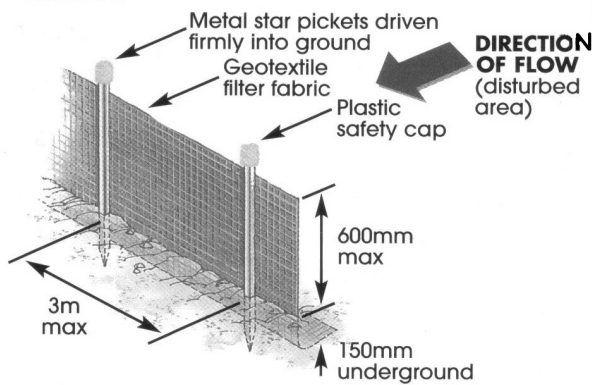


(E1) EASEMENT TO DRAIN WATER 2 WIDE
(E8) EASEMENT TO DRAIN WATER 5 WIDE
DENOTES SEWERMAIN (approx.position only)

Site Plan

SCALE 1:200



SEDIMENT & EROSION CONTROL BARRIER

D.A. & C.C.

PENRITH LEP 2010
PENRITH DCP 2014 -E1 CADDENS

L.G.A: PENRITH CITY COUNCIL
ZONING: R1 - GENERAL RESIDENTIAL

FLOOR AREA

SITE AREA	600.05 sqm
PROPOSED FLOOR AREA	262.82 sqm
PROPOSED PORCH AREA	6.80 sqm
PROPOSED ALFRESCO AREA	9.66 sqm
TOTAL AREA	279.28 sqm

PRIVATE OPEN SPACE

SITE AREA	600.05 sqm
PRIVATE OPEN SPACE (MIN. 3m WIDE)	123.47 sqm 21 %
PRINCIPAL PRIVATE OPEN SPACE	40.00 sqm

PENRITH DCP 2014 - E1 CADDENS
MINIMUM POS REQUIRED: 20 %
MINIMUM PPOS REQUIRED: 40 sqm

1.4.6 PRIVATE OPEN SPACE
B. CONTROLS
1. ALL DWELLINGS ARE TO BE PROVIDED WITH AN AREA OF PRIVATE OPEN SPACE (POS) AND PRINCIPAL PRIVATE OPEN SPACE (PPOS): FOR LOTS WITH A WIDTH GREATER THAN 17.5m, THE MINIMUM POS IS 20% OF THE LOT AREA, WITH A MINIMUM DIMENSION OF 3m. THE MINIMUM PPOS IS 40m², WITH A MINIMUM DIMENSION OF 4m. 3. 50% OF THE AREA OF THE REQUIRED PPOS MUST RECEIVE AT LEAST 3 HOURS OF SUNLIGHT BETWEEN 9am AND 3pm AT THE WINTER SOLSTICE (21 JUNE).

SITE COVERAGE

SITE AREA	600.05 sqm
SITE COVERAGE:	
FLOOR AREA	262.82 sqm
PORCH AREA	6.80 sqm
ALFRESCO AREA	9.66 sqm
TOTAL	279.28 sqm 47 %

PENRITH DCP 2014 - E1 CADDENS
MAXIMUM ALLOWED: 60 %

1.4.7 SITE COVER AND LANDSCAPED AREAS
B. CONTROLS
1. DWELLINGS ON LOTS 450m² ARE TO HAVE A MAXIMUM SITE COVER OF:
a) 50% OF TOTAL LOT AREA; WITH (b) 60% FOR SINGLE STOREY DWELLINGS

LANDSCAPED AREA

SITE AREA	600.05 sqm
LANDSCAPED AREA	248.35 sqm 41 %

PENRITH DCP 2014 - E1 CADDENS
MAXIMUM ALLOWED: 35 %

1.4.7 SITE COVER AND LANDSCAPED AREAS
B. CONTROLS
4. LANDSCAPED AREA IS ANY PART OF A SITE, AT GROUND LEVEL, THAT IS PERMEABLE AND CONSISTS OF FEATURES SUCH AS SOFT LANDSCAPING, TURF AND PLANTED AREAS. THE MINIMUM LANDSCAPED AREA FOR A LOT 450m² OR GREATER IS: a) 35% OF THE LOT AREA. 6. THE FRONT SETBACK AREA OF A DWELLING IS TO BE LANDSCAPED WITH THE TREATMENT TO CLEARLY DELINEATE BETWEEN THE PRIVATE AND PUBLIC DOMAIN. THE FRONT SETBACK IS TO INCORPORATE TWO TREES. THE REAR GARDEN MUST INCLUDE AT LEAST ONE TREE THAT WILL ACHIEVE A HEIGHT OF 6m AT MATURITY. THESE MAY INCLUDE EXISTING TREES THAT ARE TO BE RETAINED.

BUSH FIRE PRONE LAND

PROPERTY IS NOT BUSH FIRE PRONE.

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4. Glen Rd. Emu Heights. 2750.
ABN : 13 952 041 743. Documentation by John Gatt.
WEB : www.peaceplandesigners.com.au

Client Name :

Mr Sean Krajsic

Project Address :

Proposed Residence.
No. 221 Caddens Road. Caddens.

LOT 220
DP 1229230

Amendments :

- Preliminary plans - 20.11.18
- Changes as per Sean - 15.10.19
- Changes as per Sean - 12.12.19
- CC Documentation - 23.1.20
- Single storey design - 18.3.20

Date :

20 Nov 18

Job No :

12.1819

Issue :

E

Dwg No :

1/7

B A S I X R E Q U I R E M E N T S	
ITEM	REQUIREMENTS
Fixtures - Showerheads.	Install showerheads with a minimum rating of 3 star (>7.5 but <= 9 L/min) in all showers in the development.
Fixtures - Toilets.	Install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.
Fixtures - Kitchen Taps.	Install taps with a minimum rating of 3 star in the kitchen in the development.
Fixtures - Taps.	Install Basin taps with a minimum rating of 3 star in each bathroom in the development.
Rainwater Tank.	Install a rainwater tank of at least 4,000 Litres on the site. Must meet & be installed in accordance with applicable authorities.
Rainwater Tank.	Configure the rainwater tank to collect rain run-off from at least 311 sqm of the roof area.
Rainwater Tank.	Connect the rainwater tank to (a) All toilets in the development, (b) the cold water tap that supplies each clothes washer, (c) at least one outdoor tap in the development.
Thermal - General.	The dwelling must be a Class 1 dwelling according to the BCA, and must not have more than 2 storeys. The conditioned floor area must not exceed 300 square metres. The dwelling must not contain open mezzanine area exceeding 25 square metres. The dwelling must not contain a third level habitable attic room.
Thermal - Concrete slab on ground.	nil
Thermal - External wall - Brick Veneer.	Insulation R2.06 (or R2.60 including construction)
Thermal - Internal wall shared with Garage - Plasterboard	nil
Thermal - Flat Ceiling & Pitched Roof.	Insulation - Ceiling R2.95 (up) Roof - Foil backed blanket (55mm) & unventilated. Dark (Solar Abs > 0.70)
Energy - Hot Water.	Gas instantaneous with a performance of 4 stars or better.
Energy - Cooling System.	Install the following cooling systems, or a system with a higher energy rating in: at least 1 living area & at least 1 bedroom - 1-phase airconditioning; Energy rating: 2 star (average zone).
Energy - Heating System.	Install the following heating systems, or a system with a higher energy rating in: at least 1 living area & at least 1 bedroom - 1-phase airconditioning; Energy rating: 2 star (average zone).
Energy - Ventilation.	Bathroom - Natural; Kitchen - Individual fan, ducted to facade or roof - Operation control: Manual switch on/off; Laundry - Natural
Energy - Artificial Lighting.	Fluorescent or Light Emitting Diode (LED) in each of the following rooms - 2 Bedrooms, 1 Living, Kitchen, Bathroom/Toilets, Laundry, Halls.
Energy - Natural Lighting.	Window (Natural Light) in 2 Bathrooms / Toilets.
Energy - Alternative Energy.	Install a photovoltaic system with the capacity to generate at least 1 peak kilowatts of electricity as part of the development. Connect this system to the developments electrical system.
Energy - Other.	Install gas cooktop & electric oven. Construct each refrigerator space so that it is "well ventilated".
Note! - Basix requirements also apply to windows and glazed doors - Refer to Window Schedule.	

Windows & Glazed Doors - Basix Notes.

The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.

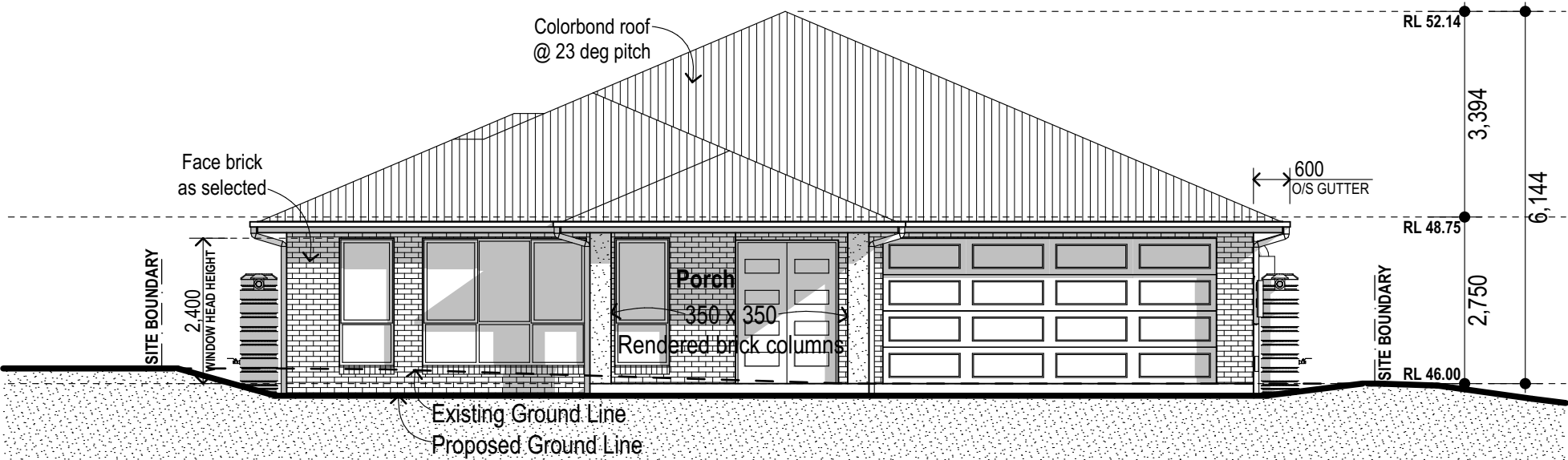
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.

The following requirements must also be satisfied in relation to each window and glazed door :

- * For the following glass and framed types, the certifier check can be performed by visual inspection.
 - Aluminium single clear
 - Aluminium double (air) clear
 - Timber/ uPVC/ fibreglass single clear
 - Timber/ uPVC/ fibreglass double (air) clear

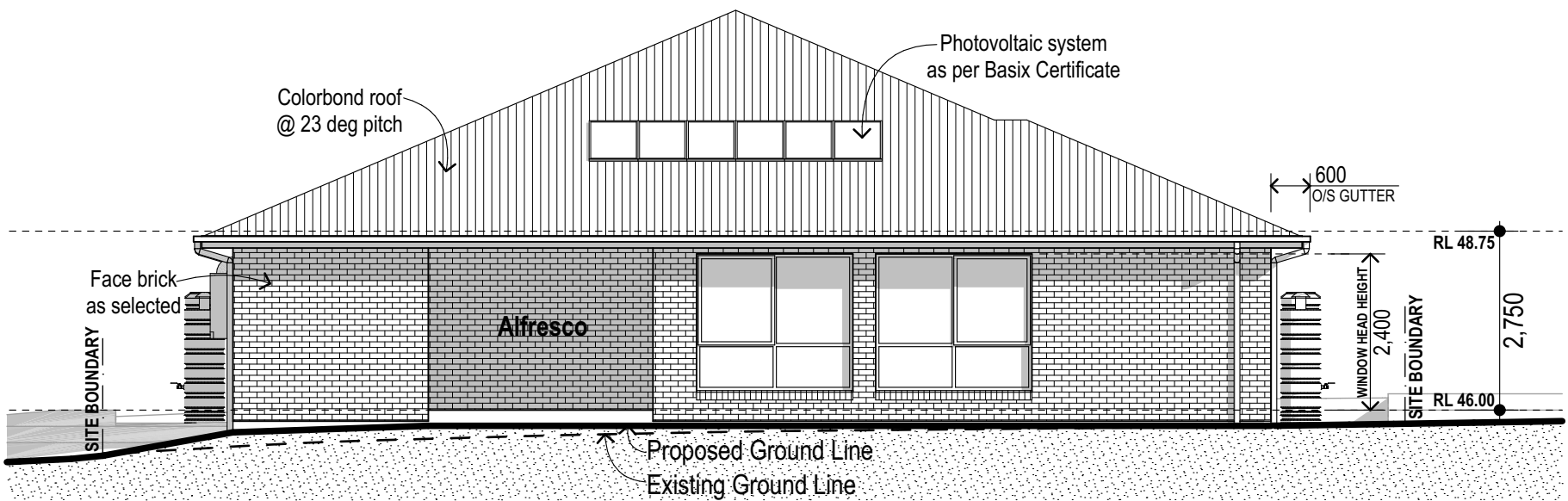
WINDOW SCHEDULE					
No	Height	Width	Type	Basix Shading (Dimension within 10%)	Frame & Glazing Type
01	2,100	2,400	Sliding	Eave 600mm, 90mm above head of window	Aluminium, Single, Clear
02	2,100	2,400	Sliding	Eave 600mm, 90mm above head of window	Aluminium, Single, Clear
03	2,400	2,400	Sliding	Verandah 3450mm, 2400mm above base of door	Aluminium, Single, Clear
04	1,200	1,000	Sliding	Eave 600mm, 90mm above head of window	Aluminium, Single, Clear
05	1,200	3,000	Sliding	Eave 600mm, 90mm above head of window	Aluminium, Single, Clear
06	600	1,200	Sliding	Eave 600mm, 90mm above head of window	Aluminium, Single, Clear
07	600	1,200	Sliding	Eave 600mm, 90mm above head of window	Aluminium, Single, Clear
08	2,100	900	Sliding	Verandah 1000mm, 2190mm above base of window	Aluminium, Single, Clear
09	2,100	2,700	Sliding	Eave 600mm, 90mm above head of window	Aluminium, Single, Clear
10	2,100	900	Sliding	Eave 600mm, 90mm above head of window	Aluminium, Single, Clear
11	1,200	1,500	Sliding	Eave 600mm, 90mm above head of window	Aluminium, Single, Clear
12	1,200	1,500	Sliding	Eave 600mm, 90mm above head of window	Aluminium, Single, Clear

<div>Peace Plan Designers.</div> <div>Building Design & Documentation.</div> <div>Ph / Fax : 02 4735 1211. Mob : 0404 470 186.</div> <div>4. Glen Rd. Emu Heights. 2750.</div> <div>ABN : 13 952 041 743. Documentation by John Gatt.</div> <div>WEB : www.peaceplandesigners.com.au</div>	Client Name : Mr Sean Krajsic		Amendments : A - Preliminary plans - 20.11.18 B - Changes as per Sean - 15.10.19 C - Changes as per Sean - 12.12.19 D - CC Documentation - 23.1.20 E - Single storey design - 18.3.20		Date : 20 Nov 18
	Project Address : Proposed Residence. No. 221 Caddens Road. Caddens.				Job No : 12.1819
	LOT 220 DP 1229230				Issue : E Dwg No : 3/ 7



South Elevation

SCALE 1:100



North Elevation

SCALE 1:100

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LOT 220
DP 1229230

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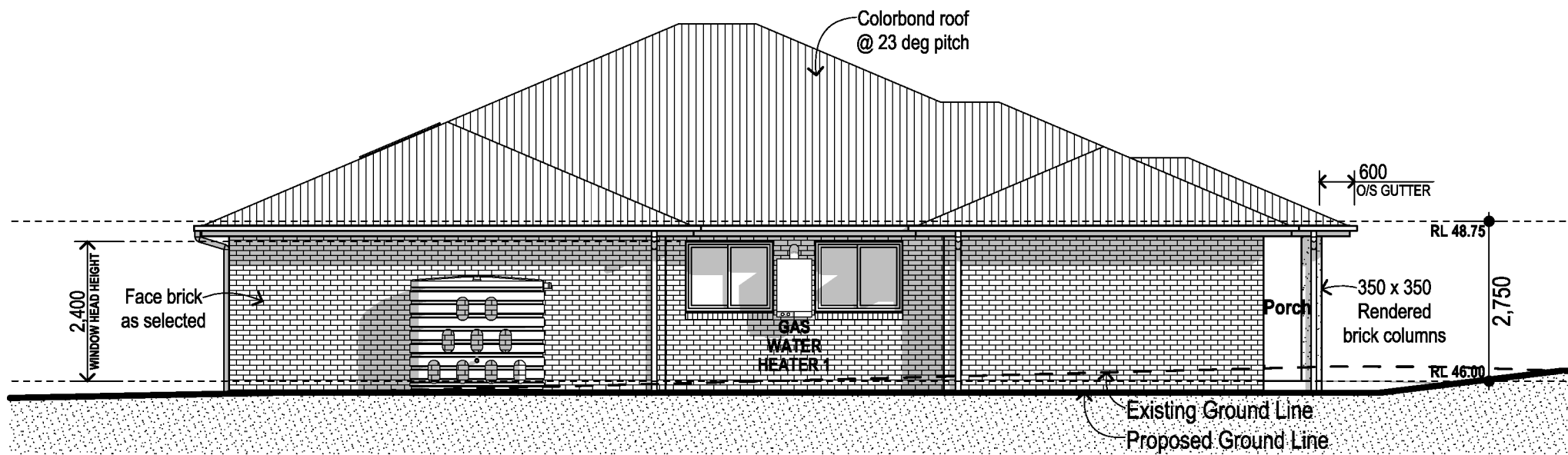
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Issue : E

Dwg No : 4/ 7



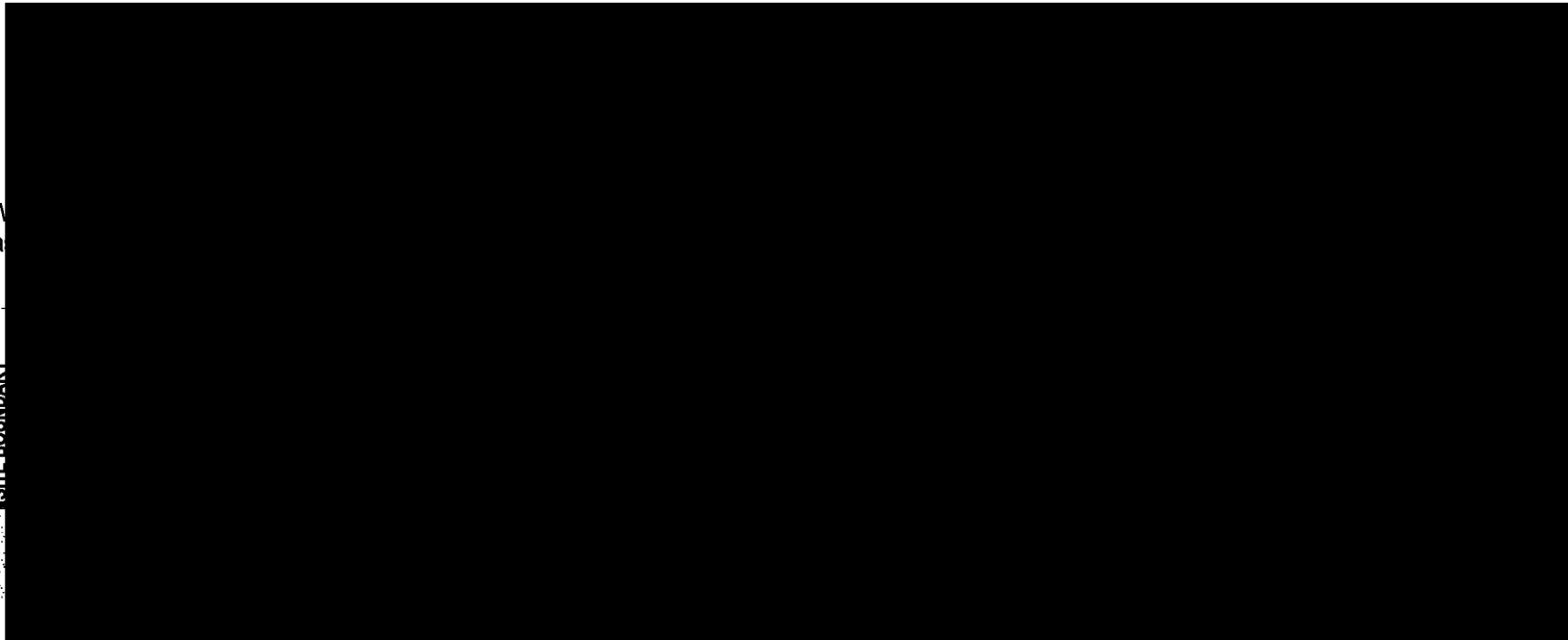
West Elevation

SCALE 1:100



East Elevation

SCALE 1:100



Section aa

SCALE 1:100

GENERAL NOTES

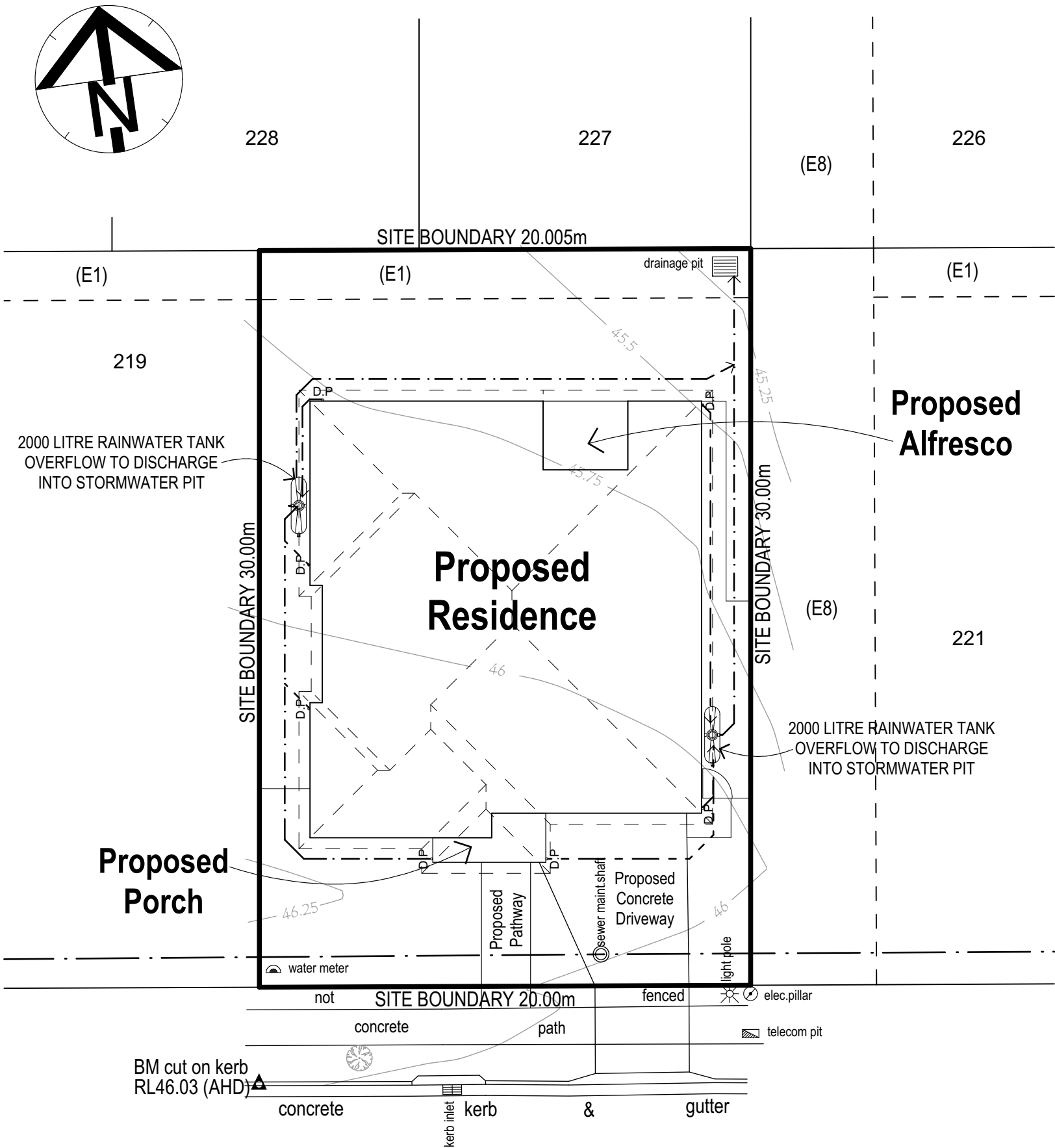
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Project Address : **Proposed Residence.**
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LOT 220
DP 1229230

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Job No : **12.1819**
Issue : **E**
Dwg No : **5/7**



LEGEND

NEW STORMWATER LINES
90mm PVC DOWNPIPE

NOTE:
ALL DOWNPIPES TO DISCHARGE INTO RAINWATER TANKS.

(E1) EASEMENT TO DRAIN WATER 2 WIDE
(E8) EASEMENT TO DRAIN WATER 5 WIDE
DENOTES SEWERMAIN (approx.position only)

Stormwater Drainage Plan

SCALE 1:200

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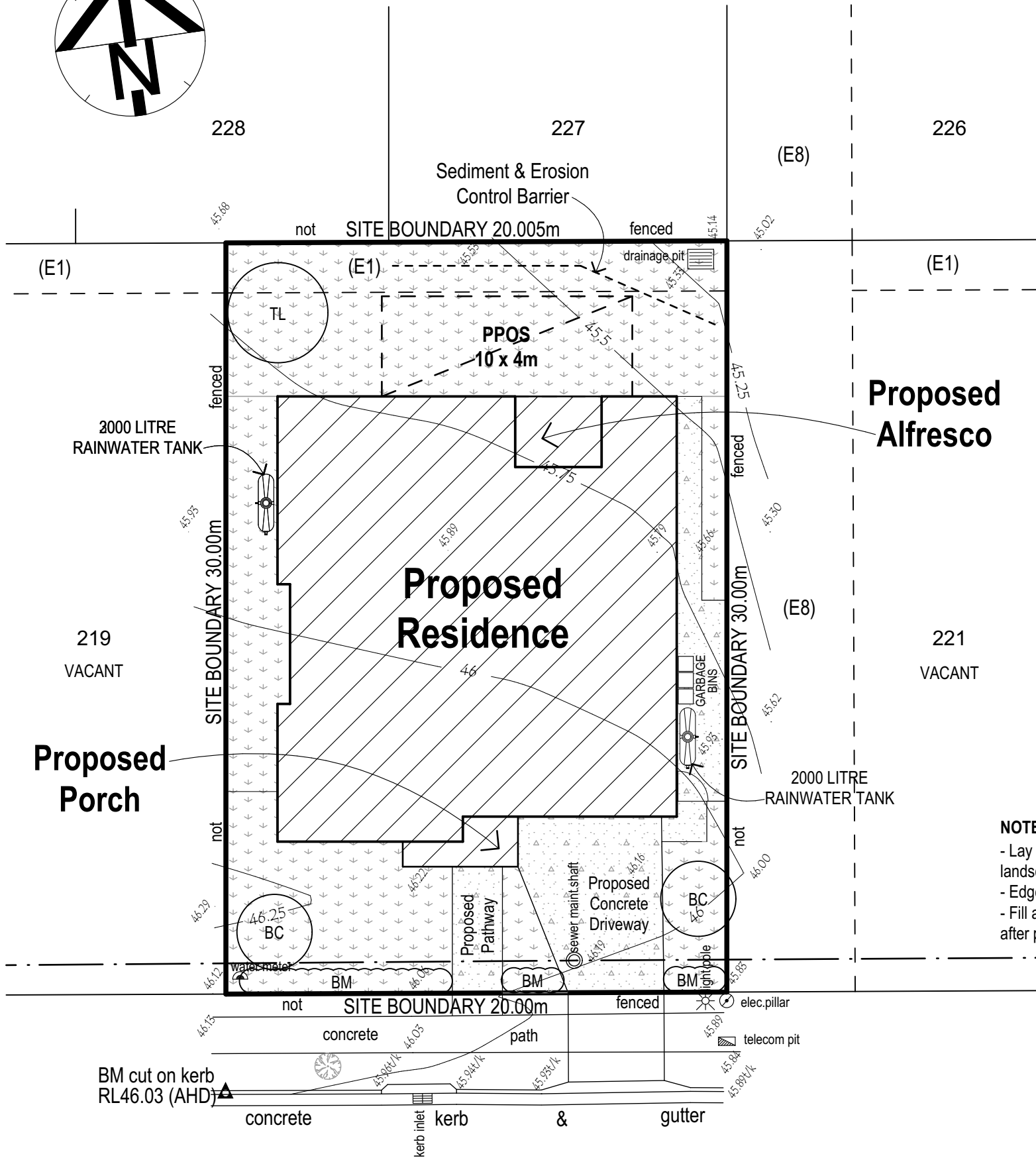
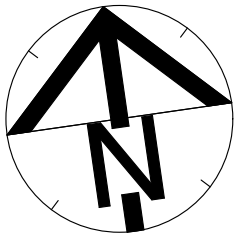
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Issue : E

Dwg No : 6/7



LEGEND

- Garden & lawn areas
- Concrete Driveway & Pathways
- New trees
- Trees to be removed

New Shrubs & Trees:

- BD - Baekea Densifolia (1m high)
- BR - Bauera Rubioides (1m High)
- CK - Callistemon Kings Park Special (3m high)
- CD - Callistemon Demesne Rowena (2m high)
- CA - Callistemon Captain Cook (1m high)
- GA - Grevillea Aquifolium (2m high)
- GR - Grevillea Kay Williams (2m high)
- GS - Grevillea Scarlet Sprite (1m high)
- L L - Lomandra Longifolia (1m high)
- MN - Melaleuca Nesophila (2m high)
- MP - Murraya Paniculata (2m high)
- WF - Westringa Fruticosa (1.5m high)
- BM - Buxus microphylla japonica (Hedge 1-2m high)
- BC - Backhousia citriodora (3m high)
- TL - Tristaniopsis laurina (6m high)

NOTES!

- Lay "Sir Walter Buffalo" turf to all areas that are not landscaped or paved.
- Edge all garden beds with treated pine logs as required.
- Fill all garden beds with 50mm (min) wood chip & leaf mulch after planting as selected.

CADDENS ROAD

(E1) EASEMENT TO DRAIN WATER 2 WIDE
(E8) EASEMENT TO DRAIN WATER 5 WIDE
DENOTES SEWERMAIN (approx.position only)

Landscape Plan

SCALE 1:200

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Dwg No : **7/7**