

22 February 2019

Westfield Penrith Mondo Scheme 11 Access Report

Methodology

This Access Australia (AA) Report relates to instructions and documents received to date from Scentre Group regarding Penrith Mondo at the Westfield Penrith Shopping Centre, Penrith NSW.

AA site inspection was held on 25 May 2018 following notification of Centre Management. Additional details and plans provided to date.

AA reports and recommendations relate to the ABCB (Australian Building Codes Board) 2010 DDA Access to Premises Standard (APS) and current BCA / NCC access requirements. The intent of the APS is to harmonise BCA access provisions with the complaints based DDA.

Access provisions are to comply with relevant Australian Standards, including current AS1428.1 - 2009, AS1428.2 - 1992, AS1428.4 - 2009, AS1735.12 - 1999, AS2890.6 - 2007 and Penrith Council access requirements as applicable.

DDA complaints can be lodged in relation to existing and or proposed buildings and services. Accordingly, AA provides a risk management approach, and recommends access modifications / retrofit to existing premises in conjunction with accessible new works and services.

AA directors are members of the ACAA (Association of Consultants in Access Australia).

Scope & Criteria

AA current scope is to provide an access site inspection, review designs and documentation, meetings as required, and prepare draft and completed DA Access Report.

Proposed Scope

- New development comprising 2,536m²± (of which 1,837m²± is represented as incremental), over two levels plus roof top terrace
- New development principle inclusions
 - Retail Food & Dining Precinct
 - Health & Wellness Precinct
 - Medical Hub on first floor
 - Landscaped area

Penrith Council requirements

Penrith DCP 2014 Clause 10.6 Pedestrian Connections *Objectives* include –
To provide a safe, convenient and legible movement network for people with diverse abilities, including those using wheelchairs. Mobility scooters, people with prams, small children, elderly people

Clause 10.6 *Controls* include

To enable comfortable passage for all people with diverse abilities, footpaths must be

- i) Provided on both sides of the road in urban areas*
- ii) A minimum of 1.5m wide along collector and all lower order streets*
- iii) A minimum of 2.5m on approach routes to predictable destinations such as schools, parks and shopping precincts (3m paths or wider preferred)*

A smooth transition from ramps to roads is to be provided for people using wheelchairs or prams

Ramps should be designed in accordance with appropriate design guidelines and be as wide as the pathway or marked crossing point to eliminate squeeze points at transition areas

Existing conditions

Entry

Pedestrian and vehicle access is provided at the High St frontage to the proposed Penrith Mondo area. Kerb ramps and signage generally complies.



High St pedestrian access

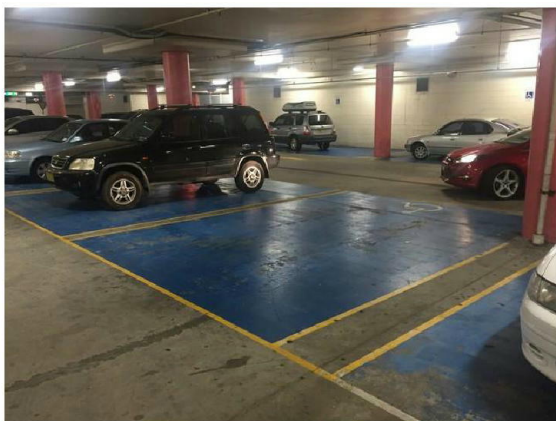


High St vehicle access

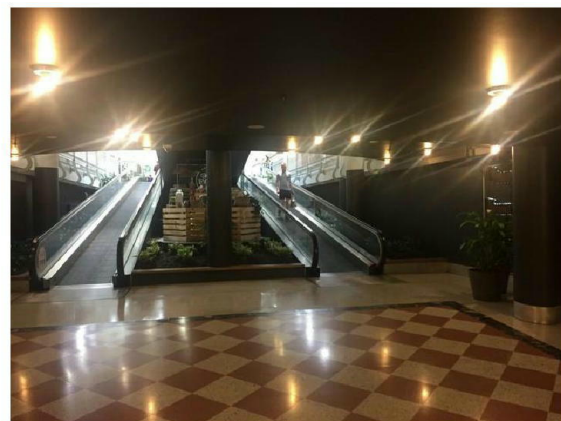
Car Parking

Basement car park provides 13 non-complying 'accessible' car spaces 4000± wide with 2800± ceiling height. There are no adjacent shared spaces.

The accessible car spaces have generally level access to 1700± wide automatic entry doors, with travelators and non-complying ramps to upper levels. Travelators are not part of an accessible path of travel and lift access is not provided.



Basement 'accessible' parking



Basement travelators

Accessible parking is not provided at Level 1 / Ground and five non-complying accessible car spaces are located at Level 2, 3200± wide, with clear ceiling height of 2500 over majority of car space but drop beam restricts height to 2300± at entry to car space.



Upper level parking



Typical parking lobby

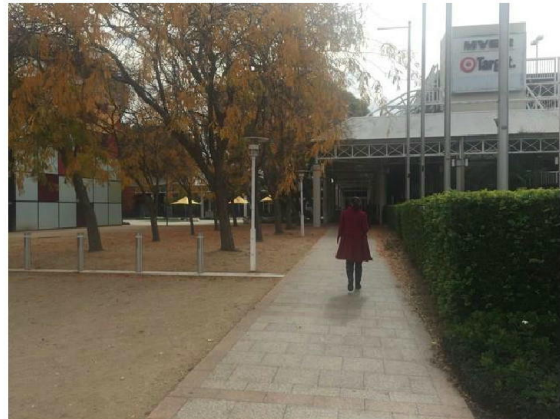
Existing Entry & Car parking	Access criteria APS, BCA & Standards
Paths of travel (POT) Entries and signage	Provide continuous accessible POT between property boundaries, main pedestrian entrances and associated areas
	Provide consistent accessible signage
	Comply with Penrith DCP 2014 including minimum 2.5m wide footpaths
Accessible parking	Provide complying lift or ramp access to retail areas
	Provide AS4299 and NCC / BCA complying accessible parking including minimum 2.4m wide accessible parking spaces with adjacent 2.4m wide shared spaces, complying with the BCA and AS2890.6-2009
	Provide maximum 1:40 cross fall, minimum 2.2m driveway height, minimum 2.5m parking space height, and install ISA (International Symbol of Access) ground and vertical signage and accessible POT

Level 1 / Ground

Generally level access is provided by a partly covered walkway 2m± wide between the High St frontage, Performing Arts Centre (PAC), and Centre entries 1 and 2.



High St entry

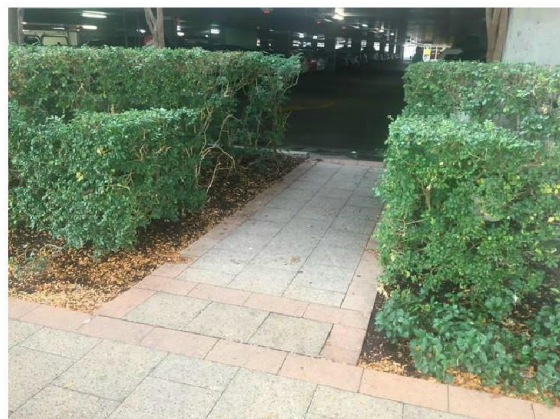


Walkway to Centre

Generally level paths of travel provide access between walkways and car parking.



Covered walkway



Car parking access



Joan Sutherland PAC



Central open area

Automatic opening door, 1700± clear opening provides generally level access into food court and retail mall areas.



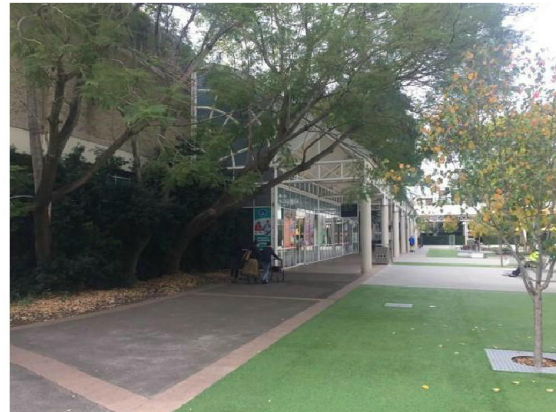
Entry 1



Generally level access is provided between the Centre and the PAC, including new south lobby area, and retail entries 1 and 2.



New lobby location



SW garden area



SE access to entry 2

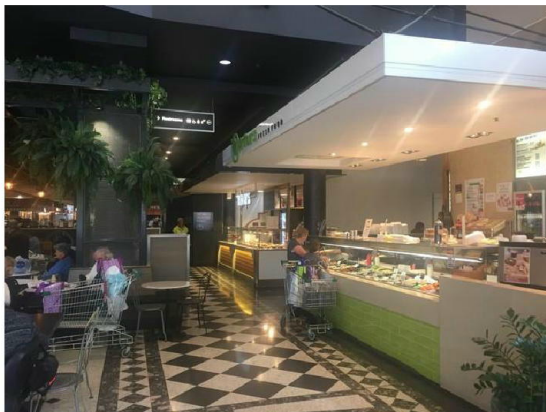


Car parking access

Entry 2 automatic opening door is $2\text{m} \pm$ wide with $8\text{m} \pm$ walkway, $1:20 \pm$ gradient, to car park.



Entry 2



Retail areas



Amenities signage

Amenities

Accessible unisex toilets are non-complying. Entry door is $780 \pm$ wide, circulation space of $1800 \pm \times 1800 \pm$, WC set out of $720 \pm$ from rear wall, distance from WC to basin is $400 \pm$, toilet paper holder is $1000 \pm$ above grabrail, basin is $770 \pm$ high, grabrails $850 \pm$ high, and vertical mirror $1000 \pm$ to $1900 \pm$ above floor level.

Male and female toilets have one cubicle to assist persons with ambulant disabilities (PAD cubicles).

Male PAD cubicle has outward swinging door, complying circulation, signage and grabrails.

Female PAD cubicle has outward swinging door, complying circulation, signage and only one grabrail.



Non-complying 'accessible' toilet



PAD cubicle

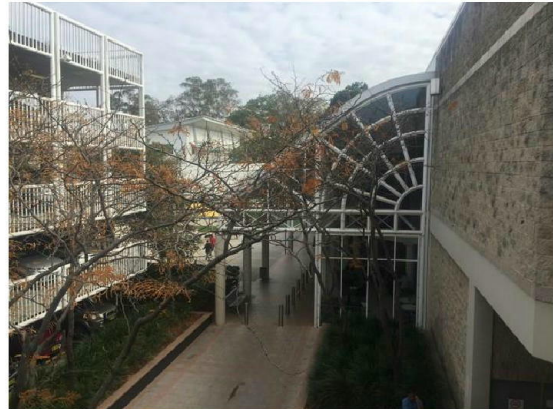
Existing Level 1 / Ground	Access criteria APS, BCA & Standards
Paths of travel (POT) Entries and signage	Provide continuous accessible POT between property boundaries, main pedestrian entrances and associated areas and consistent accessible signage Comply with Penrith DCP 2014 including minimum 2.5m wide footpaths and walkways
Accessible parking	Refer Entry & Car parking
Accessible amenities	Provide BCA and AS1428.1 complying accessible amenities including minimum 1400 clear between WC and basin and WC backrest Install second grabrail to female PAD cubicle
Signage	Provide consistent accessible signage

Level 2

Access to Level 2 is provided by travelators, escalators and non-complying ramps within the car parking structure.

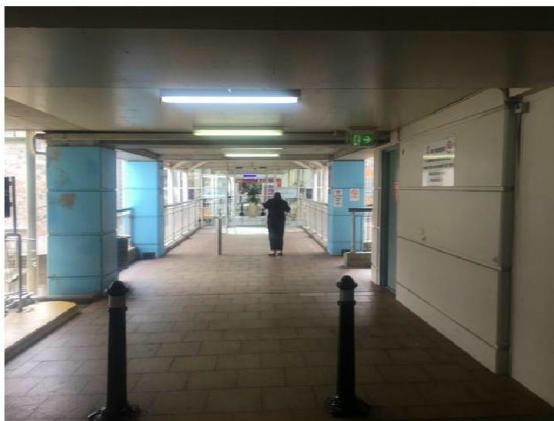


Non-complying car parking ramps



High St car parking and SE area

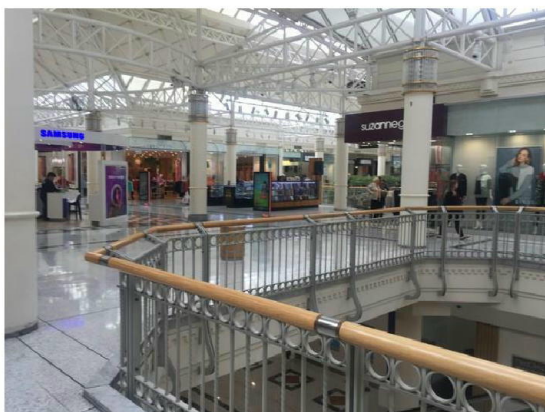
Generally level pedestrian bridge access is provided between Level 2 retail and car parking areas.



Level 2 car parking access



Generally level access is provided along mall areas to retail areas and amenities.



Level 2 retail areas



Existing Level 2	Access criteria APS, BCA & Standards
Paths of travel (POT) Entries and signage	Refer Level 1 / Ground requirements
Accessible parking	Refer Entry & Car parking
Signage	Provide consistent accessible signage

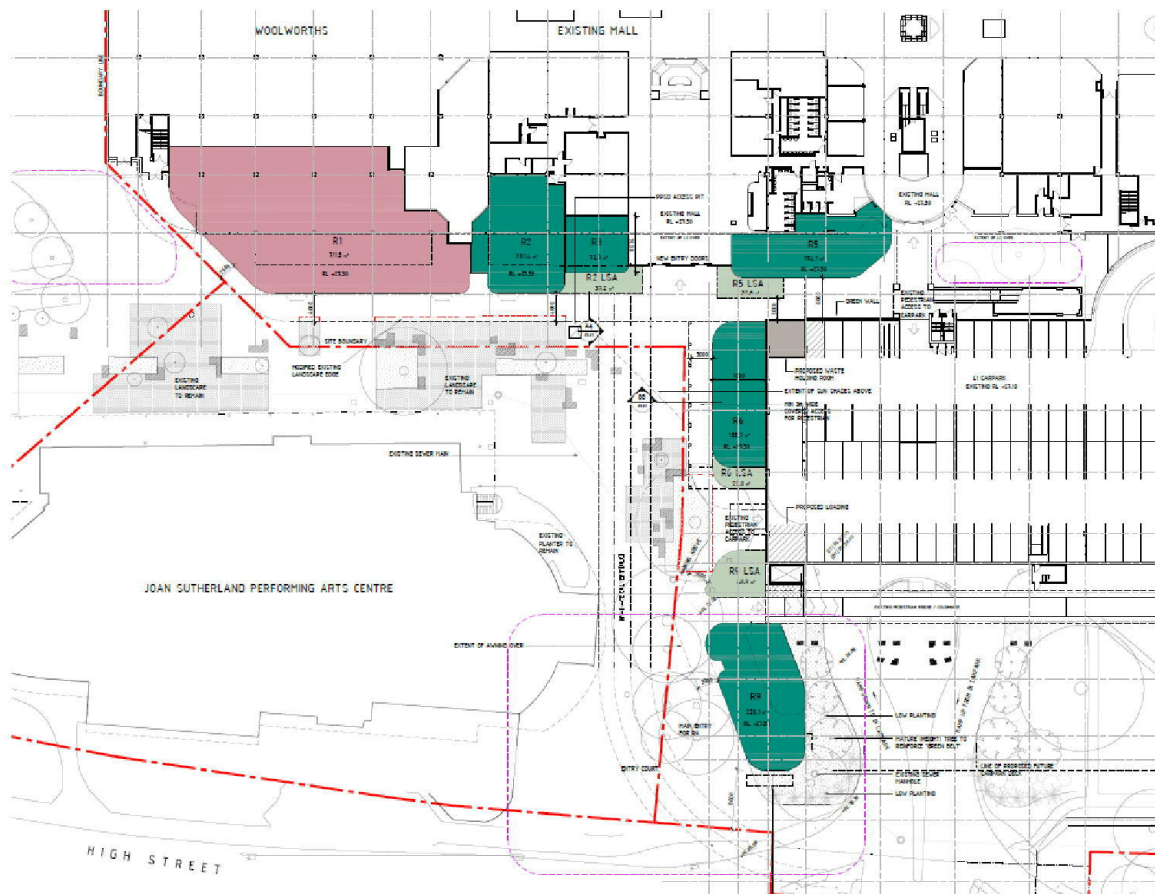
Proposed Penrith Mondo

Proposed works include

- ❖ Level 1, 2 and 3 internal and external 2,536m²± of Retail, Food and Dining
- ❖ Landscaped public domain between the Centre and PAC including integrated planters, seating, artworks, play areas and water features

Proposed Level 1 / Ground

Proposed works include 3m± wide entry walkways and retail areas with external ground level access.



Level 1 proposed works

Existing open lawn retained
New trees in paving
WESTFIELD SHOPPING CENTRE
Existing trees and planting to be retained
Proposed Trees
FOOD COURT ENTRY
Overhead courtyard lighting
Sculptural play space
WESTFIELD CARPARK
Water Play/Hut
Crownwall to existing carpark facade
Outdoor dining
Sculptural play space
Existing trees and planting to be retained
New seating node & trees
Existing covered walkway
Entrance existing planting
Arrival forecourt
Arrival tree avenue
Existing Art Wall
Existing trees and planting to be retained
Existing shareway
Existing planting to be retained
JOAN SUTHERLAND PERFORMING ARTS CENTRE
Existing family lawn and trees retained
Existing paving retained

PROPOSED FOOD & BEVERAGE

1:500 (A1)

0 5 10 15 20 METRES

Westfield Parramatta Development Application

HIGH STREET

Penrith Mondo Level 1 / Ground	Access criteria APS, BCA & Standards
Paths of travel (POT) and entries	<p>Provide accessible POTs between main entrance, lift lobby and carparking, and minimum 850 doors with complying nibs and circulation</p> <p>Provide complying stairs, ramps and tactile indicators</p> <p>Glazed entry doors to include continuous decals 75mm± and 900 to 1000mm high with minimum 30% luminance contrast between decals and background</p> <p>Comply with Penrith DCP 2014 including minimum 2.5m wide footpaths</p>
Accessible parking	Refer Entry & Car parking
Passenger lift	<p>Passenger lift to provide complying circulation space, minimum 900 wide door and minimum 1100 x 1400 car size, Braille & tactile controls 900 to 1200 high, handrails adjacent to controls and audio announcements</p>
Fixtures, fittings and equipment FF&E)	<p>Provide an equitable range of accessible FF&E including minimum 1m wide section of accessible counters</p>
Amenities	<p>Install NCC / BCA complying accessible facilities where gender specific amenities are provided</p>
Public domain	<p>Provide accessible paths of travel</p> <p>Minimum 20% of seating to comply with AS1428.2 including seat backs and armrests</p>
Signage	<p>Install consistent and accessible identifying signage with minimum 30% luminance contrast between signage and background</p>

Proposed works include

- [illegible]

There is no access between existing level 2 and new Mondo areas.

Penrith Mondo Level 3	Access criteria APS, BCA & Standards
Paths of travel (POT) entries, passenger lifts, amenities and FF&E	Refer Level 1 / Ground requirements
Accessible parking Stairs Signage	Refer Entry, Car parking and Level 2

Access Compliance

Based on information provided to date, AA considers the current planning and design meets applicable access codes and legislation, consistent with the DDA – subject to compliance with this AA Access Report and recommendations.

Access compliance requires access inspections during construction, to review, assess and report on access compliance or non-compliance.

Access Certification and sign-off can be provided on satisfactory resolution and completion of all access related issues.

Access Australia

*Michael Fox AM B Arch MTCP ACAA
Director*