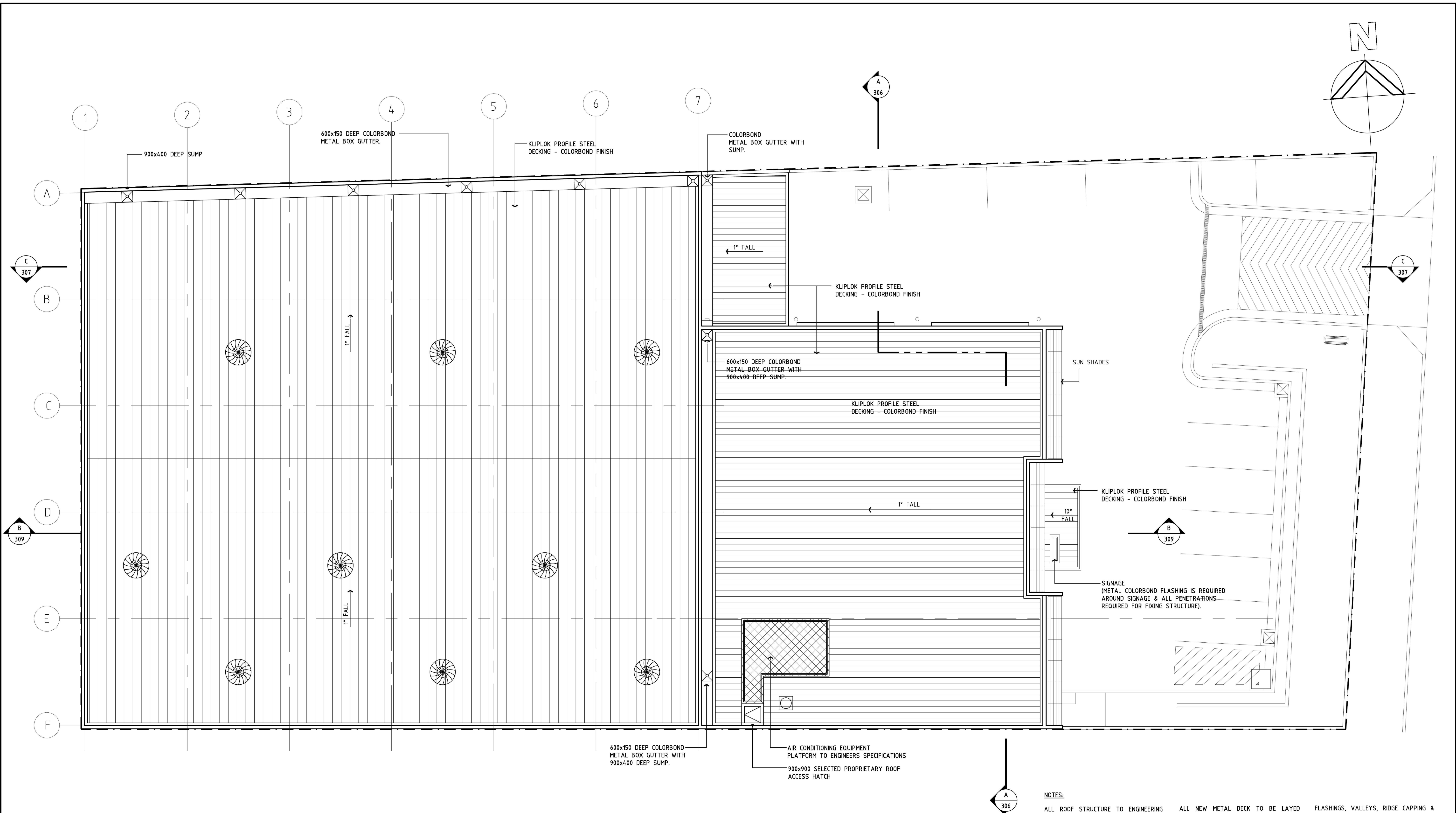
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CM ON ORIGINAL	DRAWING SHEET SIZE = A1
Drawn AMR	Checked
Scale SAS	Drawing Number 5642-304
Date 01/13	Rev No F



1 PROPOSED ROOF PLAN
SCALE 1:100

NOTES:

ALL ROOF STRUCTURE TO ENGINEERING DRAWINGS.

NEW METAL DECK ROOFING TO BE 0.488MT KLIP-LOC HI-TEN METAL DECK (COLORBOND FINISH).

ALL NEW METAL DECK TO BE LAYED OVER 50mm INSULATION BLANKET, SISALATION & SAFETY MESH.

ALL NEW METAL DECK ROOFING TO BE 0.488MT KLIP-LOC HI-TEN METAL DECK (COLORBOND FINISH).

ALL SISALATION TO BE LAPPED 150mm & TAPED.

FLASHINGS, VALLEYS, RIDGE CAPPING & OTHER METAL ROOFING PRODUCTS ARE TO BE 0.608MT COLORBOND STEEL OR SIMILAR. GENERALLY LAP ALL FLASHINGS 150mm OVER METAL DECK.

GENERAL NOTES:

THE CONTRACTOR IS TO ENSURE THAT ALL WORKS FULLY COMPLY WITH ALL RELEVANT BUILDING CODE OF AUSTRALIA REQUIREMENTS, AUSTRALIAN STANDARDS AND REGULATORY AUTHORITY REQUIREMENTS

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C/MR	ISSUE FOR DISCUSSION	11/06/13			
B/MR	ISSUE FOR DISCUSSION	23/05/13			
A/MR	ISSUE FOR DISCUSSION	20/05/13			
Rev #	Revision Description	Date	Rev #	Revision Description	Date
Drawn			Drawn		

ROOF PLAN
PROPOSED

NEW WAREHOUSE
OFFICE & SHOWROOM

LOT 34 D.P. 1036699
JACK WILLIAMS DRIVE
PENRITH NSW 2750



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A/N: 32 116 014 567
SIR JAMES W. DUTAILLIS, ARCHT. (NSW) 10 235-03-160-165-16 485

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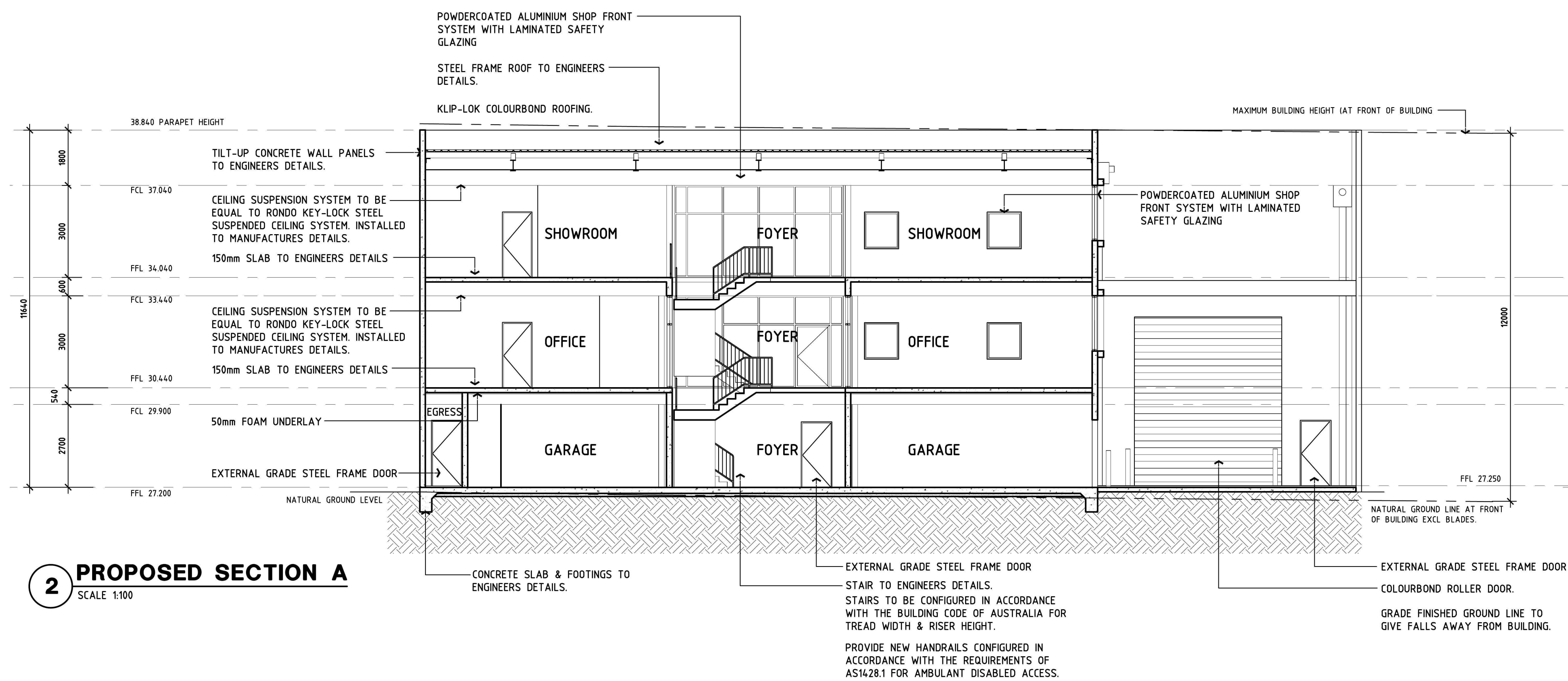
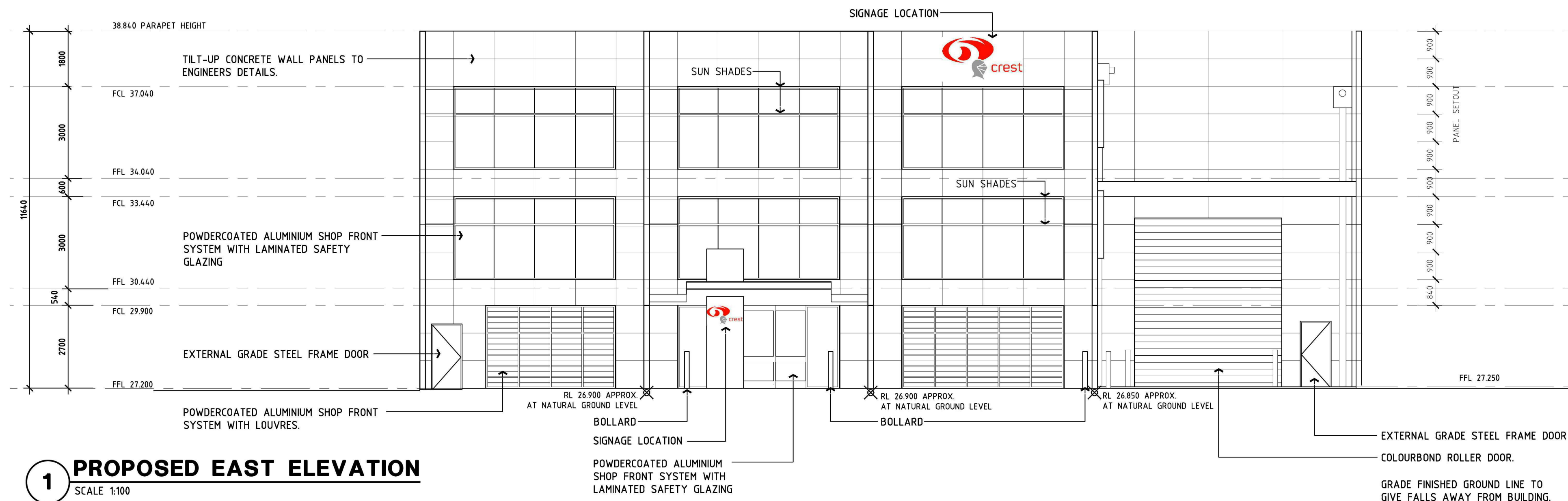
Drawn
AMR

Scale
SAS

Checked
Drawing Number
5642-305

Date
01/13

Rev No
E



NOTES:

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D/MR	ISSUE FOR DISCUSSION	11/06/13			
C/MR	ISSUE FOR DISCUSSION	29/05/13			
B/MR	ISSUE FOR DISCUSSION	28/05/13			
A/MR	ISSUE FOR DISCUSSION	20/05/13	F/MR	ISSUE FOR DEVELOPMENT APP	05/07/13
Rev #	Revision Description	Date	Rev #	Revision Description	Date
Drawn			Drawn		

**ELEVATIONS & SECTIONS
PROPOSED**

**NEW WAREHOUSE
OFFICE & SHOWROOM**

LOT 34 D.P. 1036699
JACK WILLIAMS DRIVE
PENRITH NSW 2750

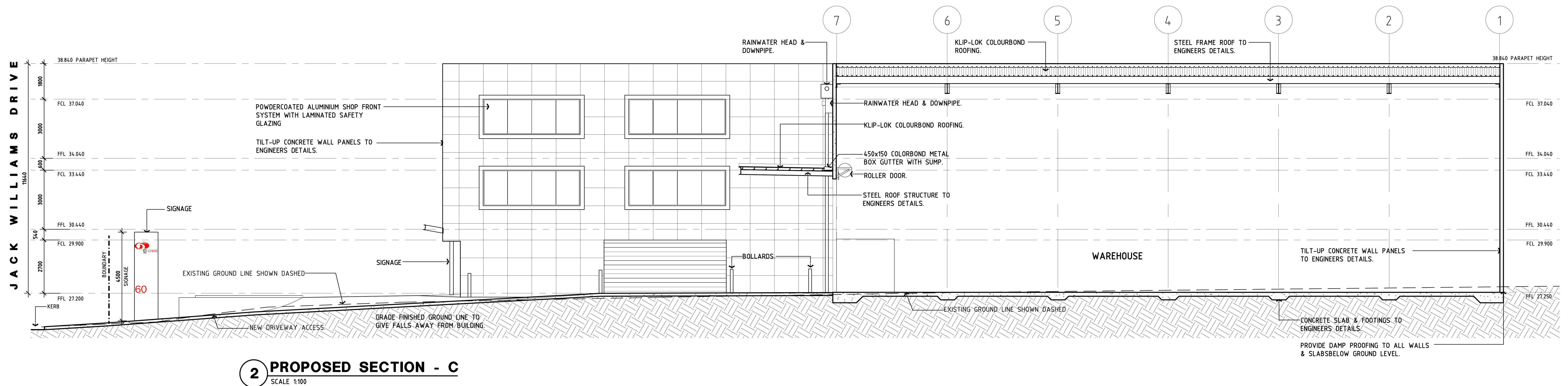
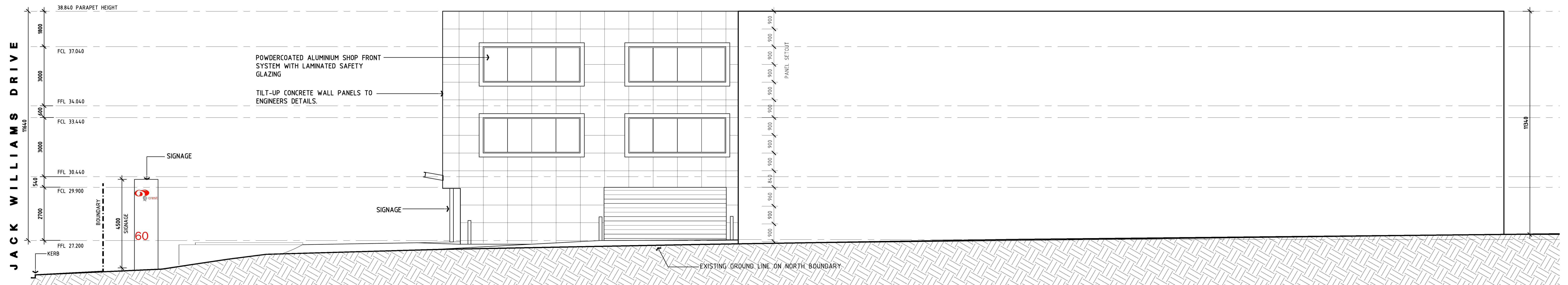


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SIR JAMES W. 437, 471, 482, 483, 484, 485

CM ON ORIGINAL	DRAWING SHEET SIZE = A1
Drawn AMR	Checked
Scale SAS	Drawing Number 5642-306
Date 01/13	Rev No F



NOTES:

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C/MR	ISSUE FOR DISCUSSION	11/06/13			
B/MR	ISSUE FOR DISCUSSION	29/05/13			
A/MR	ISSUE FOR DISCUSSION	15/04/13			
Rev #	Revision Description	Date	Rev #	Revision Description	Date
Drawn			Drawn		

ELEVATIONS & SECTIONS
PROPOSED

NEW WAREHOUSE
OFFICE & SHOWROOM

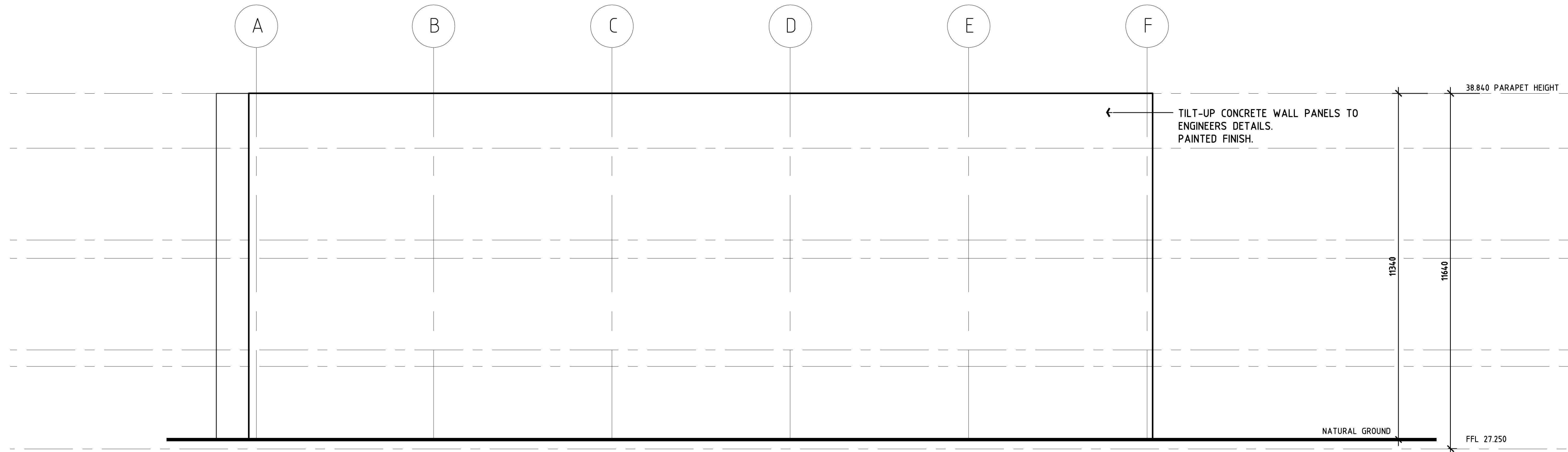
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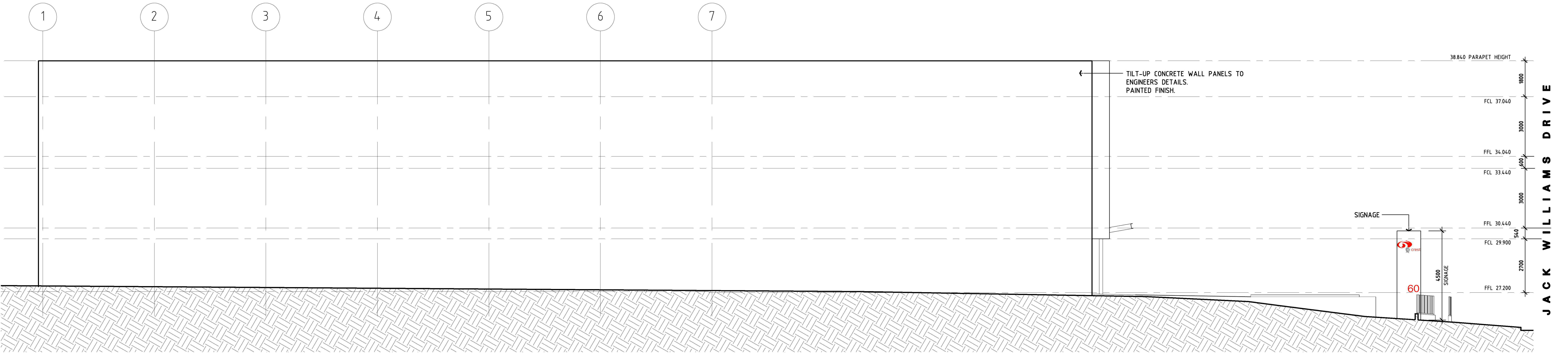
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CM ON ORIGINAL	DRAWING SHEET SIZE = A1
Drawn AMR	Checked SAS
Scale SAS	Drawing Number 5642-307
Date 01/13	Rev No E



1 PROPOSED WEST ELEVATION
SCALE 1:100



2 PROPOSED SOUTH ELEVATION
SCALE 1:100

NOTES:

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B/MR	ISSUE FOR DISCUSSION	24/05/13			
A/MR	ISSUE FOR DISCUSSION	20/05/13			

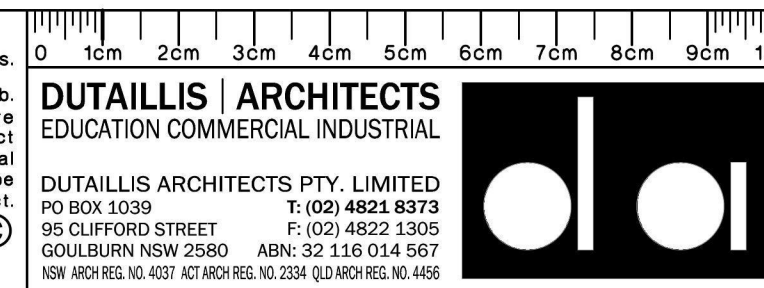
ELEVATIONS
PROPOSED

NEW WAREHOUSE
OFFICE & SHOWROOM

LOT 34 D.P 1036699
JACK WILLIAMS DRIVE
PENRITH NSW 2750



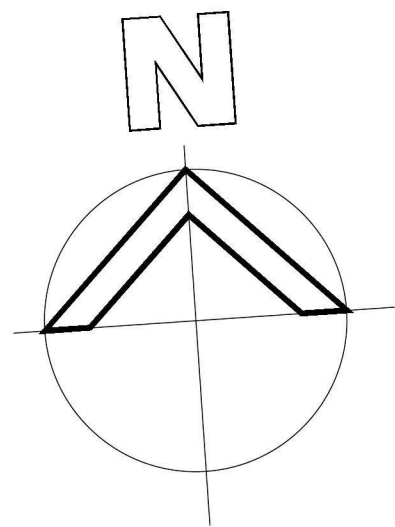
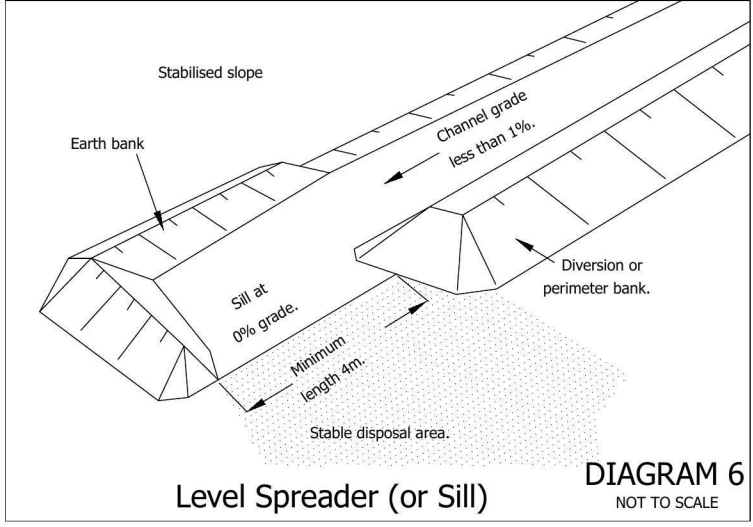
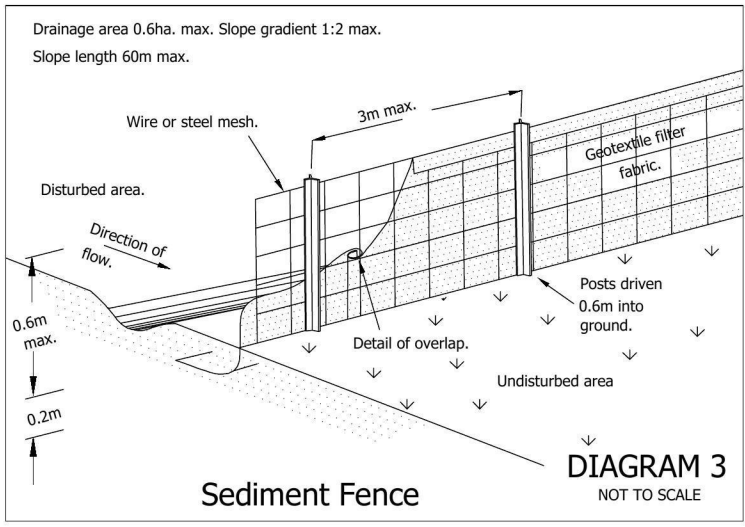
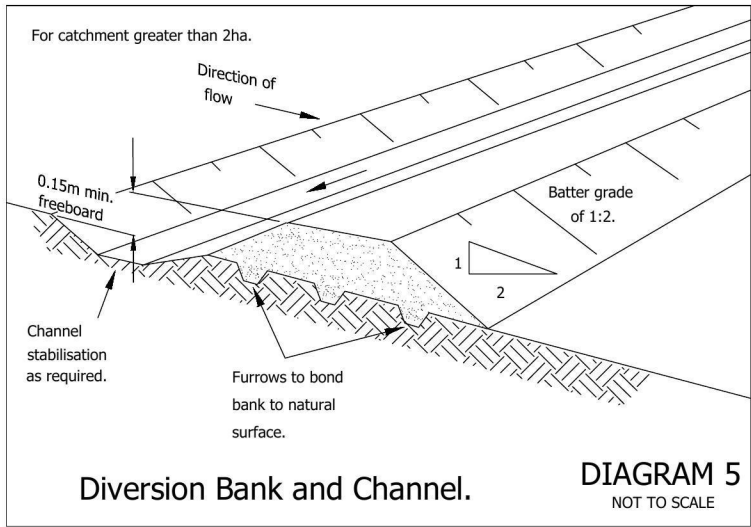
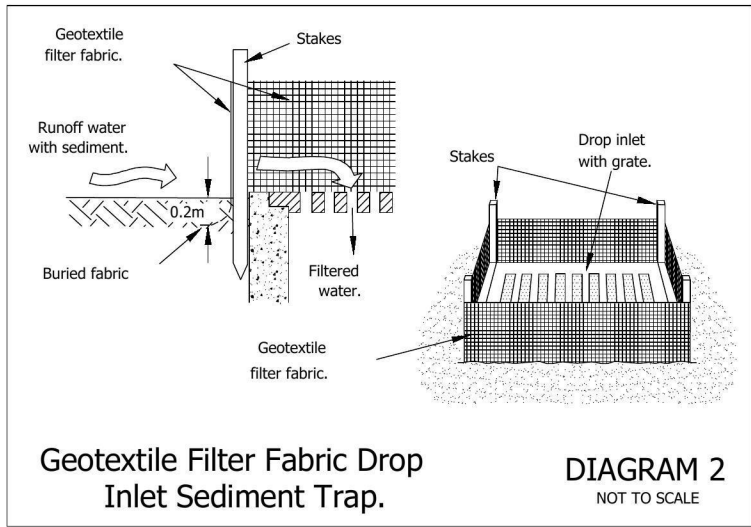
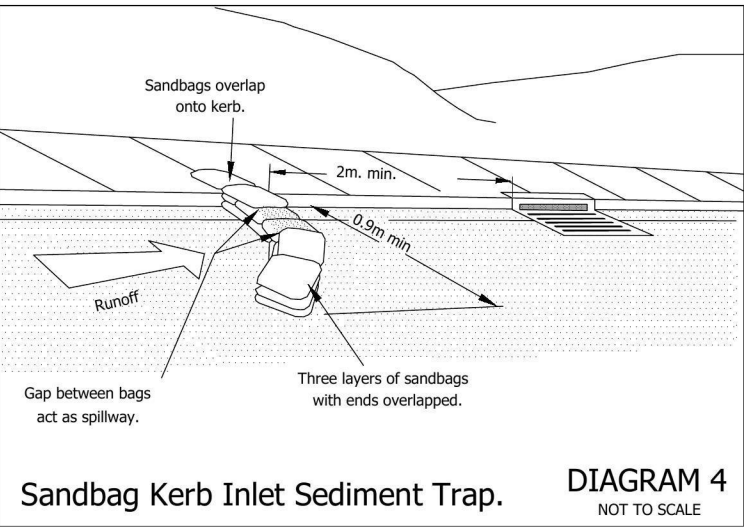
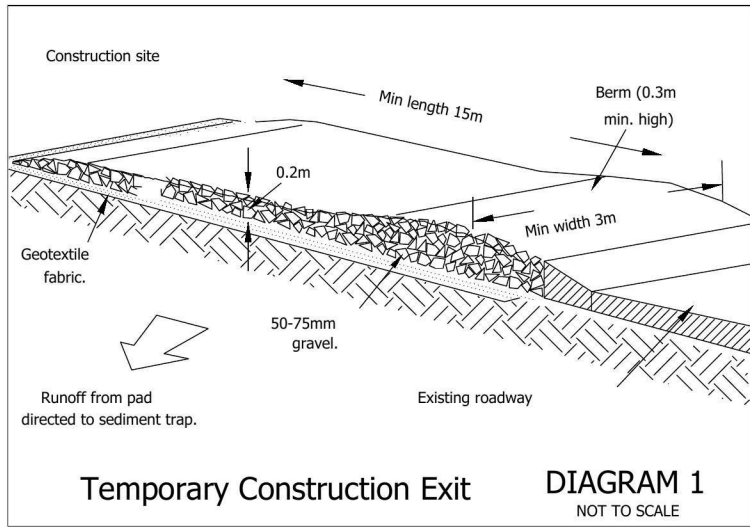
Figured dimensions shall be used in preference to scaling of drawings.
Builder to check and verify all levels datum and dimensions on the job.
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Scale SAS	Drawing Number Rev No D



D/MR		ISSUE FOR DEVELOPMENT APP	05/07/13			SECTIONS		LOT 34 D.P. 1036699				Figured dimensions shall be used in preference to scaling of drawings. Builder to check and verify all levels datum and dimensions on the job. Conflicting information shall be brought to the Architects notice before proceeding with any work. All materials and workmanship to be in strict accordance with current manufacturers printed instructions, local regulations and SAA Codes. Drawings subject to copyright and may not be reproduced in any form without the written permission of the Architect. COPYRIGHT © DUTAILLIS ARCHITECTS PTY LTD ©		0 1cm 2cm 3cm 4cm 5cm 6cm 7cm 8cm 9cm 10 CM ON ORIGINAL		DRAWING SHEET SIZE = A1			
C/MR		ISSUE FOR DISCUSSION	17/06/13			NEW WAREHOUSE		JACK WILLIAMS DRIVE				DUTAILLIS ARCHITECTS EDUCATION COMMERCIAL INDUSTRIAL		Drawn AMR		Checked <input checked="" type="checkbox"/>		Date 01/13	
B/MR		ISSUE FOR DISCUSSION	11/06/13			OFFICE & SHOWROOM		PENRITH NSW 2750				DUTAILLIS ARCHITECTS PTY. LIMITED PO BOX 10359 95 CLIFFORD STREET GOULBURN NSW 2580 ABRN: 32 116 014 567 02 3336 4000 FAX 02 3336 4001		Scale SAS		Drawing Number 5642-309		Rev No D	
A/MR		ISSUE FOR DISCUSSION	29/05/13																
Rev # Drawn		Revision Description	Date	Rev # Drawn		Revision Description		Date											

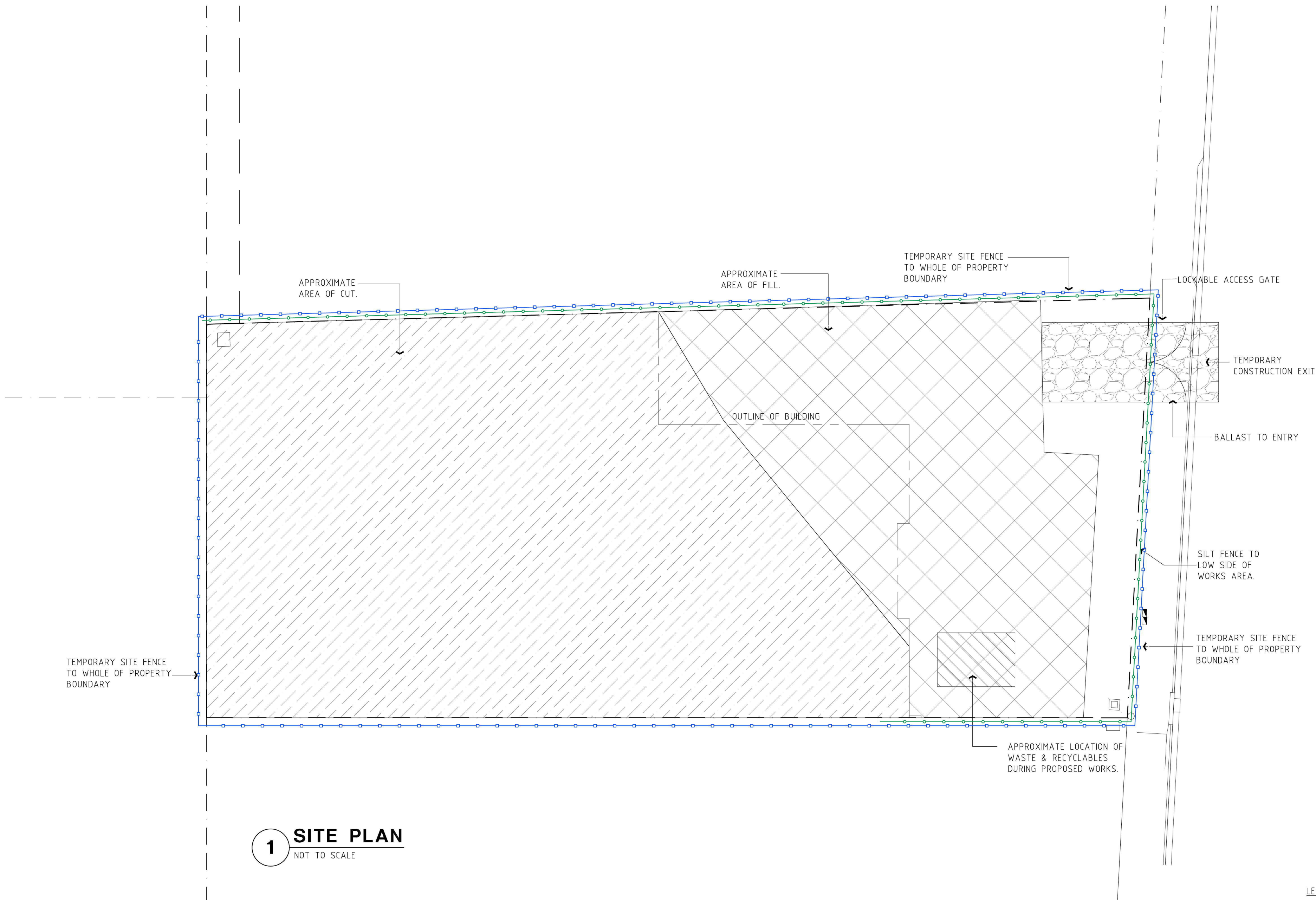


GENERAL NOTES

- All work to comply with the requirements of council & dept of housing manual "managing urban stormwater - soils & construction"
- All disturbed areas on verges & allotments shall be ripped 100mm below finished surface level, 100mm of approved site or topsoil added & trimmed to finished level. Then grassed with approved seed/ mulched within 14 days and water until establishment occurs.
- All adjoining areas to be protected from sediment via silt fence as detailed. (if fall to land occurs)
- All proposed and existing kerb inlet sumps shall be protected from sediment as detailed. (gully pit protection)
- All surface inlet pits (off road) shall be protected from sediment as detailed. (surface inlet pits)
- All pavement & subgrades to be protected from scour/erosion as detailed. (pavement protection)
- All outlet pipes/h/w/s shall be fitted with staked straw bales & silt fence in a dam pattern.
- All swale drains (open channels) to be treated as per pavement protection until grass is established.
- 300mm wide strip of turf to be laid behind kerb. 1m returns at 50m intervals. Turf also to be laid around all surface inlet pits.
- Existing grassed areas shown on soil and water management plan are to be maintained in current condition where ever possible.
- Topsoil shall be stripped and stockpiled outside hazard areas such as drainage lines. This topsoil is to be respread later on areas to be revegetated and stabilised only. (ie: all footpaths, batters, site regrading areas, drainage reserves and channels.) topsoil shall not be respread on any other area unless specifically instructed by the superintendent. If they are to remain for longer than one month stockpiles shall be protected from erosion by covering them with a mulch and hydroseeding and, if necessary, by locating banks or drains upslope to divert the runoff around them. In some circumstances it may be necessary to place banks or drains downstream of a stockpile to retard sediment laden runoff.
- The contractor shall regularly maintain all sediment and erosion control devices and remove accumulated silt from such devices before no more than 60% of their capacity is lost. All the silt removed shall be disposed of as directed by the superintendent. No silt is to be placed outside the limit of works. The period for maintaining these devices shall be at least until all disturbed areas are revegetated and further as may be directed by the superintendent or council.
- Vehicular traffic shall be controlled during construction confining access where possible to proposed or existing road alignments.
- The contractor shall maintain dust control until final completion of works.
- The contractor's responsibility is to ensure all necessary measures are taken to protect all disturbed areas as per note 1. All additional costs is to be reflected in tender price even if such measures are not indicated on sediment and erosion control plans.

PROPOSED CONTROL MEASURES

PHYSICAL SITE	The site is a 2147 square meter property with a fall to the east. The current site condition is of grass with no existing trees.
CLEARING	The areas of the new building will be cleared of topsoil which may be stockpiled for re-use. Stockpiles will be along the eastern boundary.
MITIGATION	<p>The works area will have sediment fences installed to the low side of the affected areas. This is generally to the north & east boundaries of this site.</p> <p>The excavated material will be removed or stockpiled for re-use and will be stabilised with grass seeding if left more than six weeks. Stockpiles of other erodable materials will be subject to sediment fencing on the low side.</p>
MAINTENANCE	<p>The measures described above will be assessed during the works and altered to suit changing circumstances or to address specific issues as they become apparent.</p> <p>The control measures will be assessed weekly & maintained in place.</p>
REHABILITATION	<p>The existing topography of the affected areas will be reestablished at the completion of the works with appropriated modifications to allow for falls away from buildings.</p> <p>Affected areas will be reestablished in accordance with the landscaping plan.</p> <p>The bulk of the site will be paved & provided with a stormwater system.</p>



LEGEND

	SITE FENCE
	SILT FENCE
	CUT
	FILL

Rev #	Drawn	Revision Description	Date	Rev #	Drawn	Revision Description	Date
A/MR		ISSUE FOR DEVELOPMENT APP	05/07/13				

EROSION & SEDIMENT
CONTROL DETAILS

NEW WAREHOUSE
OFFICE & SHOWROOM

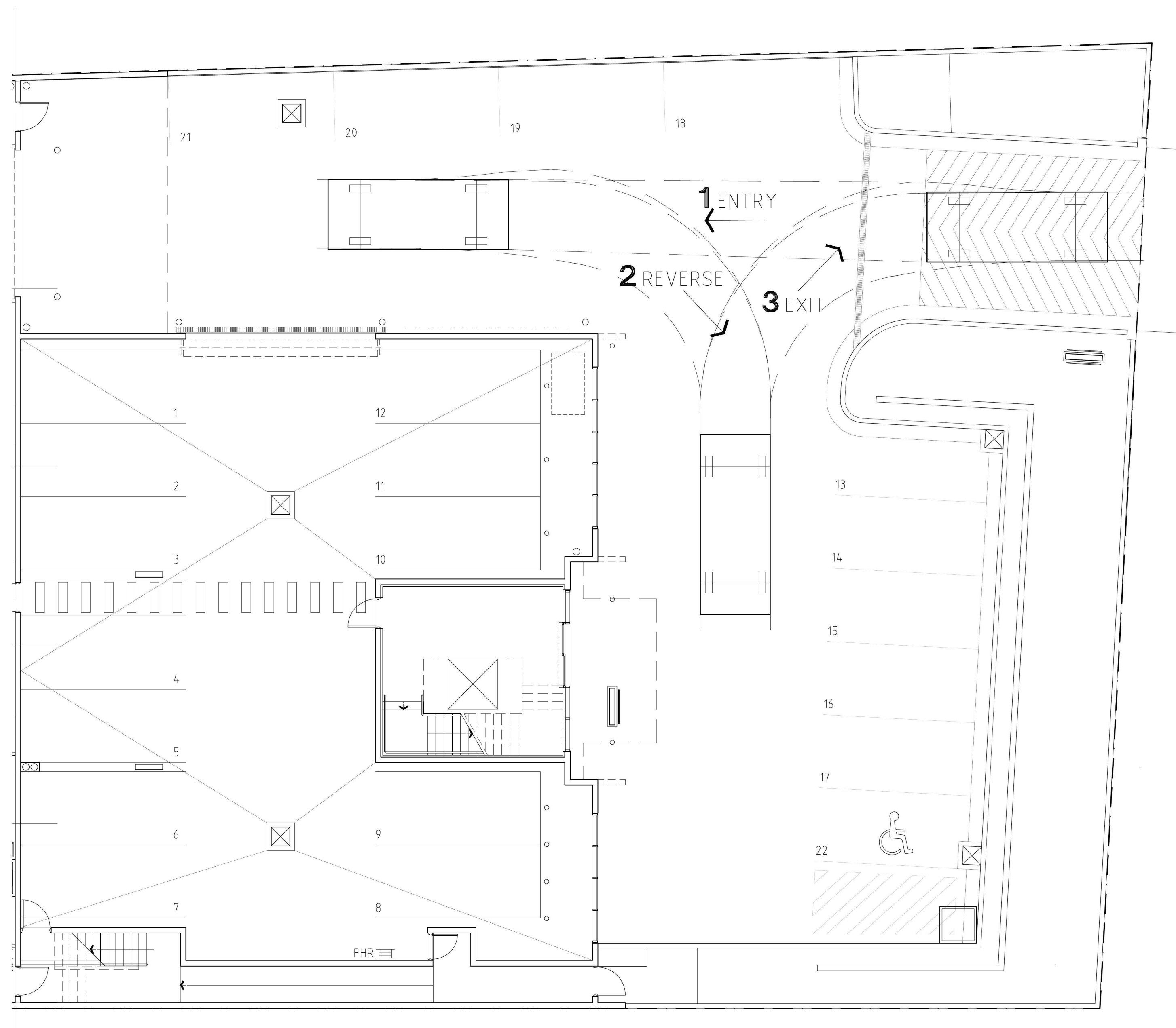
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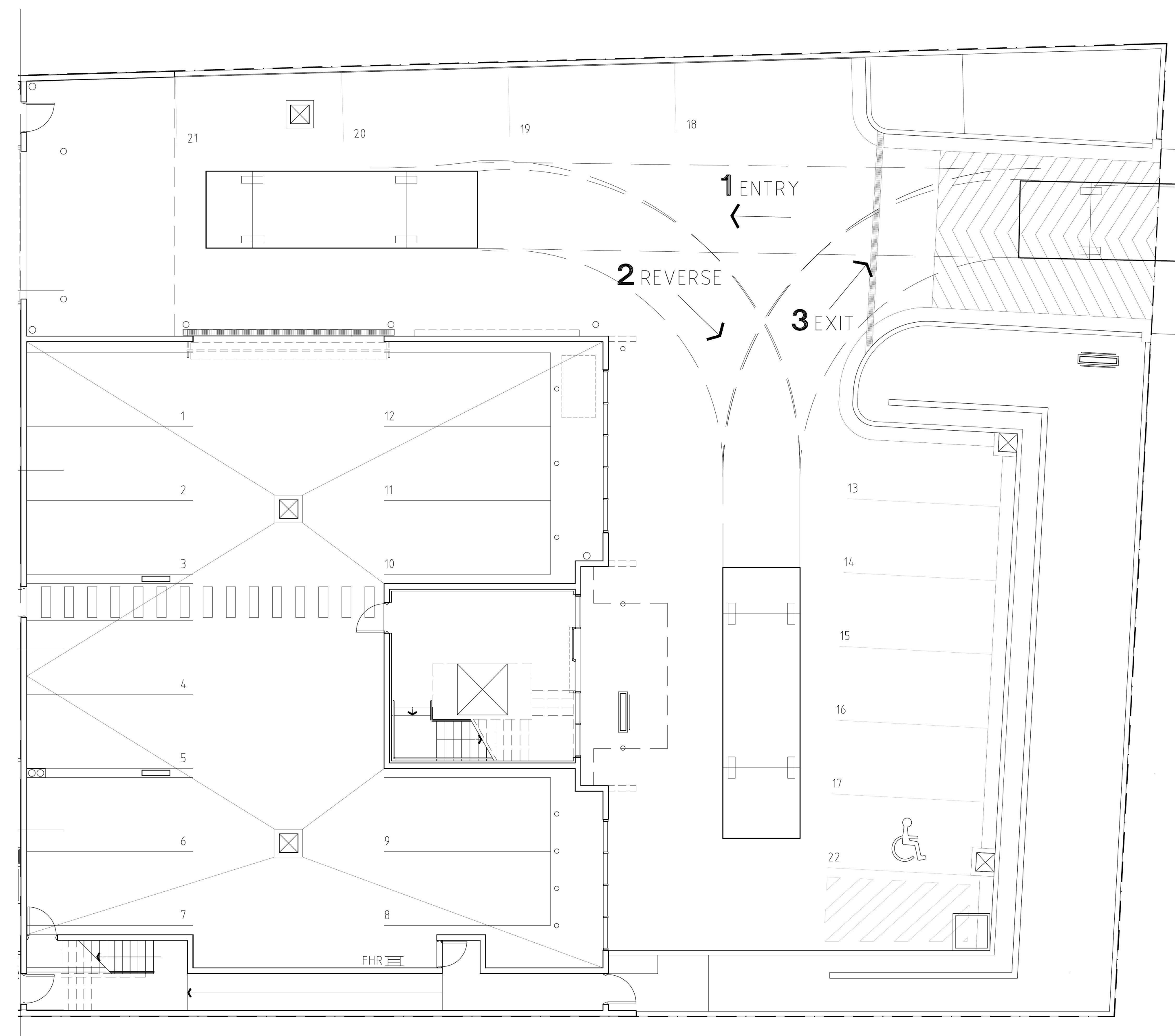
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Scale	Drawing Number	Rev No
SAS	5642-310	A



NOTES:
SMALL & MEDIUM RIGID VEHICLES CAN
ACCESS THE SITE & BE ABLE TO EGRESS IN
A FORWARD DIRECTION



NOTES:
SMALL & MEDIUM RIGID VEHICLES CAN
ACCESS THE SITE & BE ABLE TO EGRESS IN
A FORWARD DIRECTION

B/MR	ISSUE FOR DEVELOPMENT APP	05/07/13			
A/MR	ISSUE FOR DISCUSSION	18/06/13			
Rev #	Revision Description	Date	Rev #	Revision Description	Date

NEW WAREHOUSE
OFFICE & SHOWROOM

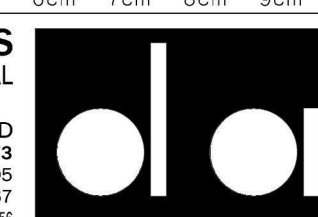


crest
OFFICE INTERIORS

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